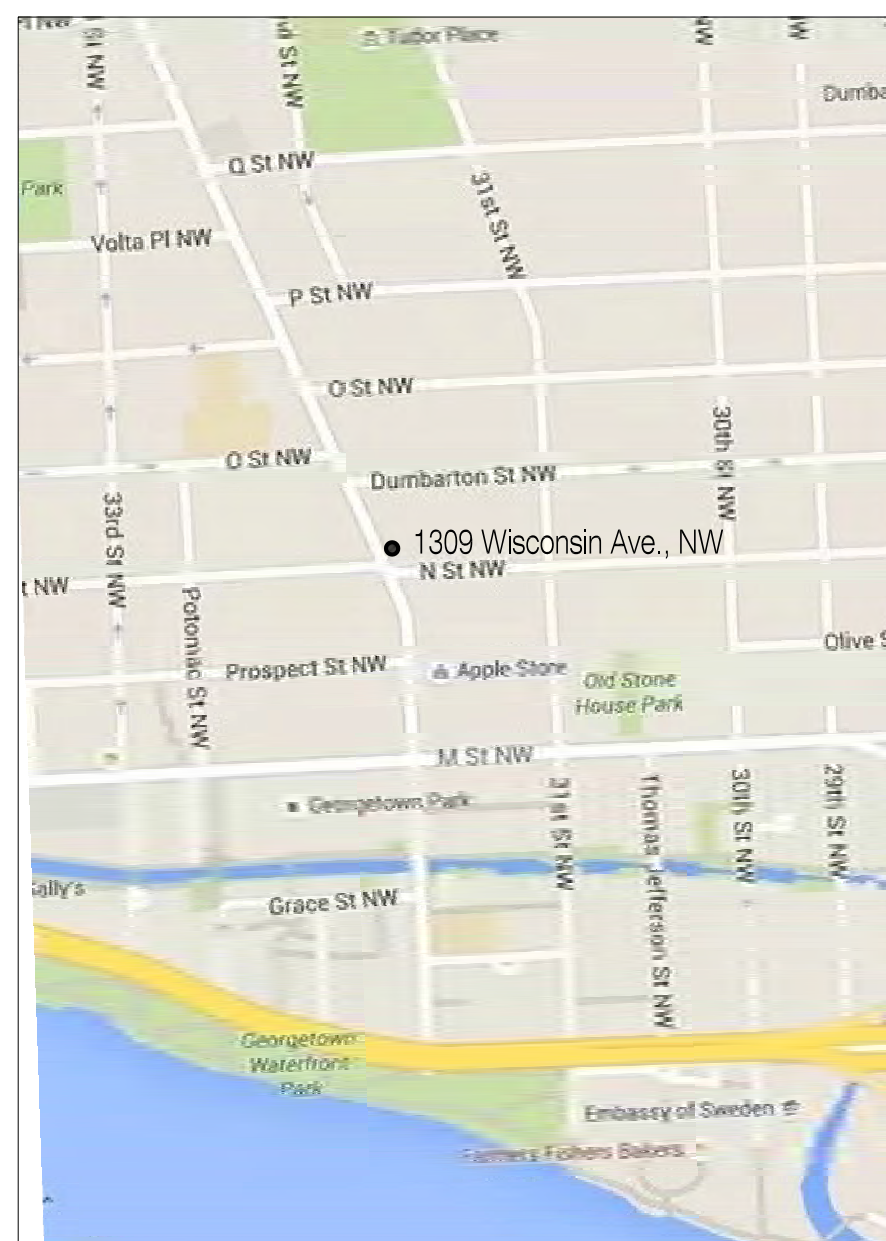


# Residential Renovation

## 1309 Wisconsin Ave., NW Washington, DC 20007

**LOCATION MAP**



**BUILDING INFORMATION**

**WORK DESCRIPTION:**  
 ADDITION OF A THIRD FLOOR ONTO AN EXISTING TWO-STORY BUILDING. INCLUDED IN THE SCOPE OF WORK:  
 1. ADDING ONTO THE REAR OF THE BUILDING WITH A SECOND STORY REAR ADDITION.  
 2. ADDING THIRD FLOOR OVER PART OF THE EXISTING BUILDING.

**ZONING INFORMATION:**  
 LOT : OO48  
 SQUARE: 1232  
 LOT AREA: 2,746 SF  
 80% LOT OCCUPANCY: 1647.6 SF  
 ZONING: MU-4  
 HISTORIC DISTRICT: OLD GEORGETOWN  
 ANC: 2E  
 CONSTRUCTION TYPE: 3B - 3 STORIES & UNLIMITED SF (PER IBC TABLE 503 FOR R-3 USE GROUP)  
 FULLY SPRINKLERED: NO  
 ALARM SYSTEM: EXISTING  
 SEPARATION AS PER IBC 508.4: 2 HOUR  
 SAFTEY GLAZING: LABELED AS PER IBC SECTION 2406

**USE GROUP / OCCUPANCY:**  
 EXISTING:

FIRST FLOOR:	M	EYE GLASS SHOP	1,801 GSF
SECOND FLOOR:	R-3	RESIDENTIAL	1,284 GSF
SECOND FLOOR LOFT:	R-3	RESIDENTIAL	N/A (CEILING HEIGHT = BELOW 7'-0")

**PROPOSED:**

FIRST FLOOR:	M	EYE GLASS SHOP	1,801 EXISTING GSF	= 1,801 GSF
SECOND FLOOR:	R-3	RESIDENTIAL	1,284 EXISTING GSF + 343 GSF PROPOSED ADDITION	= 1,627 GSF
SECOND FLOOR LOFT:	R-3	RESIDENTIAL	0 EXISTING GSF + 150 GSF PROPOSED ADDITION	= 150 GSF
THIRD FLOOR:	R-3	RESIDENTIAL	0 EXISTING GSF + 636 GSF PROPOSED ADDITION	= 636 GSF

**TOTAL SQUARE FOOTAGE:**

FLOOR:	EXISTING:	ADDITION:	TOTAL:
FIRST FLOOR:	1,801 GSF	0 GSF	1,801 GSF
SECOND FLOOR:	1,284 GSF	343 GSF	1,627 GSF
SECOND FLOOR LOFT:	0 GSF	150 GSF	150 GSF
THIRD FLOOR:	0 GSF	636 GSF	636 GSF
<b>TOTAL FLOOR:</b>	<b>3,085 GSF</b>	<b>1,129 GSF</b>	<b>4,214 GSF</b>

**CONTACTS**

**ARCHITECT:** MR. GEORGE GORDON, RA & LEED AP  
 GORDON ARCHITECTS, PC  
 1032 WISCONSIN AVENUE, N.W.  
 WASHINGTON, DC 20007  
 (202) 333-9270  
 GG@GORDONARCHITECTS.COM

**STRUCTURAL ENGINEER:** MR. ROGER CHEBB, PE  
 CAC CONSULTING, INC.  
 17 WHEATFIELD COURT,  
 GAITHERSBURG MD, 20879  
 (240) 668-4833  
 CHEBB@559@AOL.COM

**OWNER:** MR. JOOST VOORTHUIS  
 1309 WISCONSIN AVE, NW  
 WASHINGTON, DC 20007

**INDEX OF DRAWINGS**

<b>ARCHITECTURE:</b>	OO01	COVER SHEET
	AO01	PARTITION, WINDOW, & EXTERIOR DOOR TYPES
	AO02	NOT USED
	AO03	NOT USED
	AO04	FIRST FLOOR PLAN
	AO05	SECOND FLOOR - DEMO/PROPOSED PLANS
	AO06	2ND FLOOR LOFT - DEMO/PROPOSED PLANS
	AO07	THRD FLOOR - DEMO/PROPOSED PLANS
	AO08	ROOF - PROPOSED PLAN
	AO09	EXTERIOR ELEVATIONS
	AO10	BUILDING SECTION
	AO11	SECTION DETAILS
	EVS	ENERGY VERIFICATION SHEET
<b>STRUCTURE:</b>	SO01	2ND FLOOR & LOFT - FRAMING PLAN
	SO02	THRD FLOOR & ROOF - FRAMING PLANS
<b>MEP:</b>	EO01	SYMBOLS & LIGHT FIXTURE SCHEDULE
	EO02	SECOND & THIRD FLOOR ELECTRICAL PLANS
	EO03	SECOND & THIRD FLOOR POWER PLANS
	PO01	SECOND & THIRD FLOOR PLUMBING PLANS

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## architects

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 www.gordonarchitects.com

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# Residential Renovation

1309 Wisconsin Ave., NW  
 Washington, DC 20007

**SYMBOLS**


**ABBREVIATIONS**

AFF ABOVE FINISH FLOOR	MAT MATERIAL
AA ALL AROUND	MAX MAXIMUM
ACOUS ACOUSTICAL	MC MILLWORK CONTRACTOR
ACT ACOUSTICAL CEILING TILE	MDF MEDIUM DENSITY FIBERBOARD
ADJ ADJUSTABLE	MDO MEDIUM DENSITY OVERLAY
ALUM ALUMINUM	MECH MECHANICAL
ANOD ANODIZED	MIN MINIMUM
BD BOARD	MISC MISCELLANEOUS
BLKG BLOCKING	MLDG MOLDING
BS BOTH SIDES	MO MOUNTED
CLG CEILING	MTL METAL
CMU CONCRETE MASONRY UNIT	OC ON CENTER
CONT CONTINUOUS	OPP OPPOSITE
DA DIAMETER	PLYWD PLYWOOD
DM DIMENSION	PL PLATE
DN DOWN	POL POLISHED
DOUG DOUGLAS	PTD PAINTED
DR DOOR	RCP REFLECTED CEILING PLAN
DTL DETAIL	RND ROUND
DWG DRAWING	RO ROUGH OPENING
ELEC ELECTRICAL	SC SOLID CORE
ELEV ELEVATION	SIM SIMILAR
EQ EQUAL	SHT SHEET
EQUIP EQUIPMENT	STND STAINED
EXST. EXISTING	STL STEEL
FF FINISH FLOOR	STOR STORAGE
FIX FITTURE	TYP TYPICAL
FLR FLOOR	TYP TYPICAL
FLUOR FLUORESCENT	TME TO MATCH EXISTING
GFI GROUND FAULT INTERRUPTER	UNO UNLESS OTHERWISE NOTED
GC GENERAL CONTRACTOR	VCT VINYL COMPOSITION TILE
GL GLAZING	VERT VERTICAL
GYP GYPSUM	VEN VENEER
GWB GYPSUM WALL BOARD	FY FIELD VERIFY
HWWR HARDWARE	VWC VINYL WALL COVERING
HM HOLLOW METAL	W/ WATER RESISTANT
	WR WATER RESISTANT

**GENERAL NOTES**

- DO NOT SCALE DRAWINGS.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO DEMOLITION, CONSTRUCTION / FABRICATION OF ANY ITEMS.
- CONTRACTOR SHALL REQUEST CLARIFICATION IN THE EVENT THAT HE DISCOVERS ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE DRAWINGS, NOTES, AND SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF ALL UTILITIES, INCLUDING EXISTING WATER, SEWER, AND STORM MAINS PRIOR TO BEGINNING HIS WORK AND SHALL MAKE CERTAIN THAT ALL CONNECTIONS CAN BE MADE.
- CONTRACTOR SHALL COORDINATE ALL TRADES.
- ALL DEBRIS IS TO BE REMOVED FROM THE SITE.
- ALL DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE.

**APPLICABLE CODES**

This project was designed under the 2013 D. C. Construction Codes.

TITLE 12 DCMR, DC CONSTRUCTION CODES SUPPLEMENT (2013)  
 2013 DISTRICT OF COLUMBIA BUILDING CODE  
 2013 DISTRICT OF COLUMBIA GREEN CONSTRUCTION CODE  
 2013 DISTRICT OF COLUMBIA ENERGY CONSERVATION CODE  
 ASHRAE 90.1 2013 COMPLIANCE  
 2013 DISTRICT OF COLUMBIA FIRE CODE  
 2013 DISTRICT OF COLUMBIA MECHANICAL CODE  
 2013 DISTRICT OF COLUMBIA PLUMBING  
 2012 INTERNATIONAL BUILDING CODE AS AMENDED BY DCMR 12A  
 2011 NATIONAL ELECTRICAL CODE AS AMENDED BY DCMR 12C  
 2012 INTERNATIONAL FUEL GAS CODE AS AMENDED BY DCMR 12D  
 2012 INTERNATIONAL MECHANICAL CODE AS AMENDED BY DCMR 12E  
 2012 INTERNATIONAL PLUMBING CODE AS AMENDED BY DCMR 12F  
 2012 INTERNATIONAL FIRE CODE AS AMENDED BY DCMR 12H  
 2012 INTERNATIONAL ENERGY CONSERVATION CODE AS AMENDED BY  
 DCMR 12I  
 2012 INTERNATIONAL EXISTING BUILDING CODE AS AMENDED BY DCMR 12J  
 2012 INTERNATIONAL ENERGY CONSERVATION CODE AS AMENDED BY  
 ICC/ANS A117.1 2009 AS AMENDED BY THE DCMR 12A 2013

**REVIEWS / REVISIONS**

NO.	DESCRIPTION	DATE

# Cover Sheet

SCALE: AS NOTED

PROJECT NUMBER: 1906

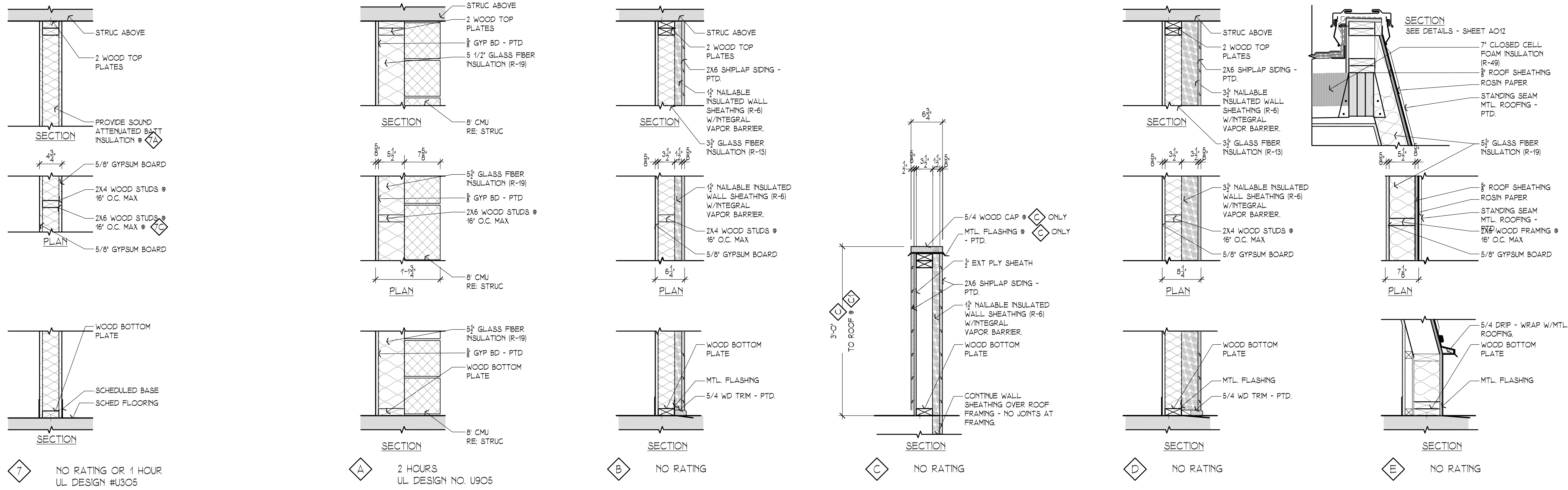
DATE: 6 January 2020

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# 0001





- 7 NO RATING OR 1 HOUR UL DESIGN #U305
- 7A W/ SOUND ATTENUATED BATT INSULATION
- 7B W/ SOUND ATTENUATED BATT INSULATION & W/ GREEN BD ON WET SIDE
- 7C 2X6 WD STUDS W/ SOUND ATTENUATED BATT INSULATION & W/ GREEN BD ON WET SIDE

**1** INTERIOR PARTITION TYPES  
A001 1' = 1'-0"

**2** EXTERIOR PARTITION TYPES  
A001 1' = 1'-0"

**GORDON architects**  
A Professional Corporation

TELEPHONE: 202.333.9270  
www.gordonarchitects.com

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**Residential Renovation**

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Washington, DC 20007

**NFRC LABEL NOTE**

EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, AS WELL AS THE INFORMATION SPECIFIED IN SECTION 2403.1. THE DESIGNATION SHALL BE ACID ETCHED, SAND BLASTED, CERAMIC FIRED, LASER ETCHED, EMBOSSED OR OF A TYPE THAT ONCE APPLIED, CANNOT BE REMOVED WITHOUT BEING DESTROYED. A LABEL MEETING THE REQUIREMENTS OF THIS SECTION SHALL BE PERMITTED IN LIEU OF THE MANUFACTURER'S DESIGNATION.

TYPE	Window A 2'-6" x 5'-0"
FRAME	PELLA ARCHITECT SERIES - CONTEMPORARY CLAD - IRON ORE
GLAZING	3/4" INSUL LOW-E 0.34 0.30 0.51 53 193 0.6 0.40 15

TYPE	Window B 2'-6" x 2'-6"
FRAME	PELLA ARCHITECT SERIES - CONTEMPORARY CLAD - IRON ORE
GLAZING	3/4" INSUL LOW-E 0.34 0.30 0.51 53 193 0.6 0.40 15

TYPE	Window C 3'-0" x 5'-0"
FRAME	PELLA ARCHITECT SERIES - CONTEMPORARY CLAD - IRON ORE
GLAZING	3/4" INSUL LOW-E 0.34 0.30 0.51 53 193 0.6 0.40 15

TYPE	Window D 2'-0" x 5'-0"
FRAME	PELLA ARCHITECT SERIES - CONTEMPORARY CLAD - IRON ORE
GLAZING	3/4" INSUL LOW-E 0.34 0.30 0.51 53 193 0.6 0.40 15

TYPE	Doors 21 & 31 5'-0" x 6'-9"
FRAME	PELLA ARCHITECT SERIES - CONTEMPORARY CLAD - IRON ORE
GLAZING	3/4" INSUL LOW-E 0.34 0.30 0.51 53 193 0.6 0.40 15



**NFRC LABEL NOTE**  
ALL WINDOWS TO HAVE NFRC LABEL (SAMPLE ABOVE) CERTIFYING THAT ALL FENESTRATION IS LABELED AND LISTED TO MEET NFRC

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**3** WINDOW & EXTERIOR DOOR TYPES  
A001 1/4" = 1'-0"

REVIEWS / REVISIONS		
NO.	DESCRIPTION	DATE

**Partition, Window, & Exterior Door Types**

SCALE: AS NOTED

PROJECT NUMBER: 1906

DATE: 6 January 2020

**A001**



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A Professional Corporation

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## Residential Renovation

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### REVIEWS / REVISIONS

NO.	DESCRIPTION	DATE

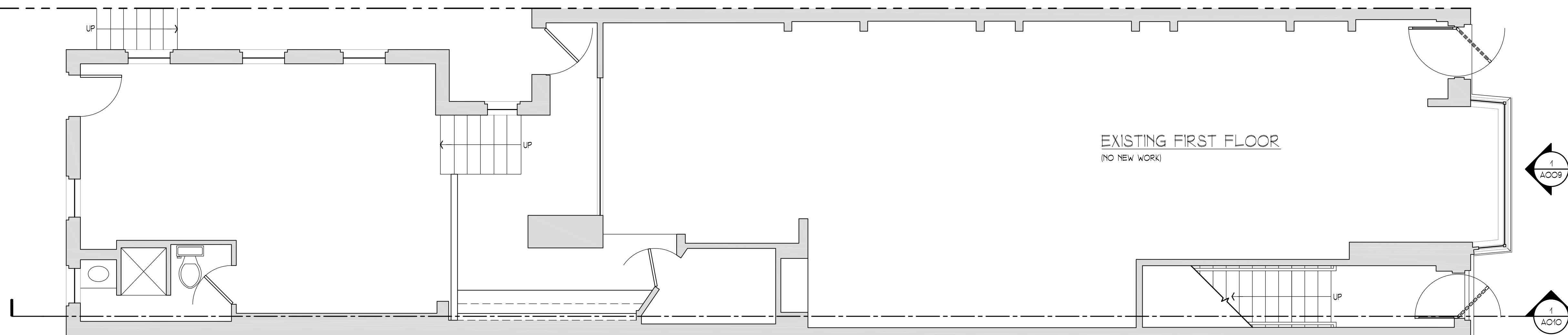
## First Floor - Existing Plan

SCALE: AS NOTED

PROJECT NUMBER: 1906

DATE: 6 January 2020

# A004

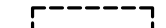
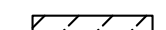



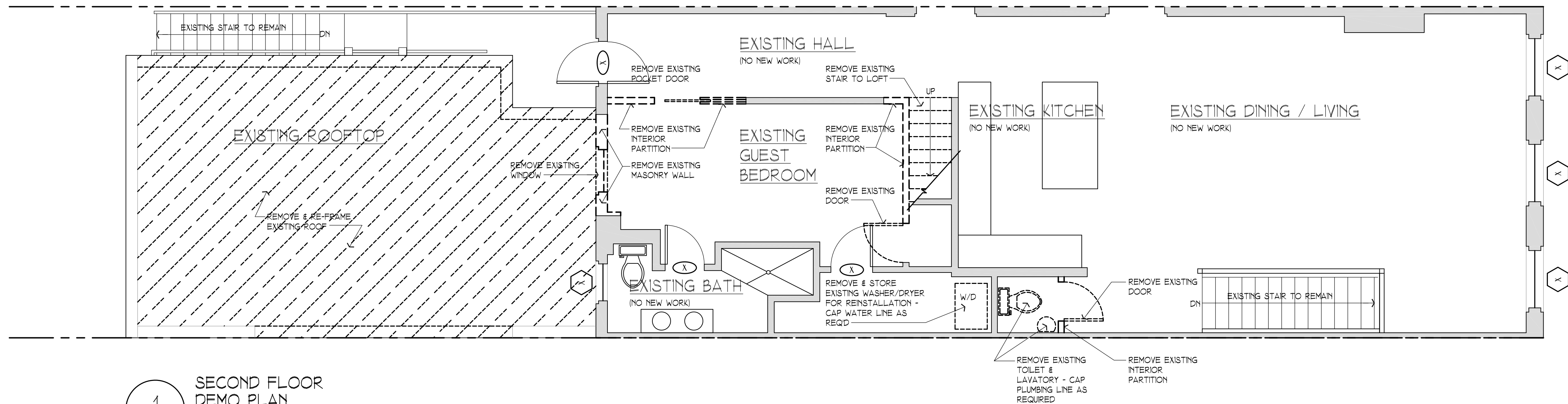
1  
A004  
FIRST FLOOR PLAN  
NO NEW WORK  
1/4" = 1'-0"

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LEGEND

-  EXISTING WALL TO BE DEMOLISHED
-  EXISTING FLOOR TO BE DEMOLISHED
-  EXISTING WALL TO REMAIN




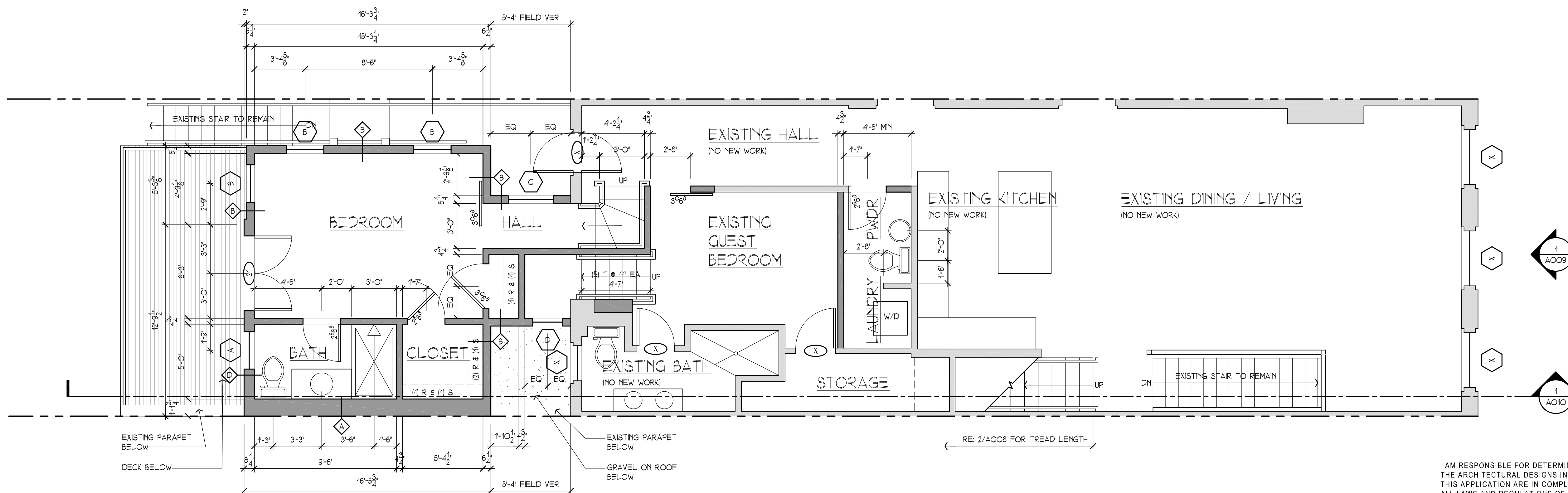
1  
A005  
SECOND FLOOR  
DEMO PLAN  
1/4" = 1'-0"

LEGEND

-  EXISTING PARTITION TO REMAIN
-  PROPOSED PARTITION
-  RE: A001 PARTITION TYPES

GENERAL PLAN NOTES

1. UNLESS NOTED OTHERWISE, ALL NEW INTERIOR PARTITIONS ARE TO BE TYPE  PAINTED.



2  
A005  
SECOND FLOOR  
PROPOSED PLAN  
1/4" = 1'-0"

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architects

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Residential  
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1309 Wisconsin Ave., NW  
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REVIEWS / REVISIONS

NO.	DESCRIPTION	DATE

Second Floor -  
Demo/Proposed Plans

SCALE: AS NOTED

PROJECT NUMBER: 1906

DATE: 6 January 2020

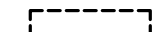
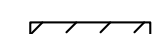

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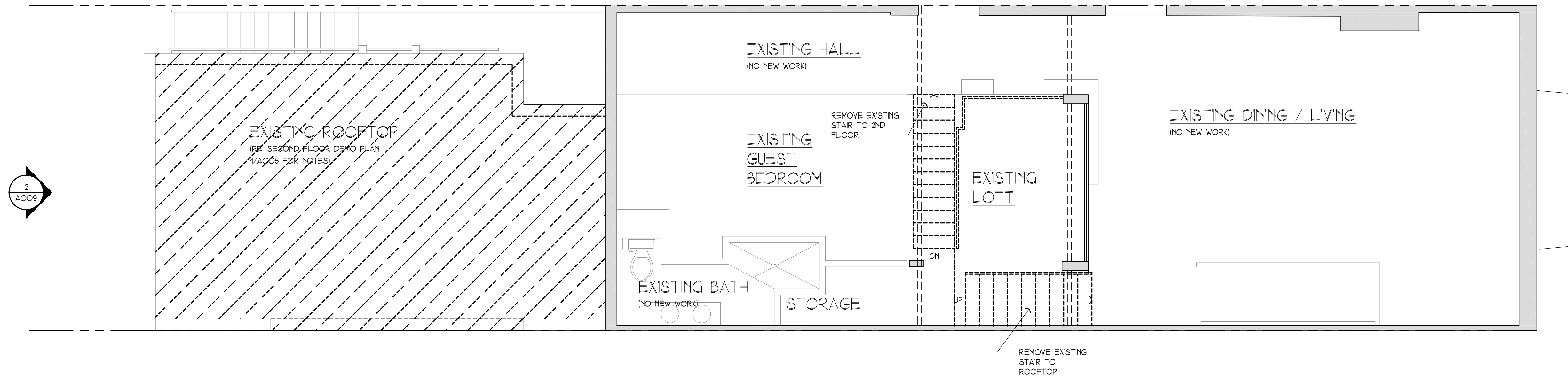


A005





LEGEND

-  EXISTING WALL TO BE DEMOLISHED
-  EXISTING FLOOR TO BE DEMOLISHED
-  EXISTING WALL TO REMAIN




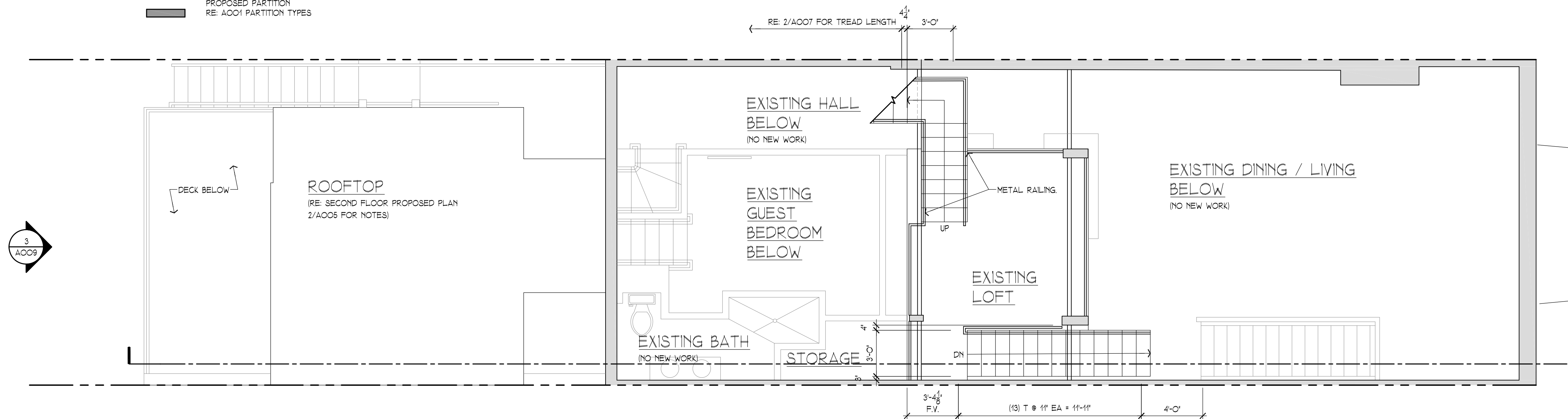
1  
A006  
2ND FLOOR LOFT  
DEMO PLAN  
1/4" = 1'-0"

LEGEND

-  EXISTING PARTITION TO REMAIN
-  PROPOSED PARTITION  
RE: A001 PARTITION TYPES

GENERAL PLAN NOTES

1. UNLESS NOTED OTHERWISE ALL NEW PARTITIONS ARE TO BE TYPE  PAINTED.



2  
A006  
2ND FLOOR LOFT  
PROPOSED PLAN  
1/4" = 1'-0"

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REVIEWS / REVISIONS

NO.	DESCRIPTION	DATE

2nd Floor Loft -  
Demo/Proposed Plans

SCALE: AS NOTED

PROJECT NUMBER: 1906

DATE: 6 January 2020

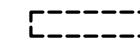
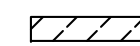

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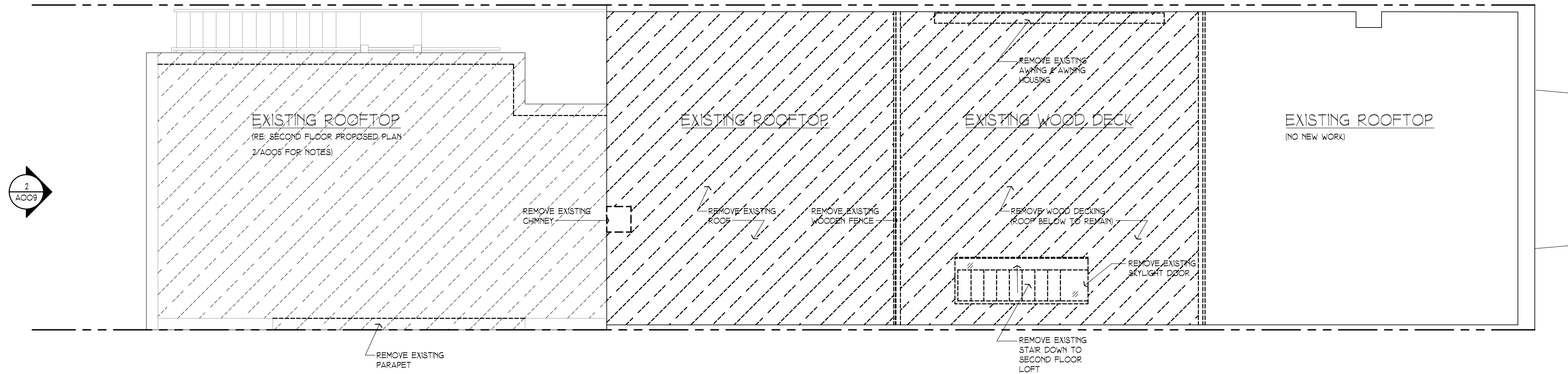


**A006**





LEGEND

-  EXISTING WALL TO BE DEMOLISHED
-  EXISTING FLOOR TO BE DEMOLISHED
-  EXISTING WALL TO REMAIN



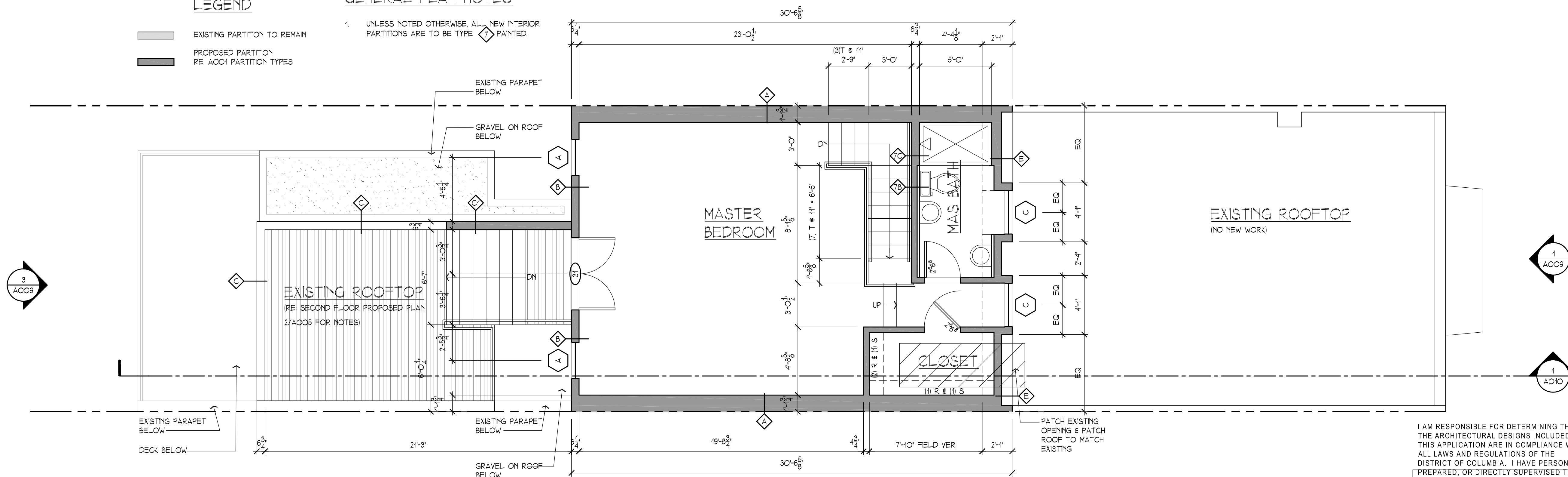
1  
A007  
THIRD FLOOR  
DEMO PLAN  
1/4" = 1'-0"

LEGEND

-  EXISTING PARTITION TO REMAIN
-  PROPOSED PARTITION  
RE: A001 PARTITION TYPES

GENERAL PLAN NOTES

1. UNLESS NOTED OTHERWISE, ALL NEW INTERIOR PARTITIONS ARE TO BE TYPE 7 PAINTED.



2  
A007  
THIRD FLOOR  
PROPOSED PLAN  
1/4" = 1'-0"

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Residential  
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REVIEWS / REVISIONS

NO.	DESCRIPTION	DATE

Third Floor -  
Demo/Proposed Plans

SCALE: AS NOTED



PROJECT NUMBER: 1906

DATE: 6 January 2020


A007



LEGEND

-  EXISTING PARTITION TO REMAIN
-  PROPOSED PARTITION  
RE: A001 PARTITION TYPES

GENERAL PLAN NOTES

1. UNLESS NOTED OTHERWISE, ALL NEW PARTITIONS ARE TO BE TYPE  PAINTED.

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REVIEWS / REVISIONS

NO.	DESCRIPTION	DATE
1	A008	

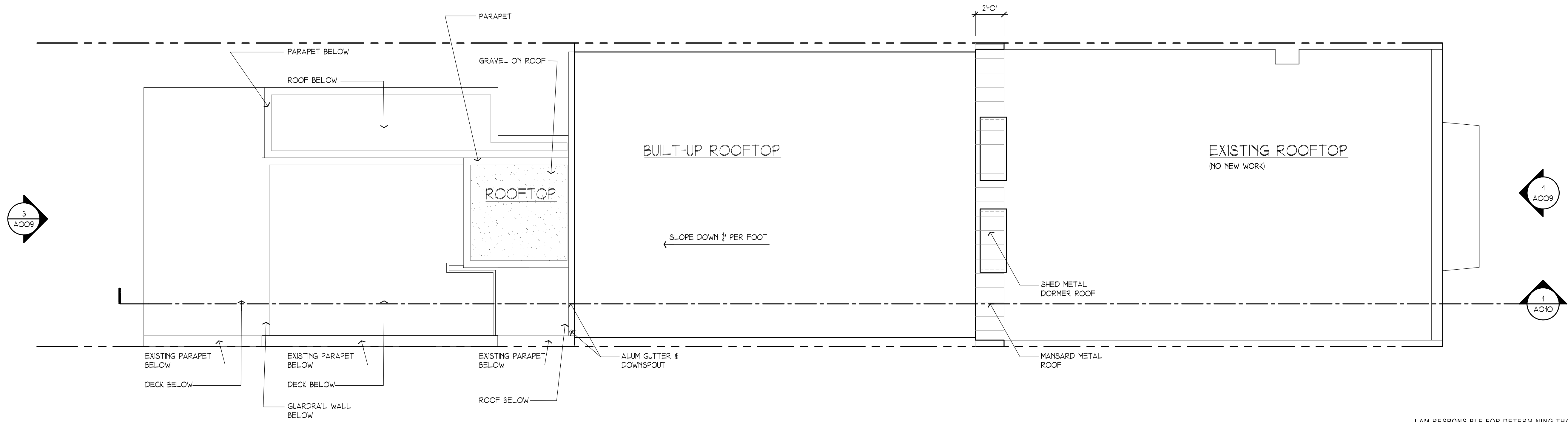
Roof -  
Proposed Plan

SCALE: AS NOTED

PROJECT NUMBER: 1906

DATE: 6 January 2020

**A008**



**2**  
A008  
ROOF  
PROPOSED PLAN  
1/4" = 1'-0"

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## Residential Renovation

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REVIEWS / REVISIONS

NO.	DESCRIPTION	DATE

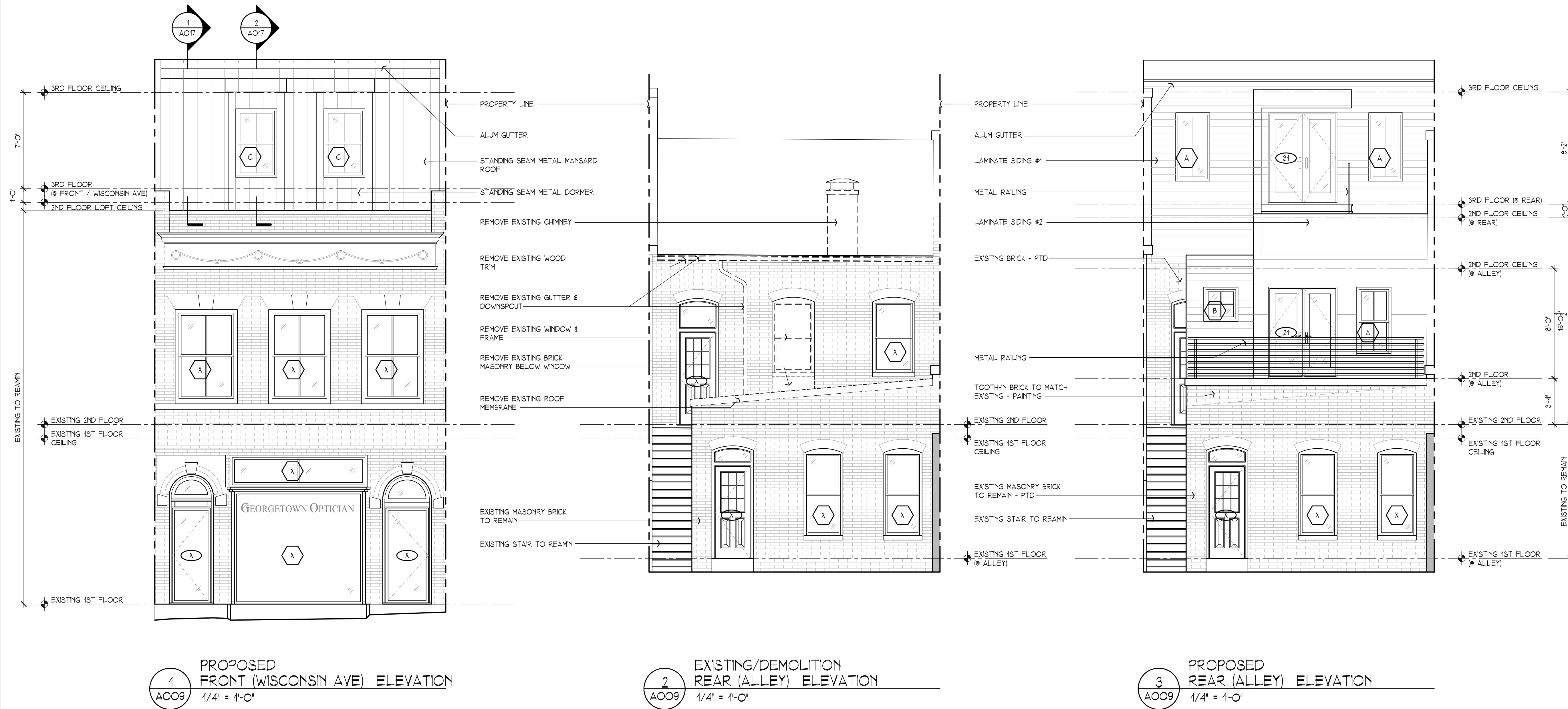
## Exterior Elevations

SCALE: AS NOTED

PROJECT NUMBER: 1906

DATE: 6 January 2020

# A009



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REVIEWS / REVISIONS

NO.	DESCRIPTION	DATE

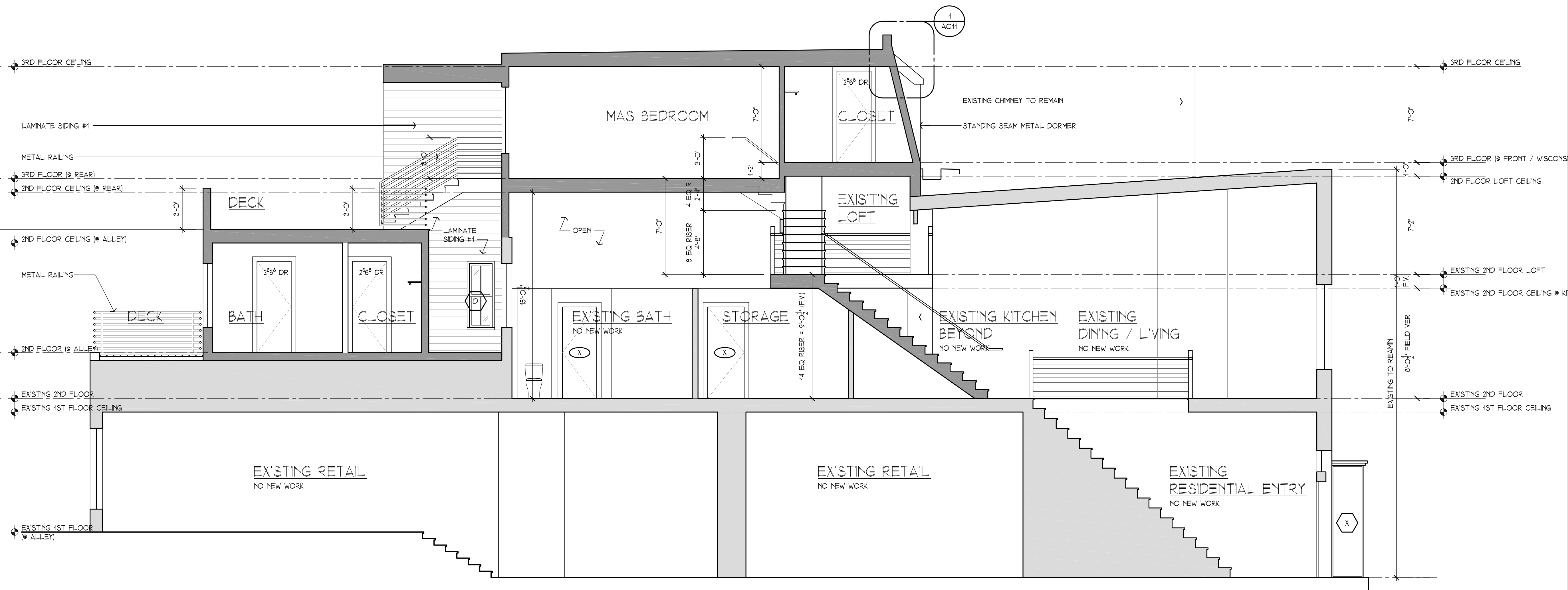
Building  
Section

SCALE: AS NOTED

PROJECT NUMBER: 1906

DATE: 6 January 2020

**A010**

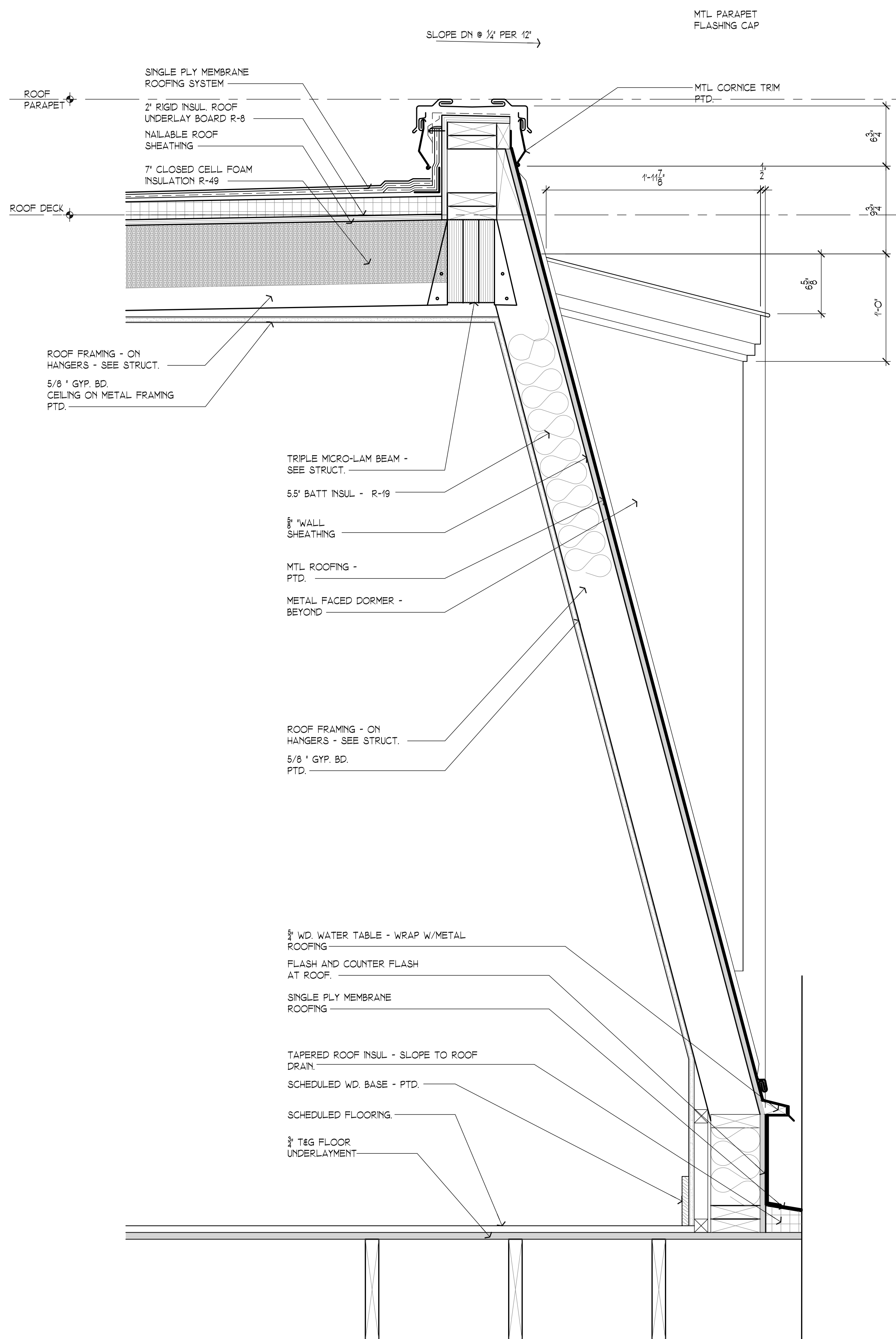


1 BUILDING SECTION  
A010 1/4" = 1'-0"

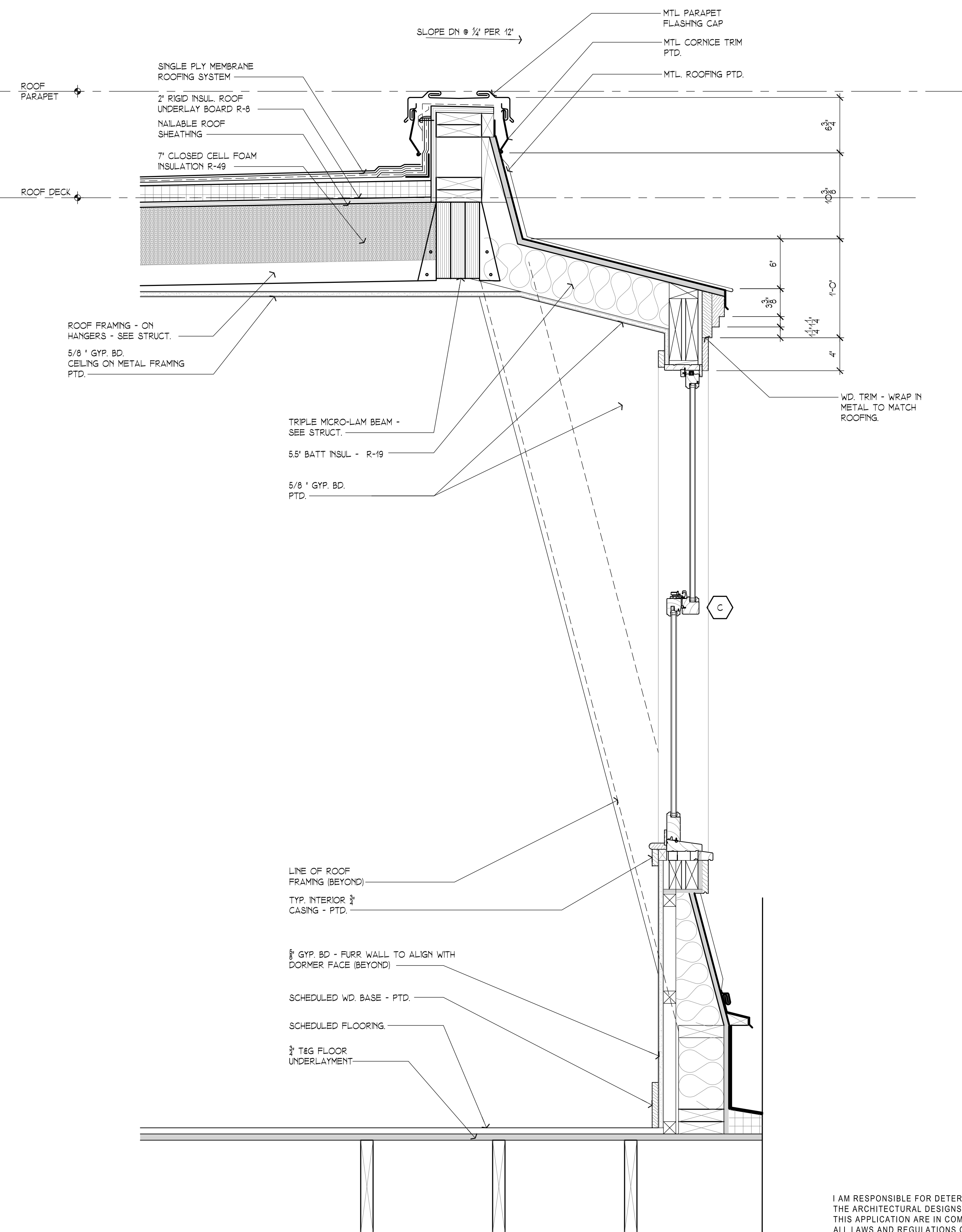
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DESIGNS INCLUDED IN THIS APPLICATION.







1 SECTION DETAIL  
AO11 1/4" = 1'-0"



2 SECTION DETAIL  
AO11 1/4" = 1'-0"

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Residential  
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REVIEWS / REVISIONS		
NO.	DESCRIPTION	DATE

Section  
Details


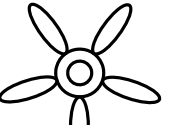
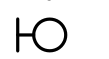


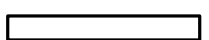



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DATE: 6 January 2020

A011



LIGHT FIXTURE SCHEDULE												
NUMBER	SIZE/TYPE	MANUFACTURER	MODEL	FINISH	MOUNTING	LAMP	LUMINS	WATTS	LUMINS/WATTS	# of FIXTURES	HIGH EFFICIENCY	REMARKS
A	4"DIA. DOWN LIGHT	LIGHTOLIER/PHILLIPS	L13ae1	WHITE TRIM-CHROME CONE	RECESSED	L309 3000K	800	12	66	5	YES	ON DIMMERS WHERE SHOWN ON DRWS *
A1	4"DIA. DOWN LIGHT	LIGHTOLIER/PHILLIPS	L13ae1 - Air Seal Fixture	WHITE TRIM-CHROME CONE	RECESSED	L309 3000K	800	12	66	7	YES	ON DIMMERS WHERE SHOWN ON DRWS
B	52" DIA. CEILING FAN	MODERN FAN COMPANY	CIRRUS HUGGER	ALUMINUM	CEILING	LED W/FIXTURE	1530	17	90	2	YES	WALL CONTROL LIGHT & FAN
C	Not Used											
D1	CLOSET	PHILLIPS-FLUXSTREAM FSS	24"	WHITE	SURFACE/WALL	LED 3000K	4000	31	129	3	YES	CENTER ABOVE DOOR
G	NOT USED											
H	BATH CEIL. LIGHT	LIGHTOLIER/PHILLIPS	F6080-59	CLEAR/FROSTED	SURFACE/CEILING	A19 60W	800	60	13.3	3	NO	
J	EXTERIOR DOOR	ARTEMIDE	EFFETTO ROUND OUTDOOR LED WALL LIGHT	GREY/WHITE	SURFACE/WALL	1 LARGE BEAM - 4.5w LED-3000K	230	4.5	51	2	YES	1 BEAM WIDE FLOOR DOWN LIGHT ONLY CENTER ABOVE DOOR AND BETWEEN TRIM
							TOTAL FIXTURES - 22					
							High Efficiency - 17					
							% High Efficiency 77%					

LEGEND

-  RECESSED LIGHT FIXTURE
-  CEILING FAN WITH LIGHT FIXTURE
-  WALL MOUNTED LIGHT FIXTURE
-  CEILING MOUNTED LIGHT FIXTURE
-  UNDER-COUNTER LIGHT FIXTURE
-  FLUORESCENT LIGHT FIXTURE
-  PENDANT LIGHT FIXTURE
-  EXHAUST FAN
-  SMOKE DETECTOR

GENERAL REFLECTED CEILING NOTES

1. UNLESS NOTED OTHERWISE, ALL LIGHT FIXTURES ARE TO BE MOUNTED CENTERED IN THE ROOM.
2. UNLESS NOTED OTHERWISE, ALL CEILINGS ARE TO BE GYPSUM BOARD - PAINTED - WHITE IN EGGSHELL FINISH.

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Symbols &  
Light Fixture Schedule

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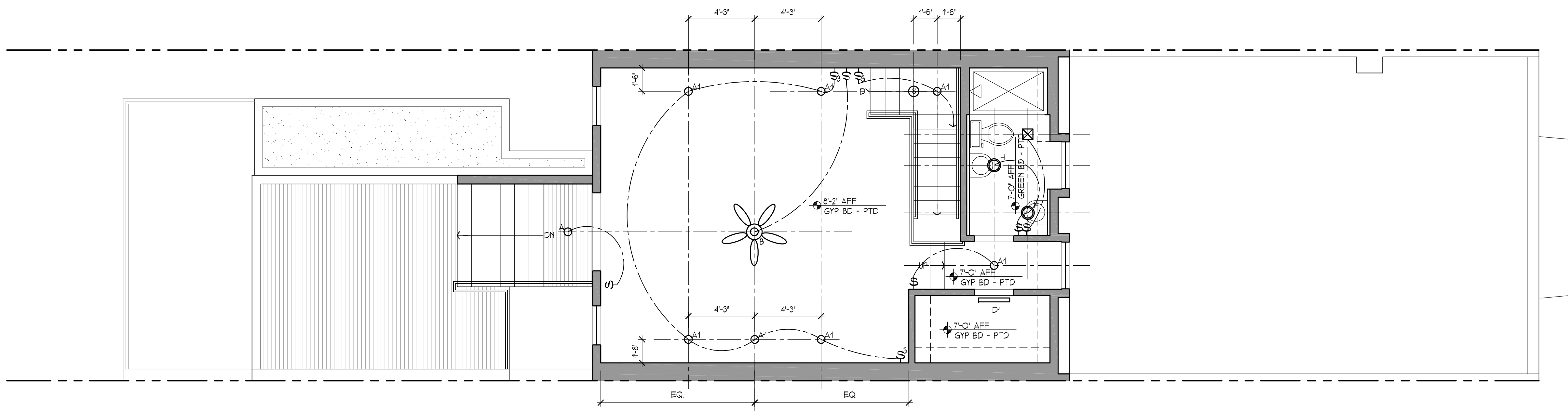
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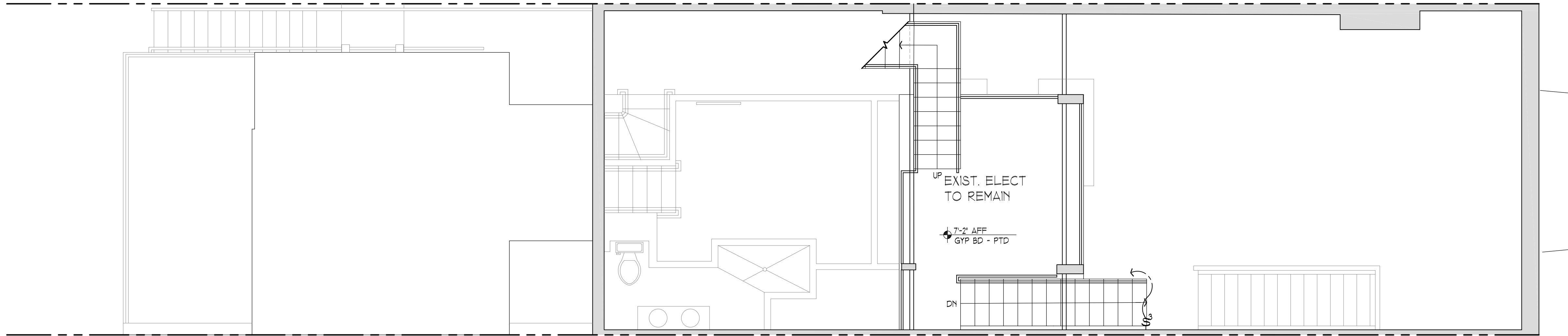


E001

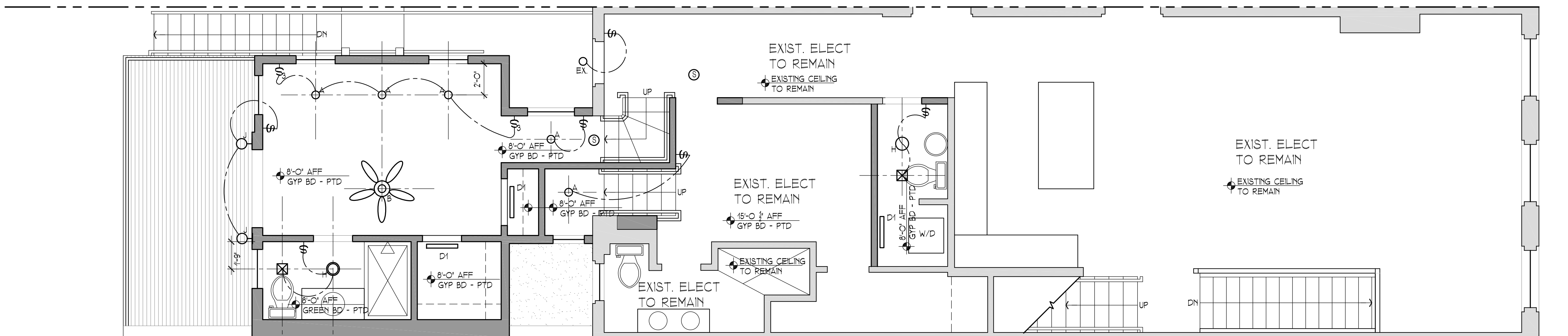




3  
E002  
THIRD FLOOR  
REFLECTED CEILING PLAN  
1/4" = 1'-0"



2  
E002  
SECOND FLOOR - LOFT  
REFLECTED CEILING PLAN  
1/4" = 1'-0"



1  
E002  
SECOND FLOOR  
REFLECTED CEILING PLAN  
1/4" = 1'-0"

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New Work RCP

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PROJECT NUMBER: 1906

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**E002**

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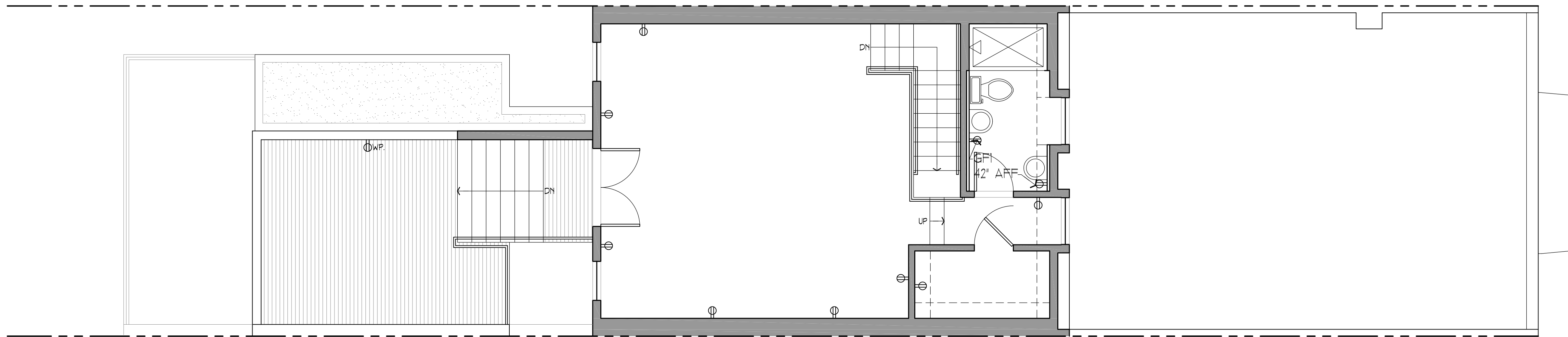
Second & Third  
Floor Power Plans

SCALE: AS NOTED

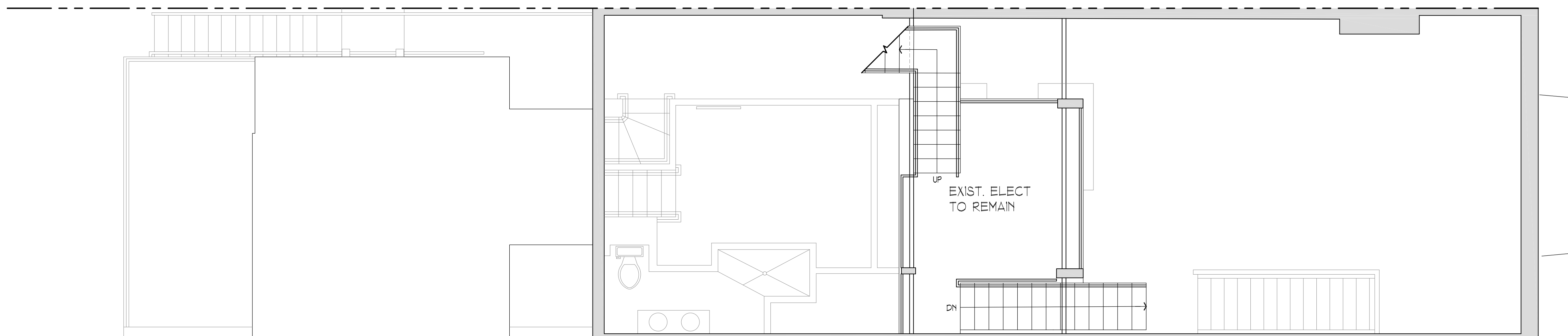
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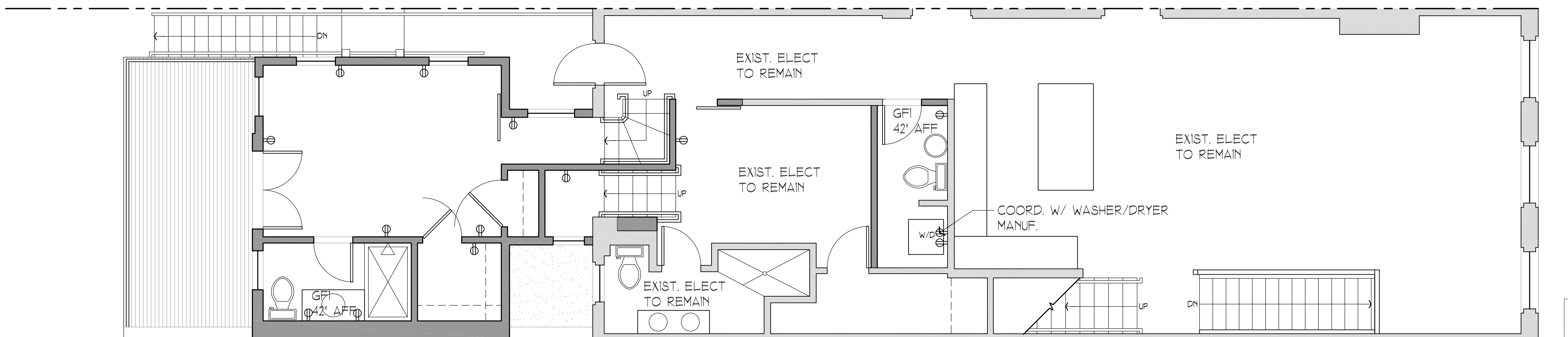
**E003**



3  
E003  
THIRD FLOOR  
POWER PLAN  
1/4" = 1'-0"



2  
E003  
LOFT  
POWER PLAN  
1/4" = 1'-0"



1  
E003  
SECOND FLOOR  
POWER PLAN  
1/4" = 1'-0"

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# DCRA Energy Verification Sheet

## Single Family & Low-Rise Residential

Version 1.2\_2015

The Energy Verification Sheet (EVS) is a communication tool between the code official and the project team. It was developed by the District Department of Consumer and Regulatory Affairs (DCRA) based on the Department of Energy's Score and Store spreadsheets and adapted to the 2013 DC Energy Conservation Code (ECC). In design, it serves as an Energy Code checklist, during plan review it points the reviewer to the location in the drawings where the ECC is addressed, and in the field it is used by the inspector to understand what is required of the project. Please note, this Energy Verification Sheet does not replace the ECC, but references to where the ECC is being complied with in the drawings, specifications or other documents that have been submitted to DCRA. If you have questions about how to fill out the EVS, please visit our website at [www.buildgreendc.org](http://www.buildgreendc.org) or email us at [green.building@dc.gov](mailto:green.building@dc.gov).

Address: 1309 WISCONSIN AVENUE NW

Compliance Approach Used:  Prescriptive  Performance

Project Type:  New Building  Addition  Level 3 Alteration

2013 DC Energy Code	Final Inspections	Prescriptive Code Value	DWG Page	Additional Notes
402.1, 403.6 MR	Heating and Cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J	-	COMPLY	M001
2013 DC Energy Code	Foundation Inspections	Prescriptive Code Value	DWG Page	Additional Notes
402.1.1 SR	Slab Insulation R-value. Perimeter insulation extending downward from the top of the slab surface	Unheated R-10 Heated R-15	N/A	Not Slab
402.1.1 SR	Slab Insulation depth.	2 feet		
402.1.1 SR	Conditioned basement wall insulation R-value. Where internal insulation is used, verification to occur during insulation inspection	Continuous R-10 Cavity: R-13	N/A	No Basement
303.2 I	Conditioned basement wall insulation installed per manufacturer instructions.	-	N/A	No Basement
402.2.8 SR	Conditioned basement wall insulation depth of burial or distance from top of wall.	10 ft or to bsmt. floor	N/A	No Basement
402.2.10 SR	Unvented crawlspace wall insulation R-value	Continuous: R-10 Cavity: R-13	N/A	No Crawlspace
303.2 I	Unvented crawlspace installed per manufacturer's instructions	-	N/A	No Crawlspace
402.2.10 SR	Unvented crawlspace continuous vapor retarder installed over exposed earth, joints overlapped by 6 in. and sealed, extending at least 6 in. up and attached to the wall.	Continuous R-10 Cavity: R-13	N/A	No Crawlspace
402.2.10 SR	Unvented crawlspace wall insulation depth of burial or distance from top of wall	To finished grade +24 in. vert. & / or horiz.	N/A	No Crawlspace
303.2.1 S	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.	-	N/A	No Exterior Insulation
403.8 ER	Snow and Ice-melting system controls installed.	-	N/A	No Melting System

2013 DC Energy Code	Framing/ Rough-In Inspection	Prescriptive Code Value	DWG Page	Additional Notes
402.1.1, 402.3.4 SR	Door U-factor	U-0.35	A001	See Door Schedule .
402.1.1, 402.3.1, 402.3.3 SR	Glazing U-factor (Area weighted average, show proof of average if any u-value is less than 0.35)	U-0.35	A001	See Window Schedule at bottom of page.
402.1.1, 402.3.2, 402.3.3, 402.3.6, SR	Glazing SHGC value (Area weighted average)	SHGC: 0.4	A001	See Window Schedule at bottom of page.

2013 DC Energy Code	Framing/ Rough-In Inspection	Prescriptive Code Value	DWG Page	Additional Notes
303.1.3 I	U-factors of fenestration products are determined in accordance with the NFRC or the default table values.	-		
402.1.1, 402.3.3, 402.3.6 SR	Skylight U-factor	U-0.55 (15 square foot exemption)	N/A	No Skylights
402.1.1, 402.3.3, 402.3.6 SR	Skylight SHGC	SHGC: 0.30 (0.5 max w/ tradeoff. 15ft <sup>2</sup> exempt)	N/A	No Skylights
303.1.3 I	SHGC values were determined in accordance with the NFRC or the default table values.	-		
402.1.1 SR	Mass wall exterior insulation R-value.	R-13 Interior R-8 Exterior	N/A	No Mass walls
303.2 I	Mass wall exterior insulation installed per manufacturer's instructions.	-	N/A	No Mass walls
402.3.5 SR	Fenestration in thermally isolated sunrooms has a max. U-factor of 0.45. All other sunroom fenestration must meet code requirements.	Not Isolated 0.35 Isolated:0.45	N/A	No Sun Rooms
402.3.5 SR	Skylights in thermally isolated sunrooms has a max. U-factor of 0.7. All other sunroom skylights must meet code requirements.	Not Isolated 0.55 Isolated:0.7	N/A	No Sun Rooms
402.4.1.2 SR	Additions, alterations, renovations and repair shall be completed in accordance with Table 402.4.1.1.	Not Isolated 0.55 Isolated:0.7		
402.4.1.1 I	Air and Thermal Barrier installed per Manufacturer's instructions.	-	COMPLIES	A001
402.4.3 I	Fenestration is listed and labeled as meeting AAMA/ WDMA/CSA 101/I.S. 2/A440 or does not exceed code limits per NFRC 400.	0.3 CFM/ft <sup>2</sup>	A001	
402.4.4 E	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤ 2.0 CFM leakage at 75 Pa.	-	E001 COMPLIES	See Light Fixture Schedule - Fixtures A1 to be Air Seal rated.
403.2.1 MR	Supply Ducts in attic are insulated to ≥ R-8. All other ducts in unconditioned spaces or outside the building envelope are ≥ R-6.	Attic: R-8 Other: R-6	N/A	No Supply Ducts in Attic Spaces
403.2.2 MR	All joints and seams of air ducts, air-handlers, and filter boxes are sealed.	-	COMPLY	M001
403.2.3 MR	Building cavities are not used as ducts or plenums.	-	COMPLY	SEE FLOOR PLAN
403.3 MR	HVAC piping carrying fluids > 105°F or fluids < 55°F are insulated to ≥ R-3.	HVAC Pipe ≥ R-3	COMPLY	M001
403.3.1 MR	Protection of insulation on HVAC piping.	-	COMPLY	P001
403.4.2 MR	Hot water pipes are insulated to ≥ R-3.	-	COMPLY	SEE P001
403.5 MR	Auto./ gravity dampers install on all intakes/ exhausts.	-	COMPLY	A015

2013 DC Energy Code	Insulation Inspections	Prescriptive Code Value	DWG Page	Additional Notes
303.1 I	All installed insulation labeled or installed R-values provided.	-		
402.1.1, 402.2.6 SR	Floor Insulation R-value	Wood: R-19 Steel: R-19+6	N/A	
303.2, 402.2.7 SR	Floor insulation installed per mnfr instructions, and substantial contact with underside of floor.	-	N/A	
402.1.1, 402.2.5, 402.2.6 SR	Wall insulation R-value. If a mass wall with 1/2" insulation on the wall exterior, ext insulation applies.	Wood:R-20 or R-13+5 Mass: R-13 Int. R-8 Ext. Steel:R19+8	A001 A010	
402.1.1 SR	Mass wall exterior insulation R-value.	R-13 Interior R-8 Exterior	N/A	No Mass walls
402.2.12 S	Walls of thermally isolated sunrooms have a min. R-13. All other sunrooms must meet code requirements.	Isolated:R13	N/A	No Sun Rooms
303.2 I	Sunroom walls insulation installed per manufacturer's instructions.	-	N/A	No Sun Rooms
402.2.12 S	Ceilings of thermally isolated sunrooms have min. R-24. All other sunroom ceilings must meet code requirements	Isolated: R-24	N/A	No Sun Rooms
302.2 I	Sunroom ceiling insulation installed per manufacturer's instructions.	-	N/A	No Sun Rooms
2013 DC Energy Code	Final Inspections	Prescriptive Code Value	DWG Page	Additional Notes
402.2.1, 402.2.6 SR	Ceiling insulation R-value	Wood: R-49 Steel: U-0.026	1 A011	
303.1.1.1, 303.2 I	Ceiling insulation installed per mnfr instructions. Blown ins. marked every 300ft <sup>2</sup>	-	N/A	No Blown-in Insulation
402.2.3 SR	Baffle over air permeable insulation adjacent to soffit and eave vents.	-	N/A	No Soffit Vents
402.2.4 SR	Attic access hatch and door insulation ≥ R-value of adjacent assembly.	≤R-value of adjacent assembly	N/A	No Attic
402.4.1.2 I	Blower door test @ 50 Pa ≤ 5 Air Changes per Hour. Applies to Level 3, Gut Rehab, New	ACH50 ≤ 5.0	N.A.	N.A.
402.4.1.2 I	Wood burning fireplaces have tight fitting flue dampers and outdoor air for combustion.	-	N.A.	N.A.
403.2.2 I	Total Duct leakage test ≤ 8 CFM/100 ft <sup>2</sup> with air-handler installed.	≤8 CFM/ 100 ft <sup>2</sup>		
403.2.2.1 I	Air-handler leakage designed by mnfr. at ≤ 2% of air-flow.	-	N.A.	N.A.
403.6 I	HVAC equipment type and capacity as per plans.	-	N.A.	N.A.
403.1.1 MR	Programmable thermostats installed on forced air furnace	-	N.A.	N.A.
403.1.2 MR	Heat pump thermostat installed on heat pumps.	-	N.A.	N.A.
403.4.1 MR	Circulating hot water systems have auto. or accessible manual controls.	-		NO CIRCULATING HOT WATER SYSTEM
404.1 ER	75% lamps in permanent fixtures or 75% permanent fixtures use high effic. lamps	-	COMPLIES, L.E.D.	LIGHT FIXTURE SCHEDULE A014

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DCRA APPROVAL BLOCK

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Verification Sheet

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**EVS**



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Second & Third  
Floor Plumbing Plans

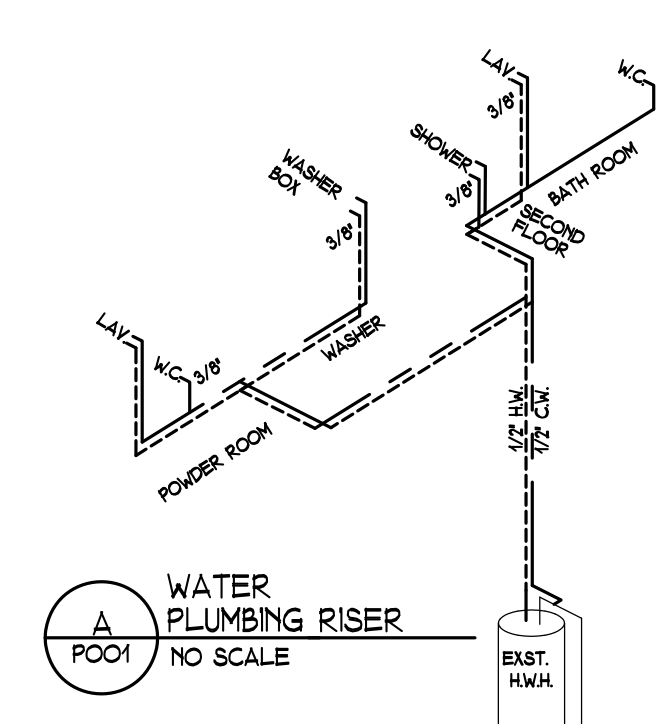
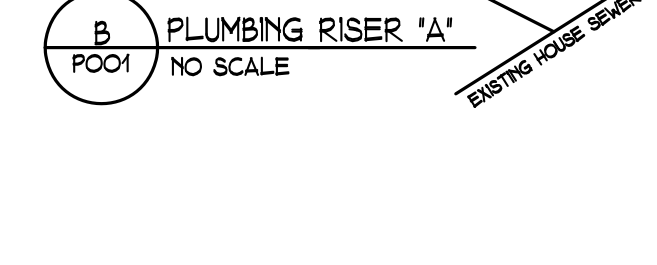
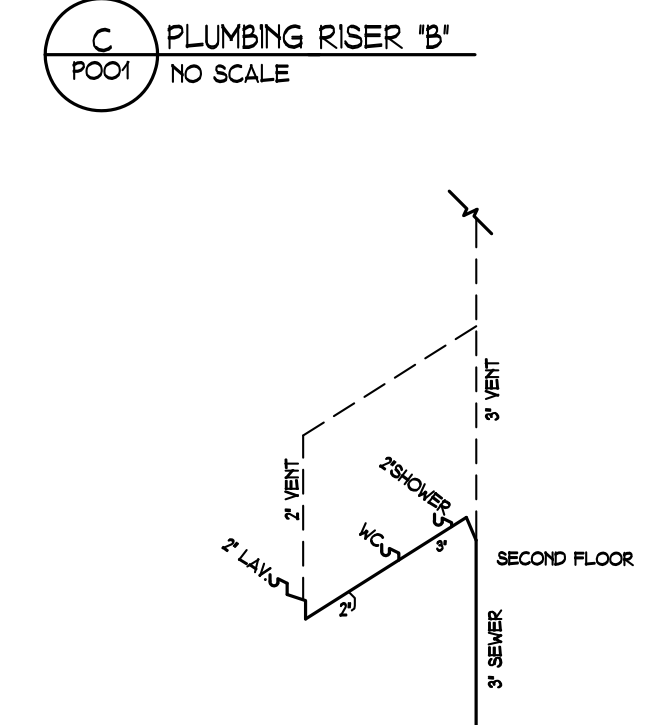
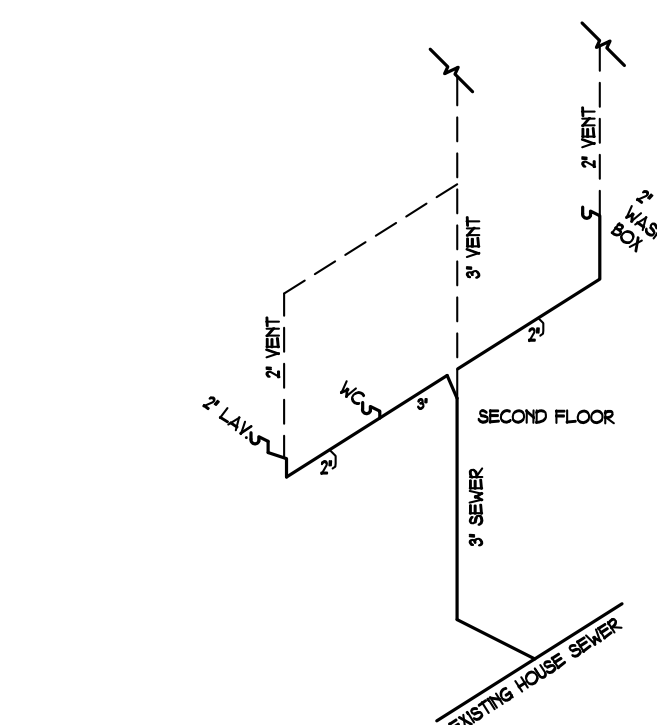
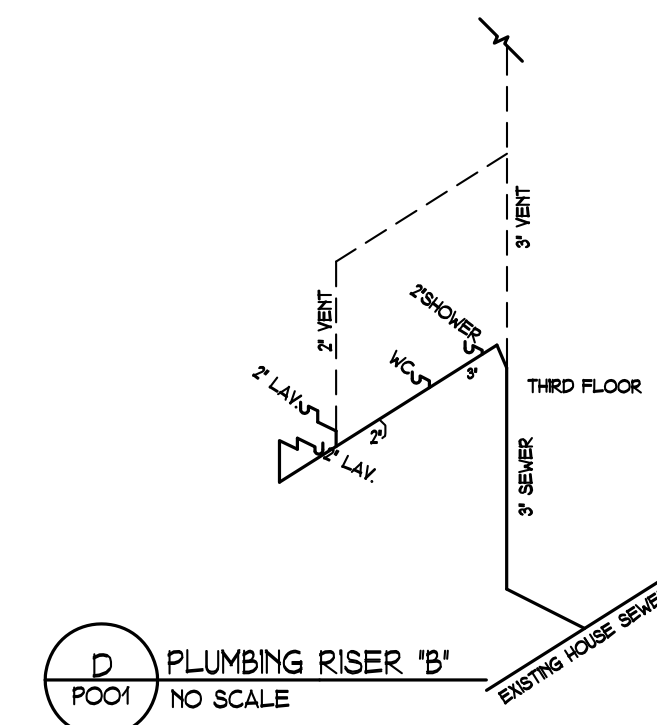
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**P001**

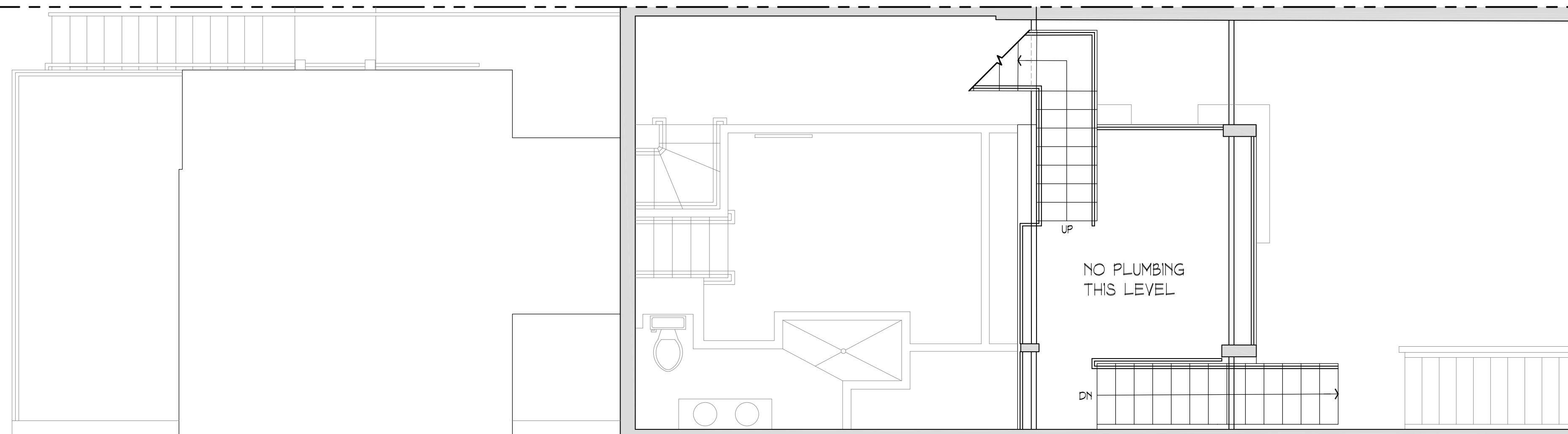
GENERAL NOTES:  
PIPING FOR HVAC AND WATER SUPPLY BETWEEN 55 - 105 DEGREES SHALL BE INSULATED R-3 OR BETTER.  
INSTALL AUTO/GRAVITY DAMPERS ON ALL INTAKES AND EXHAUSTS.



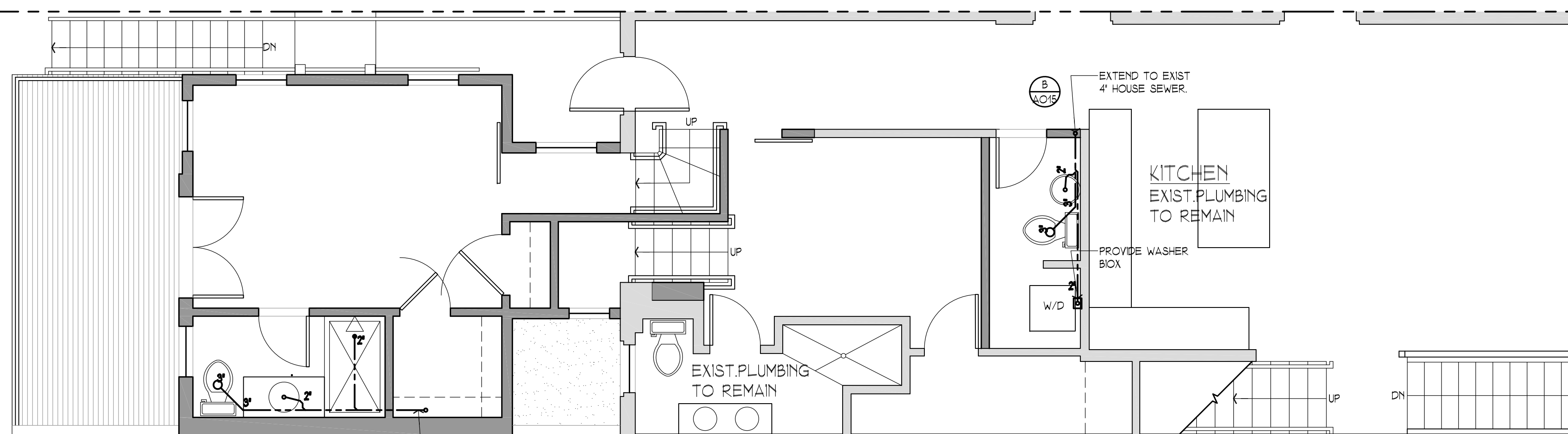
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3  
POO1  
THIRD FLOOR  
PLUMBING PLAN  
1/4" = 1'-0"



2  
POO1  
LOFT  
PLUMBING PLAN  
1/4" = 1'-0"



1  
POO1  
SECOND FLOOR  
PLUMBING PLAN  
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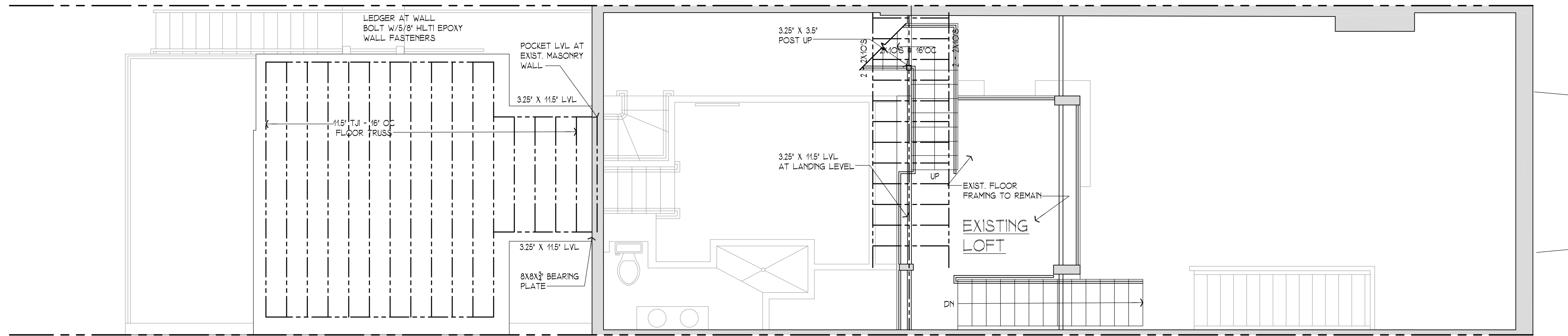
2nd Floor & Loft  
Framing Plan

SCALE: AS NOTED

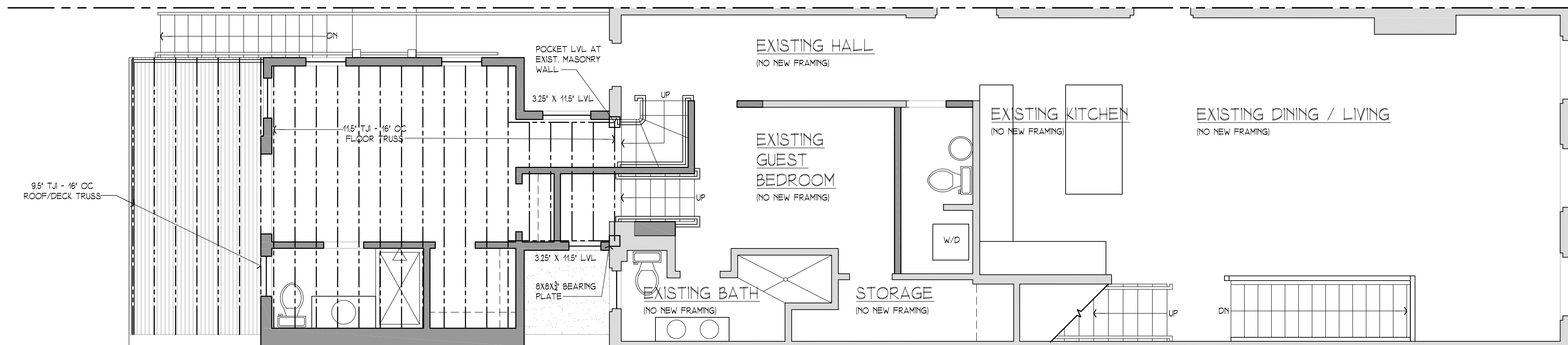
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S001



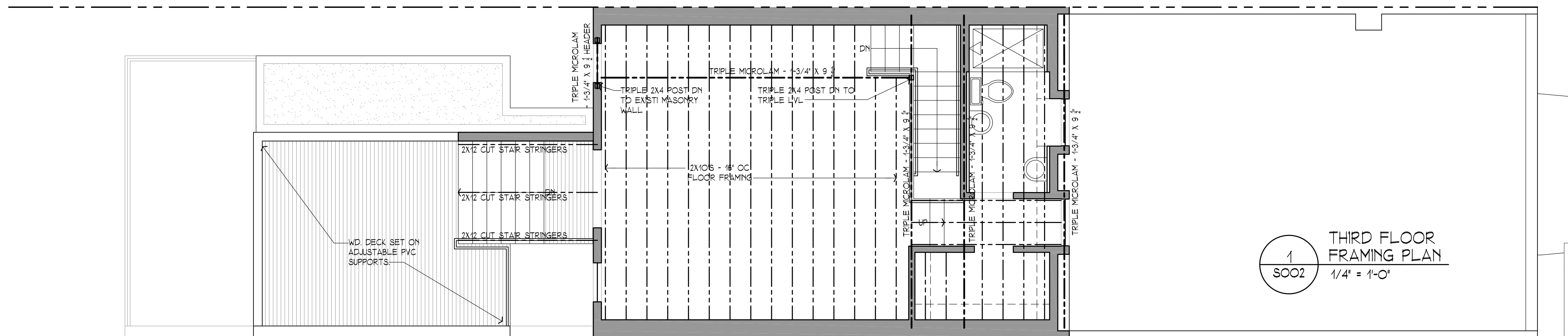
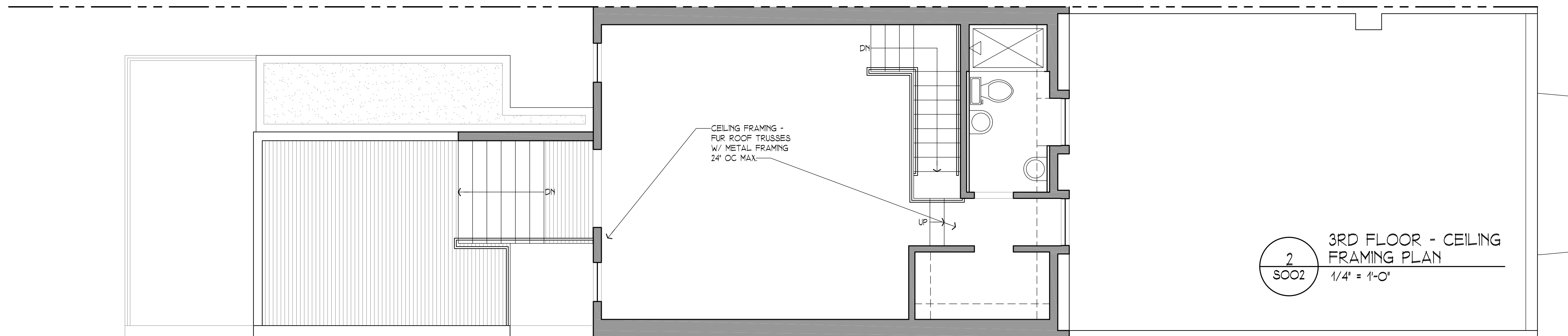
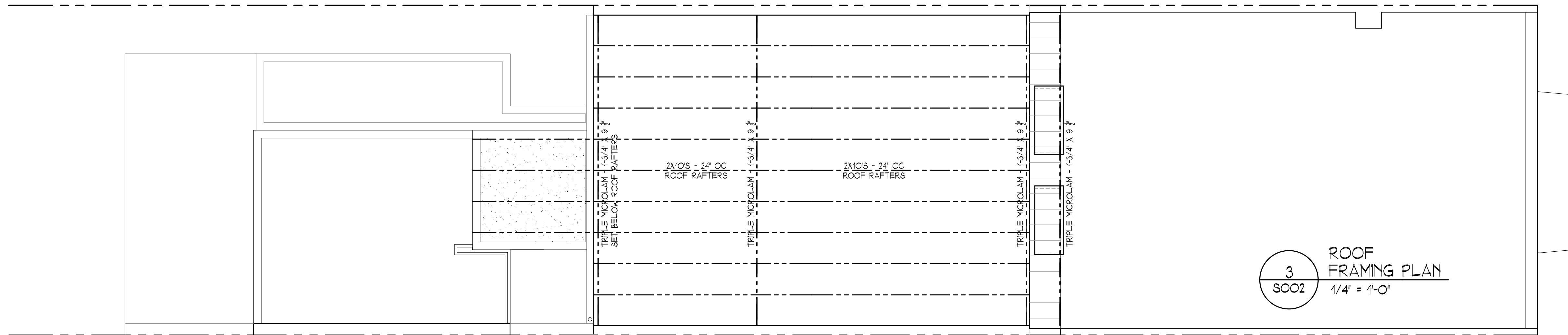
2  
S001  
SECOND FLOOR - LOFT  
FRAMING PLAN  
1/4" = 1'-0"



1  
S001  
SECOND FLOOR  
FRAMING PLAN  
1/4" = 1'-0"

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REVIEWS / REVISIONS		
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3rd Floor & Roof  
Framing Plan

SCALE: AS NOTED

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S002