



CFA/OGB Submission for Permit Extension

Approved per OG 21-170 (Containers) and OG 21-052 (Fence)

Sandlot Northwest, LLC
c/o EastBanc, Inc.

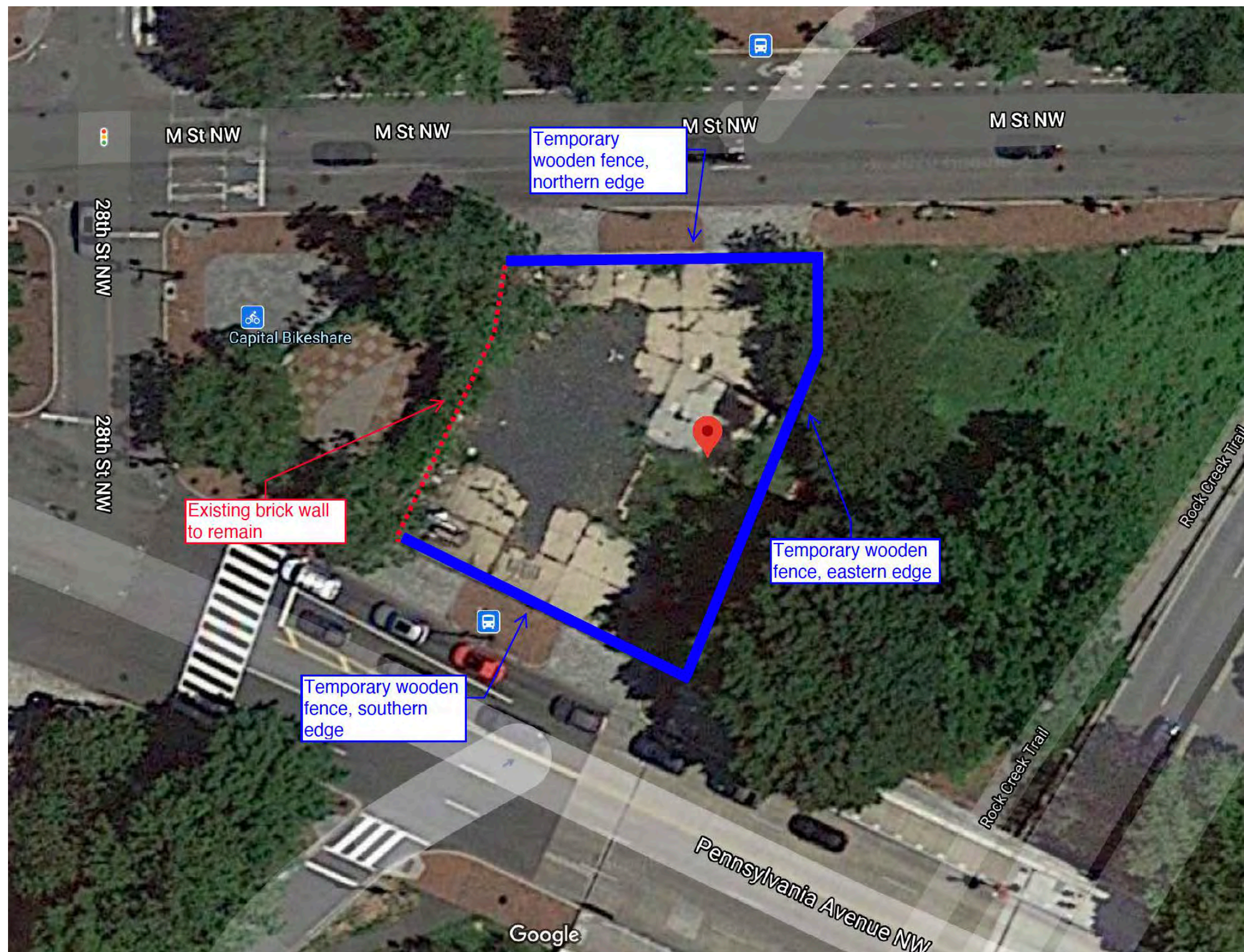
3307 M Street, NW, Suite 400 Washington
DC 20007 202.737.1000

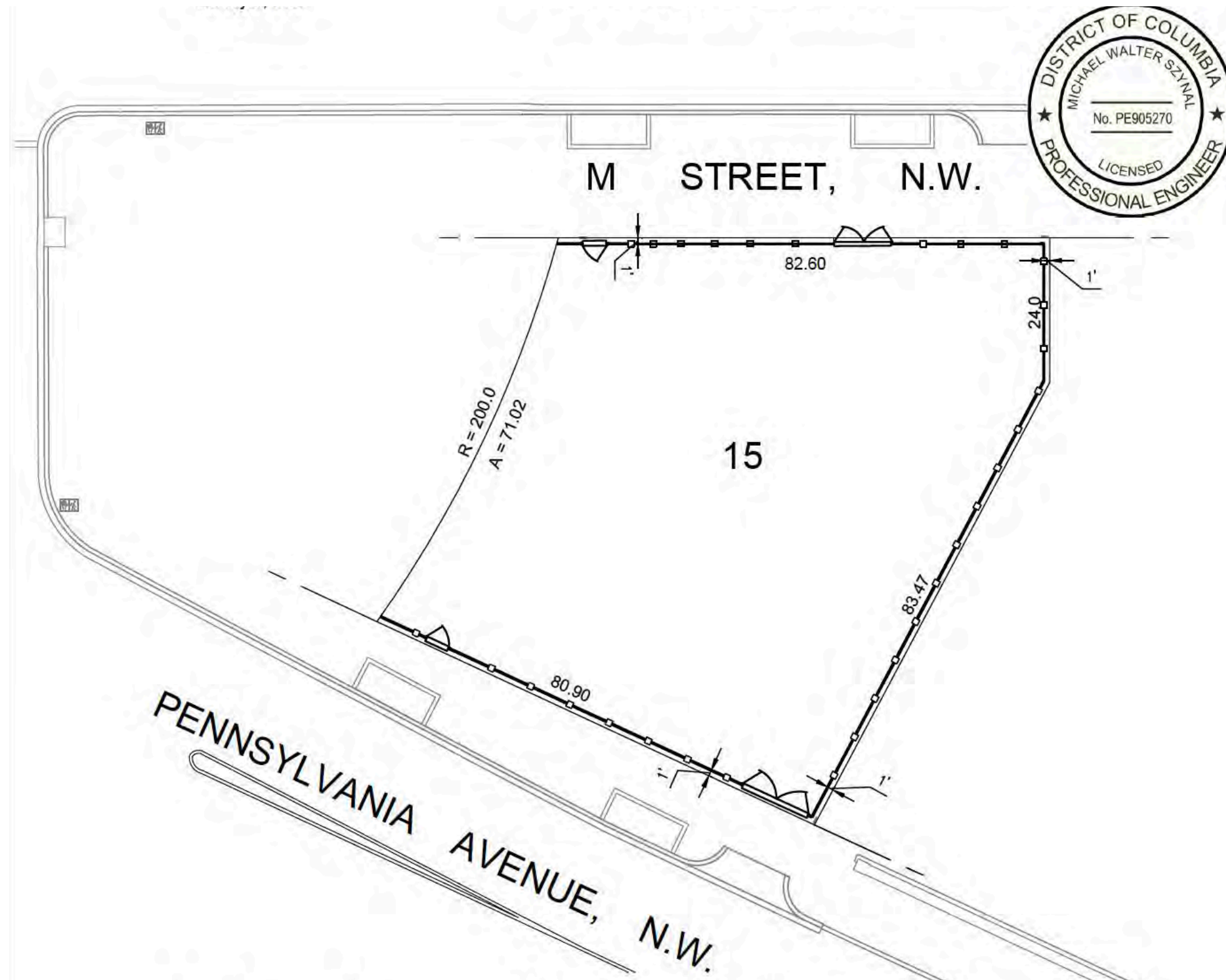
2715 Pennsylvania Avenue, NW
Certificate of Occupancy, Container, Fence Permits

Fence Permit: *F2200101 (extension of F2100279)*/Extension of: *B2102125*

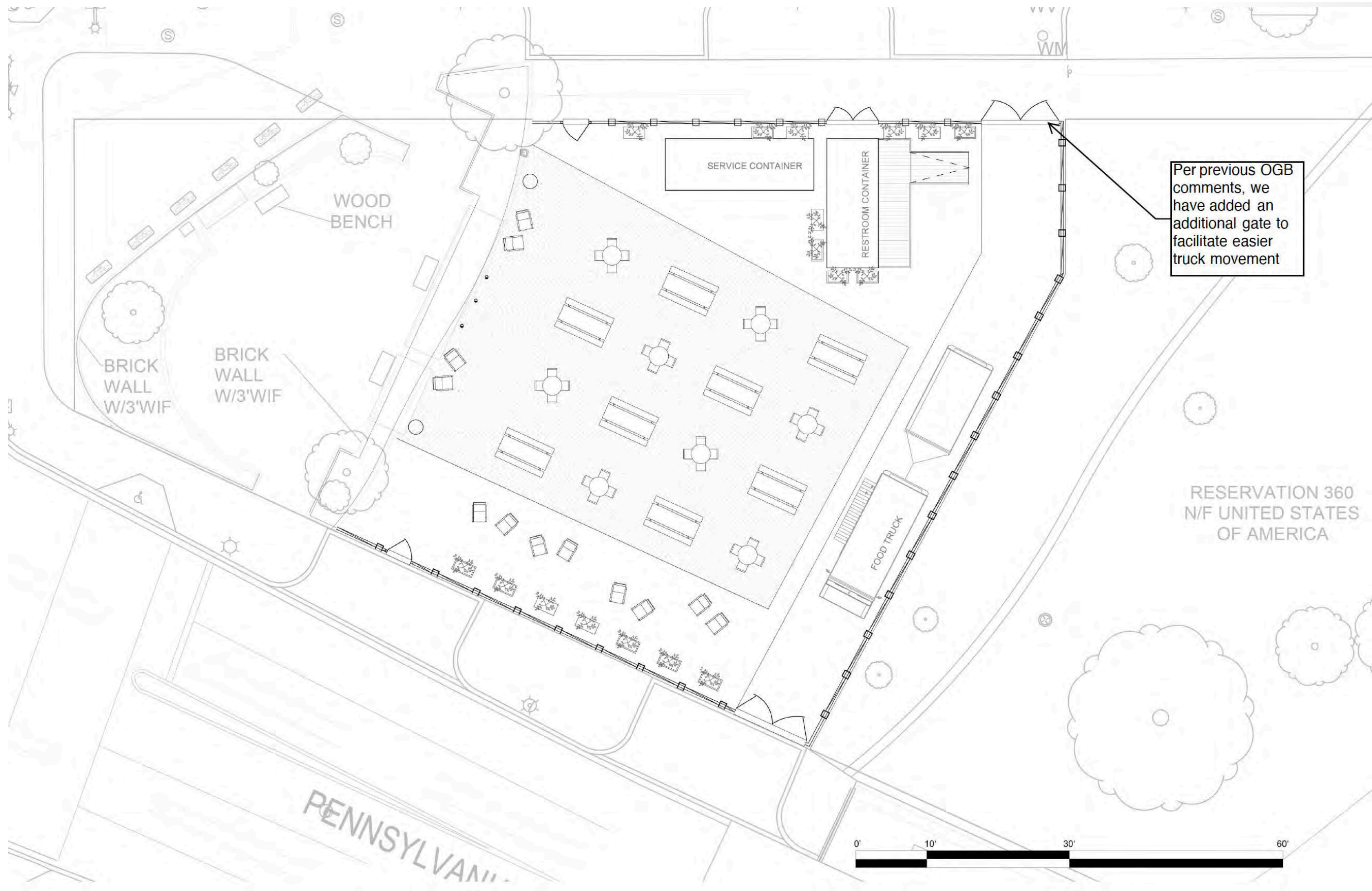
EastBanc

v1.3









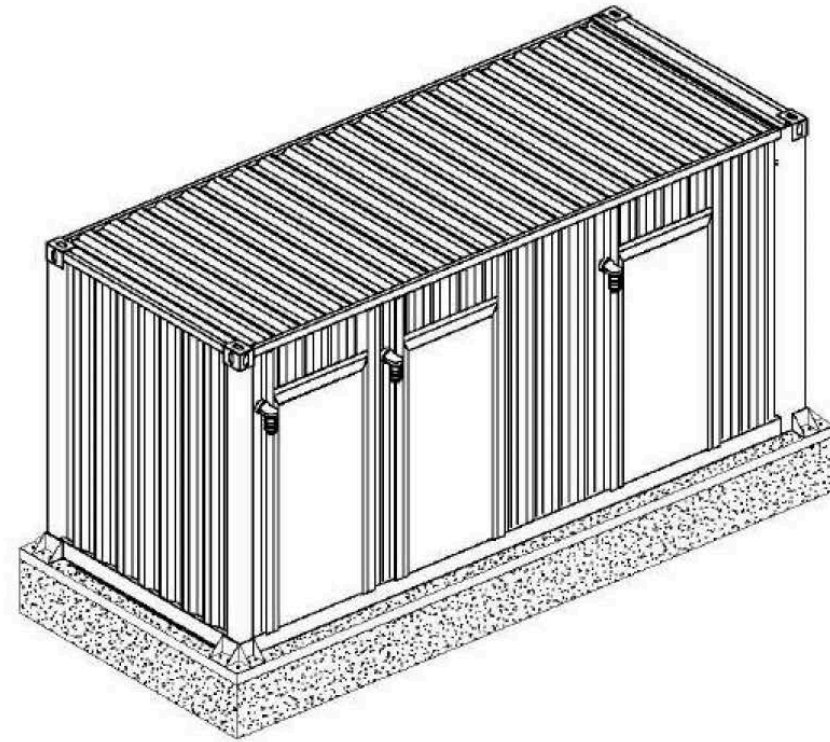




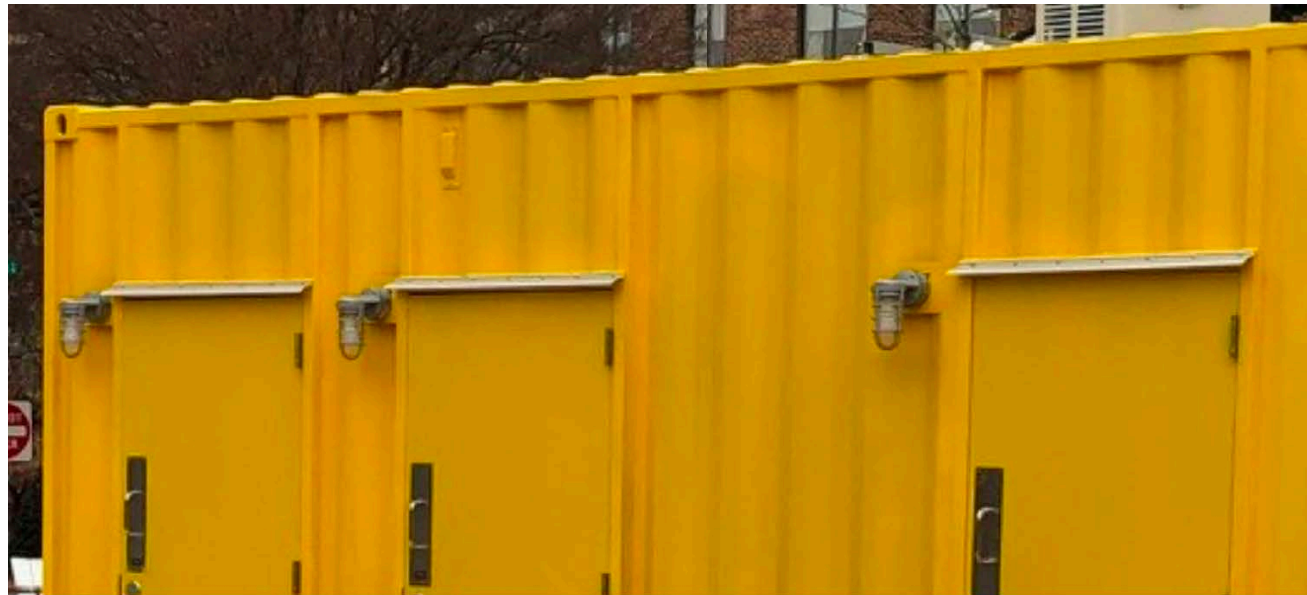








① RESTROOM AD VIEW





LONG® FENCE

4 BOARD Paddock

Fascia Board

48"

PROJECT DESCRIPTION

Job Name _____

Location _____

Date _____

Estimator _____

SPECIFICATIONS

Posts _____

Horizontal Boards _____

- NTS -



The Certificate of Occupancy, Container Permit and Fence Permit have a termination date of December 31, 2021. We are proposing to extend our permits for one additional year to **December 31, 2022** while we continue to navigate delays and supply chain constraints regarding our eventual development of 2715 Pennsylvania Avenue.

In the meantime, we would like to continue operations at Sandlot Georgetown, providing a place of community for the greater neighborhood and a gathering place for all.

Since its grand opening on May 6th, Sandlot Georgetown has become a place of gathering for the Georgetown community. Hosting weekly cultural events produced by Ian Callender, owner of Sandlot and our site's cultural arts operator, the temporary activation has provided something new to Georgetown and with its seasonal programming, an ever-evolving curation.

Additionally, throughout the course of operation, Sandlot Georgetown has provided various food options to the Georgetown community via food trucks, restaurant pop-ups, and mobile vending food trailers. One of our most successful and longest standing vendors this summer/fall season was the introduction of the PLNT Burger, a mobile food trailer showcasing plant-based food by DMV local operator, Spike Mendelsohn.



“Thankful” Market Pop Up w/ 10 local vendors, ranging from coffee, jewelry, vintage goods, and artwork showcasing small businesses



Comedy Show produced by NYC based Fools Circle Comedy hosted by Teklai



Adobo DMV event uniting the cultural diasporas of Central + South America, the Caribbean, and Africa in the DMV



DMVBESTIES hosted Sunday Brunch, a network building event for young adults in the DC metro area



PLNT Burger in collaboration with Vegan Drip sponsored event celebrating plant-based eating and DC as a hub for the movement



DC Native Toast event following the conclusion of the DC Native Ride



ADDENDA



C of O

CERTIFICATE OF OCCUPANCY

PERMIT NO. **CO2101928**



Issued Date: **04/21/2021**

Address: 2715 PENNSYLVANIA AVE NW		Zone: UNZONED	Ward: 2	Square: 1194	Suffix:	Lot: 015
Description of Occupancy: Outdoor Artspace, with summer garden, for gathering of up to 240 people Expires 12/31/2021						
Permission Is Hereby Granted To: INITIO LP	Trading As: N/A	Floor(s) Occupied 1ST, Summer Garden	Occupant Load: 240 No. of Seats			
Property Owner: INITIO LP	Address: 3307 M ST, NW WASHINGTON, DC 20007	BZA/PUD Number:	Occupied Sq. Footage: 120 PERMIT FEE: \$82.50			
Building Permit Number (if applicable) B2102125	Type of Application: Ownership Change	Approved Building Code Use Other (Specify): Approved Zoning Code Use Other Approved Zoning General Use Other				
Conditions/ Restrictions: THIS CERTIFICATE MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS MAIN ENTRANCE, EXCEPT PLACES OF RELIGIOUS ASSEMBLY. Use complies w DCMR Title 11 (Zoning) and Title 12 (Construction). As a condition precedent to the issuance of this Certificate, the owner agrees to conform with all conditions set forth herein, and to maintain the use authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all spaces whose use is authorized by this Certificate and to require any changes which may be necessary to ensure compliance with all the applicable regulations of the District of Columbia.						
Director: Ernest Chrappah <i>Ernest Chrappah</i>		Permit Clerk: ADMIN	Expiration Date: 12/31/2021			
4/28/2021 TO REPORT WASTE, FRAUD OR ABUSE BY ANY DC GOVERNMENT OFFICIAL, CALL THE DC INSPECTOR GENERAL AT 1-800-521-1639						

F

Department of Consumer and Regulatory Affairs

Permit Operations Division
1100 4th Street SW
Washington DC 20024
Tel. (202) 442 - 4589 Fax (202) 442 - 4862



FENCE PERMIT

PERMIT NO. F2100279

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT
THE ADDRESS OF WORK UNTIL WORK IS COMPLETED AND
APPROVED

Date: 02/18/2021

Address of Project: 2715 PENNSYLVANIA AVE NW		Suite No:	Zipcode: 20007	Zone:	Ward: 2	Square: 1194	Suffix:	Lot: 0015
Permission Is Hereby Granted To: Initio Lp		Owner Address: C/O EASTBANC, INC. 3307 M STREET, NW 3307 M ST NW WASHINGTON, DC 20007						
Description of Work: Amend Permit F2100098 for temporary fence. Construct 4' high pressure-treated horizontal board fence at the perimeter of the vacant lot at 2715 Pennsylvania Avenue, NW. No concrete footings or structural elements. It shall be removed by December 31, 2021.								
Fence Type: Wood	Exist Use of Bldg: Mixed Use (Specify)	Fence Height: 4	Material:		Color: Natural			
Type of Work:	Placement of Fence:	Entirely on Owners Property:		PERMIT FEE: \$36.30				
Contractors Name:		License Number: 410520000645		Contractors Address:				
Conditions/ Restrictions: <p>Approved to extend the duration of the temporary fence to end, and be removed by, December 31, 2021.</p> <p>This permit is associated with the building permit number .</p> <p>This permit expires if no construction is started within 1 year or if the last inspection is over 1</p> <p>All construction done according to the current construction codes and zoning regulations;</p> <p>As a condition precedent to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all work authorized by this permit and to require any change in construction which may be necessary to ensure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under this Permit must start within one(1) year of the date appearing on this permit or the permit is automatically void. If work is started, any application for</p>								
Director: Ernest Chrappah <i>Ernest Chrappah</i>		Permit Clerk JARCE		Expiration Date: 02/18/2022				
TO REPORT WASTE, FRAUD OR ABUSE BY ANY DC GOVERNMENT OFFICIAL, CALL THE DC INSPECTOR GENERAL AT 1-800-521-1639. To schedule a CONSTRUCTION INSPECTION or for INQUIRIES CALL (202) 442-9557 Call Miss Utility at 811 or 1-800-257-7777 at least 48 Hours prior to excavation to obtain a ticket. //www.missutility.net/washingtondc/dcstatelaw.asp								

EastBanc

Approved
Fence Permit

Department of Consumer and Regulatory Affairs

Permit Operations Division
1100 4th Street SW
Washington DC 20024

Tel. [REDACTED]

Fax [REDACTED]



B

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS OF WORK UNTIL WORK IS COMPLETED AND APPROVED

PERMIT NO.: B2102125

Issue Date: 04/02/2021

Expiration Date: 04/02/2022



Address of Project: 2715 PENNSYLVANIA AVE NW		Zone: JNZONED	Ward: 2	Square: 1194	Suffix:	Lot: 0015
Permit Restrictions: HPRB, YEARBUILT PRIOR 1978						
Permission Is Hereby Granted To: Initio Lp		Owner Address: 3307 M ST NW 3307 M ST NW WASHINGTON, DC 20007 353			PERMIT FEE: \$267.30	
Permit Type: Construction	Existing Use: Other (Specify)	Proposed Use: Other (Specify)	Building Construction Type TYPE V - Any Materials Permitted		Floor(s): 1	
Agent Name / Address: Olusola Pyne 200 Stevenson Square Alexandria, VA 22304		Contractor Name / Address : TRI KELLY CONSTRUCTION INC 3948 ADDISON WOODS ROAD FREDERICK, MD 21704		Existing Dwell Units: 0	Proposed Dwell Units: 0	No. of Stories: 1
<p>Description Of Work: Installation of new restroom shipping container on empty lot.</p> <p>Conditions/ Restrictions:</p> <p>1) Tempered water shall be provided for public hand-washing facilities. [2017 DCPC, 416.5] Tempered water shall be supplied through a temperature limiting device, following the requirements of Section 607.1.2. Note that the water heater setpoint does not satisfy this requirement. No signage or additional lighting shall be installed without further permit approval. No more trucks or temporary structures shall be parked or installed beyond what the plan indicates. Any further changes require additional permit review. All shipping containers, chairs, tables, trucks and other associated items SHALL be removed by December 31, 2021. This Permit Expires if no Construction is Started Within 1 Year or if the Inspection is Over 1 Year. All Construction Done According To The Current Building Codes And Zoning Regulations; As a condition precedent to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all work authorized by this permit and to require any change in construction which may be necessary to ensure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under this Permit must start within one(1) year of the date appearing on this permit or the permit is automatically void. If work is started, any application for partial refund</p> <p>If this permit was issued to a building built before 1978, it is subject to full compliance with the Lead-Hazard Prevention and Elimination Act, its associated regulations, and the EPA Lead Renovation, Repair and Painting Rule. To determine how to comply, submit a Lead-Activity Notification form at https://doee.dc.gov/service/leadpaintapplications prior to beginning work under the permit. For more information, visit the Department of Energy and Environment's Lead-Safe and Healthy Housing Division website at https://doee.dc.gov/lead or contact them at [REDACTED]. For more information on how to comply with EPA visit https://www.epa.gov/lead.</p>						
Director: Ernest Chrappah		Permit Clerk TCARRINGTON				
TO REPORT WASTE, FRAUD OR ABUSE BY ANY DC GOVERNMENT OFFICIAL, CALL THE DC INSPECTOR GENERAL AT [REDACTED] To schedule a CONSTRUCTION INSPECTION or for INQUIRIES CALL [REDACTED] Call Miss Utility at 811 or [REDACTED] at least 48 Hours prior to excavation to obtain a ticket. http://www.missutility.net/wshingtdc/dcstatelaw.asp						

Approved
Container Permit

EastBanc

Form 10-1 (12/12) Date: 11/1/21
All work must be done strictly in accordance with the approved plans. Approved plans shall be kept on the site until completion of the construction. No inspection will be made without approved plans on site. The approval does not prevent a field inspection from making corrections to meet code when

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., March 9, 2020

Plat for Building Permit of SQUARE 1194 LOT 15

Scale: 1 inch = 20 feet

Recorded in Book 210 Page 117

Receipt No. 20-03172 Drawn by: A.S.

Furnished to: MICHAEL W. SZYNAL

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

Lynn Savoia

For: Surveyor, D.C.

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;

2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy previous surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application B2102125 and

3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:

1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;

2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;

3) I have/ have not (circle one) filed a subdivision application with the Office of the Surveyor;

4) I have/ have not (circle one) filed a division of lots application with the Office of Tax & Revenue; and

5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.

Plats issued by the Office of the Surveyor will be valid for a period of two years from the date of issuance. I acknowledge that any inaccuracy or error in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

Signature: [Signature] Date: 11-05-2020

Printed Name: Michael Szynal Relationship to Lot Owner: Engineer

If a registered design professional, provide license number PE905270 and include stamp below

