











R101809



DOEE APPROVAL STAMPS

GENERAL NOTES

- TWO-FOOT CONTOUR DATA BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED APRIL, 2019.
- BOUNDARY INFORMATION BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED APRIL, 2019.
- ZONING: R-20
MINIMUM LOT WIDTH = 20 FEET (ATTACHED)
MINIMUM LOT AREA = 2,000 SQUARE FEET (ATTACHED)
MAXIMUM BUILDING HEIGHT = 35 FEET / 3 STORES
FRONT S.F.L. = NONE (ATTACHED BUILDINGS), IF PROVIDED FOLLOW 11D DCMR 1205.2
MINIMUM REAR YARD = 20 FEET
MINIMUM SIDE YARD = NONE (ATTACHED BUILDINGS), IF PROVIDED FOLLOW 11D DCMR 1207.2
MAXIMUM LOT OCCUPANCY = 60% (ATTACHED)
MINIMUM PERVIOUS SURFACE COVERAGE = 20%

NOTE: SITE IS WITHIN THE GEORGETOWN HISTORIC DISTRICT AND THE COMMISSION OF FINE ARTS JURISDICTION AREA. ADDITIONAL RESTRICTIONS AND REVIEWS MAY APPLY.

- TOTAL LOT AREA: LOT 0114 = 2,100 SQUARE FEET (0.05 ACRES)
- PROJECT IS WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS PER FEMA FLOOD INSURANCE RATE MAP PANEL No. 11000100106C.
- FINAL GAS AND ELECTRIC ALIGNMENT SUBJECT TO UTILITY COMPANY APPROVAL. FOR FIELD LOCATION AND ABANDONMENT / REMOVAL OF GAS MAINS AND SERVICE CONNECTIONS, CONTRACTOR SHALL NOTIFY WASHINGTON GAS LIGHT COMPANY, (703) 750-1000, 72 HOURS PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION.

- EX. WATER AND SEWER LINES TO BE "TEST -PITTED" PRIOR TO CONSTRUCTION. PROPOSED WATER AND SEWER TO BE ADJUSTED HORIZONTALLY AND VERTICALLY AS NECESSARY. COORDINATE ANY MODIFICATIONS WITH DC WATER INSPECTOR AND CAS ENGINEERING-DC, LLC AS APPROPRIATE. THE CONTRACTOR SHALL HAND DIG TEST PITS AT ALL UTILITY CROSSINGS AND CONNECTING POINTS TO DETERMINE THE EXACT LOCATION AND DEPTH WELL IN ADVANCE OF CONSTRUCTION.

- D.C. STANDARD DETAILS WHERE SHOWN ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL OBTAIN THE MOST CURRENT APPLICABLE D.C. DETAILS AND STANDARDS AND PERFORM CONSTRUCTION ACCORDINGLY.

- CONTRACTOR SHALL CONTACT DEPARTMENT OF PUBLIC WORKS - PUBLIC SPACE MAINTENANCE ADMINISTRATION, 48 HOURS PRIOR TO START OF CONSTRUCTION, AT (202) 645-7050.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, REPLACING AND/OR RESTORING ANY AND ALL UTILITY SERVICE CONNECTIONS DISTURBED DURING CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE ACTIVE/INACTIVE STATUS OF ANY EXISTING UTILITIES ENCOUNTERED ON SITE AND ABANDON OR RELOCATE AS APPROPRIATE. ABANDONMENT SHALL BE IN ACCORDANCE WITH DC WATER STANDARDS AND DETAILS.

- CONTRACTOR IS TO VERIFY FIELD CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND NOTIFY CAS ENGINEERING AT (202) 393-7200 IMMEDIATELY IF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE APPROVED PLANS.

- THE CONTRACTOR SHALL PERFORM ALL CONSTRUCTION IN PUBLIC SPACE IN ACCORDANCE WITH D.C. DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES, LATEST EDITION. THE CONTRACTOR SHALL OBTAIN SAID SPECIFICATIONS.

- CONTRACTOR SHALL OBTAIN OR ENSURE THAT OTHERS HAVE OBTAINED ALL NECESSARY PERMITS AND APPROVALS PRIOR TO PROCEEDING WITH DEMOLITION/RAZING OF EXISTING IMPROVEMENTS AND CONSTRUCTION OF NEW IMPROVEMENTS.

PROJECT NARRATIVE

THIS PROJECT PROPOSES TO REPAIR AN EXISTING RETAINING WALL IN THE FRONT YARD OF A SITE CONTAINING AN ATTACHED SINGLE-FAMILY RESIDENTIAL DWELLING AND ASSOCIATED APPURTENANCES.

SITE CONSTRUCTION NOTES

- PROPOSED UTILITY LOCATIONS SUBJECT TO FIELD MODIFICATION AND UTILITY COMPANY APPROVAL.
- CONTRACTOR TO ADJUST ALL EXISTING UTILITY TOPS (I.E. CLEANOUTS, MANHOLES, VALVE COVERS, ETC.) TO FINAL GRADE WHERE NECESSARY.
- CONTRACTOR TO COORDINATE ABANDONMENT OF ALL EXISTING UTILITIES AS NECESSARY.
- CONTRACTOR TO COORDINATE ON-SITE UTILITY CROSSINGS TO ENSURE ADEQUATE SEPARATION AT INTERSECTIONS.
- TEST PIT ALL UTILITY CROSSINGS PRIOR TO START OF CONSTRUCTION, ANY FIELD MODIFICATION TO BE COORDINATED WITH APPROPRIATE UTILITY AND/OR DC INSPECTOR.
- PROPOSED RETAINING WALLS SHOWN ARE TO BE DESIGNED BY OTHERS, TYPICAL.
- FOR FINAL LANDSCAPE/HARDSCAPE DETAILS, SPECIFICATIONS, ELEVATIONS, AND DIMENSIONS SEE LANDSCAPE PLANS, POOL PLANS, OR ARCHITECTURAL PLANS, AS APPROPRIATE.
- FOR TREE PROTECTION MEASURES SEE PLANS AND REPORTS BY OTHERS AS APPLICABLE.
- CONTRACTOR TO MAINTAIN DRAINAGE FACILITIES ON AND THROUGH THE SITE AT ALL TIMES DURING CONSTRUCTION. UTILITY TEMPORARY FACILITIES/FEATURES AND/OR CONNECTIONS AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE.
- CONTRACTOR TO COMPLETE SITE GRADING AND PAVING TO ENSURE POSITIVE DRAINAGE TO ALL INLETS OR NATURAL DRAINAGE COURSES TO PREVENT PONDING AND THE CREATION OF LOW SPOTS.
- CONTRACTOR TO REVIEW IE IN POINTS WITH EXISTING PAVING AND GRADING WHERE PROPOSED ON AND ADJACENT TO PROJECT SITE. ADJUST WITH TRANSITIONS AND COORDINATE WITH CAS ENGINEERING AS APPROPRIATE.
- CONTRACTOR RESPONSIBLE FOR ENSURING THAT ROUTES MEET AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS WHERE REQUIRED/APPLICABLE. 2% MINIMUM SLOPE, 2% MAXIMUM CROSS SLOPE. CONTRACTOR ALSO RESPONSIBLE FOR ENSURING THAT RAMPS MEET ADA REQUIREMENTS, WHERE REQUIRED/APPLICABLE, 8.3% MAXIMUM SLOPE AND 2% MAXIMUM CROSS SLOPE.
- CONTRACTOR TO MAINTAIN FIRE DEPARTMENT AND EMERGENCY ACCESS ROUTES TO SITE AND TO APPLICABLE APPURTENANCES (I.E. FIRE HYDRANTS) DURING CONSTRUCTION UNLESS PRIOR APPROVAL IS OBTAINED FROM APPROPRIATE DISTRICT AGENCIES.

TREE PROTECTION NOTES

CONTRACTOR TO SECURE ALL NECESSARY PERMITS, AND COORDINATE ANY DISTURBANCE WITHIN CRITICAL ROOT ZONE OR DRIP LINE OF STREET TREES WITH DDOT URBAN FORESTRY ARBORIST. DDOT UFA WARD 2 ARBORIST = REBECCA SCHWARTZ, rebecca.schwartz@ddc.gov, (202) 779-2370.

- STREET TREES TO BE PROTECTED WITH A 6-FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4' x 9') OR THE DRIP LINE IN A PLANTING STRIP. DRIP LINE IS THE GROUND AREA UNDER THE CANOPY OF A TREE.
- ALL TREE PROTECTION MEASURES AND EXCAVATION SHALL COMPLY WITH 2013 DDOT STANDARD SPECIFICATIONS (SOLD BOOK), SECTIONS 207.03, 608.07 AND 608.08.
- NONE OF THE FOLLOWING SHALL OCCUR WITHIN THE ROOT ZONE OF A STREET TREE WITHOUT DDOT UFA PERMISSION: ALTERATION OR DISTURBANCE TO EXISTING GRADE, STAGING/STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT, SOIL, OR DEBRIS, DISPOSAL OF ANY LIQUIDS (E.G. CONCRETE, GAS, OIL, PAINT AND BLACKTOP), AND TRENCING.
- SILT FENCE AND SUPER SILT FENCE ARE PROHIBITED WITHIN THE ROOT ZONE OF A STREET TREE. TRENS WITHIN THE ROOT ZONE SHALL BE FILLED WITH STRAW BALES OR APPROVED EQUIVALENTS SHALL BE USED.
- ROOT ZONE IS MEASURED AT 4.5-FT. ABOVE GRADE FROM THE NEAR SIDE OF THE TRUNK TO THE DISTANCE THAT EQUALS THE TREE DIAMETER x 1.5-FEET OR TO THE DRIP LINE OF A STREET TREE, WHATEVER IS GREATER.
- NO HEAVY EQUIPMENT SHALL BE USED TO REMOVE EXISTING HARDSCAPE WITHIN THE DRIP LINE OF AN EXISTING STREET TREE.
- EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL NOT CAUSE INJURY TO TREE TRUNKS, BRANCHES AND ROOTS.
- NO ROOTS GREATER THAN TWO (2) INCHES IN DIAMETER SHALL BE CUT WITHOUT DDOT UFA PERMISSION. EXPOSED ROOTS TWO (2) INCHES AND LARGER IN DIAMETER SHALL BE WRAPPED IN BURLAP OR OTHER APPROVED MATERIAL AND KEPT MOST AT ALL TIMES.
- IF THERE ARE ANY TREE CONFLICTS ON THIS JOB SITE, THE PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND CONTACT THE DDOT UFA WARD ARBORIST TO RECEIVE CLEARANCE TO CONTINUE.
- IF A STREET TREE REQUIRES REMOVAL, APPLICANT MUST APPLY FOR A CONSTRUCTION/EXCAVATION PERMIT FOR ITS REMOVALS AS PER THE FOLLOWING: HEALTHY STREET TREE: LANDSCAPING = TREE REMOVAL @ \$100 PER INCH DIAMETER OR UNHEALTHY STREET TREE: LANDSCAPING = TREE REPLACEMENT @ 1:1 REPLACEMENT PLANTING.

UTILITY INFORMATION

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.

UTILITY	REQUEST DATE	BY	INFO RECEIVED	PLAN REVISED	BY
AT&T	03/14/2019	MSL	-	-	-
COMCAST	03/14/2019	MSL	-	-	-
MCJ/WORLDCOM	03/14/2019	MSL	-	-	-
PEPCO	03/14/2019	MSL	-	-	-
VERIZON	03/14/2019	MSL	03/29/2019	04/09/2019	BDA
WASH. GAS	03/14/2019	MSL	03/15/2019	04/09/2019	BDA
DC SEWER	03/14/2019	MSL	-	04/09/2019	BDA
DC WATER	03/14/2019	MSL	-	04/09/2019	BDA

MISS UTILITY
FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/TIC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL JURISDICTION REQUIREMENTS.

CONSTRUCTION SEQUENCE

CONTRACTOR TO SECURE ALL NECESSARY PERMITS, AND CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR, (202) 535-2977 AND 868.schmidling@dc.gov, PRIOR TO THE START OF CONSTRUCTION OR ANY LAND DISTURBANCE.

- INSTALL SEDIMENT CONTROL MEASURES AS SHOWN ON THIS PLAN.
- REMOVE EXISTING VEGETATION AND FEATURES AS NECESSARY.
- BEGIN ROUGH GRADING OPERATIONS TO BRING LOT TO GRADE.
- PROCEED WITH WALL REPAIR AND CONSTRUCTION.
- BEGIN CONSTRUCTION/INSTALLATION OF UNDERGROUND UTILITIES IF APPLICABLE.
- CONTINUE WALL REPAIR AND OTHER ASSOCIATED CONSTRUCTION, INCLUDING ALL INTERIOR PLUMBING AND APPURTENANCES.
- COMPLETE WALL REPAIR AND OTHER ASSOCIATED CONSTRUCTION, STABILIZE ALL DISTURBED AREAS PER DC SEDIMENT CONTROL REQUIREMENTS.
- REMOVE SEDIMENT CONTROL DEVICES AFTER ENTIRE SITE IS STABILIZED, AND PERMISSION IS RECEIVED FROM THE SEDIMENT CONTROL INSPECTOR.

SEDIMENT CONTROL NARRATIVE

PROJECT DESCRIPTION

THIS PROJECT PROPOSES TO THIS PROJECT PROPOSES TO REPAIR AN EXISTING RETAINING WALL IN THE FRONT YARD OF A SITE CONTAINING AN ATTACHED SINGLE-FAMILY RESIDENTIAL DWELLING AND ASSOCIATED APPURTENANCES ON A LOT APPROXIMATELY 2,100 SQUARE FEET IN SIZE. THE TOTAL DISTURBED AREA = 500 SQUARE FEET. PROJECTED EARTHWORK QUANTITIES ARE: CUT = 10 CUBIC YARDS, FILL = 10 CUBIC YARDS.

EXISTING SITE CONDITIONS

THIS LOT CURRENTLY IMPROVED WITH AN ATTACHED SINGLE-FAMILY RESIDENTIAL DWELLING AND ASSOCIATED SITE APPURTENANCES.

ADJACENT AREAS

THIS NEIGHBORHOOD CAN BE CHARACTERIZED AS RESIDENTIAL. THIS PARTICULAR LOT IS BOUNDED TO THE EAST AND WEST BY ATTACHED SINGLE-FAMILY DWELLINGS, TO THE SOUTH BY A PUBLIC ALLEY, AND TO THE NORTH BY O STREET, NW.

OFF-SITE AREAS

THERE IS NOT AN ANTICIPATED NEED FOR A BORROW OR SPOILS SITE. IF NECESSARY, A SITE WILL BE LOCATED DURING CONSTRUCTION ACTIVITIES, BASED ON THE LOCATION OF OTHER CONSTRUCTION SITES IN THE VICINITY.

CRITICAL AREAS

NONE EXIST ON THIS SITE.

SOILS

THE SOILS ON SITE CONSIST OF UGc (URBAN LAND-MANOR COMPLEX) SOILS. UGc ARE AREAS OF URBAN LAND AND WELL DRAINED TO SOMEWHAT EXCESSIVELY DRAINED MANOR SOILS THAT HAVE BEEN GRADED, CUT, FILLED, OR OTHERWISE DISTURBED DURING CONSTRUCTION AND IDENTIFICATION OF SOILS OR SOIL-LIKE MATERIALS IN THIS UNIT IS IMPRACTICAL BECAUSE SOILS ARE COVERED BY IMPERVIOUS SURFACES. CAREFUL ON-SITE INVESTIGATION IS RECOMMENDED TO DETERMINE THE POTENTIAL AND LIMITATIONS FOR ANY PROPOSED USES.

SEDIMENT CONTROL MEASURES

SEE SHEETS CIV001, CIV010, CIV300, CIV301, CIV302, AND CIV303 FOR THE SEDIMENT CONTROL SEQUENCE OF CONSTRUCTION, DETAILED SEDIMENT CONTROL INFORMATION, DETAILS, SPECIFICATIONS, ETC.

PERMANENT STABILIZATION

THE SITE SHALL BE PERMANENTLY STABILIZED PER THE SEQUENCE OF CONSTRUCTION ON SHEET CIV001 AND IN ACCORDANCE WITH D.C. STANDARDS AS PROVIDED FOR ON SHEETS CIV301, CIV302, AND CIV303.

STORMWATER MANAGEMENT

THIS PROJECT IS EXEMPT FROM STORMWATER MANAGEMENT REQUIREMENTS; SEE NOTE ON THIS SHEET.

UNDERGROUND UTILITY WORK NOTES

- WHEN CONDUCTING UNDERGROUND UTILITY WORK DO NOT OPEN MORE THAN FIVE HUNDRED LINEAR FEET (500 FT.) OF TRENCH AT ANY ONE TIME.
- FILTER WATER PUMPED OUT OF TRENCH EXCAVATIONS PRIOR TO DISCHARGE TO THE STORM SEWER SYSTEM.
- PLACE EXCAVATED MATERIAL FOR UTILITY WORK ON THE UPHILL SIDE OF A TRENCH.
- INSTALL INTERIM OR PERMANENT STABILIZATION IMMEDIATELY AFTER A UTILITY TRENCH IS REFILLED.
- USE MULCH AND MATING ON EXCAVATED MATERIAL TO MINIMIZE THEIR EROSION WHEN NATURAL OR ARTIFICIAL GRASS FILTER STRIPS ARE INSTALLED TO RECEIVE STORMWATER RUNOFF FROM EXCAVATED MATERIALS.

SUPPLEMENTAL EROSION AND SEDIMENT CONTROL NOTES

- EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF GUTTERS AND DOWNSPOUTS AS SOON AS PRACTICABLE.
- MEASURES SHALL BE TAKEN TO ACHIEVE A NON-ERODING VELOCITY FOR STORMWATER EXITING FROM A ROOF OR DOWNSPOUT OR TO TEMPORARILY PIPE THAT STORMWATER DIRECTLY INTO A STORM DRAIN.
- THE SITE WORK SHALL MAXIMIZE THE PRESERVATION OF NATURAL VEGETATION AND LIMIT THE REMOVAL OF VEGETATION TO WHAT IS NECESSARY FOR CONSTRUCTION OR LANDSCAPING ACTIVITY.
- IF SITE CONDITIONS PRECLUDE EMPLOYMENT OF OTHER MEANS OF EROSION CONTROL, THE DEPARTMENT (DOEE) MAY APPROVE INSTALLATION OF SMALL DIKES CONTROLLED ALONG A LOW-LYING PERIMETER AREA OF A JOB SITE.
- SEDIMENTS TRAPS OR BASINS AND OTHER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED NO LATER THAN THE FIRST PHASE OF LAND GRADING.
- SEDIMENT TRAPS OR BASIN AND OTHER ESC'S SHALL BE INSTALLED AS SOON AS NEW SITE-RELATED RUNOFF IS DETECTED AND EMPLOYED AT ALL TIMES TO PROTECT INLETS OR STORM SEWERS BELOW SILT PRODUCING AREAS.
- NO LATER THAN THE FIRST DAY OF CONSTRUCTION INSTALL SITE ACCESS MEASURES TO MINIMUM OFF-SITE VEHICLE TRACKING OF SEDIMENTS. EACH CONSTRUCTION ENTRANCE MUST BE STABILIZED AND INCLUDE EACH ADDITIONAL MEASURE REQUIRED TO KEEP SEDIMENT FROM BEING CARRIED ON TO PUBLIC STREETS BY CONSTRUCTION VEHICLES AND WASHED INTO A STORM DRAIN OR WATERWAYS.
- REMOVE OFF-SITE ACCUMULATION OF SEDIMENT DAILY DURING CONSTRUCTION AND IMMEDIATELY AT THE REQUEST OF A DOEE INSPECTOR.

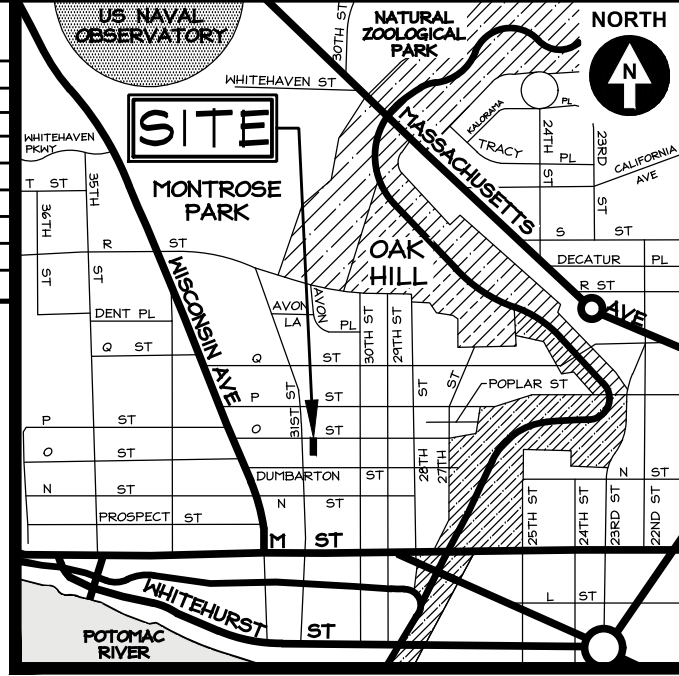
DEMOLITION SEQUENCE

CONTRACTOR TO SECURE ALL NECESSARY PERMITS, AND CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR PRIOR TO THE START OF CONSTRUCTION OR ANY LAND DISTURBANCE. CALL (202) 535-2977, OR (202) 590-0075 AND 868.schmidling@dc.gov, TO SCHEDULE A PRE-CONSTRUCTION MEETING.

- INSTALL SEDIMENT CONTROL MEASURES AS SHOWN ON PLAN SHEET CIV010.
- PROCEED WITH DEMOLITION. DEMOLISH EXISTING STRUCTURES WITH APPROPRIATE EQUIPMENT.
- REMOVE DEBRIS FROM SITE BY TRUCK. TEMPORARILY STABILIZE ALL DISTURBED AREAS PER DC SEDIMENT CONTROL REQUIREMENTS.
- REMOVE SEDIMENT CONTROL DEVICES AFTER ENTIRE SITE IS STABILIZED AND PERMISSION IS RECEIVED FROM THE SEDIMENT CONTROL INSPECTOR. SOME SEDIMENT CONTROL MEASURES MAY BE RETAINED TO USE FOR FUTURE CONSTRUCTION OF A NEW STRUCTURE AS APPLICABLE. COORDINATE WITH DC INSPECTOR.

INDEX OF CIVIL DRAWINGS

NO.	TITLE
CIV001	CIVIL COVER SHEET
CIV100	EXISTING CONDITIONS PLAN
CIV101	DEMOLITION SEDIMENT CONTROL PLAN
CIV200	BUILDING PERMIT SITE AND GRADING PLAN
CIV300	SEDIMENT CONTROL PLAN
CIV301	SEDIMENT CONTROL NOTES
CIV302	SEDIMENT CONTROL NOTES
CIV303	SEDIMENT CONTROL DETAILS



VICINITY MAP
ADC MAP 5526, GRID A-5
SCALE: 1" = 2000'

DOEE SOIL EROSION AND SEDIMENT CONTROL PLAN GENERAL NOTES

- FOLLOWING INITIAL LAND DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR INTERIM STABILIZATION MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOR THE SURFACES OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1), AND FOURTEEN (14) DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THESE REQUIREMENTS DO NOT APPLY TO AREAS SHOWN ON THE PLAN THAT ARE USED FOR MATERIAL STORAGE OTHER THAN STOCKPILING, OR FOR THOSE AREAS ON THE PLAN WHERE ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY SO THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE DISTRICT OF COLUMBIA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (ESC). [21 DCMR § 542.9 (C)]
- ESC MEASURES SHALL BE IN PLACE BEFORE AND DURING LAND DISTURBANCE. [21 DCMR § 543.6]
- CONTACT DOEE INSPECTION (202) 535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING. AT LEAST THREE (3) BUSINESS DAYS BEFORE THE COMMENCEMENT OF A LAND-DISTURBING ACTIVITY. [21 DCMR § 543.7 (A)]
- A COPY OF THE APPROVED PLAN SET WILL BE MAINTAINED AT THE CONSTRUCTION SITE FROM THE DATE THAT CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION AND WILL BE AVAILABLE FOR DOEE INSPECTORS. [21 DCMR § 542.15]
- ESC MEASURES SHALL BE IN PLACE TO STABILIZE AN EXPOSED AREA AS SOON AS PRACTICABLE AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED BUT NO LATER THAN FOURTEEN (14) DAYS FOLLOWING CESSATION, EXCEPT THAT TEMPORARY OR PERMANENT STABILIZATION SHALL BE IN PLACE AT THE END OF EACH DAY OF UNDERGROUND UTILITY WORK THAT IS NOT CONTAINED WITHIN A LARGER DEVELOPMENT SITE. [21 DCMR § 543.7]
- STOCKPILED MATERIAL BEING ACTIVELY USED DURING A PHASE OF CONSTRUCTION SHALL BE PROTECTED AGAINST EROSION BY ESTABLISHING AND MAINTAINING PERIMETER CONTROLS AROUND THE STOCKPILE. [21 DCMR § 543.16 (A)]
- STOCKPILED MATERIAL NOT BEING ACTIVELY USED OR ADDED TO SHALL BE STABILIZED WITH MULCH, TEMPORARY VEGETATION, HYDRO-SEED OR PLASTIC WITHIN FIFTEEN (15) CALENDAR DAYS AFTER ITS LAST USE OR ADDITION. [21 DCMR § 543.16 (B)]
- FILL MATERIAL MUST BE FREE OF CONTAMINATION LEVELS OF ANY POLLUTANT THAT IS, OR MAY BE CONSIDERED TO REPRESENT, A POSSIBLE HEALTH HAZARD TO THE PUBLIC OR MAY BE DETRIMENTAL TO SURFACE OR GROUND WATER QUALITY, OR WHICH MAY CAUSE DAMAGE TO PROPERTY OR THE DRAINAGE SYSTEM. ALL FILL MATERIAL MUST BE FREE OF HAZARDOUS MATERIALS AND COMPLY WITH ALL APPLICABLE DISTRICT AND FEDERAL REGULATIONS.
- PROTECT BEST MANAGEMENT PRACTICES FROM SEDIMENTATION AND OTHER DAMAGE DURING CONSTRUCTION FOR PROPER POST CONSTRUCTION OPERATION. [21 DCMR § 543.5]
- REQUEST A DOEE INSPECTOR'S APPROVAL AFTER THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. [21 DCMR § 542.12 (A)]
- REQUEST A DOEE INSPECTOR'S APPROVAL AFTER FINAL STABILIZATION OF THE SITE AND BEFORE THE REMOVAL OF EROSION AND SEDIMENT CONTROLS. [21 DCMR § 542.12 (B)]
- FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND EITHER OF THE FOLLOWING TWO CRITERIA HAVE BEEN MET: (1) A UNIFORM (FOR EXAMPLE, EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF SEVENTY PERCENT (70%) OF THE NATURAL OR BACKGROUND VEGETATIVE COVER FOR THE AREA HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR (2) EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES). [21 DCMR § 542.12 (B.1, B.2)]
- FOLLOW THE REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN A LEGIBLE COPY OF THIS SWPPP ON SITE. [21 DCMR § 543.10 (B)]
- POST A SIGN THAT NOTIFIES THE PUBLIC TO CONTACT DOEE IN THE EVENT OF EROSION OR OTHER POLLUTION. THE SIGN WILL BE PLACED AT EACH ENTRANCE TO THE SITE OR AS DIRECTED BY THE DOEE INSPECTOR. EACH SIGN WILL BE NO LESS THAN 18 X 24 INCHES IN SIZE AND MADE OF MATERIALS THAT WILL WITHSTAND WEATHER FOR THE DURATION OF THE PROJECT. LETTERING WILL BE AT LEAST 1 INCH IN HEIGHT AND EASILY READABLE BY THE PUBLIC FROM A DISTANCE OF TWELVE FEET (12 FT). THE SIGN MUST DIRECT THE PUBLIC, IN SUBSTANTIALLY THE FOLLOWING FORM: "TO REPORT EROSION, RUNOFF, OR STORMWATER POLLUTION" AND WILL PROVIDE THE CONSTRUCTION SITE ADDRESS, DOEE'S TELEPHONE NUMBER (202-535-2977), DOEE'S E-MAIL ADDRESS (E83.SCHMIDLING@DC.GOV), AND THE 311 MOBILE APP HEADLINE ("CONSTRUCTION-EROSION RUNOFF"). [21 DCMR § 543.22]
- IF A SITE DISTURBS 5,000 SQUARE FEET OF LAND OR GREATER, THE ESC PLAN MUST CONTAIN THE FOLLOWING STATEMENT:
A. A RESPONSIBLE PERSON MUST BE PRESENT OR AVAILABLE WHILE THE SITE IS IN A LAND-DISTURBING PHASE. THE RESPONSIBLE PERSON IS CHARGED WITH BEING AVAILABLE TO (A) INSPECT THE SITE AND ITS ESC MEASURES AT LEAST ONCE BIWEEKLY AND AFTER A RAINFALL EVENT TO IDENTIFY AND REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM, (B) RESPOND TO EACH POTENTIAL OR ACTUAL EROSION PROBLEM IDENTIFIED BY CONSTRUCTION PERSONNEL, AND (C) SPEAK ON SITE WITH DOEE TO REMEDY EACH POTENTIAL OR ACTUAL EROSION PROBLEM. A RESPONSIBLE PERSON SHALL BE (A) LICENSED IN THE DISTRICT OF COLUMBIA AS A CIVIL OR GEOTECHNICAL ENGINEER, A LAND SURVEYOR, OR ARCHITECT; OR (B) CERTIFIED THROUGH A TRAINING PROGRAM THAT DOEE APPROVES, INCLUDING A COURSE ON EROSION CONTROL PROVIDED BY ANOTHER JURISDICTION OR PROFESSIONAL ASSOCIATION, DURING CONSTRUCTION. THE RESPONSIBLE PERSON SHALL KEEP ON SITE PROOF OF PROFESSIONAL LICENSING OR OF SUCCESSFUL COMPLETION OF A DOEE-APPROVED TRAINING PROGRAM. [21 DCMR § 547]

INDEX MAP PROVIDED FOR CONTEXTUAL REFERENCE ONLY. REFER TO ADDITIONAL PLANS CONTAINED IN THIS SET FOR DETAILS AND INFORMATION ON PROPOSED CONSTRUCTION ACTIVITIES.

PERMIT APPLICATION NUMBERS

DDOT OCCUPANCY NUMBER	-
DDOT CONSTRUCTION NUMBER	N/A
DC WATER NEW CONSTRUCTION MAXIMO	N/A
DC WATER RAZE MAXIMO	N/A
DOEE PLAN NUMBER	s15544
DOEE RAZE NUMBER	N/A
DCRA BUILDING PERMIT NUMBER	RW2000045
DCRA RAZE PERMIT NUMBER	N/A



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OWNER/CLIENT

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WASHINGTON, DC 20007
(202) 956-8158 MOBILE
dickysella@gmail.com

ARCHITECT

N/A

LOT 0114, SQUARE 1242
GEORGETOWN

3038 O
STREET, NW

N.W. WASHINGTON,
DISTRICT OF COLUMBIA

ENGINEER ATTESTATION

I AM RESPONSIBLE FOR DETERMINING THAT THE ENGINEERING DESIGNS INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY PREPARED, OR DIRECTLY SUPERVISED, THE DEVELOPMENT OF THE ENGINEERING DESIGNS INCLUDED IN THIS APPLICATION.

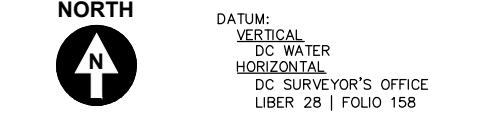
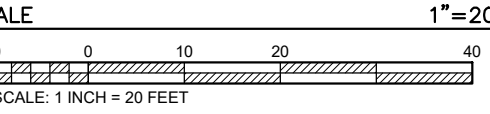
I FURTHER CERTIFY THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE DISTRICT OF COLUMBIA. LICENSE NUMBER: PE909654. EXPIRATION DATE: 06/30/2020. THIS ATTESTATION APPLIES ONLY TO CIVIL ENGINEERING AND RELATED COMPONENTS TO THE EXTENT THEY ARE WITHIN OUR SCOPE OF SERVICES FOR THIS PROJECT, AND BEAR MY SEAL AND SIGNATURE.

David C. Landsman
05/20/2020
DAVID C. LANDSMAN
CIVIL ENGINEER
PE909654
DISTRICT OF COLUMBIA

BASE SHEET ISSUED	04.10.2019
TRAFFIC CONTROL PLAN ISSUED	05.20.2020
PERMIT SET	05.20.2020

REVISION	DATE
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CAS PROJECT	15-3548-DC
DATE	05/20/2020
DRAWN BY	IDV
CHECKED BY	MSL
APPROVAL	DCL
SCALE	1"=20'

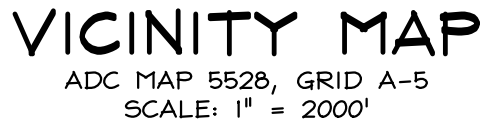


SHEET TITLE

CIVIL COVER
SHEET

CIV001

SEE GENERAL NOTES ON SHEET CIV001



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1001 Connecticut Avenue, NW
Suite 401
Washington, DC 20036
(202) 393-7200 Phone
www.cas-dc.com
info@cas-dc.com

CIVIL • SURVEYING • LAND PLANNING

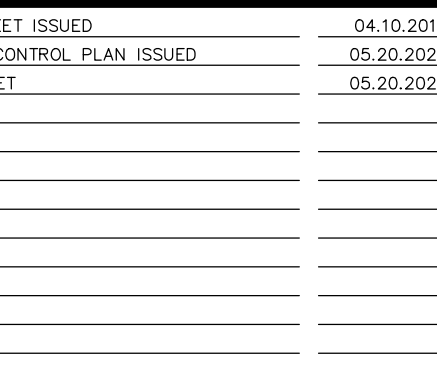
ARCHITECT
N/A

3038 O
STREET, NW

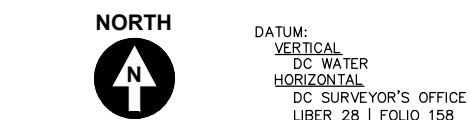
N.W. WASHINGTON,
DISTRICT OF COLUMBIA

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REVISION _____ DATE _____

CAS PROJECT	15-354B-D
DATE	05/202
DRAWN BY	ID
CHECKED BY	MS
APPROVAL	DC
SCALE	1"=10

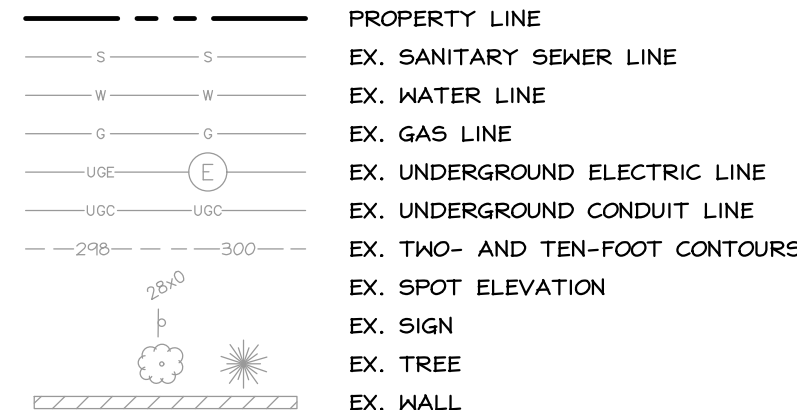


SHEET TITLE

EXISTING CONDITIONS PLAN

CIV100

EXISTING FEATURES



EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.

MISS UTILITY

FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/ITIC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL JURISDICTIONAL REQUIREMENTS.

N/F
KATHERINE KELLEY TRUSTEE
LOT 0832, SQUARE 1242
3037 DUMBARTON STREET, NW
GEORGETOWN
INS. NO. 107795

N/F
CANDYCE MARTIN TRUSTEE
LOT 0837, SQUARE 1242
3035 DUMBARTON STREET, NW
GEORGETOWN
INS. NO. 5031

GENERAL NOTES

SEE DEMOLITION SEDIMENT CONTROL RELATED NOTES ON SHEET CIV101.

LEGEND

SEDIMENT CONTROL DEVICES

FS-18 FILTERSOCK EROSION CONTROL TUBE (OR SIMILAR EROSION CONTROL TUBE, STRAW BALES, ETC.)

TP TREE PROTECTION FENCE

(T.B.R.) FEATURE TO BE RAZED

S.C.E. STABILIZED CONSTRUCTION ENTRANCE

--- LIMITS OF DISTURBANCE

UTILITY INFORMATION

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CONTRACTOR TO INSTALL STRAW BALE DIKES OR EROSION CONTROL TUBE ACROSS STABILIZED CONSTRUCTION ENTRANCE WHEN NOT IN USE AND AT END OF DAY.

EX. BRICK DRIVEWAY TO BE UTILIZED AS STABILIZED CONSTRUCTION ENTRANCE

CONTRACTOR TO MAINTAIN ANY EROSION AND SEDIMENT CONTROL MEASURES INSTALLED ON SITE.

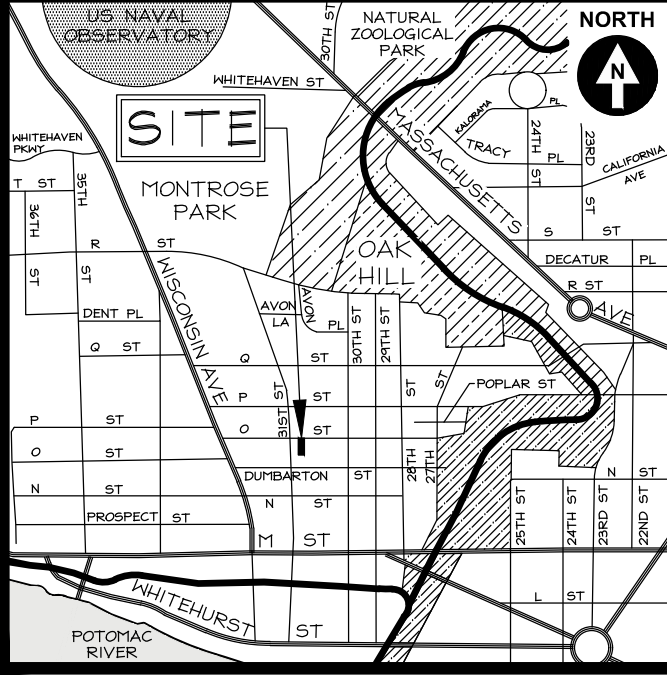
REFER TO PLANS AND/OR REPORTS BY OTHERS FOR SPECIFIC TREE PROTECTION MEASURES, AS APPLICABLE.

CONTRACTOR SHALL USE EROSION CONTROL TUBE, TRENCHLESS SILT FENCE, OR OTHER TRENCHLESS ESC METHOD ADJACENT TO TREE SAVE AREAS

A SEPARATE DDOT TREE REMOVAL PERMIT IS REQUIRED FOR PUBLIC SPACE TREES AND FOR TREES GREATER THAN 4" CBH (14" DBH). HERITAGE TREES (GREATER THAN 100" CBH; 31.8" DBH) CANNOT BE REMOVED WITHOUT MAYORAL APPROVAL.

CONTRACTOR TO PROTECT TREES (BRANCHES, TRUNK, ROOTS) ON NEIGHBORING LOTS THAT OVERLAP THE L.O.D. AND HERITAGE TREES ON SITE. COORDINATE WITH DDOT UFA WARD 2 ARBORIST AS APPLICABLE. CONTRACTOR TO USE A TRENCHLESS SILT FENCE METHOD AND TO HORIZONTALLY BORE OR AIR SPADE EXCAVATE FOR UTILITIES WITHIN THE CANOPY OF ANY TREE TO BE PRESERVED (INCLUDING PROTECTING TREES ON ADJACENT PROPERTIES). COORDINATE WITH DDOT WARD 2 ARBORIST AS APPLICABLE. THE DDOT WARD 2 LEAD ARBORIST IS REBECCA SCHWARTZ, rebecca.schwartz@dc.gov; (202) 779-2370.

DEMOLITION QUANTITIES
DISTURBED AREA: 500 SQUARE FEET±
CUT: 10 CUBIC YARDS
FILL: 10 CUBIC YARDS



VICINITY MAP
ADC MAP 5526, GRID A-5
SCALE: 1" = 2000'



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OWNER/CLIENT

MARY SELLA
3038 O STREET, NW
WASHINGTON, DC 20007
(202) 956-8158 MOBILE
dickysella@gmail.com

ARCHITECT

N/A

LOT 0114, SQUARE 1242
GEORGETOWN

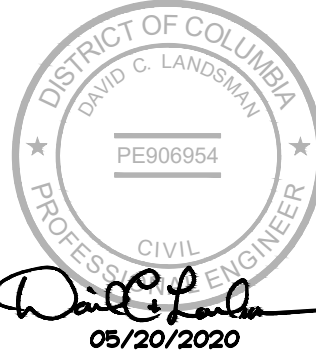
3038 O
STREET, NW

N.W. WASHINGTON,
DISTRICT OF COLUMBIA

ENGINEER ATTESTATION

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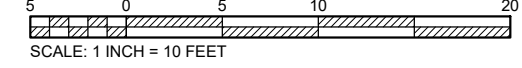
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BASE SHEET ISSUED	04.10.2019
TRAFFIC CONTROL PLAN ISSUED	05.20.2020
PERMIT SET	05.20.2020

REVISION	DATE
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CAS PROJECT	15-3548-DC
DATE	05/20/2020
DRAWN BY	IDV
CHECKED BY	MSL
APPROVAL	DCL
SCALE	1"=10'



DATUM:
NAD 83
DC WATER
HORIZONTAL
DC SURVEYOR'S OFFICE
USER: 26 | FOLD 159

SHEET TITLE

**DEMOLITION
SEDIMENT
CONTROL PLAN**

CIV101

GENERAL NOTES

SEE BUILDING PERMIT SITE AND GRADING RELATED NOTES ON SHEET CIV001.

LEGEND

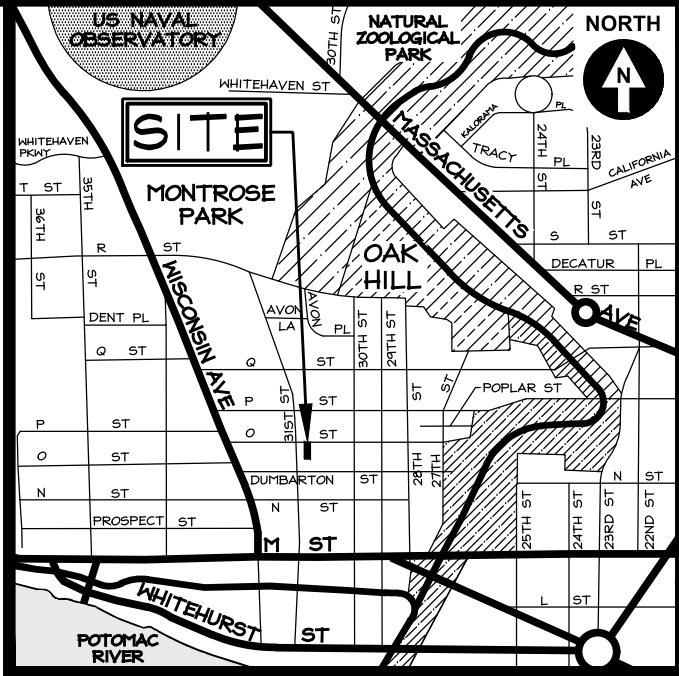
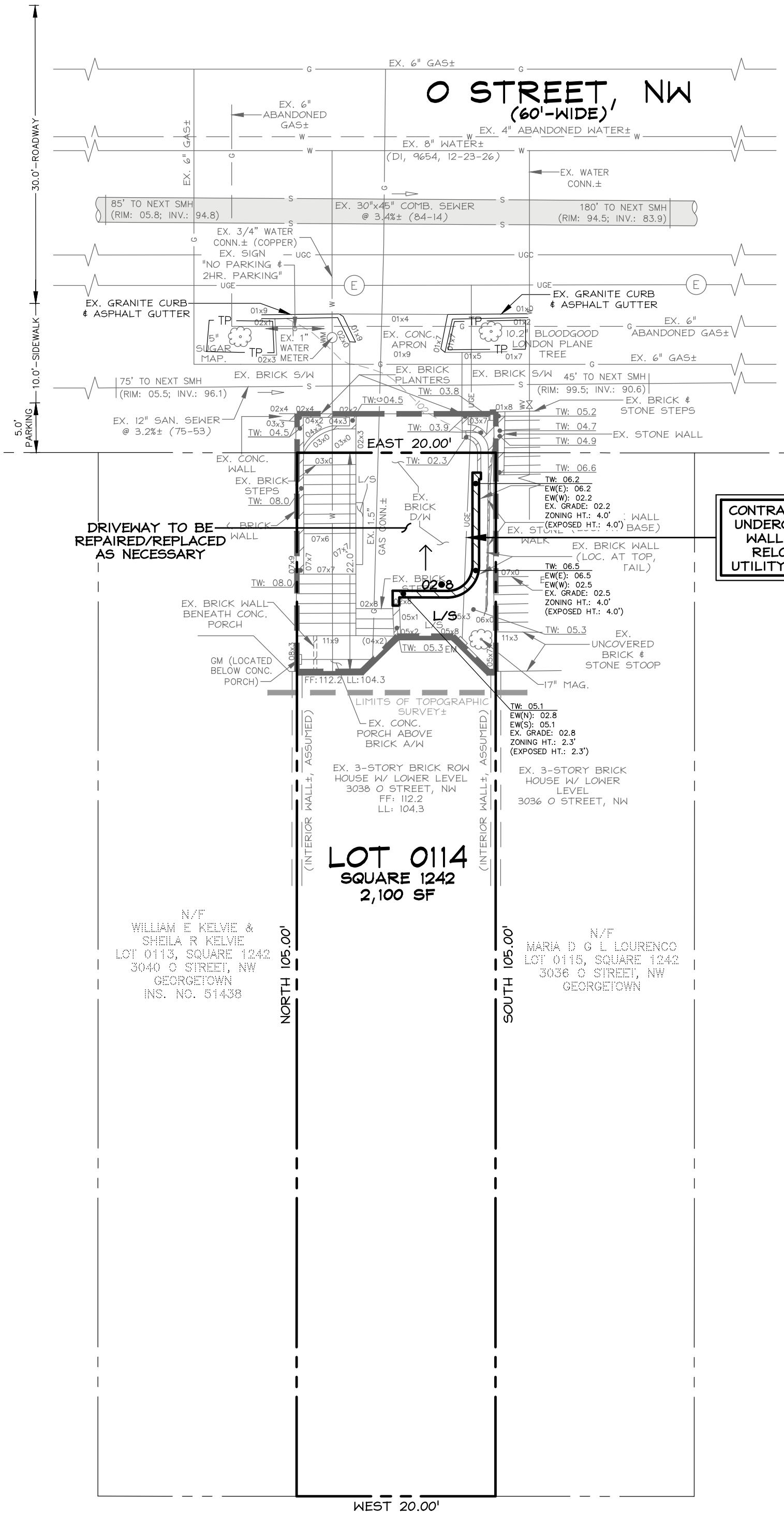
PROPOSED FEATURES	
	PROP. SPOT ELEVATION
	PROP. RETAINING WALL
	PROP. SURFACE DRAINAGE FLOWPATH
	LIMITS OF DISTURBANCE

UTILITY INFORMATION

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ADC MAP 5526, GRID A-5
SCALE: 1" = 2000'



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dickysella@gmail.com

ARCHITECT

N/A

LOT 0114, SQUARE 1242
GEORGETOWN

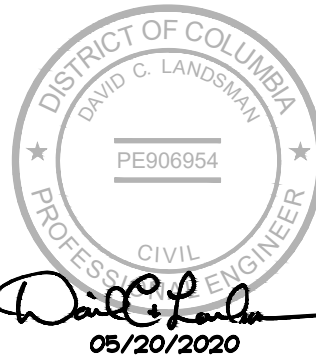
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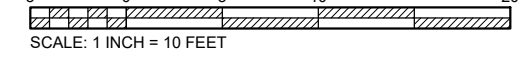
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PERMIT SET	05.20.2020

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DATE	05/20/2020
DRAWN BY	IDV
CHECKED BY	MSL
APPROVAL	DCL
SCALE	1"=10'



DATUM:
NAD 83
DC WATER
HORIZONTAL
DC SURVEYOR'S OFFICE
USER 26 | FOLD 156

SHEET TITLE

BUILDING PERMIT
SITE AND
GRADING PLAN

CIV200

TOP, INVERT, PROFILE, AND SPOT
ELEVATIONS HAVE BEEN SHORTENED
TO DROP THE LEADING HUNDRED
DENOTATION FOR SIMPLICITY.

A SEPARATE DDOT TREE REMOVAL
PERMIT IS REQUIRED FOR PUBLIC
SPACE TREES AND FOR TREES
GREATER THAN 44" CBH (14" DBH).

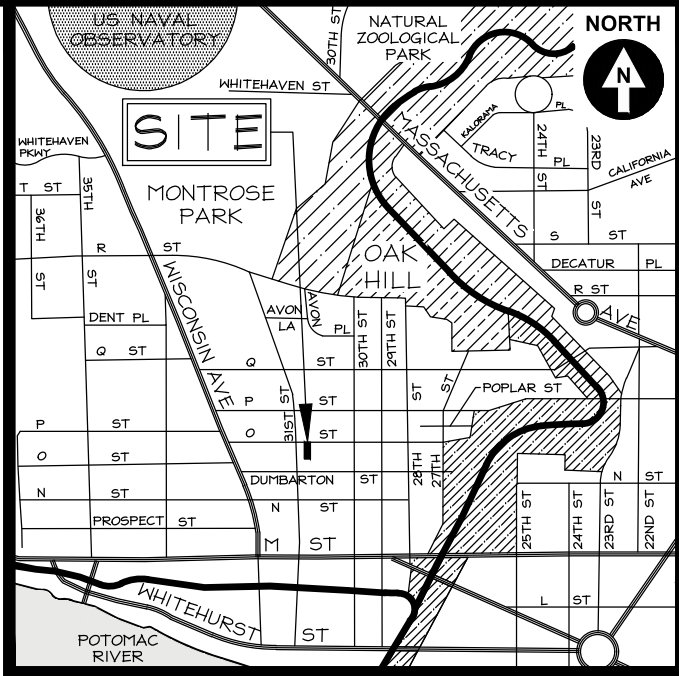
PUBLIC SPACE RESTORATION
TO BE DONE AS NECESSARY
PER DDOT PERMIT OR
APPLICABLE DETAILS.

FOR MORE INFORMATION, SEE
ADDITIONAL PROFILES, NOTES,
COMPUTATIONS, AND DETAILS
ON CIV200-SERIES SHEETS.

CONTRACTOR TO PROTECT TREES (BRANCHES, TRUNK, ROOTS) ON NEIGHBORING LOTS THAT OVERLAP THE L.O.D. AND HERITAGE TREES ON SITE. COORDINATE WITH DDOT UFA WARD 2 ARBORIST AS APPLICABLE. CONTRACTOR TO USE A TRENCHLESS SILT FENCE METHOD AND TO HORIZONTALLY BORE OR AIR SPADE EXCAVATE FOR UTILITIES WITHIN THE CANOPY OF ANY TREE TO BE PRESERVED (INCLUDING PROTECTING TREES ON ADJACENT PROPERTIES), COORDINATE WITH DDOT WARD 2 ARBORIST AS APPLICABLE. THE DDOT WARD 2 LEAD ARBORIST IS REBECCA SCHWARTZ, rebecca.schwartz@dc.gov, (202) 779-2370.

GENERAL NOTES

SEE SEDIMENT CONTROL RELATED NOTES ON SHEET CIV001.



VICINITY MAP
ADC MAP 5526, GRID A-5
SCALE: 1" = 2000'



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ARCHITECT

N/A

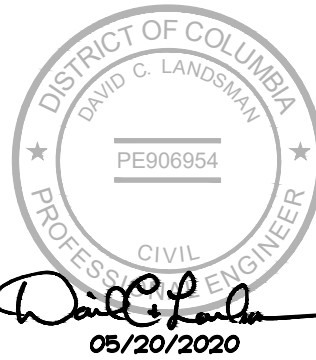
LOT 0114, SQUARE 1242
GEORGETOWN

3038 O
STREET, NW

N.W. WASHINGTON,
DISTRICT OF COLUMBIA

ENGINEER ATTESTATION

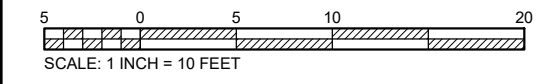
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DATE	05/20/2020
DRAWN BY	IDV
CHECKED BY	MSL
APPROVAL	DCL
SCALE	1"=10'



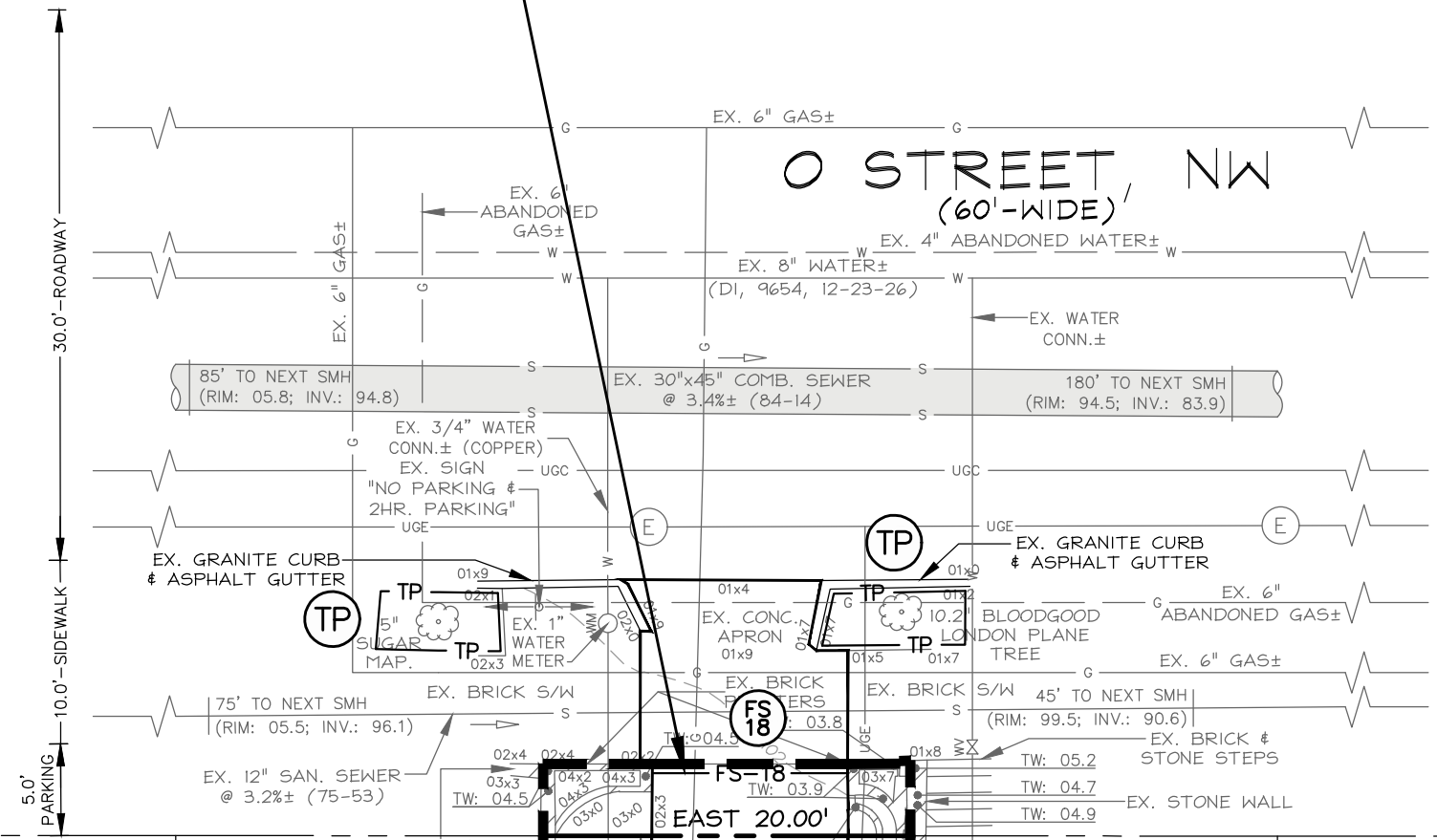
DATUM:
MEDICAL
DC WATER
HORIZONTAL
DC SURVEYOR'S OFFICE
USER: 26 | FOLD 159

SHEET TITLE

SEDIMENT
CONTROL PLAN

CIV300

CONTRACTOR TO INSTALL STRAW BALE
DIKES OR EROSION CONTROL TUBE ACROSS
STABILIZED CONSTRUCTION ENTRANCE
WHEN NOT IN USE AND AT END OF DAY.



EX. BRICK DRIVEWAY TO BE
UTILIZED AS STABILIZED
CONSTRUCTION ENTRANCE

DRIVEWAY TO BE
REPAIRED/REPLACED
AS NECESSARY

CONTRACTOR TO TEST PIT EXISTING
UNDERGROUND ELECTRIC PRIOR TO
WALL EXCAVATION. COORDINATE
RELOCATION WITH APPLICABLE
UTILITY COMPANIES AS NECESSARY.

LEGEND

SEDIMENT CONTROL DEVICES	
FS-18	FILTERSOCK EROSION CONTROL TUBE (OR SIMILAR EROSION CONTROL TUBE, STRAW BALES, ETC.)
TP	TREE PROTECTION FENCE
S.C.E.	STABILIZED CONSTRUCTION ENTRANCE
---	LIMITS OF DISTURBANCE

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FOR MORE INFORMATION, SEE
ADDITIONAL PROFILES, NOTES,
COMPUTATIONS, AND DETAILS
ON CIV200-SERIES SHEETS.

CONTRACTOR SHALL USE EROSION CONTROL TUBE,
TRENCHLESS SILT FENCE, OR OTHER TRENCHLESS
ESC METHOD ADJACENT TO TREE SAVE AREAS

CONTRACTOR TO MAINTAIN ANY
EROSION AND SEDIMENT CONTROL
MEASURES INSTALLED ON SITE

A SEPARATE DDOT TREE REMOVAL
PERMIT IS REQUIRED FOR PUBLIC
SPACE TREES AND FOR TREES
GREATER THAN 44" CBH (14" DBH)

REFER TO PLANS AND/OR REPORTS BY
OTHERS FOR SPECIFIC TREE PROTECTION
MEASURES, AS APPLICABLE.

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TREES ON SITE. COORDINATE WITH DDOT UFA WARD 2 ARBORIST
AS APPLICABLE. CONTRACTOR TO USE A TRENCHLESS SILT FENCE
METHOD AND TO HORIZONTALLY BORE OR AIR SPADE EXCAVATE
FOR UTILITIES WITHIN THE CANOPY OF ANY TREE TO BE
PRESERVED (INCLUDING PROTECTING TREES ON ADJACENT
PROPERTIES), COORDINATE WITH DDOT WARD 2 ARBORIST AS
APPLICABLE. THE DDOT WARD 2 LEAD ARBORIST IS REBECCA
SCHWARTZ, rebecca.schwartz@dc.gov; (202) 779-2370.

CONSTRUCTION QUANTITIES:
DISTURBED AREA: 500 SQUARE FEET±
CUT: 10 CUBIC YARDS
FILL: 10 CUBIC YARDS

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

1. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING, BRACING, SHEETING AND MAKE SAFE ALL FLOORS, ROOFS, WALLS AND ADJACENT PROPERTY, AS PROJECT CONDITIONS REQUIRE. A PROFESSIONAL ENGINEER, LICENSED BY THE DISTRICT OF COLUMBIA AND HIRED BY THE CONTRACTOR, SHALL DESIGN ALL SHORING AND SHEETING AND SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR THE OWNER'S REVIEW.
2. ALL STRUCTURAL WORK SHALL BE COORDINATED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS AND SHALL CONFORM TO THE PROJECT SPECIFICATIONS, INCLUDING INTERNATIONAL RESIDENTIAL CODE 2012 AS MODIFIED BY THE DISTRICT OF COLUMBIA DCMR-12B RESIDENTIAL CODE.
3. DIMENSIONS AND ELEVATIONS OF EXISTING CONSTRUCTION GIVEN IN STRUCTURAL DRAWINGS ARE BASED ON INFORMATION CONTAINED IN VARIOUS ORIGINAL DESIGN AND CONSTRUCTION DOCUMENTS PROVIDED BY THE OWNER, AND LIMITED FIELD OBSERVATIONS AND MEASUREMENTS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PERTAINING TO EXISTING CONDITIONS BY ACTUAL MEASUREMENT AND OBSERVATION AT THE SITE. ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT FOR EVALUATION BEFORE THE AFFECTED CONSTRUCTION IS PUT IN PLACE.
4. THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS REPRESENTS THE DESIGN INTENT OF THE PROPOSED CONSTRUCTION. ELECTRONIC VERSIONS (PDF, DWG) OF THESE DRAWINGS SHOULD NOT BE USED TO DETERMINE DIMENSIONS OR GATHER ANY INFORMATION THAT IS NOT SPECIFICALLY LABELED OR OTHERWISE DENOTED IN PLAN, SECTION, OR DETAIL. DUPLICATION OF THESE DRAWINGS FOR USE IN THE PREPARATION OF SHOP DRAWINGS IS NOT ACCEPTABLE. THIS INCLUDES ANNOTATED HARD-COPIES AND DIRECT REUSE OF ELECTRONIC FILES.

1. BUILDING FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL HAVING MINIMUM BEARING CAPACITY OF 1,500 PSF. ADEQUACY OF BEARING STRATUM SHALL BE VERIFIED IN FIELD PRIOR TO PLACING CONCRETE. ADJUST BOTTOM OF FOOTING ELEVATIONS AS REQUIRED.
2. FINISH ALL FOOTING EXCAVATIONS BY HAND. NO FOOTINGS SHALL BE PLACED IN WATER OR ON FROZEN GROUND. PROTECT FOOTINGS FROM FROST AFTER THEY ARE PLACED.
3. AT INTERSECTIONS BETWEEN NEW AND EXISTING WALLS, STEP NEW FOOTING TO MATCH EXISTING. DRILL AND GROUT 2-#5 BARS x 2'-6" LONG INTO EXISTING FOOTING IN HILTI HIT-HY200 ADHESIVE WITH 6" EMBEDMENT.
4. FILL AND BACKFILL MATERIAL- CLEAN RUN OF BANK MATERIAL, FREE OF DELETERIOUS ORGANIC MATERIALS.
5. ALL EXTERIOR FOOTINGS SHALL BE PLACED A MINIMUM OF 2'-6" BELOW FINAL GRADE.

1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS. SLUMP SHALL BE 4" FOR SLABS ON GRADE AND 5" FOR ALL OTHER CONCRETE.
2. SLABS ON GRADE SHALL BE 4" CONCRETE REINFORCED WITH WWF6x6-W1.4xW1.4 ON 10 MIL. POLY. VAPOR BARRIER ON 4" CRUSHED STONE, U.N.O.
3. ALL FOUNDATION CONCRETE SHALL INCLUDE 5% AIR ENTRAINMENT ($\pm 1.5\%$). ADJUST AIR ENTRAINMENT FOR EXPOSURE CLASS AS REQUIRED.
4. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60. REINFORCING STEEL SHALL BE DETAILED ACCORDING TO THE ACI MANUAL OF CONCRETE PRACTICE (ACI 315), LOCALLY APPROVED EDITION.
5. WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185, WITH A MINIMUM ULTIMATE TENSILE STRENGTH OF 70,000 PSI.
6. CONCRETE WORK SHALL BE DESIGNED, REINFORCED,

7. PROVIDE MINIMUM TEMPERATURE REINFORCEMENT, AS REQUIRED BY ACI-318, IN ALL SLABS AND WALLS WHERE REINFORCEMENT IS NOT INDICATED ON DRAWINGS.
8. COORDINATE SIZE AND LOCATION OF ALL OPENINGS AND PIPE SLEEVES WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. MINIMUM CONCRETE BETWEEN SLEEVES SHALL BE 6".
9. PROVIDE CLEARANCE FROM FACE OF CONCRETE TO REINFORCEMENT AS FOLLOWS:

SLABS:	3/4"
BEAMS, COLUMNS:	1 1/2"
FOOTINGS:	3"
EXTERIOR WALLS:	2" FOR #6 OR LARGER, 1 1/2" FOR #5 OR SMALLER
INTERIOR WALLS:	3/4"
11. UNLESS SPECIFICALLY WAIVED BY ENGINEER OF RECORD, CEMENTITIOUS MATERIAL REPLACEMENT FOR CONCRETE MIXES AT ALL CAST-IN-PLACE CONCRETE SHALL BE 10% MINIMUM AND 33% MAXIMUM USING ONE OF THE FOLLOWING: GROUND GRANULATED BLAST FURNACE SLAG (GGGBFS) OR FLY ASH.
12. WHERE CONCRETE IS PLACED AGAINST AND DOWELED TO HARDENED CONCRETE AND/OR WHERE A ROUGHENED SURFACE IS INDICATED IN THE STRUCTURAL DRAWINGS, THE HARDENED CONCRETE SURFACE SHALL BE CLEAN AND FREE OF LAITANCE AND SHALL BE ROUGHENED TO A FULL AMPLITUDE OF APPROXIMATELY 1/4".

1. ALL CONCRETE MASONRY WORK SHALL CONFORM TO THE "NATIONAL CONCRETE MASONRY ASSOCIATION SPECIFICATIONS," (LOCALLY APPROVED EDITION) AND THE MASONRY STANDARDS JOINT COMMITTEE SPECIFICATIONS (ACI 530.1 - LOCALLY APPROVED EDITION).
2. CONCRETE BLOCK WORK SHALL BE OF LIGHTWEIGHT AGGREGATE AND CONFORM TO THE FOLLOWING STANDARDS:
SOLID BLOCK: ASTM C90, GRADE NI (F'm: 1900 PSI

ON GROSS AREA)

HOLLOW BLOCK: ASTM C90, GRADE NI (F'm: 1900 PSI ON NET AREA)

COORDINATE BLOCK TYPES WITH STRUCTURAL AND ARCHITECTURAL DRAWINGS.

FILL ALL VOIDS SOLID IN PIERS AND DIRECTLY UNDER BEARING LOCATIONS AND ALL BELOW-GRADE FOUNDATION WALLS.

MORTAR SHALL BE ASTM C270, TYPE S FOR ALL WORK. THE NET AREA COMPRESSIVE STRENGTH OF NEW MASONRY ASSEMBLIES, f_m , SHALL MEET OR EXCEED 1500 PSI.

UNLESS NOTED OTHERWISE, ALL GROUT SHALL BE COARSE-TYPE, SHALL MEET ASTM C476-02, AND ITS COMPRESSIVE STRENGTH SHALL EXCEED f_m OR 2000 PSI, WHICHEVER IS GREATER.

WHERE GROUTED CELLS DO NOT EXCEED 4" IN DIAMETER, FINE GROUT SHALL BE USED.

HORIZONTAL REINFORCING: NO LESS THAN NO. 9 GAUGE TRUSS-TYPE DUR-O-WAL OR EQUAL, SPACED @ 16" O.C. VERTICALLY AND ABOVE ALL LINTELS.

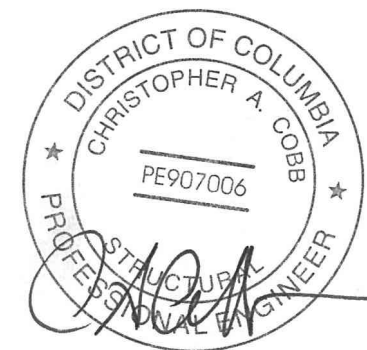
VERTICAL REINFORCING: NO LESS THAN #4 SPACED @ 48" O.C. HORIZONTALLY AND AT THE EDGES OF ALL WALL OPENINGS, INTERSECTIONS AND CORNERS.

PROVIDE FABRICATED CORNER SECTIONS AT ALL CORNERS AND INTERSECTIONS.

ALL BLOCK DIMENSIONS INDICATED ON STRUCTURAL PLANS ARE NOMINAL DIMENSIONS.

DESIGN CODE: 2012 IRC AS MODIFIED BY DCMR-12B

WIND LOAD DATA		EARTHQUAKE DESIGN DATA		SOIL DESIGN DATA	
PARAMETER	VALUE	PARAMETER	VALUE	PARAMETER*	VALUE
2012 IRC PRESCRIPTIVE BASIC WIND SPEED	90 MPH	SHORT-PERIOD MAP VALUE (S_S)	15.0% g	AT-REST PRESSURE CONDITION	65 PSF/FT
2012 IBC ULTIMATE WIND SPEED	115 MPH	SEISMIC SITE CLASS	D	ACTIVE PRESSURE CONDITION	45 PSF/FT
WIND EXPOSURE	B	SHORT-PERIOD DESIGN SPECTRAL RESPONSE ACCELERATION (S_{DS})	16.0% g	PASSIVE PRESSURE CONDITION	180 PSF/FT
IMPORTANCE FACTOR	1.0			SURCHARGE LOADS	100 PSF
MINIMUM ALLOWABLE WIND LOAD (MWFRS AND C&C)	20 PSF	RESIDENTIAL SEISMIC DESIGN CATEGORY	A	S.O.G. COEFFICIENT OF SLIDING FRICTION	0.3
SHEAR WALL TYPE		PER R301.2.2, THE SEISMIC PROVISIONS OF THE RESIDENTIAL BUILDING CODE ARE NOT APPLICABLE TO DETACHED ONE-FAMILY DWELLINGS ASSIGNED TO SEISMIC DESIGN CATEGORY A, B, OR C.		FACTORS OF SAFETY (OTM & SLIDING)	1.5
EXISTING ORDINARY PLAIN MASONRY SHEAR WALLS (U.N.O.)				TOTAL/DIFFERENTIAL SETTLEMENT	1/.5 INCH



Date: 2020-05-18 Submission: PERMIT SET
Project Title: RETAINING WALL REPAIR
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WASHINGTON, DC

Project Number: 19-035

1001

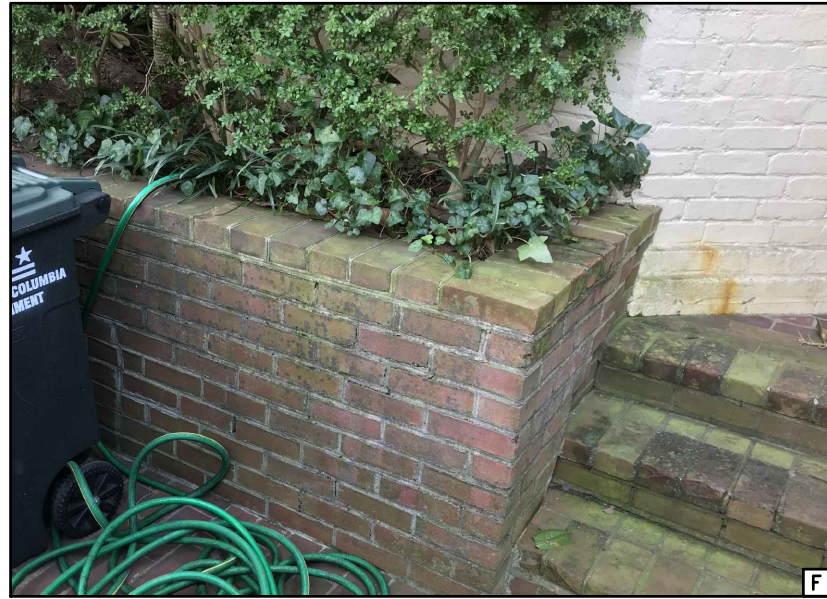
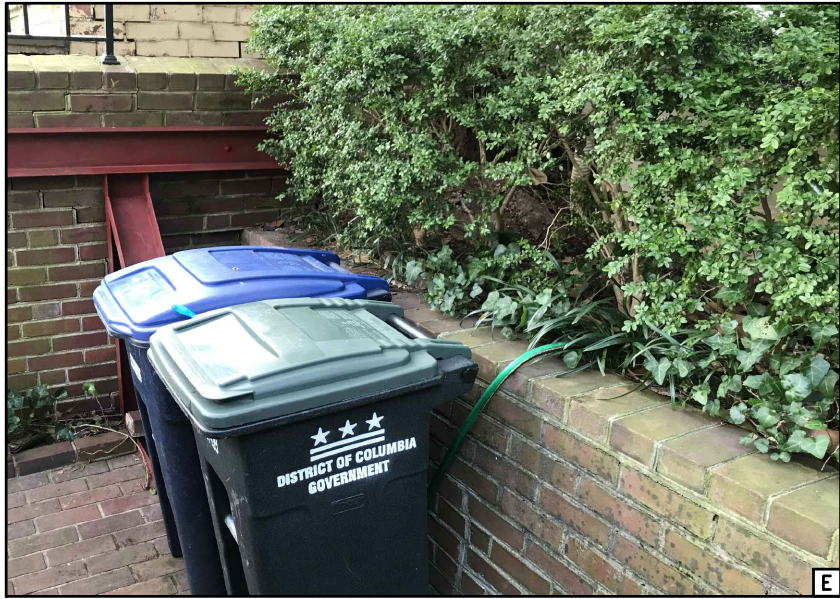
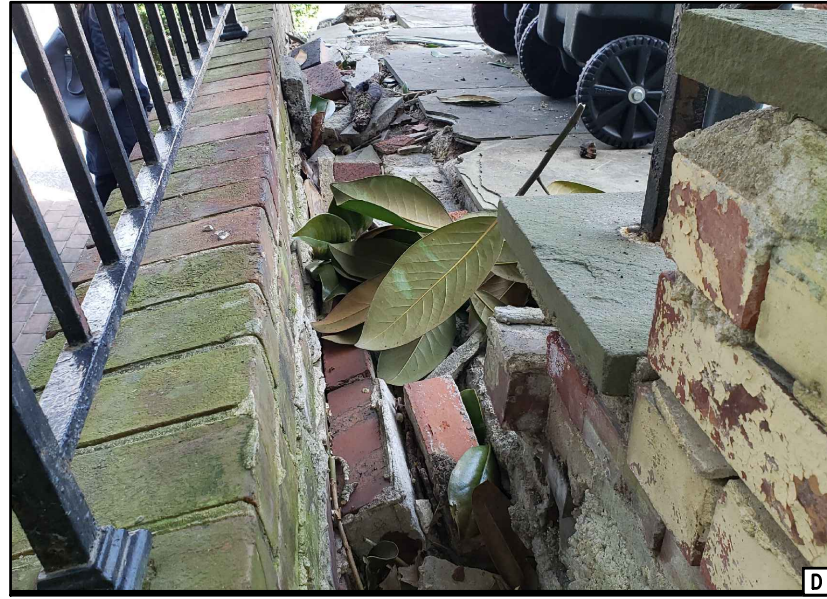
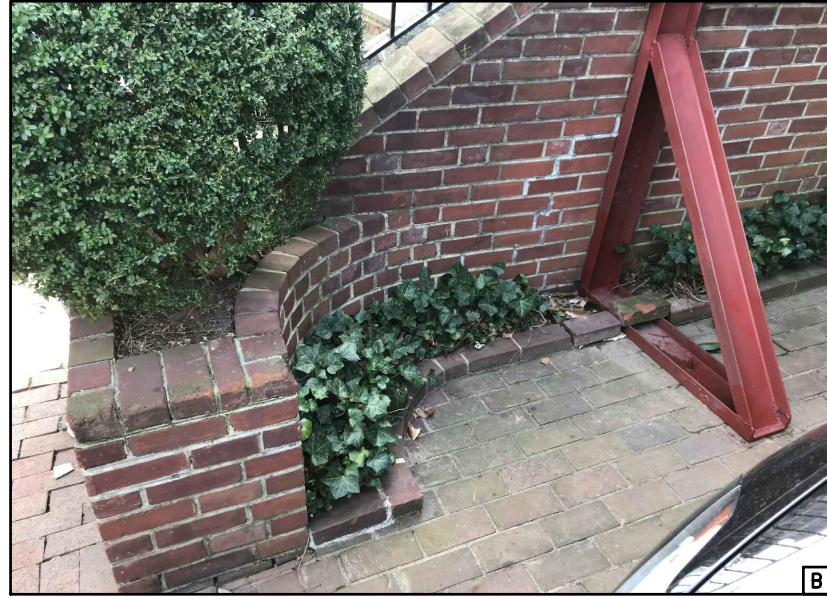
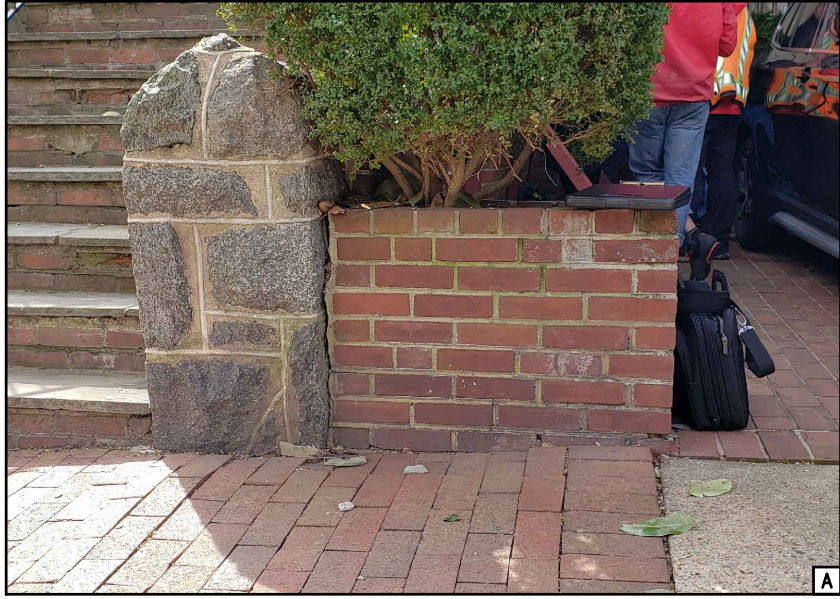
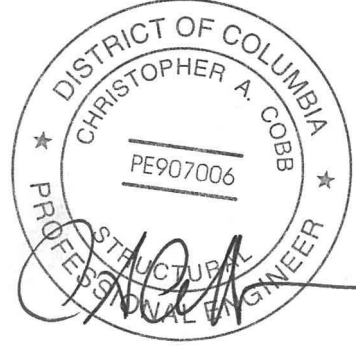
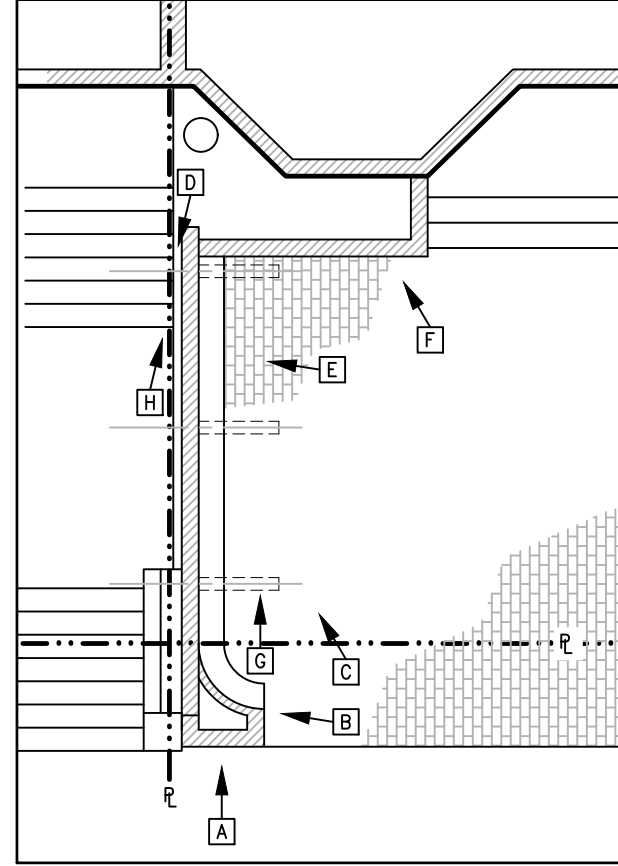


PHOTO KEY



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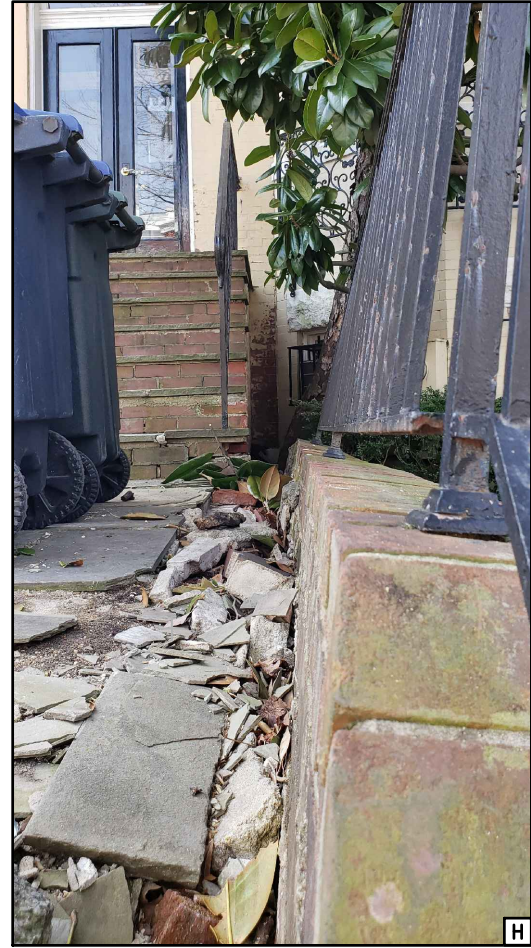
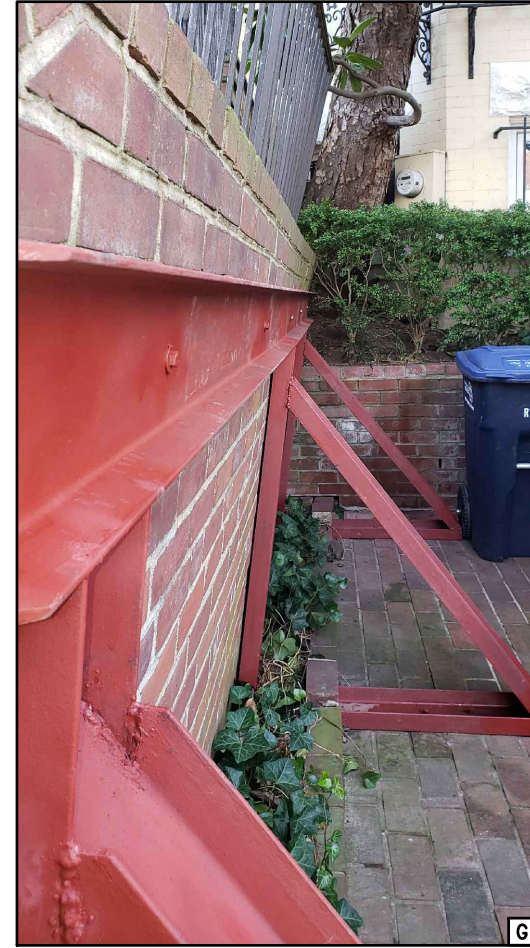
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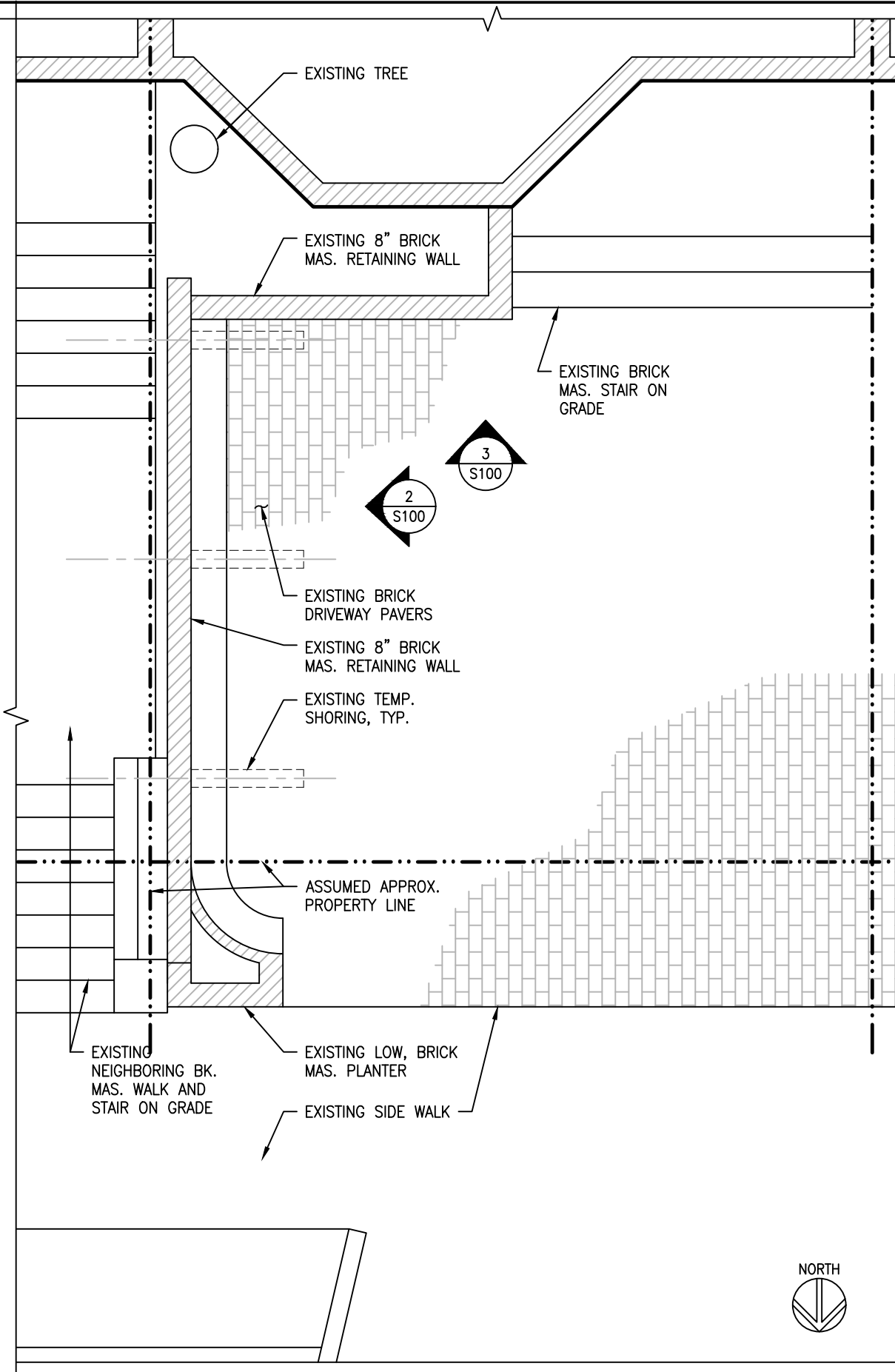
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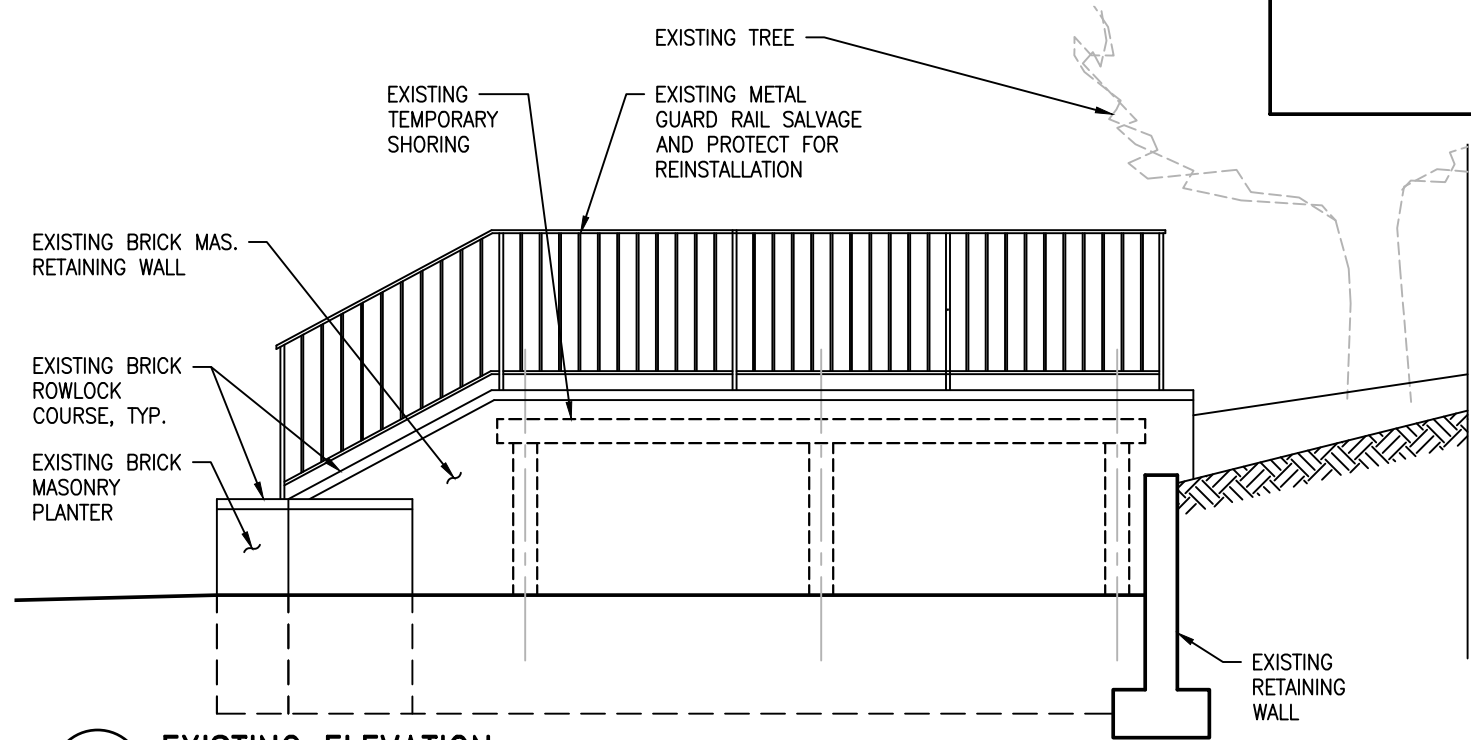
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S002

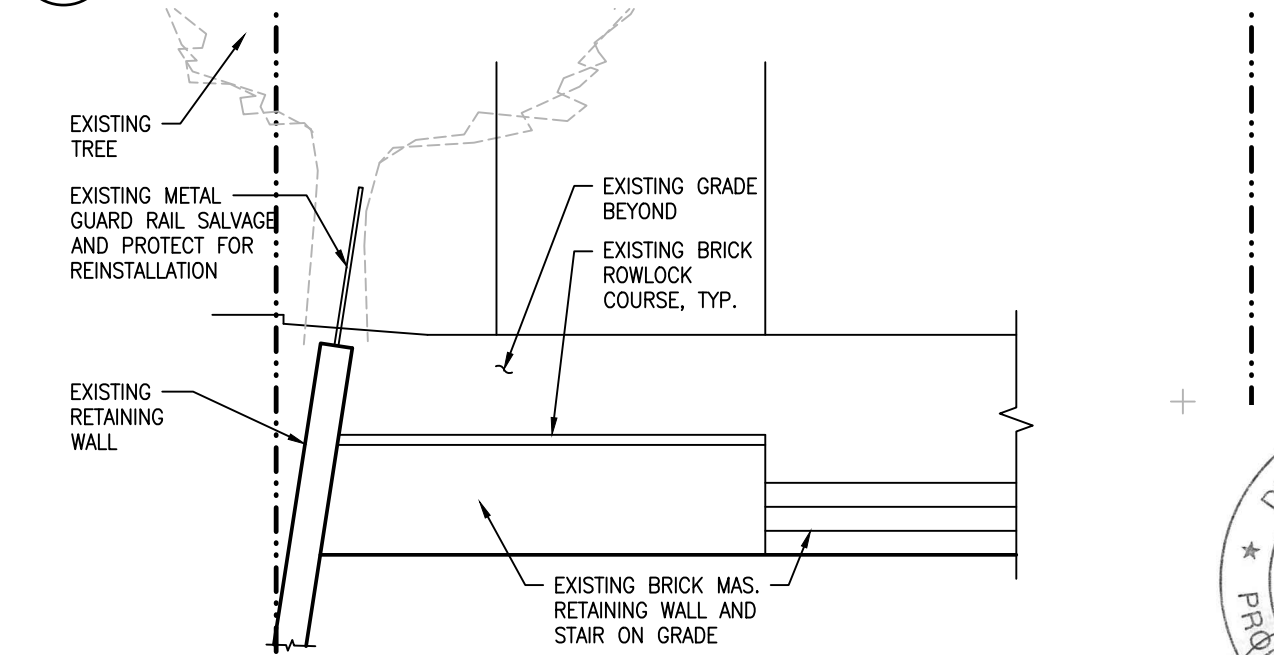




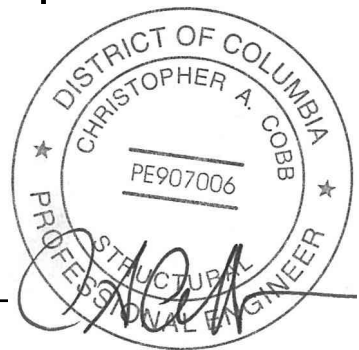
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EXISTING PLAN
SCALE: 1/4" = 1'-0"



2
EXISTING ELEVATION
SCALE: 1/4" = 1'-0"



3
EXISTING ELEVATION
SCALE: 1/4" = 1'-0"

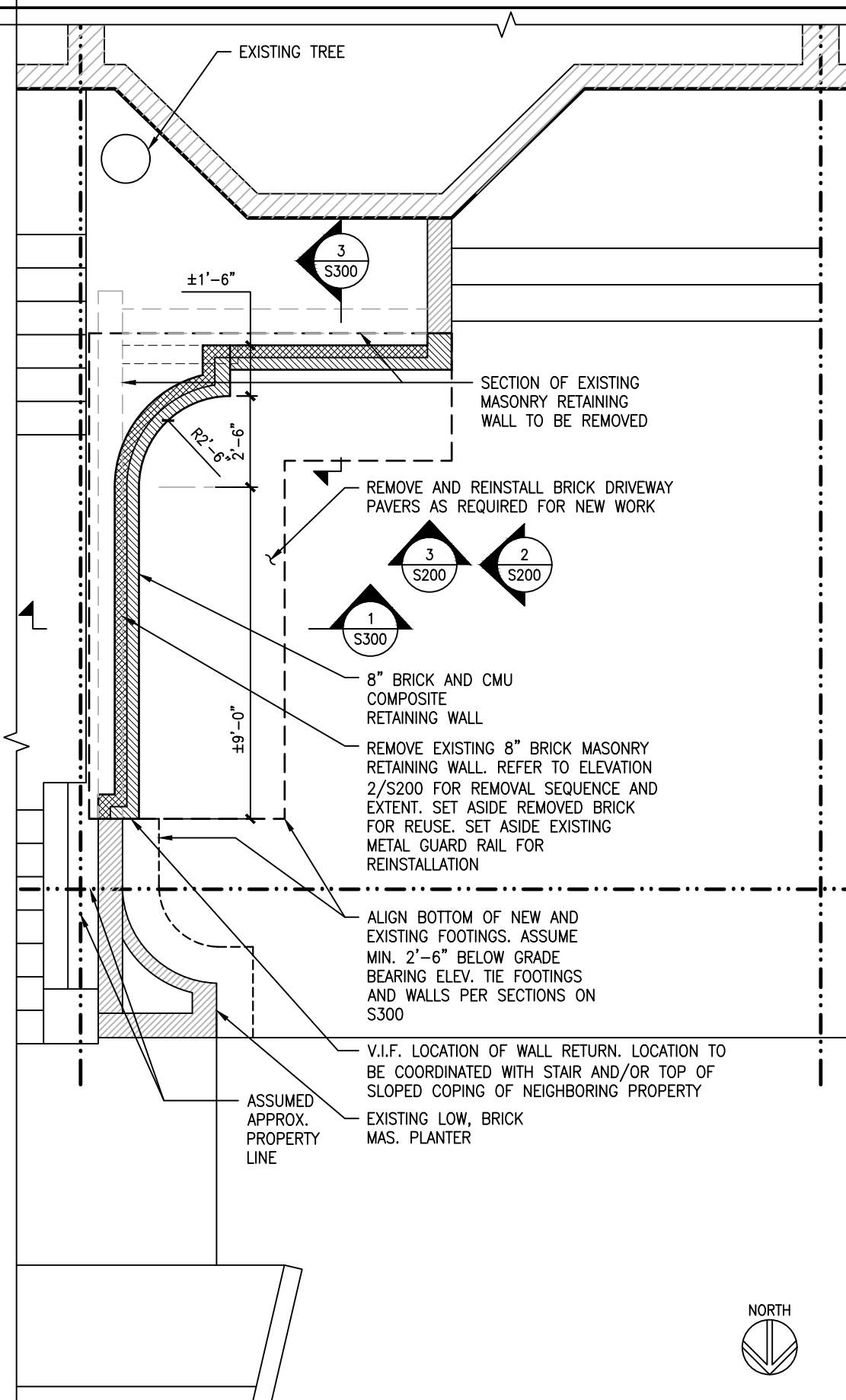


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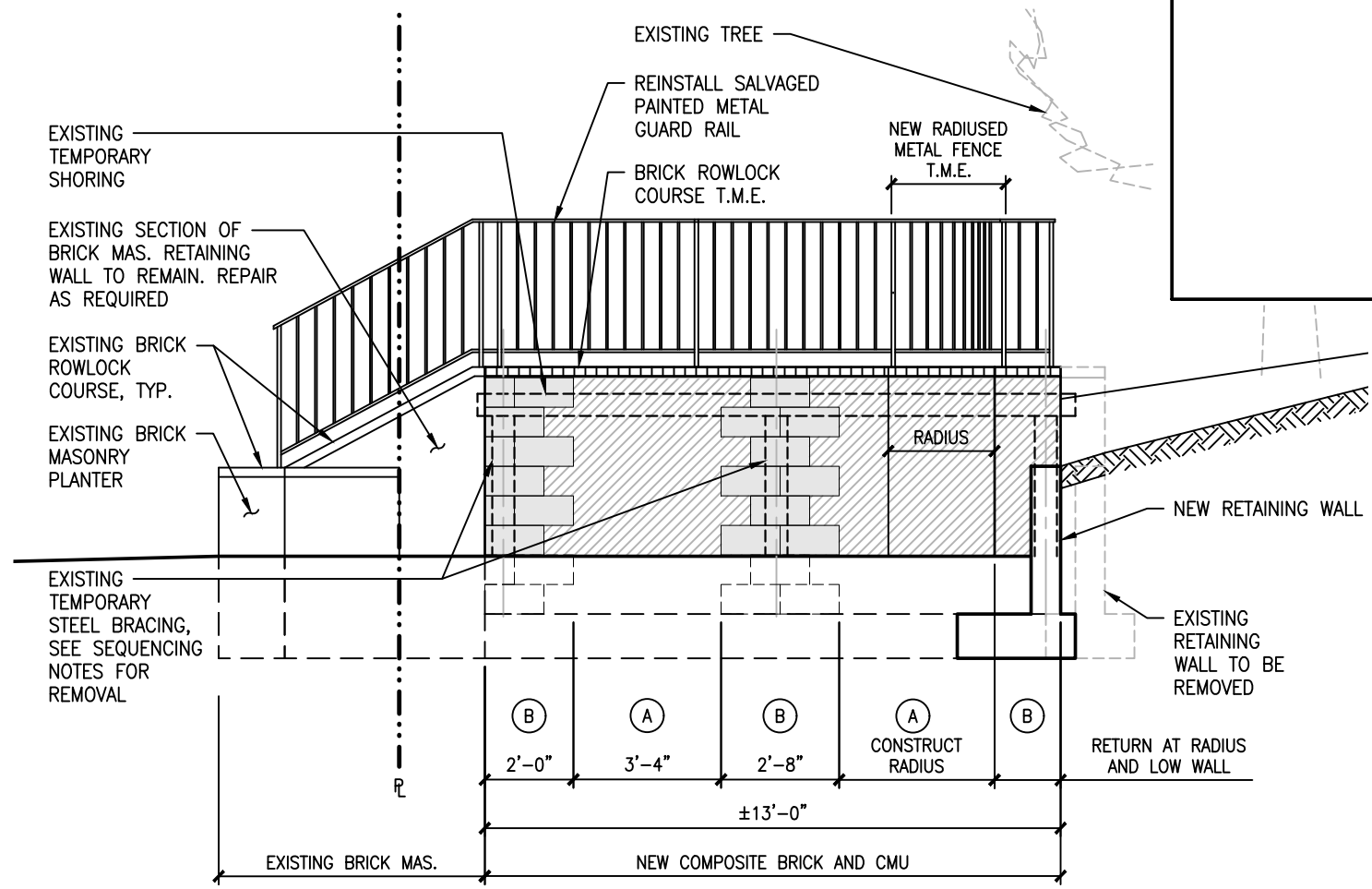
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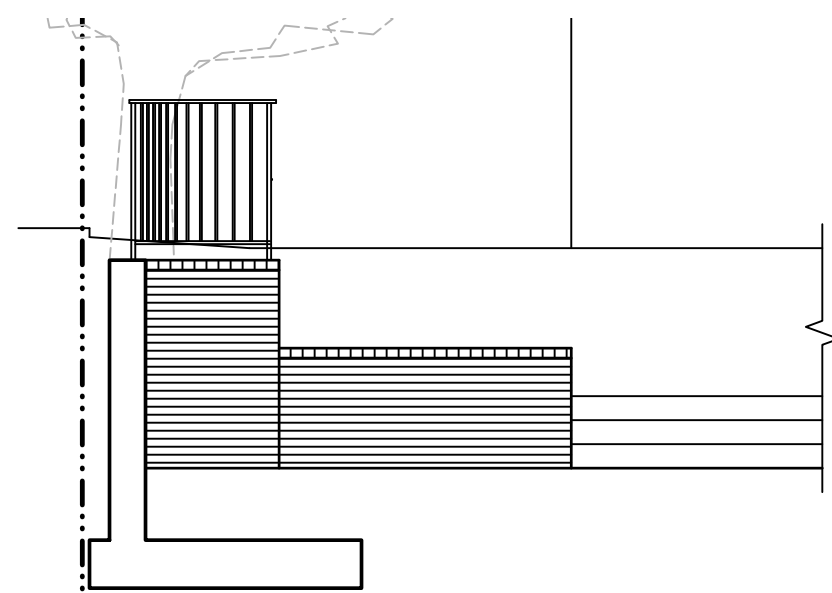
Project Number: 19-035
S100



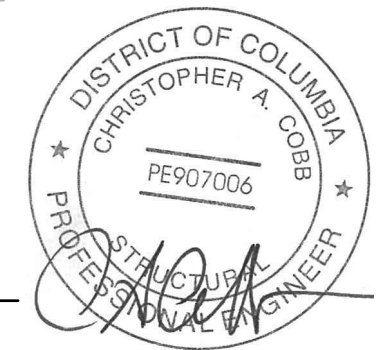
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S200
PROPOSED PLAN
SCALE: 1/4" = 1'-0"

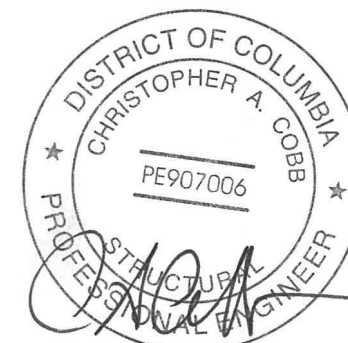
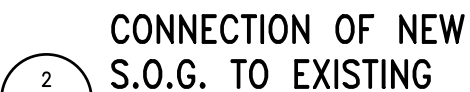
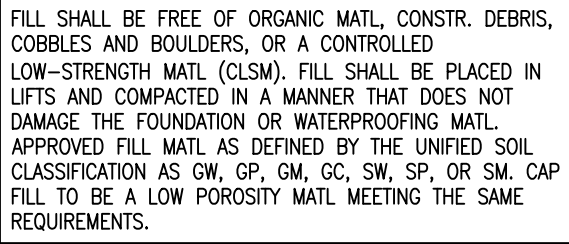


2
S200
PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"



3
S200
PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"





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S300	Project Title:	RETAINING WALL REPAIR
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