3602 Prospect St., NW
Washington, DC 20007

ADDITION OF A THIRD STORY TO THIS SINGLE FAMILY HOME

GENERAL NOTES

GENERAL CONDITIONS

1. SUBCONTRACTORS SHALL CARRY ALL NECESSARY LIABILITY AND WORKMAN'S COMPENSATION INSURANCE.

2. GENERAL CONDITIONS SET FORTH IN AIA DOCUMENT A 201 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION,1987 EDITION, ARE INCORPORATED INTO THIS CONTRACT.

3. ALL MATERIALS SHALL BE NEW AND OF GOOD QUALITY UNLESS OTHERWISE NOTED.

4. ALL DEMOLITION AND WORK RELATED DEBRIS SHALL BE REMOVED FROM THE SITE REGULARLY AND PROMPTLY.

5. ALL CUTTING AND PATCHING ASSOCIATED WITH THE INSTALLATION OF ELECTRICAL, PLUMBING OR HVAC WORK SHALL BE PERFORMED BY SUBCONTRACTOR WHETHER OR NOT SPECIFICALLY INDICATED ON DRAWINGS.

6. IF THERE IS ANY CONFLICT WITHIN OR BETWEEN ANY OF THE CONTRACT DOCUMENTS INVOLVING THE QUALITY OR QUANTITY OF WORk REQUIRED, IT IS THE INTENTION OF THE CONTRACT THAT WORK OF THE HIGHEST QUALITY AND OF THE GREATEST QUANTITY SHOWN OR SPECIFIED SHALL BE FURNISHED.

THE DRAWINGS

1. THESE CONTRACT DRAWINGS ARE INCOMPLETE WITHOUT ACCOMPANYING DETAILS, SCHEDULES, PECIFICATIONS OR OTHER CONTRACT DOCUMENTS WHICH MAY CONTAIN IMPORTANT INFORMATION RELATING TO ANY ASPECT OF THIS PROJECT.
2. DO NOT DIMENSION DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS.
3. UNLESS OTHERWISE NOTED, CHANGES IN FLOORING MATERIAL SHALL OCCUR AT THE CENTER LINE OF THE DOOR.
4. THE SUBCONTRACTOR SHALL REFER ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE SPECIFICATIONS TO DEVELOPER BEFORE PROCEEDING WITH THE WORK.
5. IN THE EVENT OF CONFLICT OR DISCREPANCIES WITHIN THE DRAWINGS, THE PRIORITY OF INTERPRETATION SHALL BE:
   A. SCHEDULES
   B. NOTES
   C. LARGE SCALE DRAWINGS, E.G.. DETAILS
   D. SMALL SCALE DRAWINGS, E.G.. FLOOR PLANS, ELEVATIONS
6. ARCHITECTURAL DRAWINGS SHALL HAVE PRECEDENCE OVER ALL OTHER DRAWINGS UNLESS WRITTEN NOTICE IS GIVEN BY DEVELOPER. THE ORDER OF PRECEDENCE SHALL BE:
   A. ARCHITECTURAL
   B. STRUCTURAL
   C. MECHANICAL
   D. PLUMBING
   E. ELECTRICAL.

WORKMANSHIP

1. ALL WORK SHALL BE DONE IN A WORKMAN LIKE MANNER AND IN ACCORDANCE WITH GENERALLY ACCEPTED PRACTICE.
3. ALL STUDS, CEILING FURRING AND FRAMING MEMBERS SHALL BE PLACED TO AVOID INTERFERENCE WITH LOCATIONS OF CASEWORK, RECESSED LIGHTING FIXTURES, PIPING, DUCT WORK AND THE LIKE.
3. AT THE COMPLETION OF THE WORK, THE SUBCONTRACTOR SHALL ENSURE THAT ALL INTERIOR SURFACES, INCLUDING WINDOWS, SHALL BE CLEAN AND UNMARKED.

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ABBREVIATIONS

AFF	- above finish floor
AFG	- above finish grade
NA	- not applicable
MIN	- minimum
MAX	- maximum
EA	- each
TYP	- typical
CL	- center line
EQ	- equal
OC	- on center
VERT	- vertical
HORZ	- horizontal
SQ FT	- square feet
V.I.F.	- verify in field
PL	- property line
RL	- rain leader
DW	- dish washer
W	- clothes washer
D	- clothes dryer
PT	- pressure treated wood
HVAC	- heating, ventilation, air conditioning
AHU	- air handling unit
SA	- supply air
RA	- return air
CFM	- cubic feet per minute
FD	- floor drain
FE	- fire extinguisher
PSI	- pounds per square inch
PSF	- pounds per square foot
LL	- live load
CU FT	- cubic feet
CU YD	- cubic yards
PIP	- poured in place
SF	- silt fence
A	- amps
V	- volts
WP	- water proof
GFI	- ground fault interrupter
CO	- convenience outlet
CB	- circuit breaker

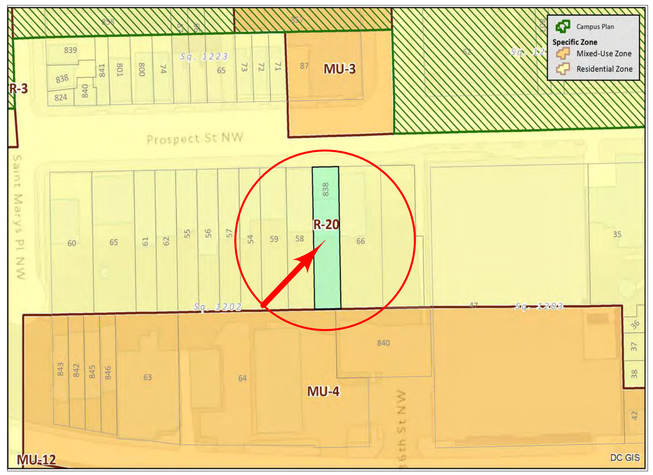
BUILDING ELEMENT	TYPE III A[a]	TYPE III B
Structural frame[a]	1	0
Bearing walls Exterior[g] Interior	 2 1	 2 0
Nonbearing walls and partitions Exterior	See Table 602	
Nonbearing walls and partitions Interior[f]	0	0
Floor construction Including supporting beams and joists	1	0
Roof construction Including supporting beams and joists	1 [b]	0 [d]

FIRE RESISTANCE REQUIREMENTS PER TABLE 601, IBC 2012

EXTERIOR WALLS OF THE BUILDING ARE LOAD BEARING MASONRY, MINIMUM OF 8" THICK, EXCEPT AT 3RD FLOOR WHERE FRONT, REAR AND ALLEY WALLS ARE WOOD FRAMED.

FIRE SEPARATION DISTANCE = X (feet)	OCCUPANCY GROUP A, B, E, F-2, I, R, S-2[g], U[b]
X < 5[c]	1
5 ≤ X < 10	1 1
10 ≤ X < 30	1[d] 0 1[d]
X ≥ 30	0

FIRE RESISTANCE REQUIREMENTS PER TABLE 602, IBC 2012



LOCATION MAP

The existing structure is a two story single family home with two basement levels. The work of this project is to add a story and renovate the existing floors.

PROJECT NARRATIVE

GRIGGS ENGINEERING
CONSULTING ENGINEERS
221 K ST NE
Washington, DC 20002
www.GriggsEngineering.com
(202)-790-4350

STRUCTURAL ENGINEER

KK ENGINEERING, LLC
8850 Columbia 100 Parkway, Suite 316
Columbia, MD, 21045
Tel 443-393-1070 www.kkedesign.com

MECHANICAL ENGINEER

building information

Lot/square	LOT: 0838 SQ: 1202
Zone	R-20
Historic District	Georgetown Historic District
Construction Type	III-B
Use Group	R-3
Occupancy	
Cellar:	2
1st:	4
2nd:	4
3rd:	4
roof deck:	4
Occupancy Load:	18
Applicable Codes	
Building:	2012 ICC INTERNATIONAL BUILDING CODE (IBC) DCMR 12A 2013 BUILDING CODE SUPPLEMENT
Existing Building:	2012 ICC INTERNATIONAL EXISTING BUILDING CODE (IEBC) DCMR 12J 2013 EXISTING BUILDING CODE SUPPLEMENT
Mechanical:	2012 ICC INTERNATIONAL MECHANICAL CODE (IMC) DCMR 12E 2013 MECHANICAL CODE SUPPLEMENT
Plumbing:	2012 ICC INTERNATIONAL PLUMBING CODE (IPC) DCMR 12F 2013 PLUMBING CODE SUPPLEMENT
Electrical:	2012 ICC INTERNATIONAL ELECTRICAL CODE NFPA NEC 2011(IEC) DCMR 12C 2013 ELECTRICAL CODE SUPPLEMENT
Fire:	2012 ICC INTERNATIONAL FIRE CODE (IFC) DCMR 12H 2013 FIRE CODE SUPPLEMENT
Energy:	2012 ICC INTERNATIONAL ENERGY CONSERVATION CODE (IECC) DCMR 12I 2013 ENERGY CONSERVATION CODE SUPPLEMENT
Fuel Gas:	2012 ICC INTERNATIONAL FUEL GAS CODE (IFUGC) DCMR 12D 2013 ENERGY FUEL GAS CODE SUPPLEMENT
ADA:	2012 ICC INTERNATIONAL BUILDING CODE (IBC) // ANSI A117.1 2003 DCMR 12A 2013 SUPPLEMENT
Zoning:	DCMR TITLE 11
Building Suppressed	NO
Alarm System	YES
Building Height	33' ±
Building Areas	
Cellar:	1198
Basement:	1151
1st:	891
2nd:	891
3rd:	891
Roof deck:	783
Total Gross Sq Ft:	5805 GROSS
Lot Area	3100 SQ FT
Structural System	
Load Bearing System:	MASONRY
Floors:	WOOD JOISTS
Walls C1, 1, 2:	MASONRY BEARING
Walls 3:	MASONRY @ PARTY WALL; WOOD AT FRONT, REAR, ALLEY FRONTAGES
Roof:	WOOD RAFTERS
Interior stairs:	WOOD
Handicapped Accessible Space Bldg.	NO
Name	STEPHEN duPONT, JR. NCARB
Signature	

DISTRICT OF COLUMBIA
STEPHEN duPONT, JR.
No. 3727
REGISTERED ARCHITECT

I am responsible for determining that the architectural designs included in this application are in compliance with all laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the development of, the architectural designs included in this application.

TABLE 721.1(2)
RATED FIRE-RESISTANCE PERIODS FOR VARIOUS WALLS AND PARTITIONS [a, o, p]

MATERIAL	ITEM NUMBER	CONSTRUCTION	MINIMUM FINISHED THICKNESS FACE-TO-FACE[b] (inches) 4 hours	3 hours	2 hours	1 hour
	1-1.1	Solid brick of clay or shale[c].	6	4.9	3.8	2.7
low clay tile						
3. Concrete masonry units	3-1.1[f, g]	Expanded slag or pumice.	4.7	4.0	3.2	2.1
	3-1.2[f, g]	Expanded clay, shale or slate.	5.1	4.4	3.6	2.6
	3-1.3[f]	Limestone, cinders or air-cooled slag.	5.9	5.0	4.0	2.7
	3-1.4[f, g]	Calcareous or siliceous gravel.	6.2	5.3	4.2	2.8
		Siliceous aggregate concrete	7.0	6.2	5.0	3.5

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TABLE 721.1(3)
MINIMUM PROTECTION FOR FLOOR AND ROOF SYSTEMS[a, q]

FLOOR OR ROOF CONSTRUCTION	ITEM NUMBER	CEILING CONSTRUCTION	THICKNESS OF FLOOR OR ROOF SLAB (inches) 4 hours	3 hours	2 hours	1 hour	MINIMUM THICKNESS OF CEILING (inches) 4 hours	3 hours	2 hours	1 hour
1. Siliceous aggregate concrete	1-1.1	Slab (no ceiling required). Minimum cover over nonprestressed reinforcement shall not be less than $^3/_4$" b.	7.0	6.2	5.0	3.5	—	—	—	—
2. Carbonate aggregate concrete	2-1.1		6.6	5.7	4.6	3.2	—	—	—	—
3. Sand-lightweight concrete	3-1.1		5.4	4.6	3.8	2.7	—	—	—	—
4. Lightweight concrete	4-1.1		5.1	4.4	3.6	2.5	—	—	—	—
		Slab with suspended ceiling of vermiculite gypsum plaster								

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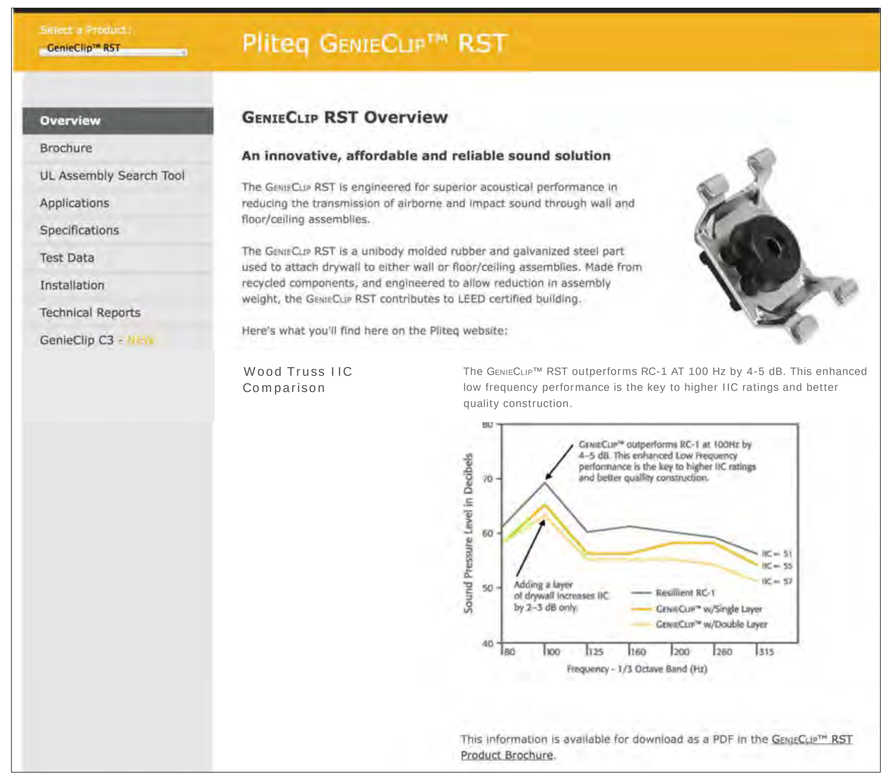
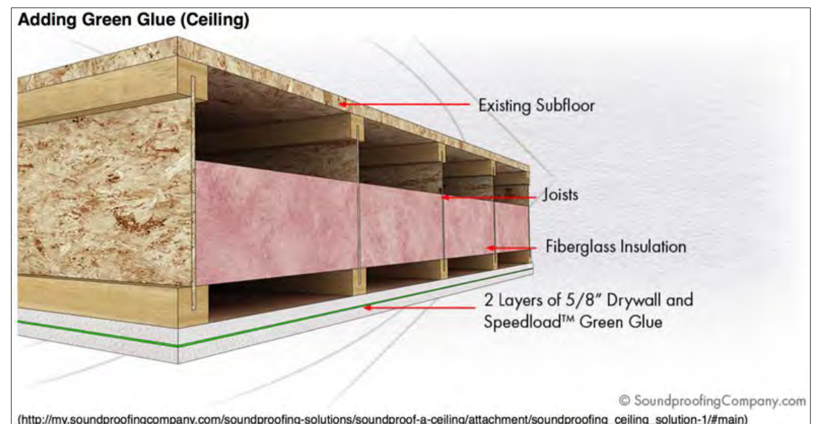


Adding Green Glue (Ceiling)



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(http://my.soundproofingcompany.com/wp-content/uploads/2016/01/spc-ceiling-green-glue-triple.jpg) (http://my.soundproofingcompany.com/wp-content/uploads/2016/01/spc-ceiling-green-glue-double.jpg) (http://my.soundproofingcompany.com/wp-content/uploads/2016/01/spc-ceiling-green-glue-single.jpg)

R-value of Materials and Depths

Material	R-value/in	3 1/2"	5 1/4"	10"	12"	15"
Fiberglass (batt)	3.1 - 3.4	10.8 - 11.9	16.3 - 17.8	31.0 - 34.0	37.2 - 40.8	46.5 - 51.0
Fiberglass blown (attic)	2.2 - 4.3	7.7 - 15.0	11.5 - 22.6	22.0 - 43.0	26.4 - 51.6	33.0 - 64.5
Fiberglass blown (wall)	3.7 - 4.3	12.9 - 15.0	19.4 - 22.6	37.0 - 43.0	44.4 - 51.6	55.5 - 64.5
Mineral Wool (batt)	3.1 - 3.4	10.8 - 11.9	16.3 - 17.8	31.0 - 34.0	37.2 - 40.8	46.5 - 51.0
Mineral Wool blown (attic)	3.1 - 4.0	10.8 - 14.0	16.3 - 21.0	31.0 - 40.0	37.2 - 48.0	46.5 - 60.0
Mineral Wool blown (wall)	3.1 - 4.0	10.8 - 14.0	16.3 - 21.0	31.0 - 40.0	37.2 - 48.0	46.5 - 60.0
Cellulose blown (attic)	3.2 - 3.7	11.2 - 12.9	16.8 - 15.0	32.0 - 37.0	38.4 - 44.4	48.0 - 55.5
Cellulose blown (wall)	3.8 - 3.9	13.3 - 13.6	19.9 - 20.8	38.0 - 39.0	45.6 - 46.8	57.0 - 58.5
Polystrene Board	3.8 - 5.0	13.3 - 17.5	19.9 - 26.2	38.0 - 50.0	45.6 - 60.0	57.0 - 75.0
Polyurethane Board	5.5 - 6.5	19.2 - 22.7	28.9 - 34.1	55.0 - 65.0	66.0 - 78.0	82.5 - 97.5
Polyisocyanurate (foil-faced)	5.6 - 8.0	18.2 - 28.0	29.4 - 42.0	56.0 - 80.0	67.2 - 96.0	84.0 - 120.0
Open Cell Spray Foam	3.5 - 3.6	12.2 - 12.6	18.4 - 18.9	35.0 - 36.0	42.0 - 43.2	52.5 - 54.0
Closed Cell Spray Foam	6.0 - 6.5	21.0 - 22.7	31.5 - 34.1	60.0 - 65.0	72.0 - 78.0	90.0 - 97.5

2 Hour Fire-rated Construction	Dimensional Lumber (Refer to ULC/UL Design Directory listings for loading conditions. See page 6.)		Acoustical Performance			Reference		Mark
Construction Detail	Description	Test Number	STC	IIC	Test Number	ARL	Index	
clg. wt. 5; 349 mm (13¾")	• 2 layers 15.9 mm (5/8") Sheetrock Firecode C Core Gypsum Panels – 25 mm (1") nominal wood sub and finished floor – 2x10 wood joist 400 mm (16") o.c. – Resilient channel – joints finished	ULC Des L511 or UL Des L511			Assembly not recommended when sound control is a major consideration.		B-58	14

2 Hour Fire-Rated Construction	Area Separation Walls						Mark
3½"	• 1" Sheetrock gypsum liner panels • 2" USG H-Studs 24" o.c. – minimum 3/4" air space both sides separating liner panels from *adjacent construction*	GA-ASW-1000				A-79	15
11½"	Separation wall (non-loadbearing) • 1" Sheetrock gypsum liner panels • 2" USG H-Studs 24" o.c. – Protected wall (bearing or non-loadbearing) of wood or steel studs each side min 3/4" from liner panels • 1/2" Sheetrock gypsum panels. Note: These systems do not provide a fire rating for adjacent wood- or steel-framed walls.	UL Des U336	46	RAL-TL-88-353		A-80	16
			54	RAL-TL-88-348 Based on 2" mineral wool batt on one side			
			57	RAL-TL-88-351 Based on 2 x 4s and 3" mineral wool batt on one side			
			58	RAL-TL-88-347 Based on 2 x 4s and 2" mineral wool batt on both sides			
			60	RAL-TL-88-350 Based on 2 x 4s and 3" mineral wool batt on both sides			

ONE-HOUR FLOOR/CEILING, ROOF/CEILING ASSEMBLIES

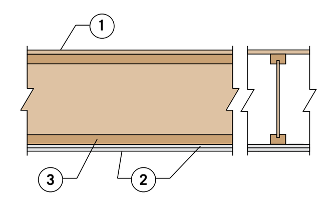
Lightweight concrete or approved gypsum concrete topping with appropriate sheathing can be substituted for the decking material shown in any of these assemblies.

Assembly B
Intertek WNR FCA 60-01
Intertek WNR FCA 60-03
ICC ES ESR-1153

1. 48/24 tongue-and-groove, span-rated sheathing (Exposure 1)
2. Two layers ½" Type C gypsum board or two layers ⅝" Type X gypsum board
3. TJI® joist

Optional when used with resilient channels (not shown):
Minimum 3½"-thick glass fiber insulation or glass fiber insulation that is rated R-30 or less.

Note: Resilient channels (with optional insulation) may be installed between the joists and gypsum board if improved STC and IIC sound ratings are desired.



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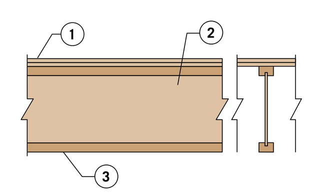
Assembly E
ICC ES ESR-1153

1. Double wood floor or single layer of 48/24 tongue-and-groove span-rated sheathing (Exposure 1)
2. TJI® joist
3. An approved ceiling system that will provide a 40-minute finish rating



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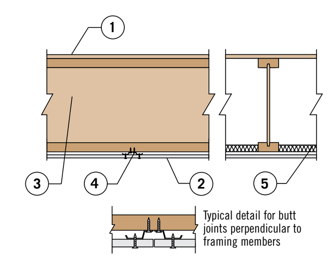
Assembly F
Intertek WNR FCA 60-07
ICC ES ESR-1153

1. 48/24 tongue-and-groove, span-rated sheathing (Exposure 1)
2. ⅝" Type C gypsum board
3. TJI® joist with a minimum depth of 11⅞" and a minimum flange size of 1½" thick x 3½" wide (see **TJI® Joist Specifications** table on page 16 for flange sizes). Joists spaced at 24" on-center, maximum.
4. Resilient channel at 16" on-center
5. Minimum 1½"-thick (2.5 pcf minimum) mineral wool batts



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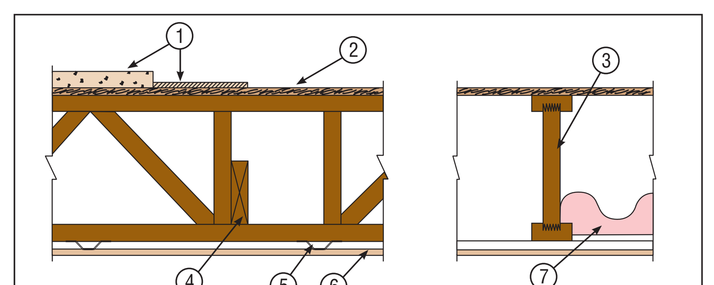
One-Hour Floor / Ceiling System L/480 (#OJ/FCA 60-02)



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1. **Topping:** Topping is optional. Can be lightweight or proprietary topping.
2. **Subflooring:** 5/8" tongue-and-groove plywood or oriented strandboard (OSB).
3. **Structural members:** Open Joist floor trusses, from a minimum depth of 9-1/4" to a maximum depth of 16", installed up to 24" on-center, maximum load design according to manufacturer L/480 load tables, with structural-graded 3x2 or 4x2 chords per NLGA grading rules for Canadian Lumber or graded by an inspection bureau or agency approved by the United States Department of Commerce Board of Review of the American Lumber Standards Committee with chord sizes of 3x2 or 4x2. Structural members should bear the WHI certification mark.
4. **Bridging:** Continuous 2x4 lumber nailed to the bottom chord and the sides of the diagonals with 3" long nails.
5. **Resilient channel:** (Optional: For acoustic performance only.) Rigid steel furring channels (inverted hat-type) spaced 16" on-center and attached to the bottom chord by means of two Type W screws. Channels overlap on 10" at the end and are attached to each other by a 1-1/4" Type S screw.
6. **Gypsum board:** One layer of 5/8" Type X. Long edges located between joists perpendicular to the resilient channels. Short edges are staggered by 4 feet. Sheets are fastened to the resilient channels by means of 1-1/2" Type S screws located 1-1/2" away from the edge and 3" from the long edges. Screws are spaced 6" on-center. Joints are taped and finished with two layers of compound.
7. **Insulation:** Insulation material is ~~optional~~ for acoustic and/or thermal protection.

Results obtained have been performed by Inchcape Testing Services NA Ltd-Warnock Hersey and are in accordance with ASTM E –119, CAN.ULC S-101 and UL-263.

1 Hour Fire-Rated Construction	Truss		Acoustical Performance		Reference	Mark
Construction Detail	Description	Test Number	STC	Test Number	Index	
clg. wt. 3; 20⅞"	• 5/8" Sheetrock Firecode C Core gypsum panels – wood truss, 24" o.c. – 3/4" plywood floor • USG DGL Drywall Suspension System – joints finished • optional 3/4" Levelrock floor underlayment • optional veneer plaster	UL Des L529			B-86	21

3 Hour Fire-Rated Construction	Steel Bar Joist Framing		Acoustical Performance		Reference	Mark
Construction Detail	Description	Test Number	STC	Test Number	Index	
clg. wt. 3, clg. wt. 4; 16"	• 5/8" Sheetrock Firecode C Core gypsum panels – metal furring channel 24" o.c. – joints finished – 2-1/2" concrete on corrugated steel deck or riblath – steel bar joists, 24" o.c. • optional veneer plaster	UL Des G512			B-36	22
clg. wt. 3; 21¼"	• USG DGL Drywall Suspension System • 1/2" or 5/8" Sheetrock Firecode C Core gypsum panels – joints finished – 3-1/4" concrete on riblath or corrugated steel deck – steel bar joists, 24" o.c.	UL Des G529			B-37	

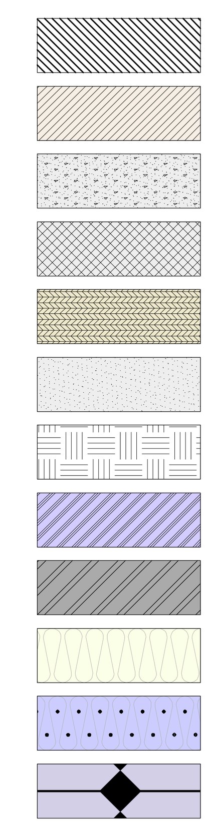
Construction Detail	Description	Test Number	STC	Acoustical Test Number	ARL	Index	MARK	MARK SIM*
2 Hour Fire-rated Construction	**Non-loadbearing**							
wt. 9; 125 mm (5")	• 12.7 mm (1/2") Sheetrock Firecode C Core Gypsum Panels – 64 mm (2-1/2") 0.5 mm (25 gauge) steel studs 610 mm (24") o.c. – 25 mm (1") SAFB – Resilient channel one side, spaced 610 mm (24") o.c. – double layer gypsum panels screw-attached to channel, 2 layers screw-attached to steel studs – face layer joints finished • optional veneer plaster	ULC Des W453 or UL Des U454	57	USG-871207 Based on 15.9 mm (5/8") thick panels	SA920	A-18	1	1*
			60	RAL-TL-87-154				
			61	RAL-TL-83-214 Based on 15.9 mm (5/8") thick panels				
			63	RAL-TL-87-141 Based on 150 mm (6") 0.8 mm (20 gauge) structural studs and 125 mm (5") mineral wool batt				
			62	RAL-TL-84-139 Based on 15.9 mm (5/8") thick panels, 150 mm (6") 0.8 mm (20 gauge) structural studs and 125 mm (5") mineral wool batt				
wt. 12; 156 mm (6⅛")	• 15.9 mm (5/8") Sheetrock Firecode C Core Gypsum Panels – 92 mm (3-5/8") 20ga steel structural studs 610 mm (24") o.c. – face layer joints finished • Alternate design three layers 12.7 mm (1/2") Sheetrock Firecode C Core Gypsum Panels	ULC Des W424				A-50	2	2*
2 Hour Fire-rated Construction								
wt. 9; 89 mm (3½")	• 12.7 mm (1/2") Sheetrock Firecode C Core Gypsum Panels, face layer joints finished • 64 mm (2-1/2") CSC C-H Studs 0.5 mm (25 gauge) 610 mm (24") o.c. • 25.4 mm (1") Sheetrock Gypsum Liner Panels	ULC Des W452, System B or W506 or UL Des U415, System B or U438	38	USG-040917	SA926	A-70	3	
			43	USG-040912 Based on 100 mm (4") C-H studs 0.5 mm (25 gauge)				
			48	RAL-OT-04-022 Based on 25 mm (1") sound batts in cavity				
			50	RAL-OT-04-019 Based on 100 mm (4") C-H studs 0.5 mm (25 gauge) with 75 mm (3") mineral fibre insulation				
	2-1/2" steel stud as furring w/ 1/2" gyp bd; provide R-15 fiberglass batt or as noted w/vapor barrier. Block stud off exterior wall as required to maintain stiffness.						4	
1 Hour Fire-rated Construction	**Non-loadbearing**							
wt. 6; 124 mm (4⅞")	• 15.9 mm (5/8") Sheetrock Firecode Core Gypsum Panels or Grand Prix Firecode Core Abuse-Resistant Gypsum Base, or Firerock Panels – 92 mm (3-5/8") 0.5 mm (25 gauge) steel studs 610 mm (24") o.c. – joints finished • optional veneer plaster	ULC Des W453 or W407 or UL Des U419 or U465	40	USG-860808	SA700 SA920	A-1	5	
			49	SA-870717 Based on 75 mm (3") SAFB in cavity				
			51	RAL-TL-90-166 Based on 15.9 mm (5/8") Firecode C Core panels and 75 mm (3") SAFB, and veneer finish surface SAFB 635 mm (25") wide, creased to fit cavity				
1 Hour Fire-rated Construction								
wt. 7; 121 mm (4¾")	• 15.9 mm (5/8") Sheetrock Firecode Core Gypsum Panels or Firerock Panels – 2x4 wood stud 400 mm (16") (for 610 mm (24") o.c. use UL Des U314) – joints finished – optional veneer plaster	ULC Des W301 or UL Des U305 or U314	34	USG-30-FT-G&H Based on 400 mm (16") stud spacing and screws 150 mm (6") o.c.	SA920	A-54	6	
			37	USG-860807 Based on 610 mm (24") stud spacing				
			46	BBN-700725 Based on 610 mm (24") stud spacing and 75 mm (3") mineral wool batt				
1 Hour Fire-Rated Construction	**Loadbearing**							
	• 5/8" Sheetrock Firecode Core gypsum panels – 2x4 wood studs 24" o.c. – joints finished – optional insulation – optional plywood or OSB for shear purposes	UL Des U344				A-61	7 sim	
wt. 7; 5¼"	• 5/8" Sheetrock Firecode C Core gypsum panels 2 x 4 wood stud 16" or 24" o.c. 3" Thermafiber SAFB RC-1 channel or equivalent one side joints finished	UL Des U327	50	BBN-760903		A-62	7	
5¼"	• 5/8" Sheetrock Firecode Core gypsum panels – 3-5/8" 25 gauge steel studs 24" o.c. – joints finished – optional insulation – optional plywood or OSB for shear purposes	UL Des U419				A-12	7*	
2 Hour Fire-rated Construction	**Loadbearing** (Refer to ULC/UL Design Directory listings for loading conditions. See page 6.)							
wt. 12; 150 mm (6")	• 15.9 mm (5/8") Sheetrock Firecode Core Gypsum Panels or Sheetrock Water-Resistant Firecode Core Gypsum Panels or Firerock Panels – 2x4 wood studs 400 mm (16") o.c. – joints finished • optional veneer plaster	ULC Des U301 or UL Des U301	52	USG-810218 Based on same assembly (non-fire rated) without mineral wool batt	SA920	A-59	8	
			58	USG-810219				
	2 layers 5/8" Firecode-X gypbd; 2 x 6, 16" OC unless otherwise noted; R-21 fiberglass batt; 1/2" FRT plywood sheathing; 2 layers 5/8" Firecode-X water resistant gypbd (1/2" CDX sheathing optional); min 1" mineral wool at cavity; R-3.1 > R3.4; rain screen per design						8a	exterior
	2 layers 5/8" Firecode-X gypbd; 1/2" RC-1 channel; 3-1/2" 2x4 stud w/mineral wool sound and fire abatement; 2 layers 5/8" Firecode-X water resistant gypbd over 1/2" CDX						8 sim	interior
	corrugated metal siding; 2-1/2" mineral wool continuous insulation (R-7.75); 2 layers 5/8" Firecode-X water resistant gypbd; 1/2" FFRT plywood sheathing; 2x6 FRT Wood stud, 16" OC unless otherwise noted; R-21 fiberglass batt; 2 layers 5/8" Firecode-X gypbd						8b	exterior
6 1/8"	• 5/8" Sheetrock Firecode core panels, or 5/8" Sheetrock UltraLight Panels Firecode X – 3-5/8" 25 gauge steel studs 24" o.c. – optional insulation	UL Des U419	53	RAL-TL-11-176 Based on 5/8" Sheetrock Firecode panels, R-11 fiberglass sound bat		A-25	9	
			51	STC-120309 Based on 5/8" Sheetrock Firecode core panels, 4" 20 gauge steel studs 16" o.c., 3" mineral fiber insulation				
			54	RAL-TL11-176 Based on 5/8" Sheetrock UltraLight Panels Firecode X, R-11 fiberglass sound bat				
wt. 9; 5"	• 1/2" Sheetrock Firecode C Core gypsum panels – 2-1/2" 25 gauge steel studs 24" o.c. – 1" Thermafiber SAFB – RC-1 channel or equivalent one side, spaced 24" o.c. – double layer gypsum panels screw-attached to channel, two layers screw-attached to steel studs – face layer joints finished • optional veneer plaster	UL Des U454	57	USG-871207 Based on 5/8" thick panels		A-24	9a	
			60	RAL-TL-87-154				
			61	RAL-TL-83-214 Based on 5/8" thick panels				
			63	RAL-TL-87-141 Based on 6" 20 gauge structural studs and 5" mineral wool batt				
			62	RAL-TL-84-139 Based on 5/8" thick panels, 6" 20 gauge structural studs and 5" mineral wool batt				

1 Hour Fire-rated Construction	Dimensional Lumber (Refer to ULC/UL Design Directory listings for loading conditions. See page 6.)		Acoustical Performance			Reference		Mark
Construction Detail	Description	Test Number	STC	IIC	Test Number	ARL	Index	
clg. wt. 3	• 15.9 mm (5/8") Sheetrock Firecode Core Gypsum Panels, ceiling – 25 mm (1") nominal wood sub and finished floor – 2x10 wood joist 400 mm (16") o.c. – joints finished • optional Levelrock Floor Underlayment • optional SRM-25 or SRB sound mat • optional veneer plaster	ULC Des M500 or UL Des L501	38	32	CK-6412-7 Based on 31 mm (1-1/4") nominal wood floor	SA305 SA920	B-43	10
			39	56	CK-6412-8 Based on 31 mm (1-1/4") nominal wood floor, (44 oz) carpet and (40 oz) pad atop flooring			
clg. wt. 3	• 12.7 mm (1/2") or 15.9 mm (5/8") Sheetrock Firecode C Core Gypsum Panels, ceiling – 25 mm (1") nominal wood sub and finished floor – 2x10 wood joist 400 mm (16") o.c. – joints finished • optional 19 mm (3/4") Levelrock Floor Underlayment • optional SRM-25 or SRB sound mat • optional veneer plaster	ULC Des L512 or UL Des L512				SA305 SA920	B-44	11
clg. wt. 3	• 12.7 mm (1/2") or 15.9 mm (5/8") Sheetrock Firecode C Core Gypsum Panels – 25 mm (1") nominal wood sub and finished floor – 2x10 wood joist 400 mm (16") o.c. – Resilient channel spaced 610 mm (24") o.c. – joints finished • optional veneer plaster	UL Des L514				SA920	B-45	12
clg. wt. 3	• 1/2" or 5/8" Sheetrock Firecode C Core gypsum panels, ceiling – 1" nominal wood sub and finished floor – 2 x 10 wood joist 16" o.c. • USG DGL Drywall Suspension System – joints finished • optional Levelrock floor underlayment in lieu of second layer of plywood • optional SRM-25 or SRB sound mat	UL Des L525					B-58	13

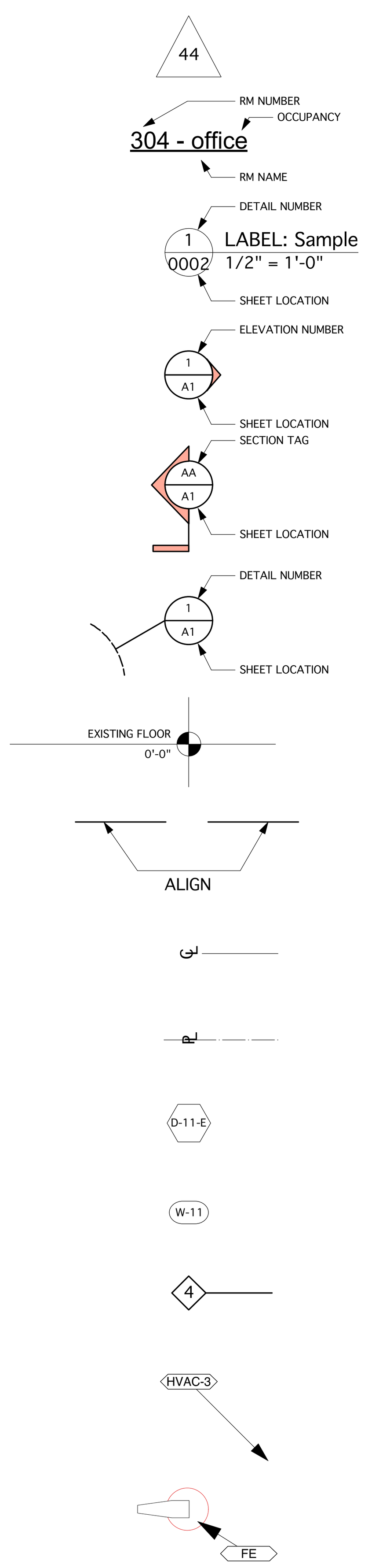
3 Hour Fire-Rated Construction	Description	Test Number	Comments	Index	Mark
	– 1-5/8" steel run channel brackets 24" o.c. – 7/8" x 1-3/8" corner angles attached to brackets • 5/8" Sheetrock Firecode Core gypsum panels – 1" 20 gauge hex mesh on bottom over middle layer – joints finished – 2-1/2" concrete deck on fluted steel floor	UL Des N505	Structural member tested: W8 x 24 (beam only) Fire rating for restrained assembly; 2 hour rating for unrestrained assembly	E-26	27
	– 1-5/8" steel run channel brackets 24" o.c. – 1/8" x 1-3/8" corner angles attached to channel brackets • 5/8" Imperial Firecode Core gypsum Base – 1" 20 gauge hex mesh on bottom over middle layer – metal beads on corners – joints taped • 1/16" veneer plaster finish – 2-1/2" concrete deck on fluted steel floor	UL Des N505	Structural member tested: W8 x 24 (beam only)	E-27	

1 Hour Fire-Rated Construction	Description	Test Number	Comments	Reference Index	Mark
Construction Detail	– 3.4 lb self-furring diamond mesh metal lath wrapped around column • 3/4" 100:2-100:3 gypsum-sand plaster	BMS-92	Structural member tested: W10 x 49	E-1	26
	• 2 layers 1/2" Sheetrock Firecode C core panels – 1-5/8" 25 gauge steel studs – No. 28 MSG 1-1/4" leg corner bead fastened to wallboard with No. 6x1" screws – joints finished	UL Des X528	Structural member tested: W4 x 13 W6 x 15.5	E-2	
	• 1 layer 1/2" Sheetrock Firecode C core panels – 1-5/8" 25 gauge steel studs – No. 28 MSG 1-1/4" leg corner bead fastened to wallboard with No. 6x1" screws – joints finished	UL Des X528	Structural member tested: W10 x 49	E-3	
	• 2 layers 1/2" Sheetrock Firecode C core panels – 1-5/8" 25 gauge steel studs – No. 28 MSG 1-1/4" leg corner bead fastened to wallboard with No. 6x1" screws – joints finished	UL Des X528	Structural member tested: Tube steel column 4 x 4 x 0.188"	E-4 E-5	
	• 1 layer 5/8" Sheetrock Firecode core panels – 1-5/8" 25 gauge steel studs – No. 28 MSG 1-1/4" leg corner bead fastened to wallboard with No. 6x1" screws – joints finished	UL Des X528	Structural member tested: Tube steel column 8 x 8 x 0.25"	E-6	

MATERIALS



SYMBOLS



FIRE RATED ASSEMBLIES

One-Hour Ceiling
(Based on GA File Nos. FC 5406 and RC 2601)

The ceiling membrane consists of two layers of 5/8" (15.9 mm) type X gypsum board directly applied to framing or furring. The base layer of gypsum board is applied at right angles to ceiling framing 24" (610 mm) o.c. and attached with 1" (25 mm) Type S or S-12 drywall screws (for steel framing) or 1-1/4" (32 mm) Type W or S drywall screws (for wood framing) spaced 24" (610 mm) o.c. The face layer of gypsum board is applied at right angles to the framing and attached with 1-5/8" (41 mm) Type S or S-12 drywall screws (for steel framing) or 1-7/8" (48 mm) Type W or S drywall screws (for wood framing) 12" (305 mm) o.c. at end joints and intermediate joists and 1-1/2" (38 mm) Type G drywall screws 12" (305 mm) o.c. placed 2" (50 mm) back on either side of end joints. Joints of the face layer are offset 24" (610 mm) from the joints in the base layer. Face layer joints and fasteners are finished to Level 1 as specified in GA-214, *Levels of Gypsum Board Finish*.

25

DCRA

Farruggio Residence

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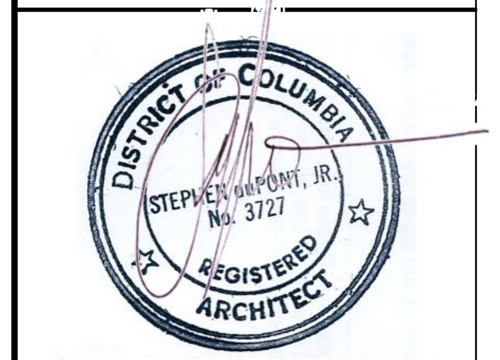

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4	5/17/18	DD/Pre-OGB
3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
Arch Detl/Sched-1

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
0002
of Total Sheets

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., September 25, 2019

Plat for Building Permit of: SQUARE 1202 LOT 838

Scale: 1 inch = 20 feet

Recorded in Book A & T Page 3320 - P

Receipt No. 19-08368 Drawn by: A.S.

Furnished to: STEPHEN DUPONT

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

For Surveyor, D.C.

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:
1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application B2004543; and
3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.
I also hereby certify that:
1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
3) I have/have not (*circle one*) filed a subdivision application with the Office of the Surveyor;
4) I have/have not (*circle one*) filed a division of lots application with the Office of Tax & Revenue; and
5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.
Plats issued by the Office of the Surveyor will be valid for a period of two years from the date of issuance. I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

Signature: _____ Date: 04 FEB 2020

Printed Name: Stephen duPont, Jr.

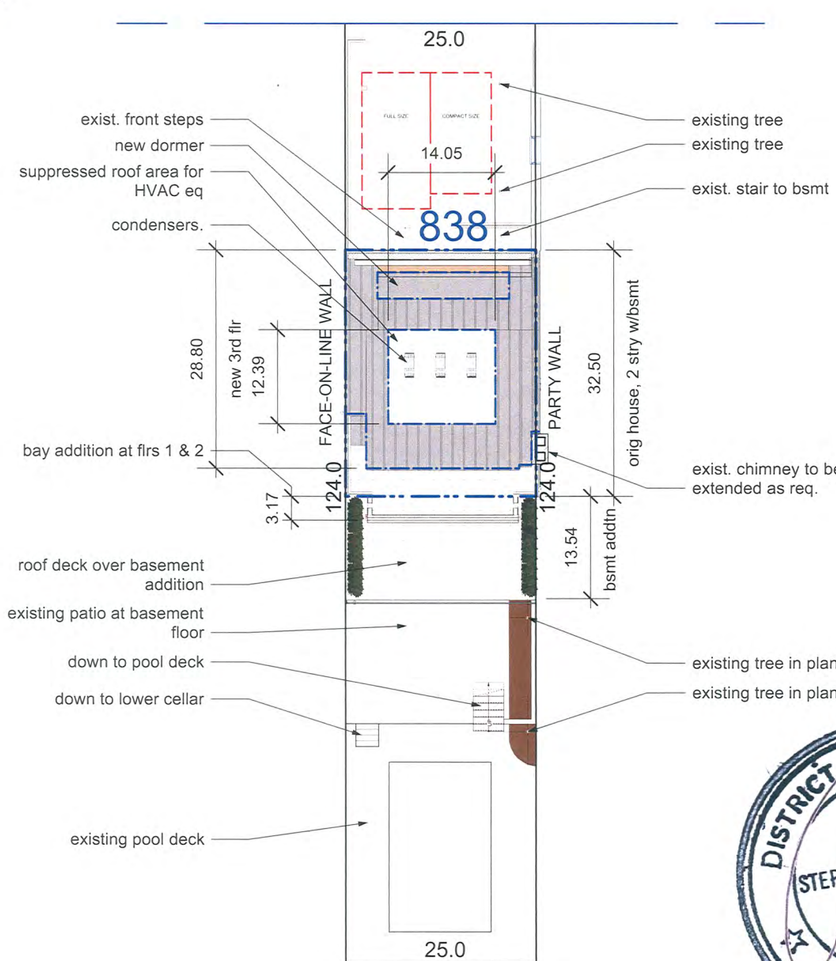
Relationship to Lot Owner: architect

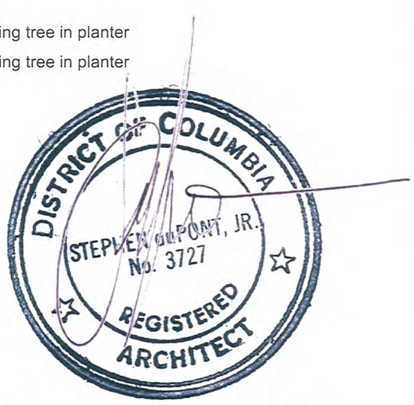
If a registered design professional, provide license number A3727 and include stamp below.

A SUBDIVISION HAS BEEN ORDERED TO CREATE A LOT OF RECORD

S.O. Staff Signature Date 2/11/20

PROSPECT STREET, N.W.





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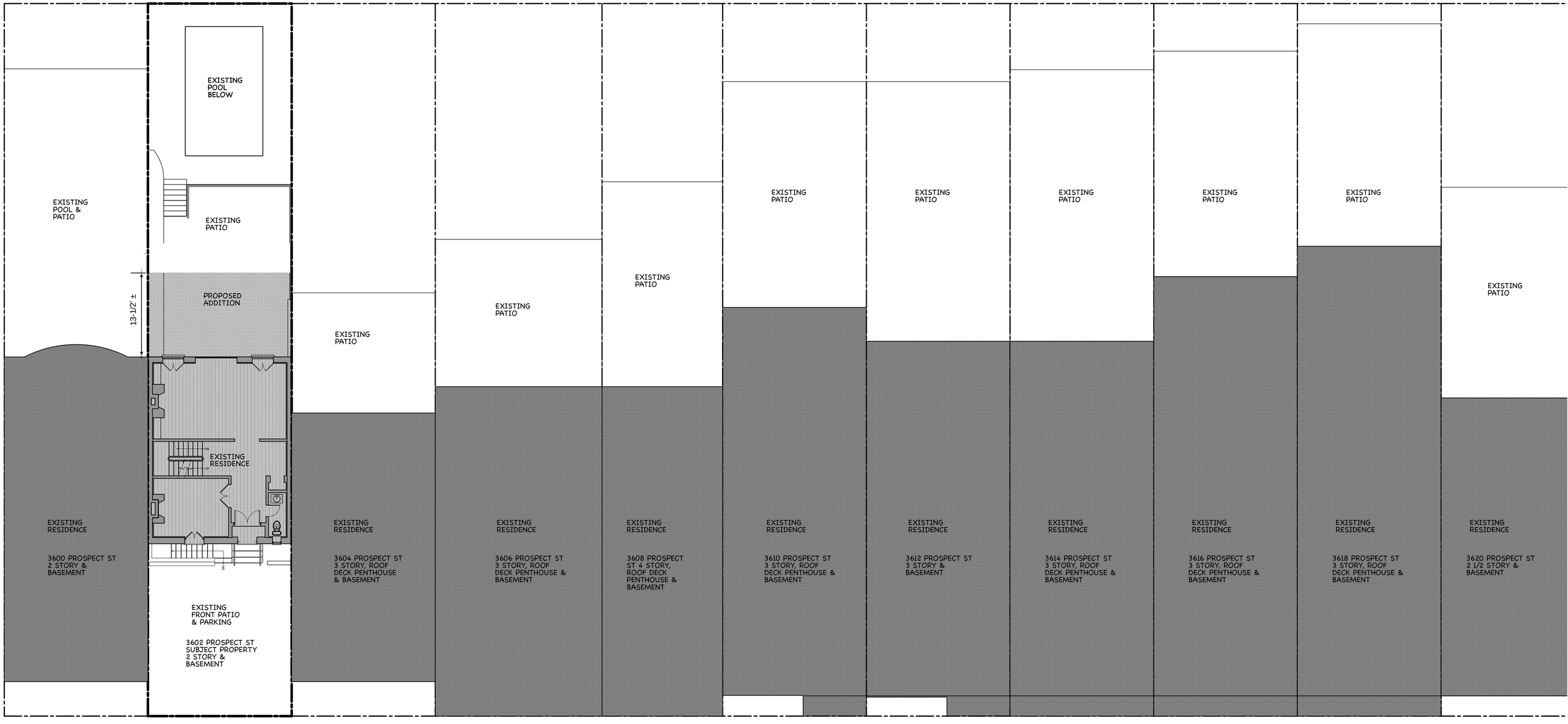
SCALE: 1:20

SR-19-08368(2019)
* E-MAIL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EXISTING POOL & PATIO
EXISTING PATIO
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13-1/2' ±
EXISTING RESIDENCE
EXISTING RESIDENCE
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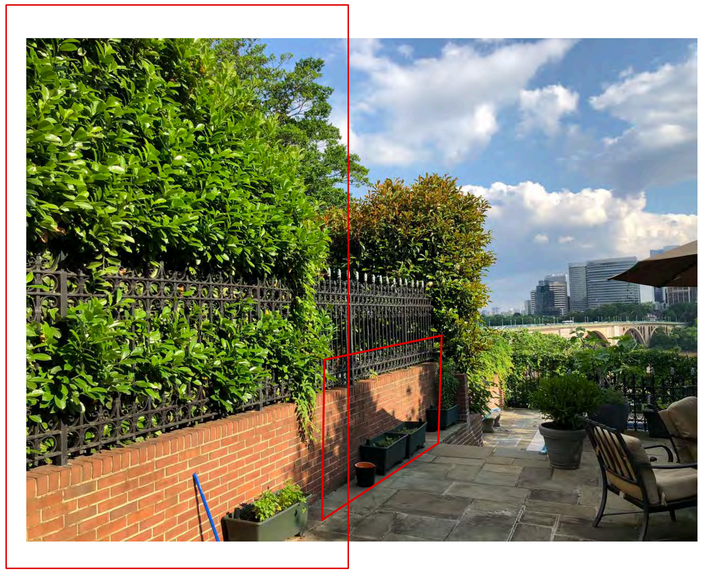
EXISTING FRONT PATIO & PARKING
3602 PROSPECT ST SUBJECT PROPERTY 2 STORY & BASEMENT
EXISTING PATIO
EXISTING RESIDENCE
3604 PROSPECT ST 3 STORY, ROOF DECK PENTHOUSE & BASEMENT
EXISTING PATIO
EXISTING RESIDENCE
3606 PROSPECT ST 3 STORY, ROOF DECK PENTHOUSE & BASEMENT
EXISTING PATIO
EXISTING RESIDENCE
3608 PROSPECT ST 4 STORY, ROOF DECK PENTHOUSE & BASEMENT
EXISTING PATIO
EXISTING RESIDENCE
3610 PROSPECT ST 3 STORY, ROOF DECK PENTHOUSE & BASEMENT
EXISTING PATIO
EXISTING RESIDENCE
3612 PROSPECT ST 3 STORY & BASEMENT
EXISTING PATIO
EXISTING RESIDENCE
3614 PROSPECT ST 3 STORY, ROOF DECK PENTHOUSE & BASEMENT
EXISTING PATIO
EXISTING RESIDENCE
3616 PROSPECT ST 3 STORY, ROOF DECK PENTHOUSE & BASEMENT
EXISTING PATIO
EXISTING RESIDENCE
3618 PROSPECT ST 3 STORY, ROOF DECK PENTHOUSE & BASEMENT
EXISTING PATIO
EXISTING RESIDENCE
3620 PROSPECT ST 2 1/2 STORY & BASEMENT
PROSPECT STREET



1 Existing Site Section
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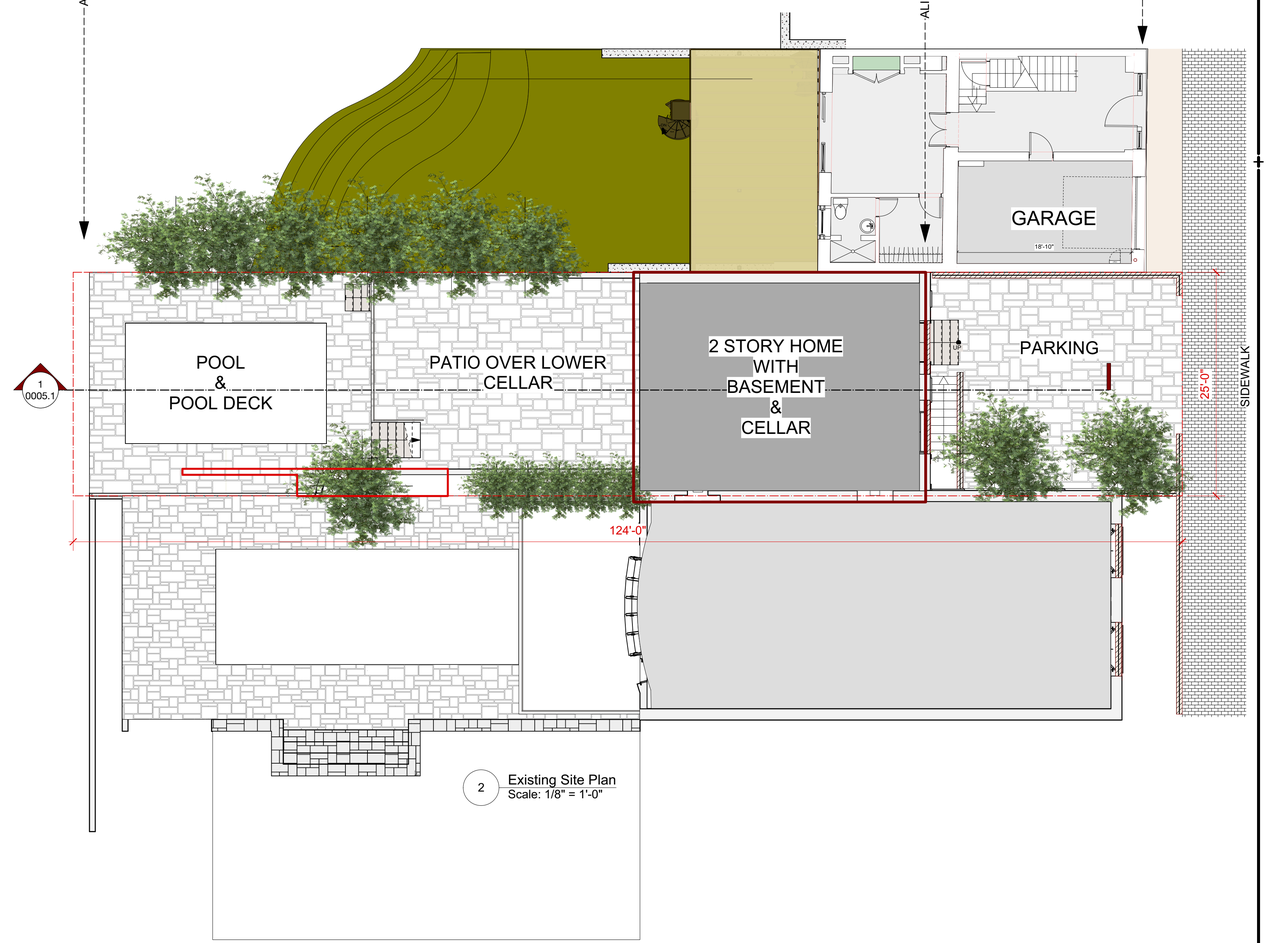

2 Existing Site Plan
Scale: 1/8" = 1'-0"

DCRA

Farruggio
Residence

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Washington, DC 20007

Engineer

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DISTRICT OF COLUMBIA
STEPHEN DUPONT, JR.
No. 3727
REGISTERED
ARCHITECT

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3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
Site Plan Existing
EXISTING

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
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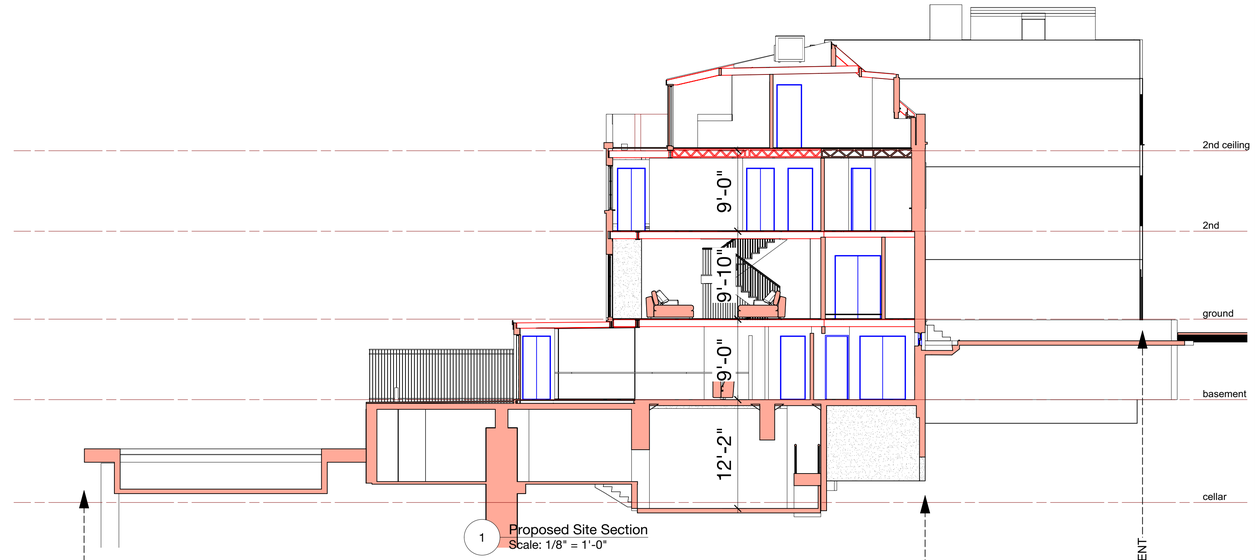
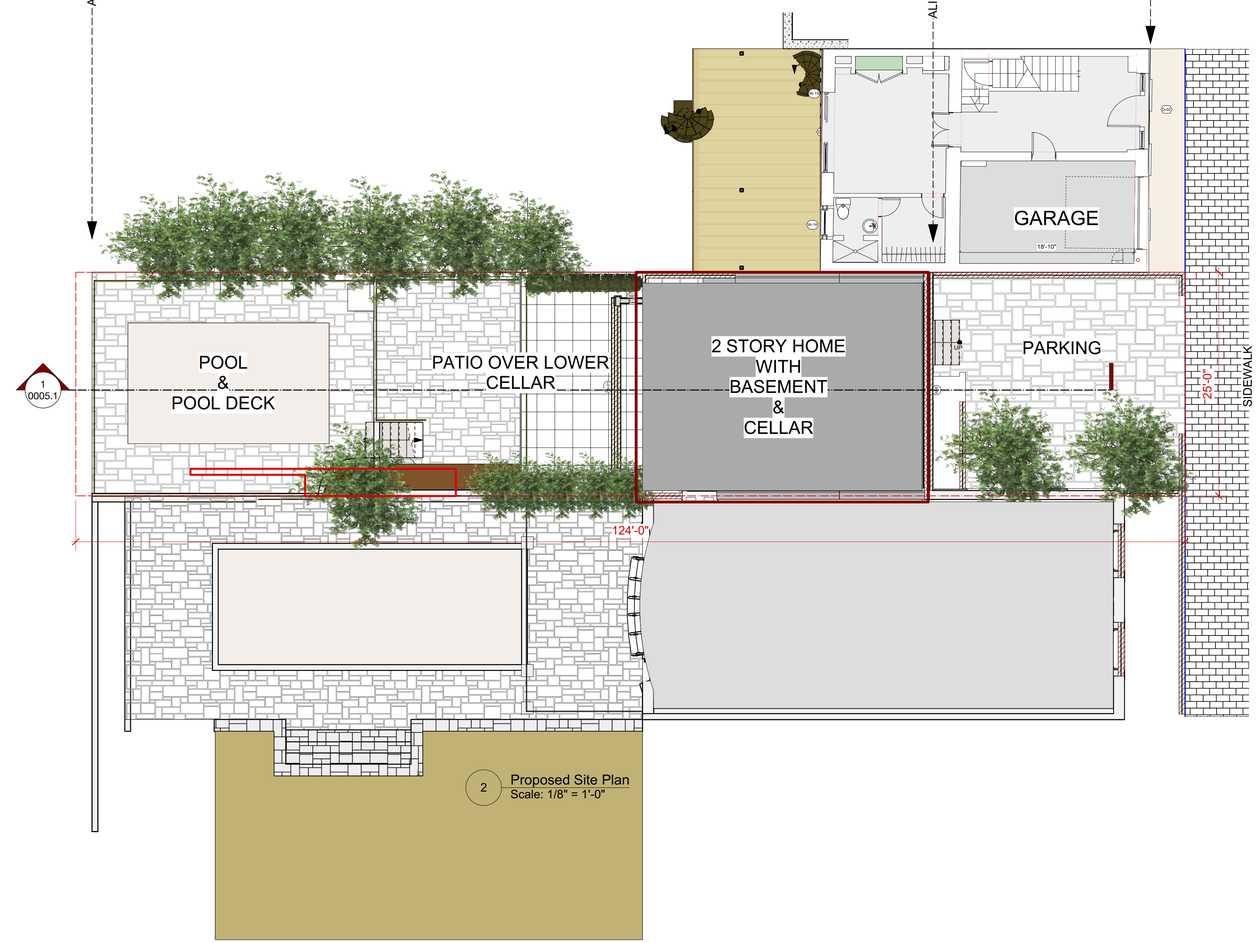
Drawing No.
0005.1
of Total Sheets



1 Proposed Site Section
Scale: 1/8" = 1'-0"



2 Proposed Site Plan
Scale: 1/8" = 1'-0"

DCRA

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3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
Site Plan & Section
Proposed

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
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File Name:
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Drawing No.
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of Total Sheets

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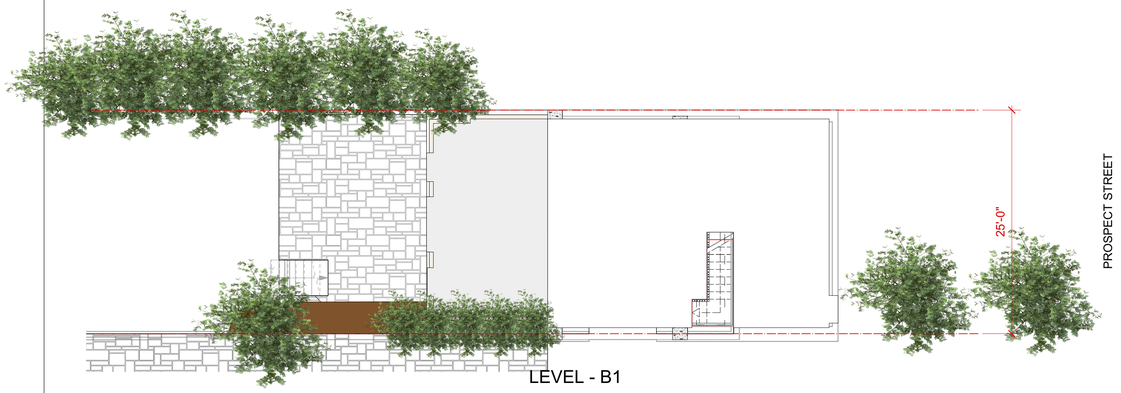
LEVEL - 3RD



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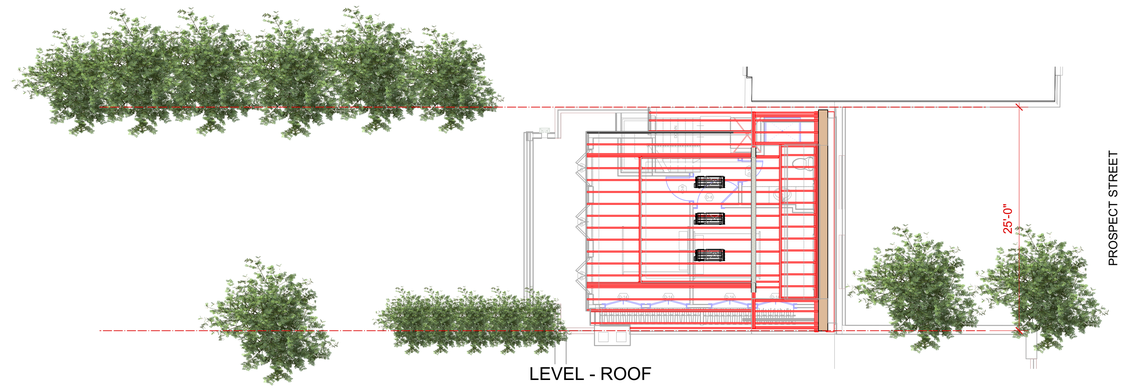

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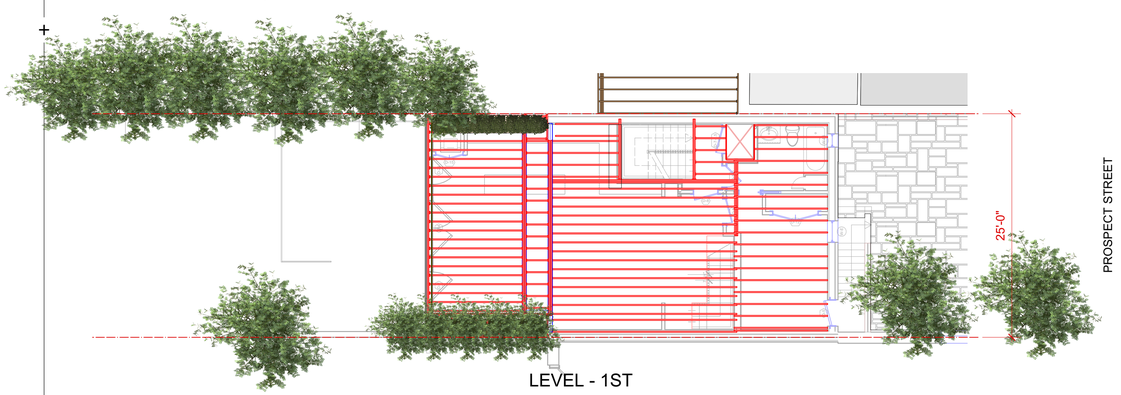
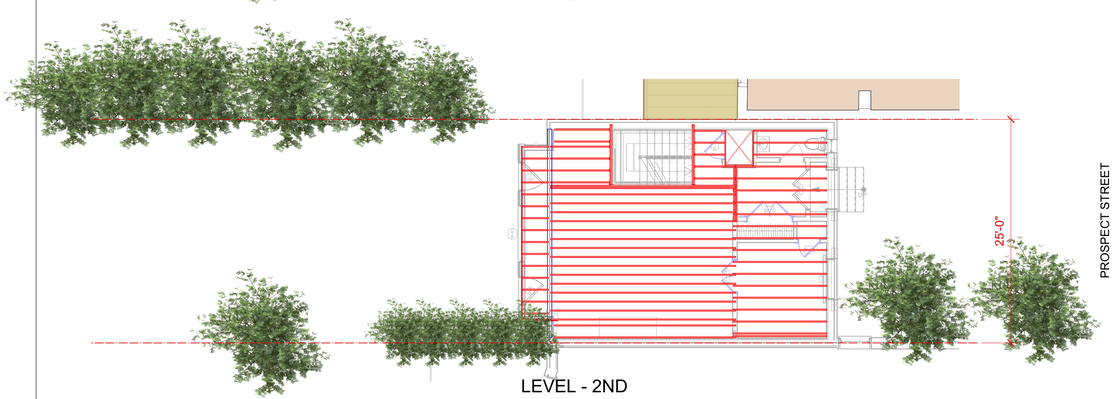


LEVEL - 1ST



LEVEL - 2ND

DCRA

Farruggio
Residence

3602 Prospect St., NW
Washington, DC 20007

Engineer

STEPHEN DUPONT, JR. RA
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DISTRICT OF COLUMBIA
STEPHEN DUPONT, JR.
No. 3727
REGISTERED
ARCHITECT

I am responsible for determining that the architectural designs included in this application are in compliance with all laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the development of, the architectural designs included in this application.

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Title
Structural Analysis

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
0006
of Total Sheets

SYMBOL	DESCRIPTION
	DUPLEX OUTLET
	QUADRUPLEX OUTLET
GFI	QUADRUPLEX OUTLET GROUND FAULT PROTECTED
	DUPLEX OUTLET 42 AFF
	QUADRUPLEX OUTLET 42 AFF
	SPLIT WIRED/SWITCHED
	SPECIAL PURPOSE OUTLET
GFI	DUPLEX GROUND FAULT PROTECTED
WP GFI	DUPLEX WATERPROOF GROUND FAULT PROTECTED
D	DEDICATED CIRCUIT
	RANGE/OVEN
	FLOOR OUTLET- SIMPLEX
S	SWITCH- SINGLE POLE
S3	SWITCH- THREE WAY
SD	SWITCH- DIMMER
SD3	SWITCH- DIMMER THREE WAY
ST	SWITCH- TIMER
SF	SWITCH- FAN
SD	SWITCH- DOOR
SL	SWITCH- LOW VOLTAGE
SK	SWITCH- KEYED
SPH	SWITCH- PHOTO CELL
	SWITCH- OCCUPANCY SENSOR
T	THERMOSTAT- PROGRAMMABLE, COMPLYING W/ C403.2.4.2
	KITCHEN UNDER COUNTER *†
	SURFACE 4' LED - 18W/tube (previously FLOURESCENT) *†
	TELEPHONE.
C	CABLE TV.
	TRACK LIGHT.
E	LIGHTOLIER 1100AICM-1112; USE CREE 22W LED LAMP. ** ††
1a	LIGHTOLIER 1100AICM-1131; USE CREE 22W LED LAMP. ** ††
2a	SURFACE MOUNTED CEILING FIXTURE, OWNER TO SELECT.
2b	LEDme LED100 Step and Wall Light, by WAC
2c	LITHONIA twh-led EXTERIOR WALL MOUNT
4	EXTERIOR SURF. MNTD. WALL FIXTURE, OWNER TO SELECT.
5	LITHONIA D SERIES SIZE 1 DSXW1 LED 10C 30K
6	INTERIOR WALL FIXTURE, OWNER TO SELECT.
7	LIGHTOLIER 1100AICM-1185 WALL WASHER. ** *†
8	LIGHTOLIER 1100AICM-1182 BASIC EYEBALL. ** *†
9	RECESSED CEILING LIGHT, WHITE INFRARED LAMP. ** *†
10	LIGHTOLIER 1100AICM-1177SH WET LOCATION ** *†
10a	LIGHTOLIER 1100AICM-1124SH WET LOCATION ** *†
11	LIGHTOLIER 2002PI-2084. **
F	JUNCTION BOX: FAN- UL LISTED. †
J	JUNCTION BOX/BLANK.
E	EMERGENCY WHITE.
S	SMOKE DETECTOR *
	BATHROOM FAN WO/LIGHT
	BATHROOM FAN W/LIGHT

* SMOKE DETECTOR TO BE HARD WIRED AND ON A CIRCUIT WITH OTHER EQUIPMENT SO A TRIPPED CIRCUIT BREAKER WILL BE OBVIOUS.
** PROVIDE AIRSEAL/IC TYPE ROUGH-IN KITS FOR ALL RECESSED LIGHTING, TO CONTROL NOISE AND DRAFTS. LAMP TO BE 2700K (WARM SOFT WHITE).
† CEILING FANS REQUIRE JUNCTION BOX UL LISTED FOR CEILING FAN SUPPORT. PROVIDE WIRING FOR SPEED AND LIGHT CONTROL.
†† WHERE RECESSED LUMINAIRES PENETRATE A FIRE RATED ASSEMBLY PROVIDE FIRE RATED ENCLOSURES WITH THE SAME LEVEL OF PROTECTION AS THE ASSEMBLY PENETRATED.
*† FOR STRAIGHT FLUORESCENT LAMPS ≤ 6', MAX .5 MILLIGRAMS MERCURY PER LAMP.
COMPACT FLUORESCENT LAMPS SHALL NOT CONTAIN MORE THAN .5 MILLIGRAMS MERCURY PER LAMP UNLESS ≥ 25W.

ELECTRICIAN TO BE RESPONSIBLE FOR SUPPLYING EQUIPMENT SUFFICIENT TO THE ANTICIPATED LOADS TO BE IMPOSED.

SET SWITCHES TO 48" AFF AT CL, UNLESS OTHERWISE NOTED.
SET OUTLETS TO 18" AFF AT CL, UNLESS OTHERWISE NOTED.

ALL PHONE JACKS TO BE WIRED FOR 2 LINES. PROVIDE CAT-5-E CABLE.

ELECTRIC SYMBOLS

ELECTRICAL NOTES

GENERAL CONDITIONS:
1. THE ELECTRICAL CONTRACTOR SHALL EXAMINE THE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS OF WORK AFFECTING THE CONTRACT.

2. THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND BE FAMILIAR WITH THE EXISTING CONDITIONS.

3. ALL PERMITS AND FEES FOR THIS WORK SHALL BE OBTAINED AND PAID FOR BY THE ELECTRICAL CONTRACTOR.

SCOPE:
1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS REQUIRED TO INSTALL A COMPLETE SYSTEM OF ELECTRICAL WORK. THE WORK SHALL ALSO INCLUDE TELEPHONE AND CATV INSTALLATION IF SHOWN ON THE DRAWINGS.

WORK BY OTHERS:
1. ALL STARTING AND CONTROL EQUIPMENT FOR MECHANICAL EQUIPMENT SHALL BE PROVIDED BY MECHANICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL PROVIDE POWER FOR ALL MECHANICAL EQUIPMENT. FINAL CONNECTION SHALL BE BY MECHANICAL CONTRACTOR.

CODE:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE N.E.C., THE _____ COUNTY BUILDING AND ELECTRIC CODES, BOCA, NFPA AND THE REQUIREMENTS OF THE LOCAL POWER AND TELEPHONE COMPANIES. ALL MATERIALS SHALL BE NEW AND SHALL BE LISTED BY U. L. INC.

INSPECTION:
1. THE ELECTRICAL CONTRACTOR SHALL, AT HIS EXPENSE, ARRANGE ALL LOCAL ELECTRICAL INSPECTIONS AND SHALL DELIVER CERTIFICATE OF APPROVAL OF THE COMPLETE WORK TO THE OWNER BEFORE RECEIVING HIS FINAL PAYMENT.

TEST:
1. THE ELECTRICAL CONTRACTOR SHALL TEST ALL WIRING AND CONNECTIONS FOR CONTINUITY AND GROUNDS BEFORE CONNECTING ANY FIXTURES.

MATERIALS:
1. ALL MATERIAL AND EQUIPMENT SHALL BE NEW, UNLESS OTHERWISE NOTED.

2. EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS FOR TYPE, CAPACITY AND SUITABILITY. THESE INSTRUCTIONS ARE MADE A PART OF THE DRAWINGS.

FIELD MEASUREMENTS:
1. THE ELECTRICAL CONTRACTOR SHALL TAKE ALL FIELD MEASUREMENTS NECESSARY FOR THIS WORK AND SHALL ASSUME RESPONSIBILITY FOR THEIR ACCURACY.

2. SHOULD ANY STRUCTURAL INTERFERENCE PREVENT THE SETTING OF ANY EQUIPMENT AT POINTS SHOWN ON THE DRAWINGS, NECESSARY MINOR DEVIATIONS, AS DETERMINED BY THE ARCHITECT, SHALL BE MADE AT NO ADDITIONAL COST.

DRAWINGS:
1. THE DRAWINGS ARE INTENDED TO SHOW SWITCHING, LIGHTING AND OUTLETS ONLY. THE CONTRACTOR SHALL CHECK ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL & PLUMBING DRAWINGS SO THAT HE MAY COORDINATE HIS WORK.

2. CONVENIENCE OUTLETS SHALL BE LOCATED 12" AFF TO CENTER LINE. AT KITCHEN & BATHROOM COUNTERS THEY SHALL BE 3'-6" AFF UNLESS OTHERWISE SHOWN ON THE DRAWINGS.

3. WALL SWITCHES SHALL BE LOCATED 4'-0" AFF TO CL.

GUARANTEE
THE CONTRACTOR SHALL LEAVE THE ENTIRE ELECTRICAL SYSTEM INSTALLED UNDER THIS CONTRACT IN PROPER WORKING ORDER AND SHALL, WITHOUT CHARGE, REPLACE ANY WORK OR MATERIALS WHICH DEVELOP DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNERS.

Special Conditions - Residential

1. Provide 2- 20 amp. 12 AWG circuits with split wired Convenience Outlets in kitchens. Wire to provide 2 separate circuits at each major work station along counters.
2. Provide dedicated circuits for refrigerators, dishwashers and garbage disposals and other equipment as required by manufacturer.
3. Do not combine lighting with CO's or equipment circuits.
4. Divide CO's equally among circuits.
5. Reserve 20% of each circuit for future expansion. Maximum number of CO's on one 15 amp. circuit shall be 8.
6. There shall be at least two circuits in each room, so that in the event of the failure of one circuit every room will have power for lighting.
7. All CO's and switches shall be Leviton or P & S, white unless otherwise shown.
8. All bathrooms shall be on their own circuit.
9. Do not place other GFI circuits (e.g. outside, garage) on bathroom circuits.
10. CB Panels and load centers shall be by Square D, Cutler and Hammer or GE.
11. Electric Sub. to provide power as required for all HVAC equipment. Refer to mechanical and electrical fixture schedules for circuits required.
12. Provide Arc-Fault Protection @ all bedroom outlets per IRC E3802.12 or NEC 210.12.

ELECTRICAL NOTES

BATTERY LIGHT PACK (UL 924)
EXIT LIGHT W/ DIRECTION SIGNAL ††
F ALARM PULL STATION
AV ALARM STROBE
EXISTING SPRINKLER HEAD
10" DIAMETER WATERPROOF AUDIBLE ALARM
F.A.C.P. FIRE ALARM CONTROL PANEL
F.A.A.P. FIRE ALARM ANNUNCIATOR PANEL
T TAMPER SWITCH
F FLOW SWITCH
MAGNETIC HOLD OPEN

†† INTERNALLY ILLUMINATED EXIT SIGN: MAX 5 WATTS PER SIDE.

ALARM SYMBOLS

PLUMBING GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL BUILDING AND PLUMBING CODES. CODES SHALL BE CONSIDERED THE MINIMUM REQUIREMENTS.

2. THE SUBCONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMIT FEES FOR THIS WORK.

3. THE SUBCONTRACTOR SHALL VISIT THE SITE AND BE FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.

4. ALL WORK AND EQUIPMENT SHALL BE CLEANED AND ADJUSTED AS REQUIRED TO GIVE SATISFACTORY OPERATION.

5. THE DRAWINGS ARE DIAGRAMMATIC. THE EXTENT, GENERAL CHARACTER AND LOCATION OF THE WORK IS SHOWN. MINOR DETAILS, FITTINGS, ETC. HAVE BEEN OMITTED FOR CLARITY AND SHALL BE PROVIDED AS PART OF THE JOB.

6. ALL SUPPLY PIPING ABOVE GROUND SHALL BE TYPE "M" COPPER .

7. ALL SOIL PIPES SHALL BE STANDARD WEIGHT CAST IRON, OR PVC, SCHEDULE 40.

8. EACH PLUMBING FIXTURES SHALL BE PROVIDED WITH ACCESSIBLE SHUT OFF VALVES.

9. COORDINATE PLUMBING LAYOUT WITH MECHANICAL AND SHIFT PIPING TO AVOID CONFLICTS.

10. DRAWING ARE DIAGRAMATIC. SUBCONTRACTOR SHALL DESIGN AND INSTALL COMPLETE SYSTEM.

GUARANTEE

THE CONTRACTOR SHALL LEAVE THE ENTIRE PLUMBING SYSTEM INSTALLED UNDER THIS CONTRACT IN PROPER WORKING ORDER AND SHALL, WITHOUT CHARGE, REPLACE ANY WORK OR MATERIALS WHICH DEVELOP DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR WITHIN ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNERS.

PLUMBING NOTES

	IBC 2012 - DCMR 12 2013					
	OCCUPANCY CATEGORY - II					
	IBC 1603					
	LOADING			DEFLECTION		
	DEAD	LIVE	GROUND SNOW	L	S or W	D+L
ROOF	15	20	30	240	240	180
WALLS	8				240	
FLOOR	15	40/50*		360		240
CORRIDOR	15	100		360		240
DECKS	10	40		360		240

	IBC 1606	IBC 1607	IBC 1608.1.1 DCMR 1608.1.1	IBC TABLE 1604.3		
	WIND SPEED	EXPOSURE CATEGORY				
WIND	90 MPH	B		DCMR 12 1608.1.2		
	DESIGN CATEGORY	SITE CLASS	2 SEC ACCEL	1 SEC ACCEL		
SEISMIC	B	D	.190g	.065g	IBC 1603.1.5	

STRUCTURAL CRITERIA

* 50 @ NEW OFFICE AREA

MECHANICAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES, WITH THOSE CODES CONSIDERED AS MINIMUM REQUIREMENTS.

2. ALL PERMITS AND FEES FOR THIS WORK SHALL BE OBTAINED AND PAID FOR BY THE MECHANICAL CONTRACTOR.

3. THE MECHANICAL CONTRACTOR SHALL VISIT THE SITE AND BE FAMILIAR WITH THE EXISTING CONDITIONS.

4. ALL WORK AND EQUIPMENT SHALL BE CLEANED AND ADJUSTED AS REQUIRED TO GIVE SATISFACTORY OPERATION.

5. AIR SYSTEMS SHALL BE ADJUSTED AND BALANCED.

6. PROVIDE A COMPETENT OPERATING TECHNICIAN TO INSTRUCT THE OWNER IN THE OPERATION AND MAINTENANCE OF THE HVAC SYSTEM.

7. ALL SUPPLY AIR DUCT WORK SHALL BE LINED WITH 1" SOUND LINER "CERTAIN-TEED" CSG ULTRALITE DUCT LINE, 3 lb../ CU. FT. DENSITY. ALL DUCT DIMENSIONS INCLUDE SOUND LINING.

8. THE DRAWINGS ARE DIAGRAMMATIC. THE EXTENT, GENERAL CHARACTER AND LOCATION OF THE WORK IS SHOWN. MINOR DETAILS, FITTINGS, ETC. HAVE BEEN OMITTED FOR CLARITY AND SHALL BE PROVIDED AS PART OF THE JOB.

9. HVAC CONTRACTOR SHALL SUPPLY GENERAL CONTRACTOR WITH SUBMITTALS SHOWING EQUIPMENT SIZES, WEIGHTS, AND LOCATIONS.

10. COORDINATE ALL MECHANICAL WORK WITH ELECTRICAL WORK, ETC. SHOWN ON OTHER DRAWINGS.

11. ALL CUTTING FOR THE NEW WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND APPROVED BY THE GENERAL CONTRACTOR. CUTTING OF STRUCTURAL MEMBERS SHALL NOT BE PERMITTED WITHOUT PRIOR PERMISSION OF THE ARCHITECT.

12. VERIFY LOCATIONS AND DIMENSIONS OF EXISTING WORK TO WHICH NEW WORK SHALL BE CONNECTED BEFORE STARTING CONSTRUCTION.

13. SURFACES SURROUNDING THE PENETRATIONS OF DUCTS AND PIPES SHALL BE PATCHED AND FINISHED TO MATCH EXISTING ADJACENT SURFACES.

14. PROVIDE ALL NECESSARY ALTERATIONS TO EXISTING WORK FOR NEW CONNECTIONS.

15. ALL NEW WORK SHALL CLEAR ALL EXISTING PIPING, LIGHTING FIXTURES, STRUCTURAL OBSTACLES, ETC.

16. REROUTE EXISTING PIPING, IF NECESSARY TO CLEAR NEW WORK.

17. ALL WORK IS NEW UNLESS OTHERWISE SHOWN.

18. UNLESS OTHERWISE NOTED, ALL PIPING AND DUCT WORK IS OVERHEAD, TIGHT TO STRUCTURE, WITH SPACE FOR INSULATION IF REQUIRED.

19. ALL SUPPLY AND RETURN AIR DUCTS AND PLENUMS SHALL BE INSULATED WITH A MINIMUM OF R-6 INSULATION WHERE LOCATED IN UNCONDITIONED SPACES AND A MINIMUM OF R-8 INSULATION WHERE LOCATED OUTSIDE THE BUILDING. EXCEPTIONS:
1. WHERE LOCATED WITHIN EQUIPMENT.
2. WHERE THE DESIGN TEMPERATURE DIFFERENCE BETWEEN THE INTERIOR AND EXTERIOR OF THE DUCT OR PLENUM DOES NOT EXCEED 15°F (8°C).

20. ALL DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION 603.9 OF THE INTERNATIONAL MECHANICAL CODE.

21. INSTALL PIPING AND DUCT WORK SO THAT ALL VALVES AND DAMPERS ARE ACCESSIBLE.

22. EXCEPT AS OTHERWISE SHOWN, LOCATE ROOM THERMOSTAT 5'-0" (CENTER LINE) ABOVE FINISHED FLOOR ON THE VERTICAL CENTER LINE OF THE ROOM LIGHT SWITCH.

23. MECHANICAL CONTRACTOR SHALL PROVIDE ANY ADDITIONAL DRAWINGS NECESSARY FOR PERMITS.

24. EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS FOR TYPE, CAPACITY AND SUITABILITY. THESE INSTRUCTIONS ARE MADE A PART OF THE DRAWINGS.

25. DRAWING ARE DIAGRAMATIC. SUBCONTRACTORS SHALL DESIGN AND INSTALL COMPLETE SYSTEM.

GUARANTEE

THE CONTRACTOR SHALL LEAVE THE ENTIRE MECHANICAL SYSTEM INSTALLED UNDER THIS CONTRACT IN PROPER WORKING ORDER AND SHALL, WITHOUT CHARGE, REPLACE ANY WORK OR MATERIALS WHICH DEVELOP DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNERS.

MECHANICAL NOTES

STRUCTURAL NOTES

VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ETC. BEFORE BEGINNING ANY DEMOLITION, FABRICATION OR MATERIALS OR CONSTRUCTION AT JOB SITE: REPORT ANY DISCREPANCIES TO THE ARCHITECT.

ALL WORK AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE AS SPECIFIED ON THE COVER SHEET AND ALL APPLICABLE FEDERAL AND MUNICIPAL LAWS, CODES AND REGULATIONS.

LIVE LOADS
A. ROOF30 PSF
B. FLOORS 40 PSF + 20 PSF AT PARTITIONS

DESIGN CODES
A. AWS D1.1STRUCTURAL WELDING CODE
B. BOCA/93 BASIC BUILDING CODE
C. NOMASPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY
D. NDSNATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION

FOUNDATIONS
A. NEW FOOTINGS ARE DESIGNED TO BEAR ON SOIL WITH AN ASSUMED DESIGN BEARING VALUE OF 1500 PSF.
B. FOOTINGS SHALL BE INSPECTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF CONCRETE. THIS REQUIREMENT MAY BE WAIVED WITH WRITTEN PERMISSION OF THE ARCHITECT.
C. TYPICAL SLAB ON GRADE SHALL BE A MINIMUM OF 4" THICK 3000# CONCRETE PLACED ON A VAPOR BARRIER OVER 6" OF GRAVEL OR POROUS FILL. REINFORCE SLAB WITH 6X6-W1.4 WELDED WIRE FABRIC.
D. THE SLAB SHALL BE THICKENED, AS PER TYPICAL DETAILS, UNDER ALL INTERIOR BEARING WALLS, UNLESS OTHERWISE NOTED.

A. CONCRETE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF ACI 301-72 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS."
B. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. USE A MINIMUM OF 5-1/2 BAGS OF CEMENT PER CUBIC YARD OF CONCRETE. IN ACCORDANCE WITH ACI 301-72 SECTION 3.8 METHOD 2, THE CONCRETE MIX SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR APPROVAL. ALL CONCRETE SHALL BE PLACED WITH A MAXIMUM SLUMP OF 4" ± 1".
C. CONCRETE COVER TO REINFORCEMENT TO BE:
FOOTINGS 3"
WALLS EARTH FACE SIDE1-1/2"
WALLS INSIDE FACE3/4"
SLABS INTERIOR FACE3/4"
SLABS EXTERIOR FACE1-1/2"

REINFORCEMENT
A. REINFORCING BARS SHALL CONFORM TO ASTM-615 GRADE 60 FOR BARS, STIRRUPS, AND TIES.
B. WELDED WIRE FABRIC SHALL CONFORM TO ASTM-185. LAP EDGES OF WIRE FABRIC AT LEAST 6" IN EACH DIRECTION. FABRIC SHALL BE HELD OFF GRAVEL WITH CHAIRS OR OTHER APPROVED DEVICES. FABRIC SHALL CHECKED AFTER CONCRETE IS POURED TO INSURE THAT IT IS IN THE CENTER OF THE SLAB.
C. BAR SUPPORTS, ACCESSORIES, AND DETAILING SHALL BE POSITIVELY LOCATED AND SECURED IN POSITION BEFORE POURING CONCRETE.

MASONRY
A. CONCRETE MASONRY UNITS SHALL BE LIGHT WEIGHT HOLLOW LOAD BEARING UNITS (ASTM C 90) GRADE N-1 WITH A NET STRENGTH OF 2000 PSI U'M = 1350 PSI, AND WEIGH 105 PCF MAX.
B. ALL JOINTS SHALL BE FILLED SOLID WITH MORTAR WITH FULL COLLAR JOINTS.
C. MORTAR SHALL COMPLY WITH BIA STANDARDS (TYPE N). ALL MORTAR SHALL BE LIME PORTLAND CEMENT BASED. MASONRY MORTAR WILL **NOT** BE ACCEPTABLE.
D. 9 GAUGE TRUSS TYPE REINFORCEMENT IS TO BE PROVIDED IN ALL MASONRY WALLS AT A MAX. OF 16" O. C. (EVERY OTHER COURSE) UNLESS OTHERWISE NOTED. USE PREFABRICATED L'S AND T'S AT ALL CORNERS AND INTERSECTIONS. REINFORCEMENT SHALL BE LAPPED A MINIMUM OF 6".
E. WHERE CONCENTRATED LOADS BEAR DIRECTLY ON MASONRY WALLS PROVIDE A MINIMUM OF 8 " OF SOLID OR GROUT FILLED MASONRY BELOW BEARING POINT.

MASONRY LINTELS
A.**SPANS UNDER 6'-0":**
ONE 4" X 3-1/2" X 5/16" ANGLE FOR EACH 4" OF WALL THICKNESS. 6" END BEARING REQUIRED.

B.**SPANS 6'-0" TO 7'-11":**
ONE 6" X 3-1/2" X 5/16" ANGLE FOR EACH 4" OF WALL THICKNESS. 8" END BEARING REQUIRED.

WOOD
ALL STRUCTURAL WOOD SHALL MEET THE FOLLOWING MINIMUM STRUCTURAL CHARACTERISTICS:
1. FB = 1200
2. E = 1,200,000

LINTEL SCHEDULE
2-2X4'SUP TO 3 FEET
2-2X6'SUP TO 4 FEET
2-2X8'SUP TO 6 FEET
2-2X10'SUP TO 8 FEET

PREFABRICATED WOOD JOISTS AND TRUSSES
WHEN PREFABRICATED WOOD JOISTS OR TRUSSES ARE INDICATED TO BE USED BY THESE DOCUMENTS, THE JOISTS OR TRUSSES MUST BE ENGINEERED BY THE MANUFACTURER FOR THE CONDITIONS AS INDICATED BY THE DOCUMENTS. ALL CERTIFICATES AND OTHER REQUIREMENTS OF THE CODES HAVING JURISDICTION MUST BE PROVIDED BY THE CONTRACTORS.

PLYWOOD DECKS AND ROOF SHEATHING
A. ALL PLYWOOD DECKS SHALL BE 3/4" TONGUE AND GROOVE PLYWOOD, GLUED AND NAILED AS DESCRIBED IN THE APA GLUED FLOOR SYSTEM, UNLESS OTHERWISE NOTED. LONG DIMENSION OF PLYWOOD SHALL BE INSTALLED PERPENDICULAR TO SUPPORTS.

B. AT CATHEDRAL CEILINGS ALL ROOF SHEATHING SHALL BE GLUED AND NAILED.

C. ALL PLYWOOD ROOF SHEATHING SHALL BE A MINIMUM OF 1/2" CDX GLUED AND NAILED. PANEL CLIPS SHALL BE USED BETWEEN ALL RAFTERS. LONG DIMENSION OF PLYWOOD SHALL BE INSTALLED PERPENDICULAR TO SUPPORTS.

NOTE:

Install and detail all prefabricated and pre-engineered lumber (i.e. plywood I-beams, trusses, etc.) according to manufacturer's requirements. Provide all band boarding, bracing for crushing, bridging, all metal accessories, and for all other considerations according to the manufacturer's details and requirements.

STRUCTURAL NOTES

DCRA

Farruggio Residence

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Engineer

STEPHEN DUPONT, JR. RA
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DISTRICT OF COLUMBIA
STEPHEN DUPONT, JR.
No. 3727
REGISTERED ARCHITECT

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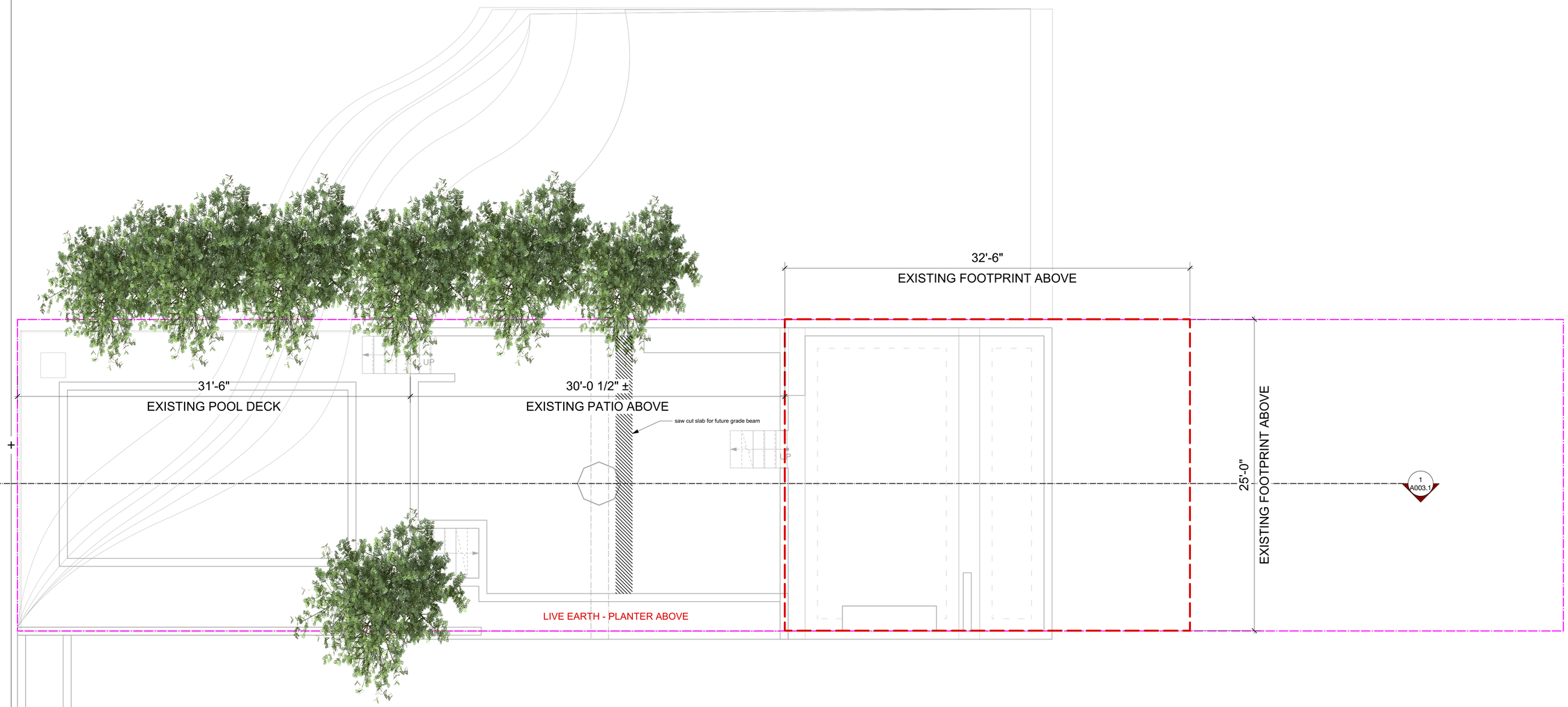

DEMOLITION NOTES

1. LIGHT WEIGHT LINES INDICATE AREAS OF THE EXISTING BUILDING WHICH WILL NOT BE REMODELED.

2. < \\\\\\\\\\\\\\\\ > INDICATES EXISTING PORTIONS OF BUILDING TO BE REMOVED.

3. IN ALL AREAS WHERE NEW MATERIALS, PARTITIONS OR PRODUCTS ARE INSTALLED, OR WHERE EXISTING CONDITIONS ARE ALTERED, THE CONTRACTOR SHALL PATCH AND FINISH WALLS, FLOORS, CEILINGS AND AFFECTED ADJACENT AREAS TO MATCH EXISTING.

4. CONTRACTOR SHALL STABILIZE ALL EXISTING ADJACENT CONDITIONS AS REQUIRED WHETHER OR NOT INDICATED ON THE DRAWINGS.

5. BEFORE PROCEEDING WITH DEMOLITION OR WITH METHODS OF CONSTRUCTION NOT INDICATED ON THE DEMOLITION DRAWINGS, THE CONTRACTOR SHALL OBTAIN APPROVAL OF THE ARCHITECT.

DEMOLITION NOTES

DCRA

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Engineer

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NORTH
A1.5

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8	6/21/19	CD/Prelim elec
7	6/17/19	CD/Update Design, framing
6	2/10/19	DD/Option m
5	8/8/18	DD/TL option
4	5/17/18	DD/Pre-OGB
3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
Existing - C1

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
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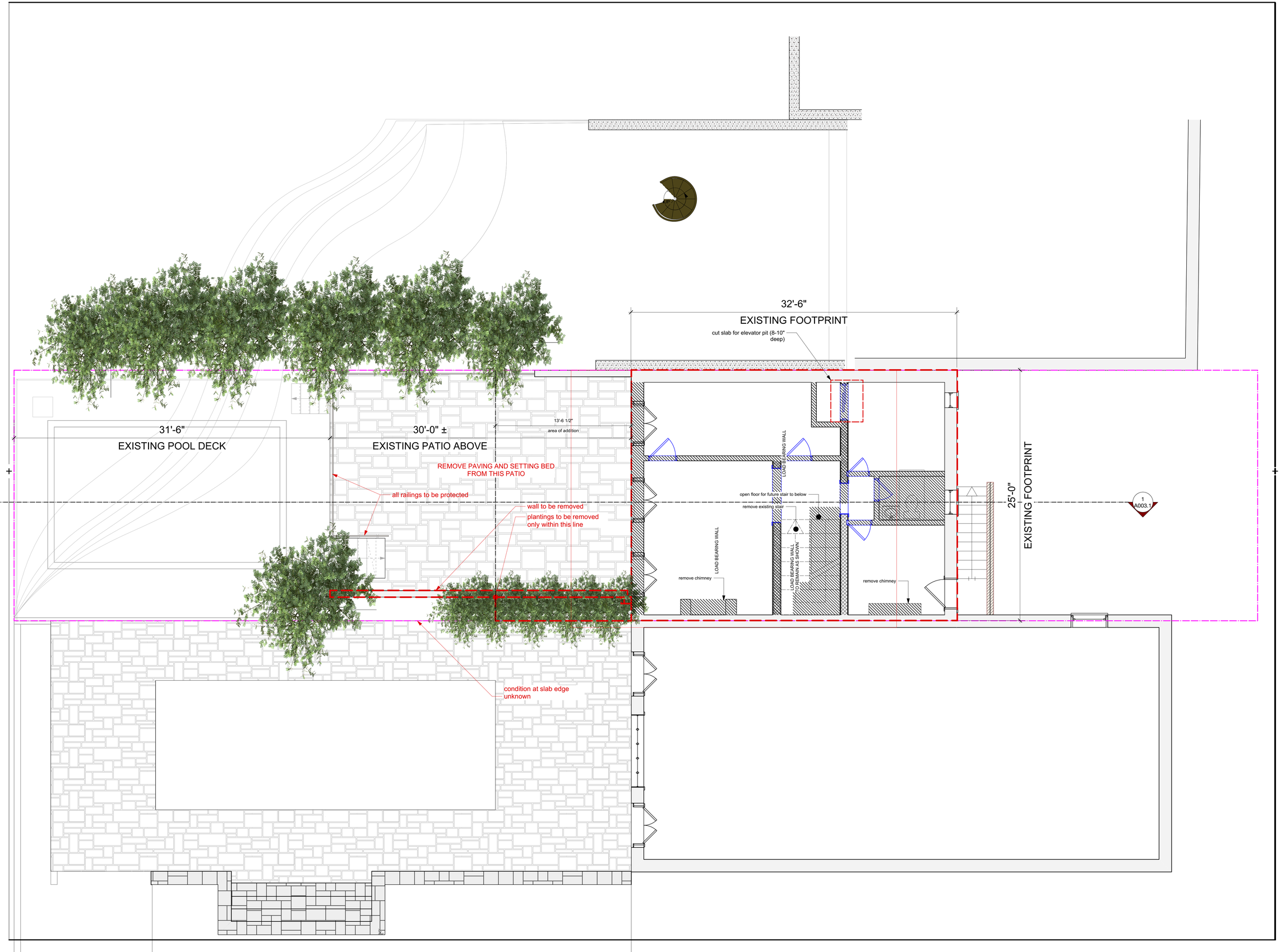
Drawing No.
A001.0.0
of Total Sheets



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4	5/17/18	DD/Pre-OGB
3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
Existing - B1

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Revision	Revision
Proj Date	02/09/15
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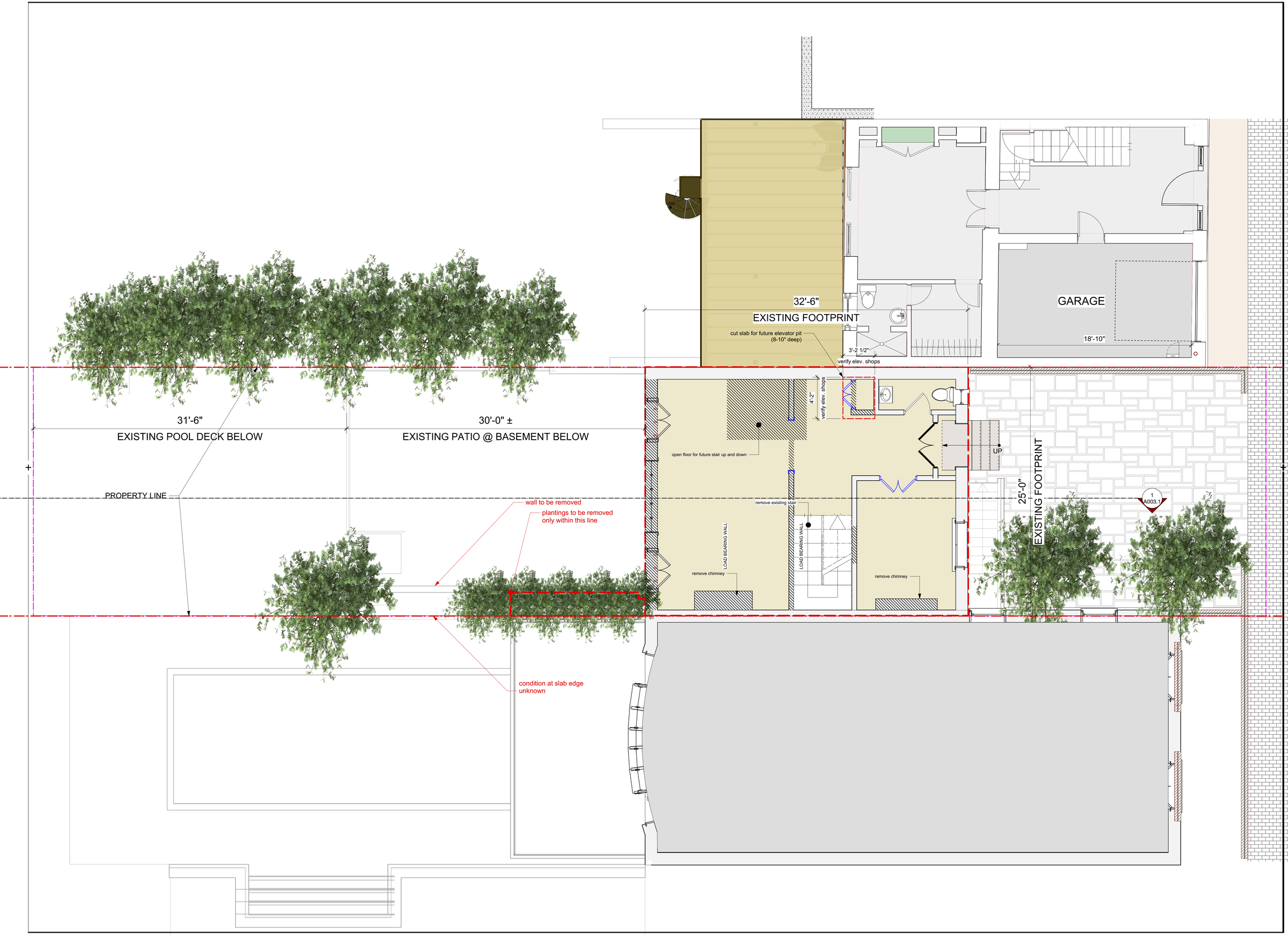

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5	8/8/18	DD/TE option
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3	4/29/18	DD/Opt.1
2	02/05/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
Existing - 1st

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Revision	Revision
Proj Date	02/09/15
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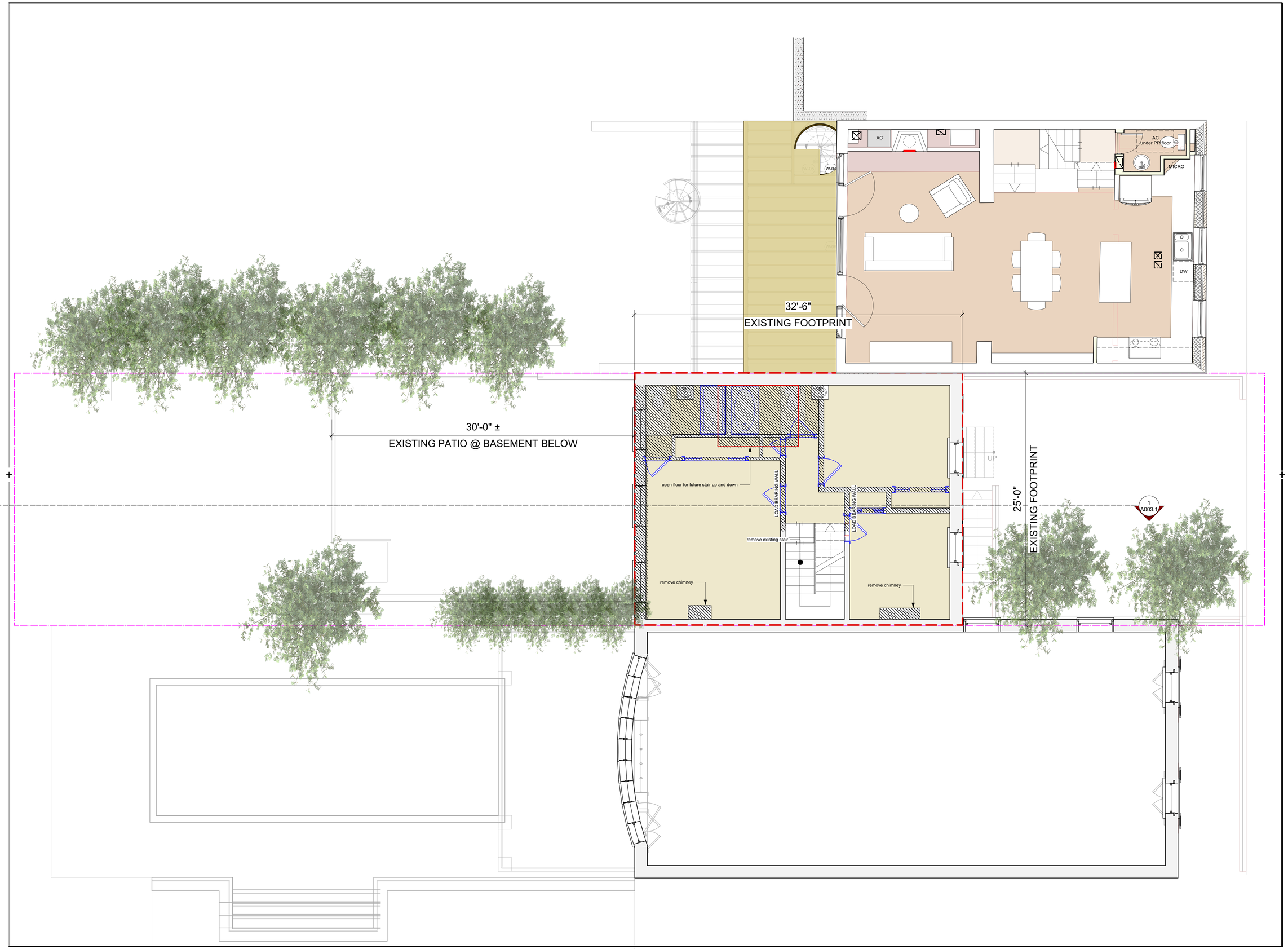

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1	12/17/17	PD/Set up file

Title
Existing - 2nd

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Revision	Revision
Proj Date	02/09/15
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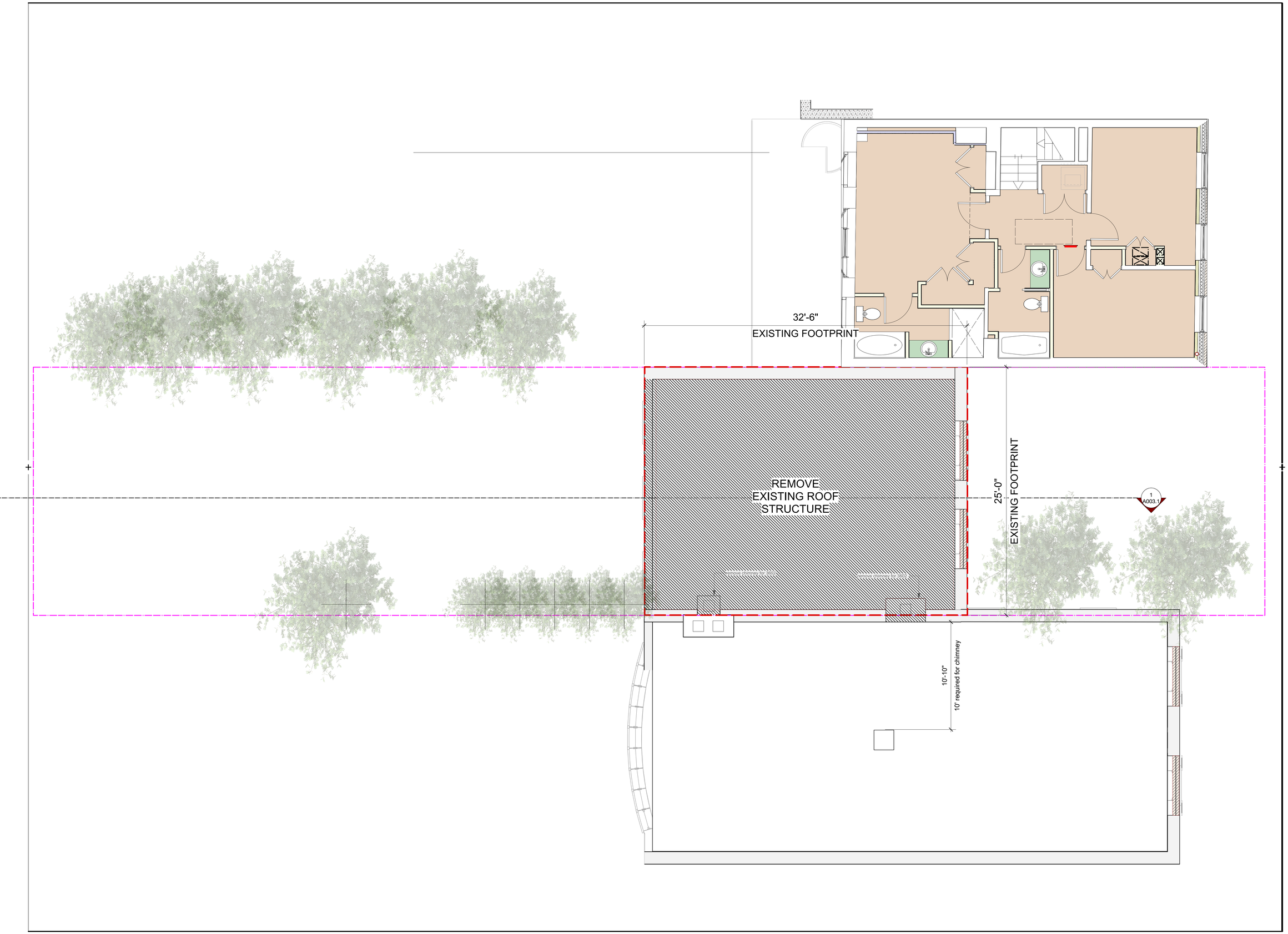

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1	12/17/17	PD/Set up file

Title
Existing - Roof

Proj	3602
Revision	Revision
Proj Date	02/09/15
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Scale	1/4"=1'-0"

File Name:
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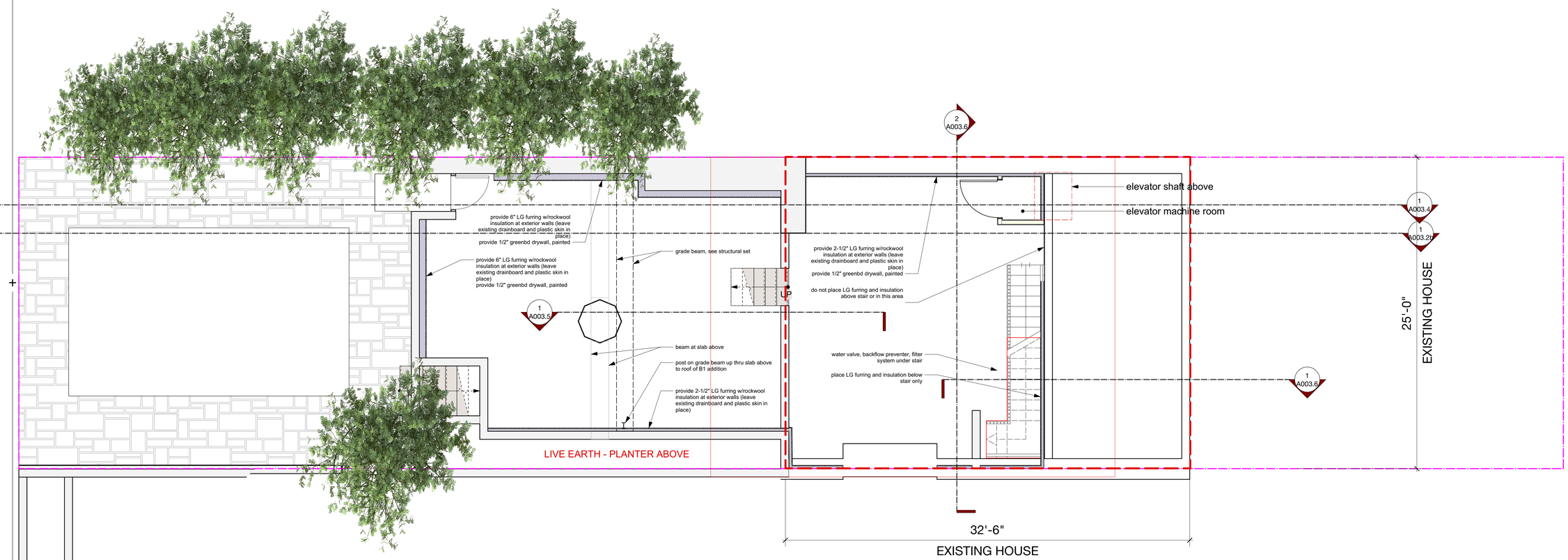

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3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
PLAN: Cellar

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
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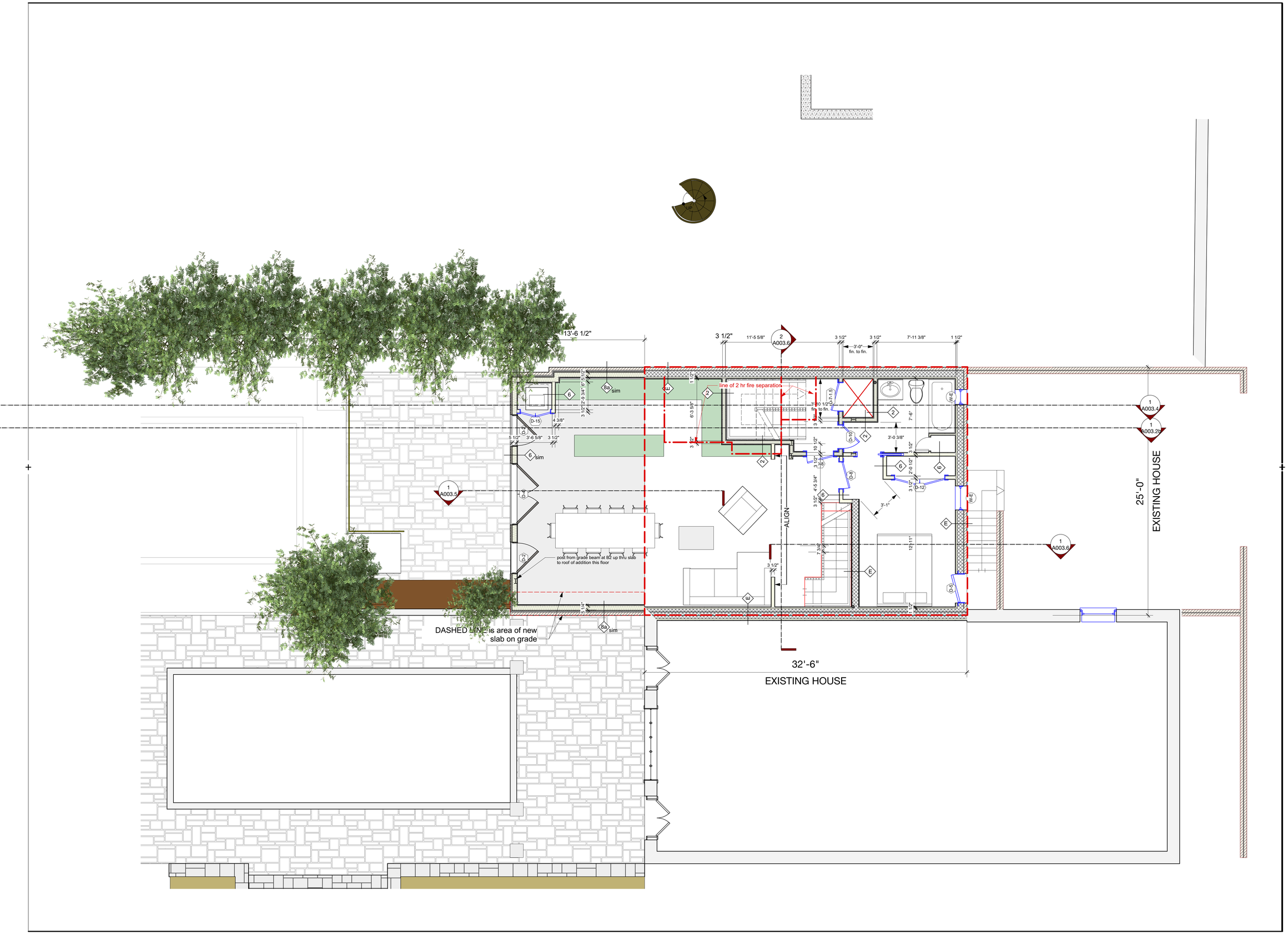
of Total Sheets



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5	8/8/18	DD/TL option
4	5/17/18	DD/Pre-OGB
3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
PLAN: Basement

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
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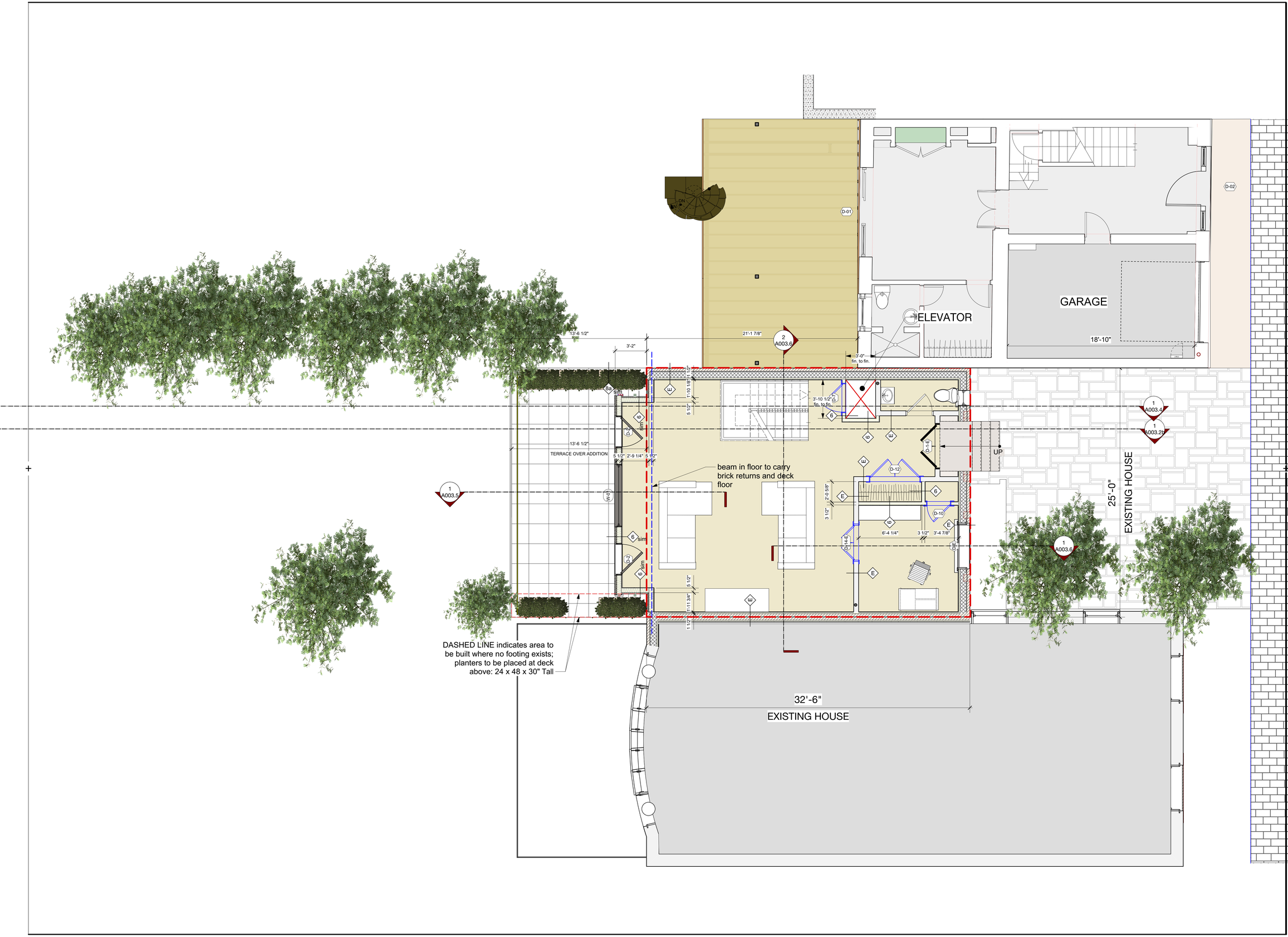
of Total Sheets



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3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title

PLAN: Ground Floor

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

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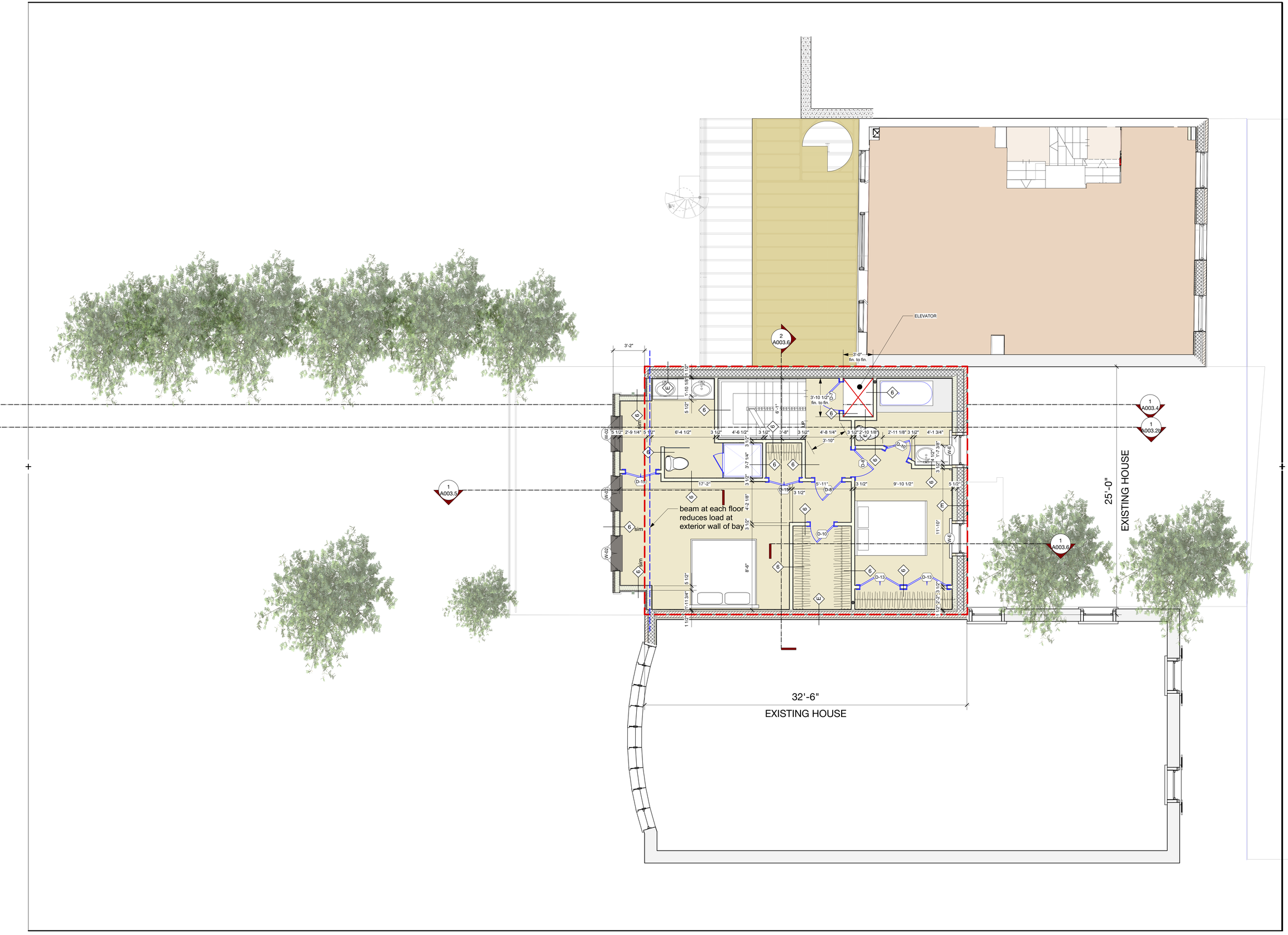

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2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
PLAN: Second Floor

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

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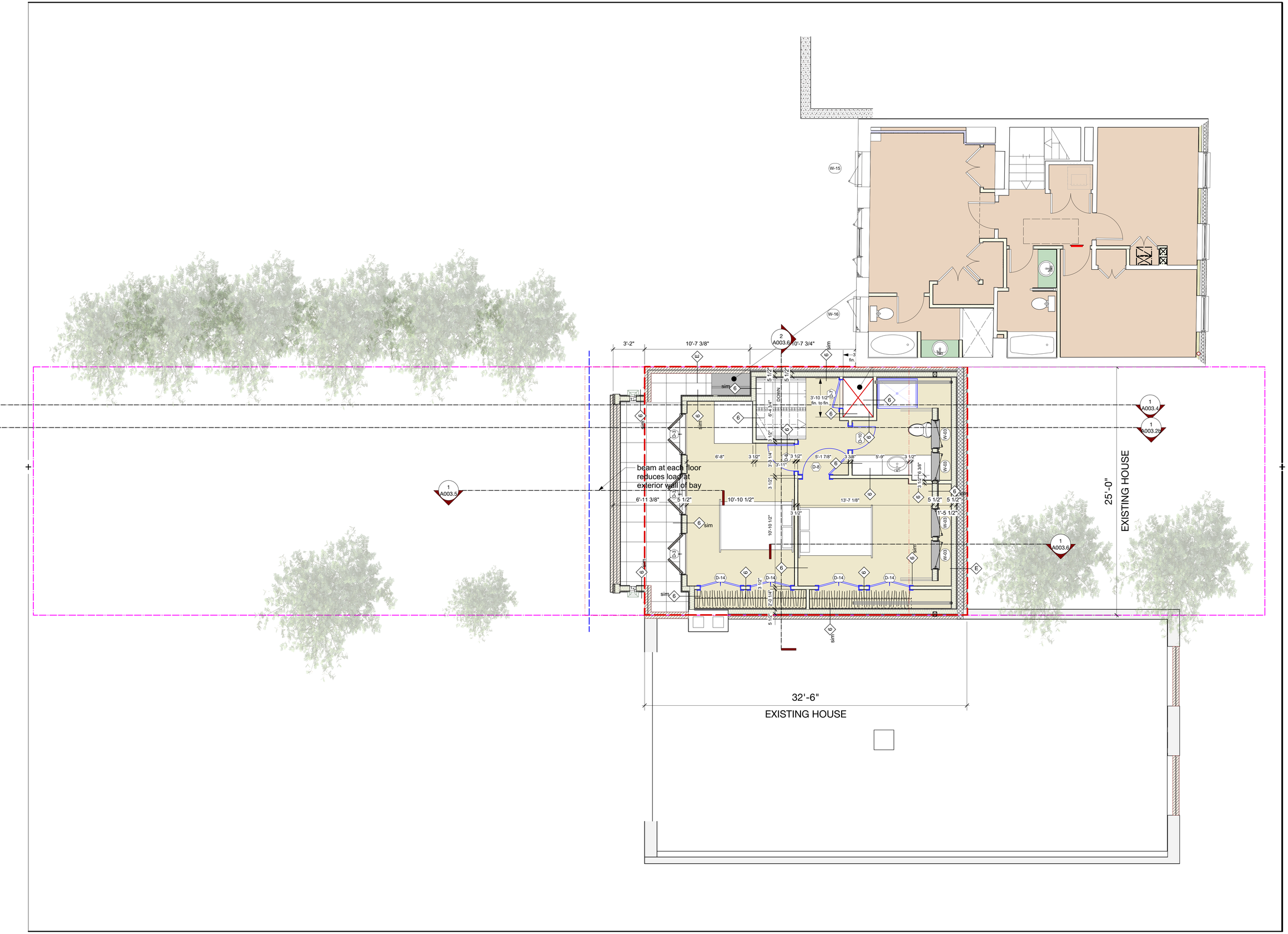

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3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
PLAN: Third Floor

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
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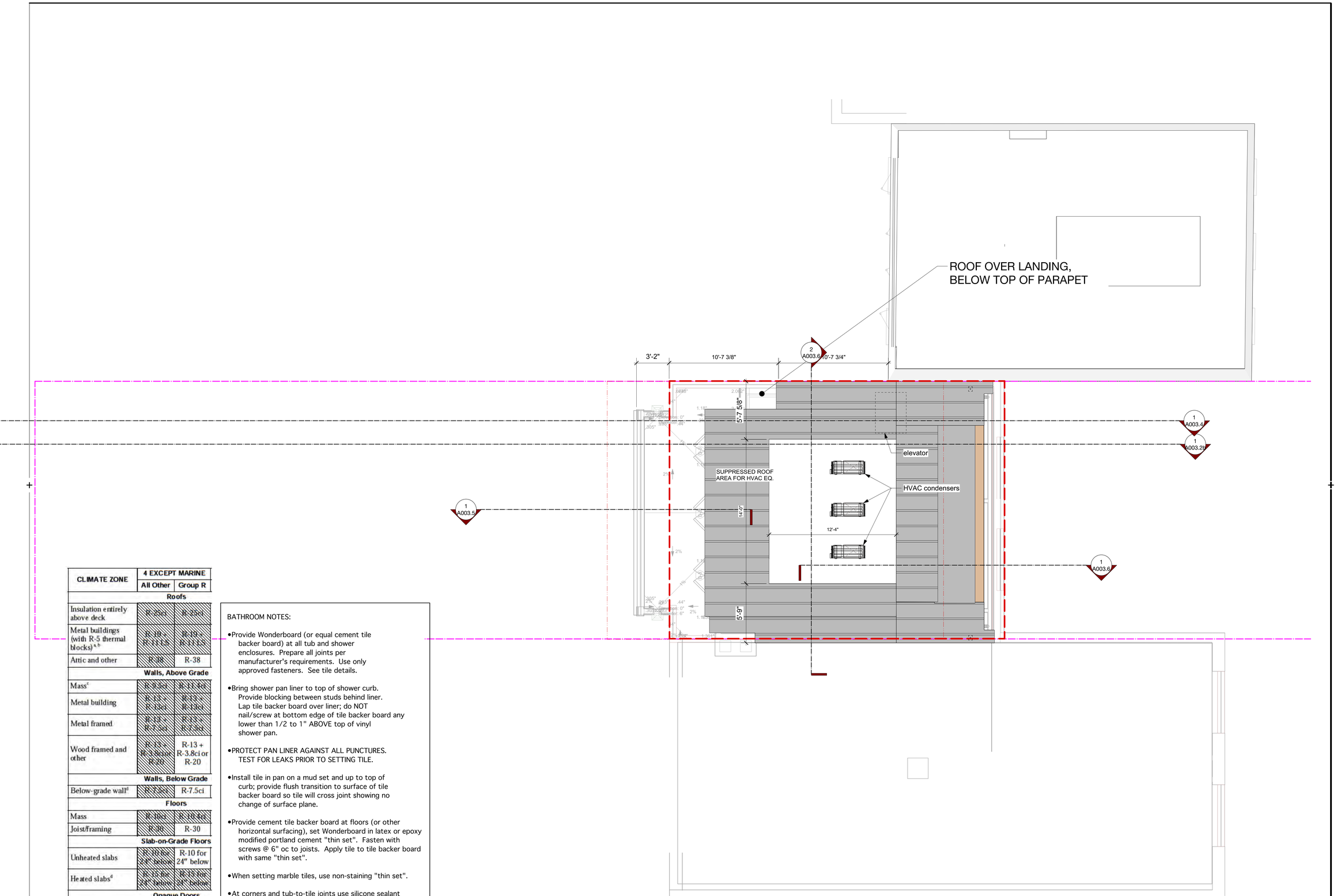

CLIMATE ZONE	4 EXCEPT MARINE	
	All Other	Group R
Roofs		
Insulation entirely above deck	R-25ci	R-25ci
Metal buildings (with R-5 thermal blocks)[a,b]	R-19 + R-11LS	R-19 + R-11LS
Attic and other	R-38	R-38
Walls, Above Grade		
Mass[c]	R-9.5ci	R-11.4ci
Metal building	R-13 + R-13ci	R-13 + R-13ci
Metal framed	R-13 + R-7.5ci	R-13 + R-7.5ci
Wood framed and other	R-13 + R-3.8ci or R-20	R-13 + R-3.8ci or R-20
Walls, Below Grade		
Below-grade wall[g]	R-7.5ci	R-7.5ci
Floors		
Mass	R-6ci	R-10.4ci
Joist/framing	R-30	R-30
Slab-on-Grade Floors		
Unheated slabs	R-10 for 24" below	R-10 for 24" below
Heated slabs[d]	R-15 for 24" below	R-15 for 24" below
Opaque Doors		
Swinging	U-0.61	U-0.61
Roll-up or sliding	R-4.75	R-4.75

BATHROOM NOTES:

- Provide Wonderboard (or equal cement tile backer board) at all tub and shower enclosures. Prepare all joints per manufacturer's requirements. Use only approved fasteners. See tile details.
- Bring shower pan liner to top of shower curb. Provide blocking between studs behind liner. Lap tile backer board over liner; do NOT nail/screw at bottom edge of tile backer board any lower than 1/2 to 1" ABOVE top of vinyl shower pan.
- PROTECT PAN LINER AGAINST ALL PUNCTURES. TEST FOR LEAKS PRIOR TO SETTING TILE.
- Install tile in pan on a mud set and up to top of curb; provide flush transition to surface of tile backer board so tile will cross joint showing no change of surface plane.
- Provide cement tile backer board at floors (or other horizontal surfacing), set Wonderboard in latex or epoxy modified portland cement "thin set". Fasten with screws @ 6" oc to joists. Apply tile to tile backer board with same "thin set".
- When setting marble tiles, use non-staining "thin set".
- At corners and tub-to-tile joints use silicone sealant in lieu of cementitious grout (silicone sealant to be of appropriate color).

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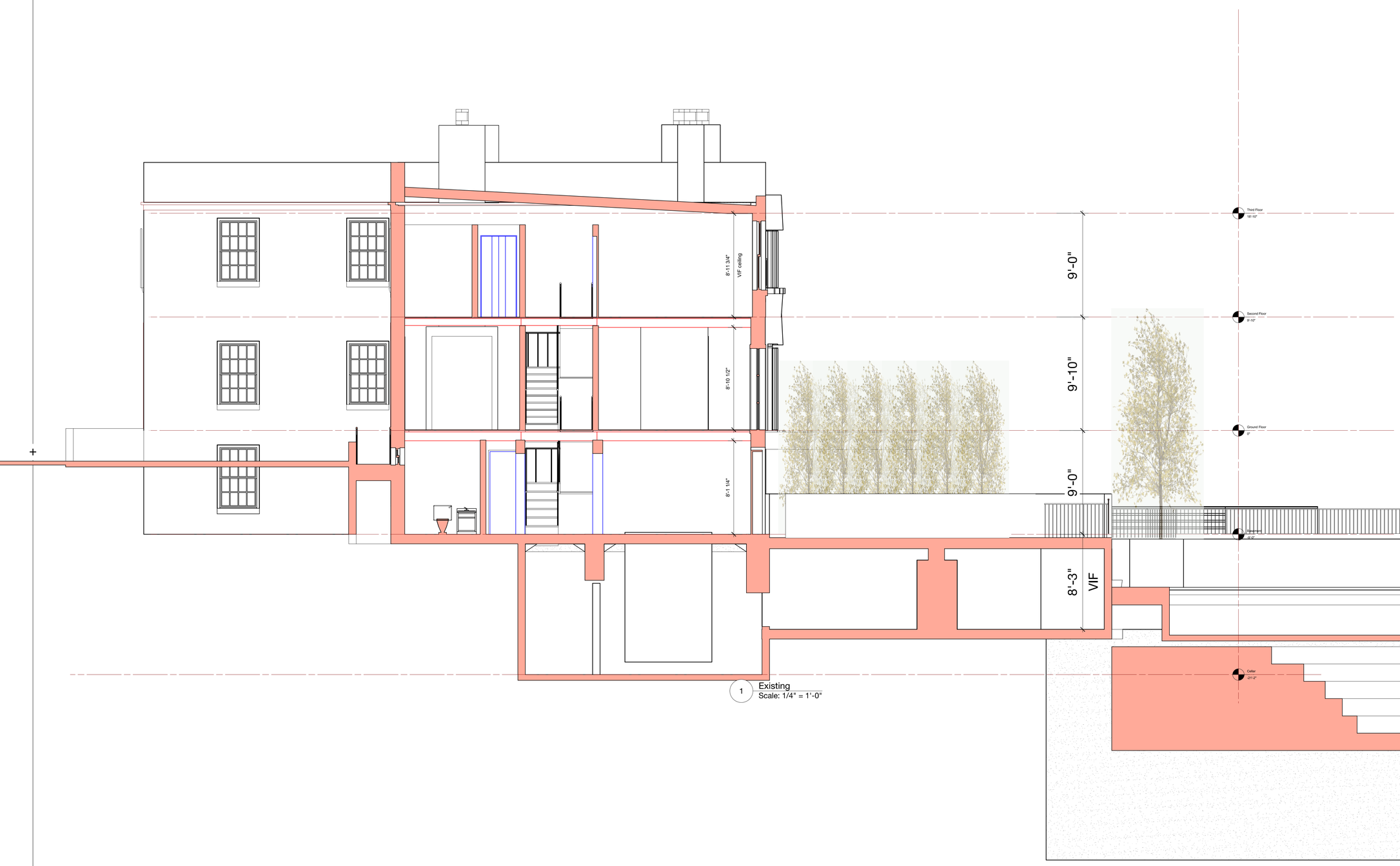
7	6/17/19	CD/Update Design, framing
6	2/10/19	DD/Option m
5	8/8/18	DD/TL option
4	5/17/18	DD/Pre-OGB
3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
PLAN: Roof

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
A002.4
of Total Sheets



1 Existing
Scale: 1/4" = 1'-0"

DCRA

Farruggio
Residence

3602 Prospect St., NW
Washington, DC 20007

Engineer

STEPHEN DUPONT, JR. RA
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8	6/21/19	CD/Prelim elec
7	6/17/19	CD/Update Design, framing
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5	8/8/18	DD/TL option
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3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
SECTIONS

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
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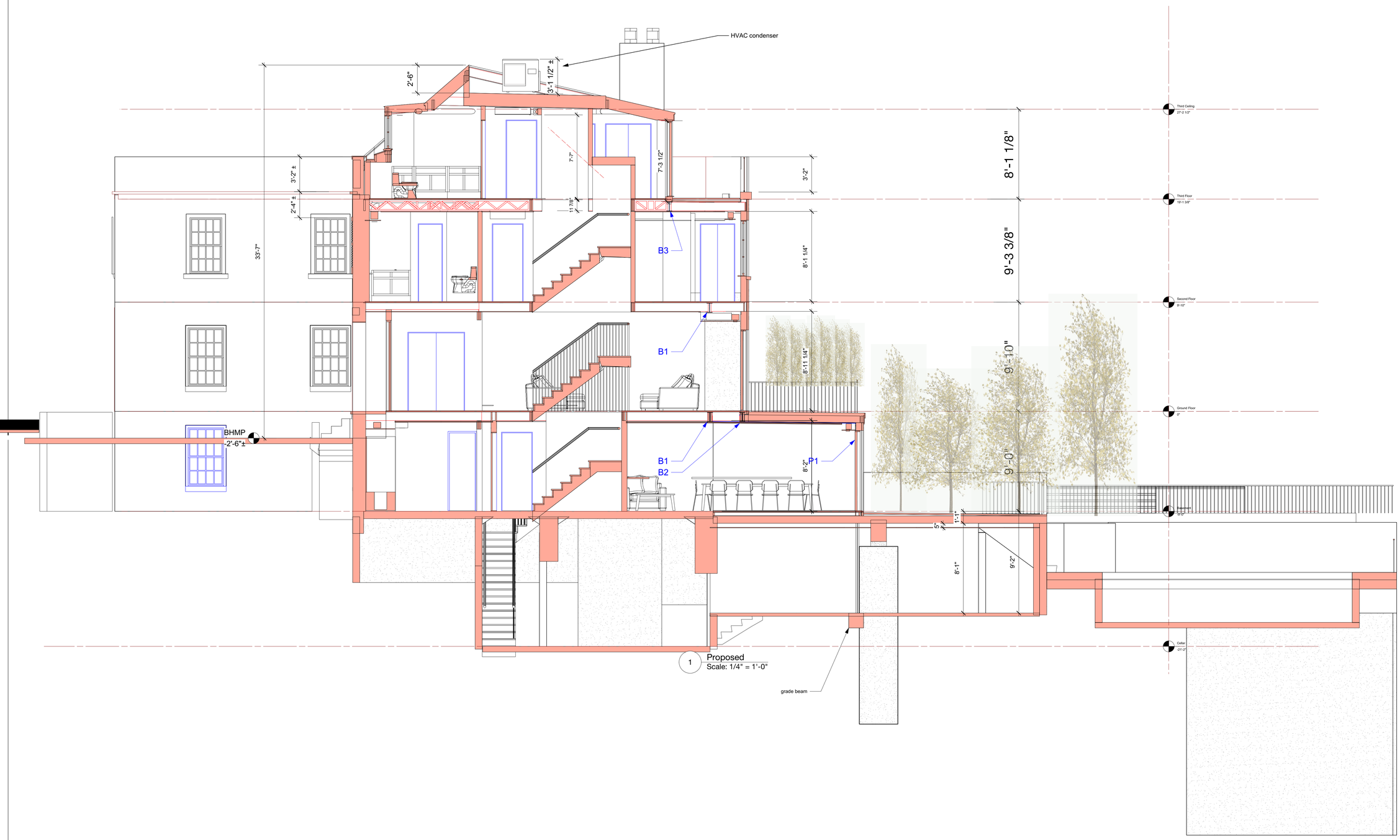

1 Proposed
Scale: 1/4" = 1'-0"

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3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
SECTIONS

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

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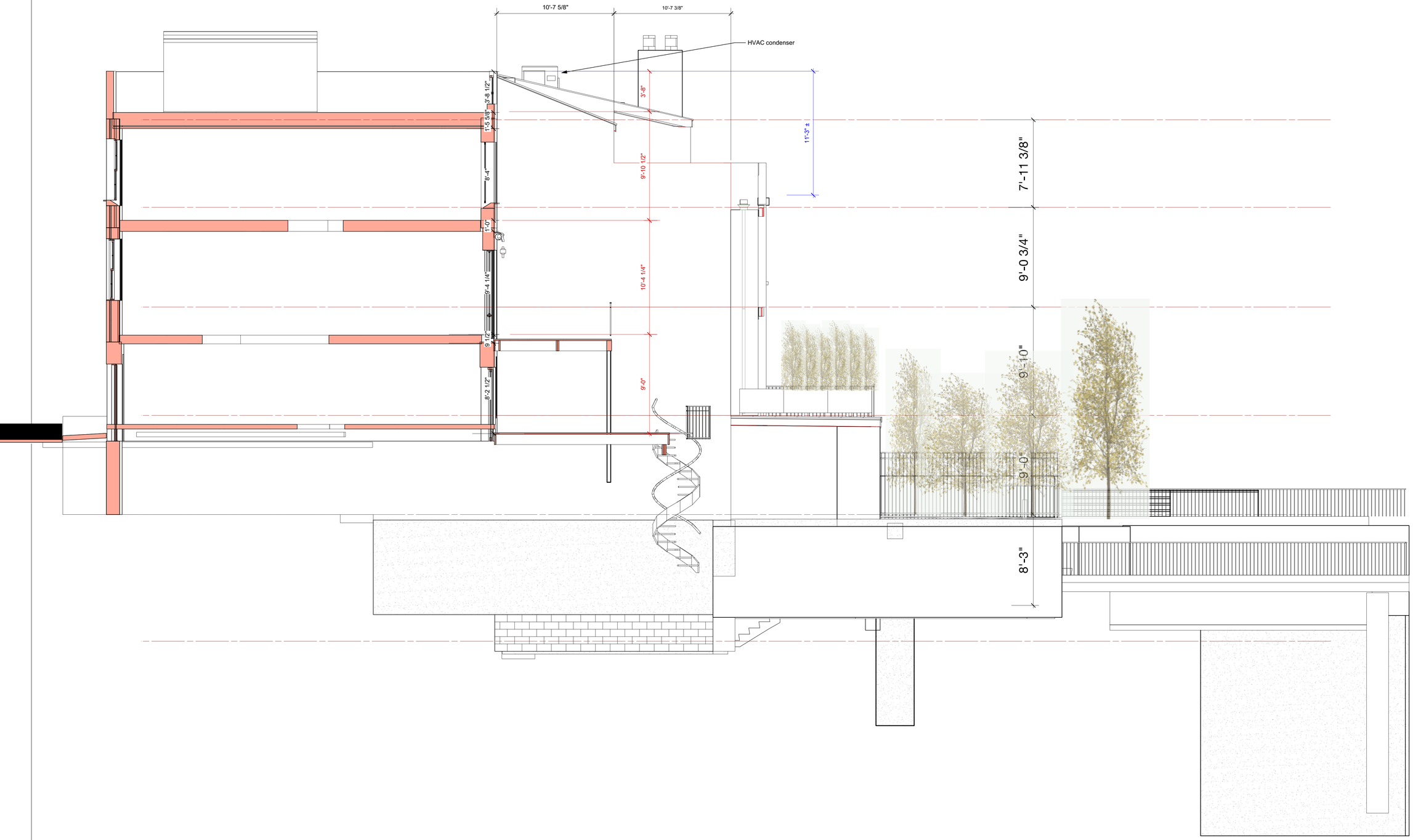

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6	2/10/19	DD/Option m
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4	5/17/18	DD/Pre-OGB
3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title

Section @ 3604

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
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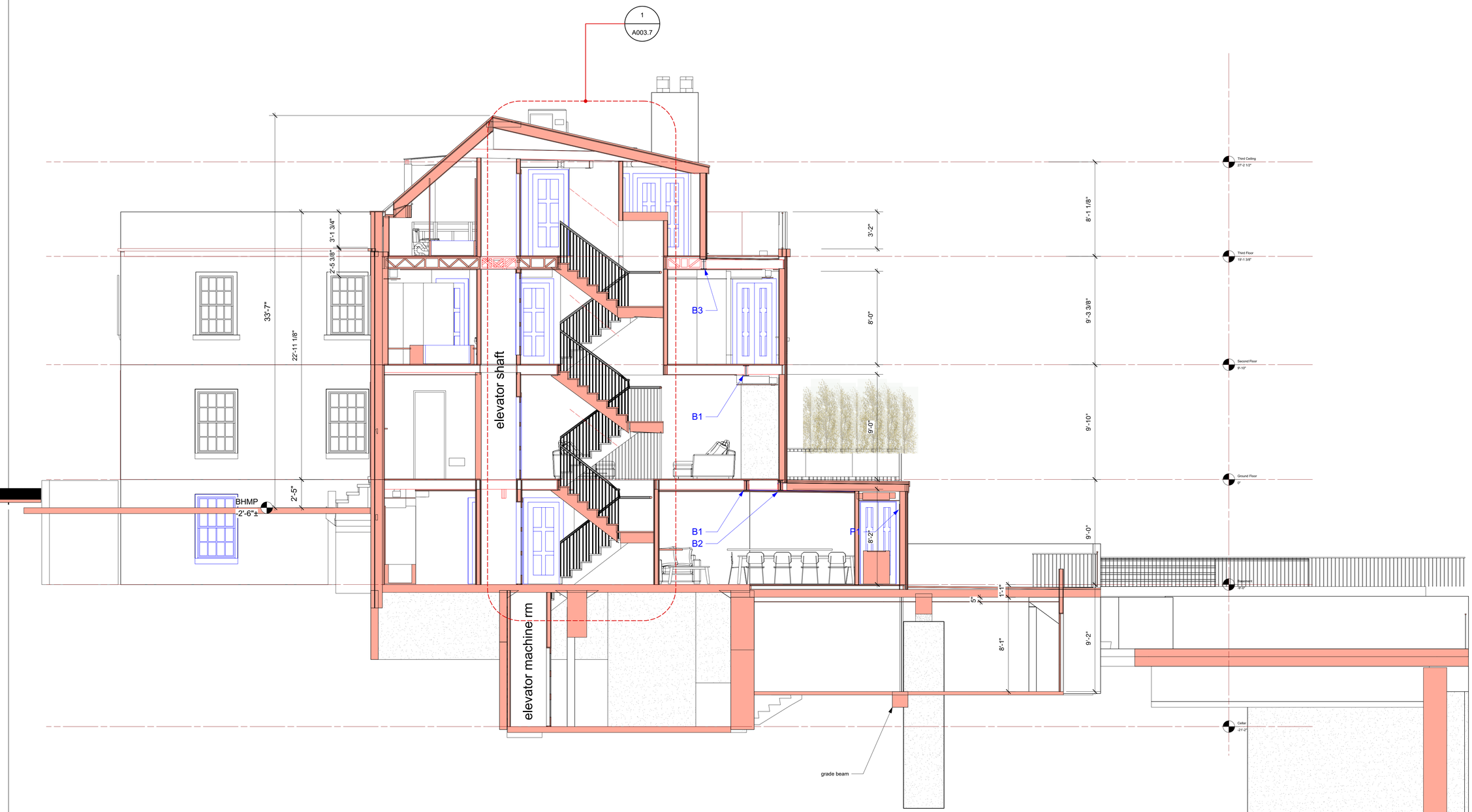
Drawing No.
A003.3
of Total Sheets



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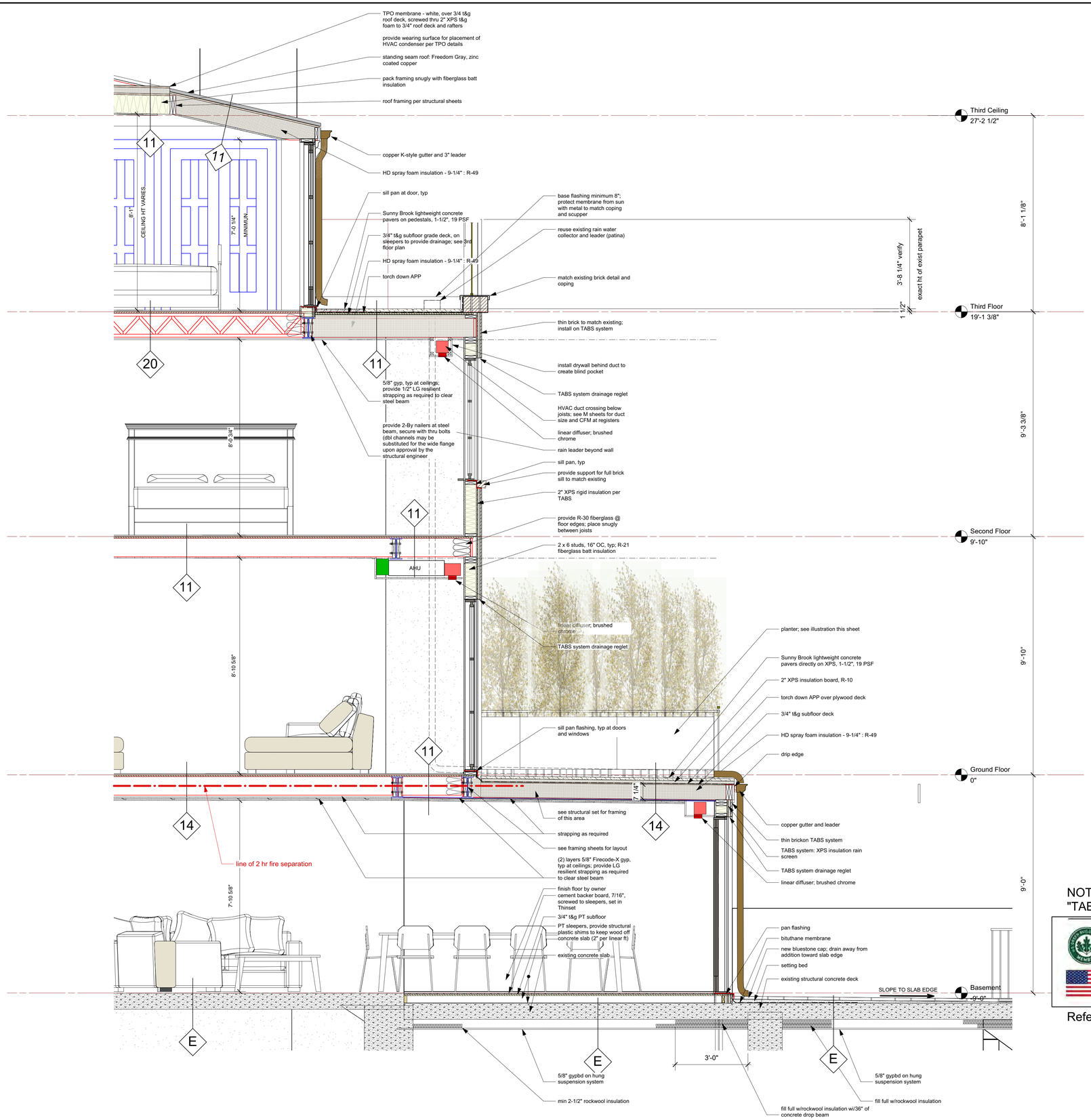
3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
Building Section-Elevator

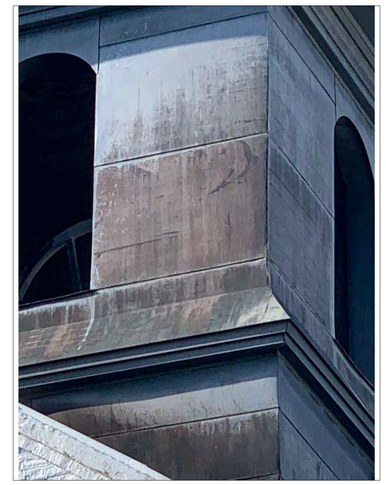
Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
A003.4
of Total Sheets



FIBERGLASS PLANTER BY GREENSCREEN



METAL SKIN AND ROOFING - "FREEDOM GRAY"
SEAMS TO BE:
STANDING AT ROOFS
FLAT LOCK ON WALLS

NOTE:
"TABS" THIN BRICK INSTALLATION SYSTEM

ICC EVALUATION REPORTS:
- ER-5280 / Fasteners
- ESR-2618 / Fasteners
- ESR-2044 / Drainage Plane
- ESR-2906 / Building Wrap

All TABS II Products are made in U.S.A.

TABS II

TABS WALL SYSTEMS, LLC
4515 Airwest Drive, SE
Grand Rapids, MI 49512
Phone: (616) 554-5400
Fax: (616) 554-5487
Email: info@tabswallsystems.com
Website: www.tabswallsystems.com

Refer to manufacturer's specifications for:
- sheathing
- control joints
- adheasives
- fasteners
- infiltration barrier
- insulation
- installation

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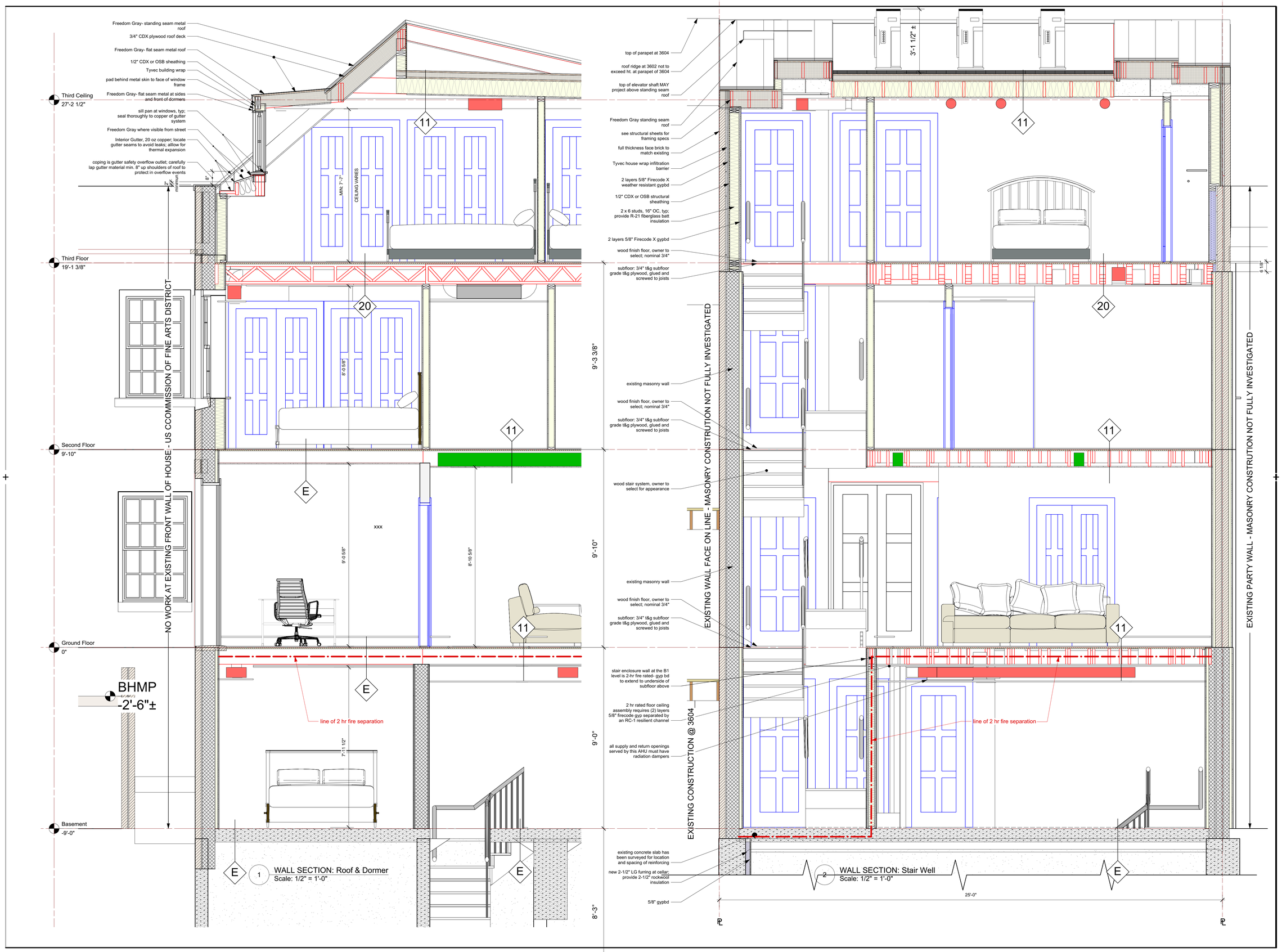
3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
WALL SECTION @ Rear Wall

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
A003.5
of Total Sheets



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3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
WALL SECTIONS

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
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Drawing No.
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of Total Sheets

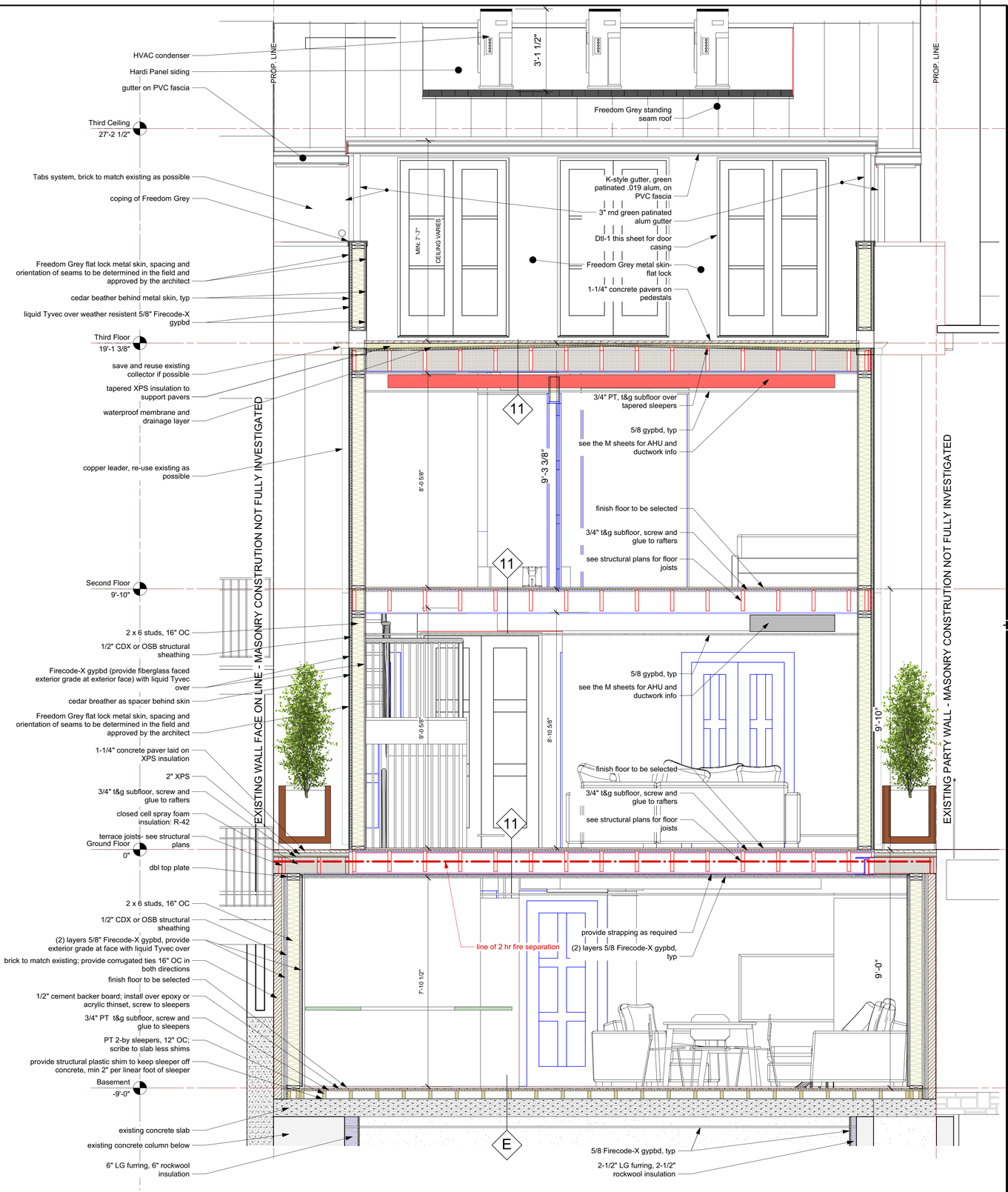

TABLE R402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA*	INSULATION INSTALLATION CRITERIA
General Requirements	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope shall contain a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling / attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stair or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	Junctions of the foundation and sill plate shall be sealed. Junctions of the top plate and top of exterior walls shall be sealed. Knee walls shall be sealed.	Corners and headers shall be insulated. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing, and skylights and framing shall be sealed.	
Rim joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Insulation shall be installed to maintain permanent contact with underside of subfloor decking.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided in lieu of floor insulation, insulation shall be permanently attached to the crawlspace walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	
Narrow cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower / tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical / phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes, or air sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Fireplace	An air barrier shall be installed on fireplace walls. Fireplaces shall have gasketed doors.	

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC-400.

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3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
WAll SECTION @ Rear addition

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
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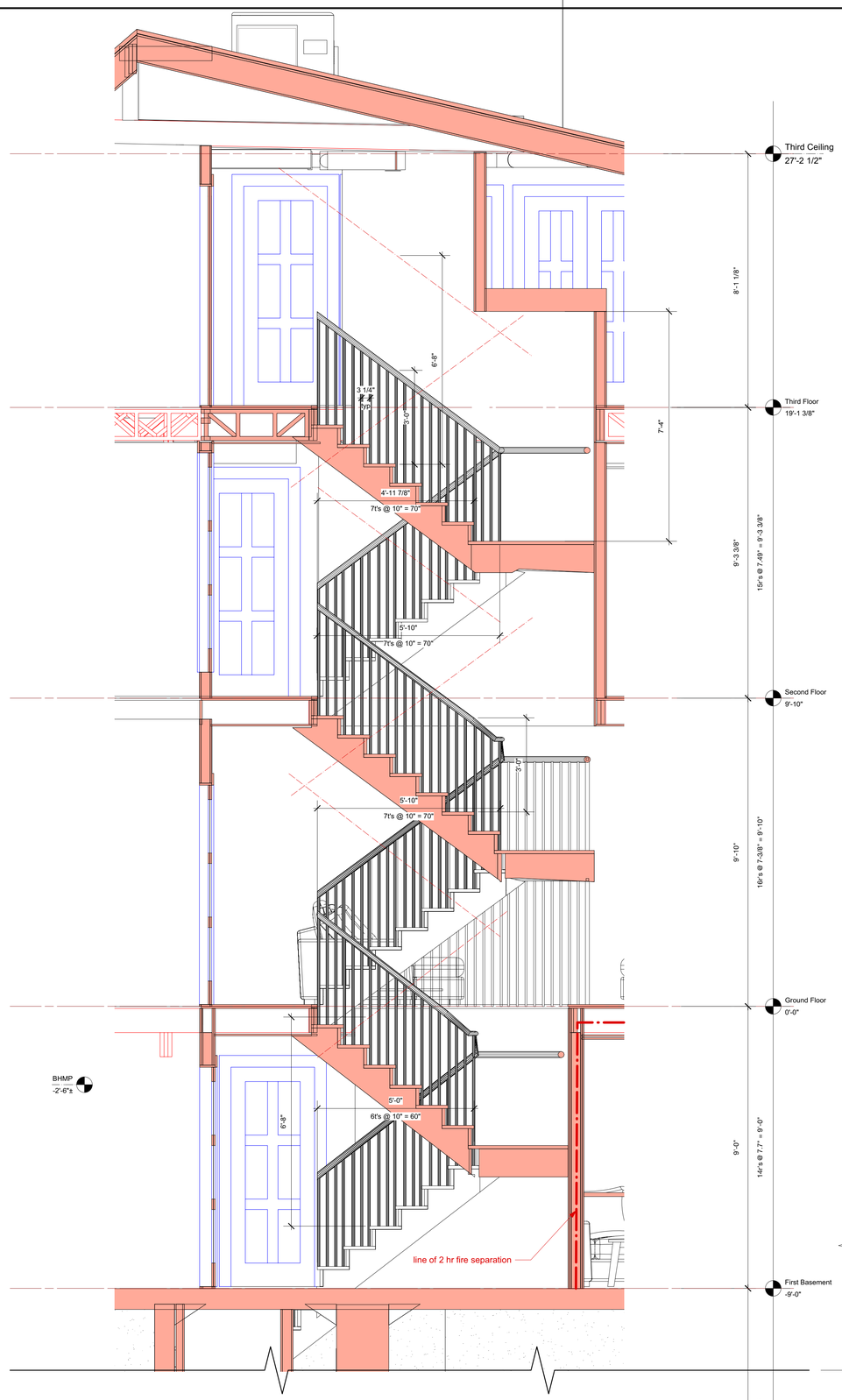
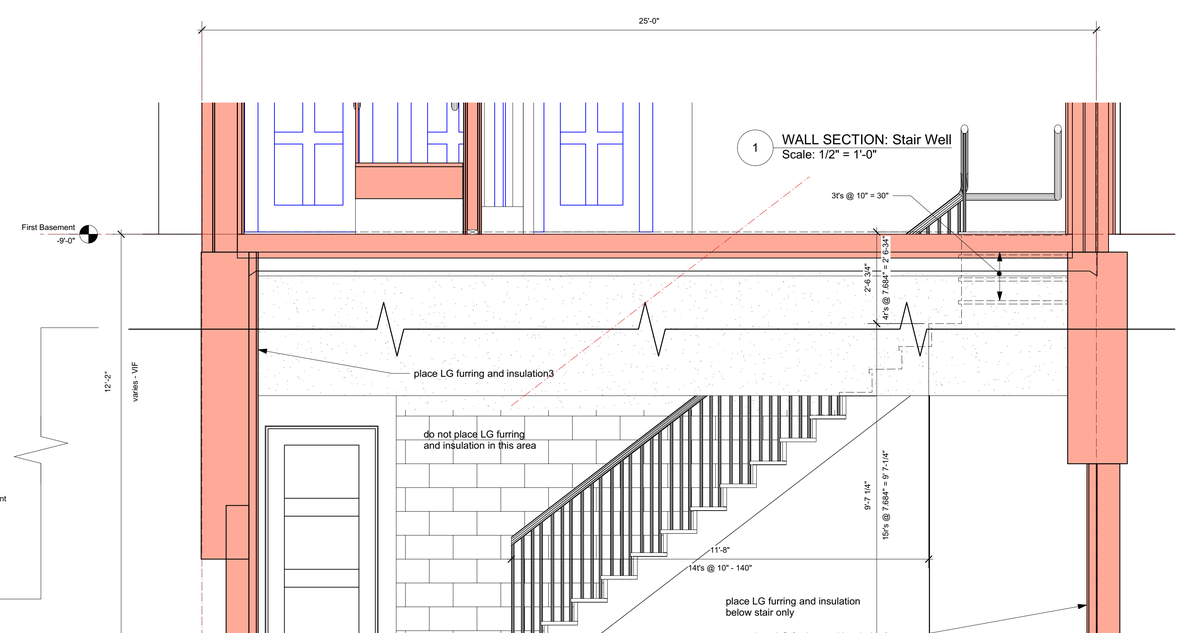
of Total Sheets



STAIR NOTES:

- STAIR CONSTRUCTION TO BE WOOD.
- PROVIDE THREE STRINGER CONSTRUCTION, OPEN TREAD DESIGN.
- OWNER TO SELECT PICKETS AND HANDRAILS.
- TREADS AND RISERS TO MATCH FINISH FLOR SPECIES UNLESS OTHERWISE REQUIRED.



1 WALL SECTION: Stair Well
Scale: 1/2" = 1'-0"

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3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
Wall Sections-Stairs

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
A003.8
of Total Sheets

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1	12/17/17	PD/Set up file

Title
Elevation Existing - N

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
A004.0a
of Total Sheets

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2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
Elevation Proposed - N

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
A004.0b
of Total Sheets

DCRA

Farruggio
Residence

3602 Prospect St., NW
Washington, DC 20007

Engineer

STEPHEN DUPONT, JR. RA
ARCHITECTS
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7	6/17/19	CD/Update Design, framing
6	2/10/19	DD/Option m
5	8/8/18	DD/TL option
4	5/17/18	DD/Pre-OGB
3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
Elevation Existing - S

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
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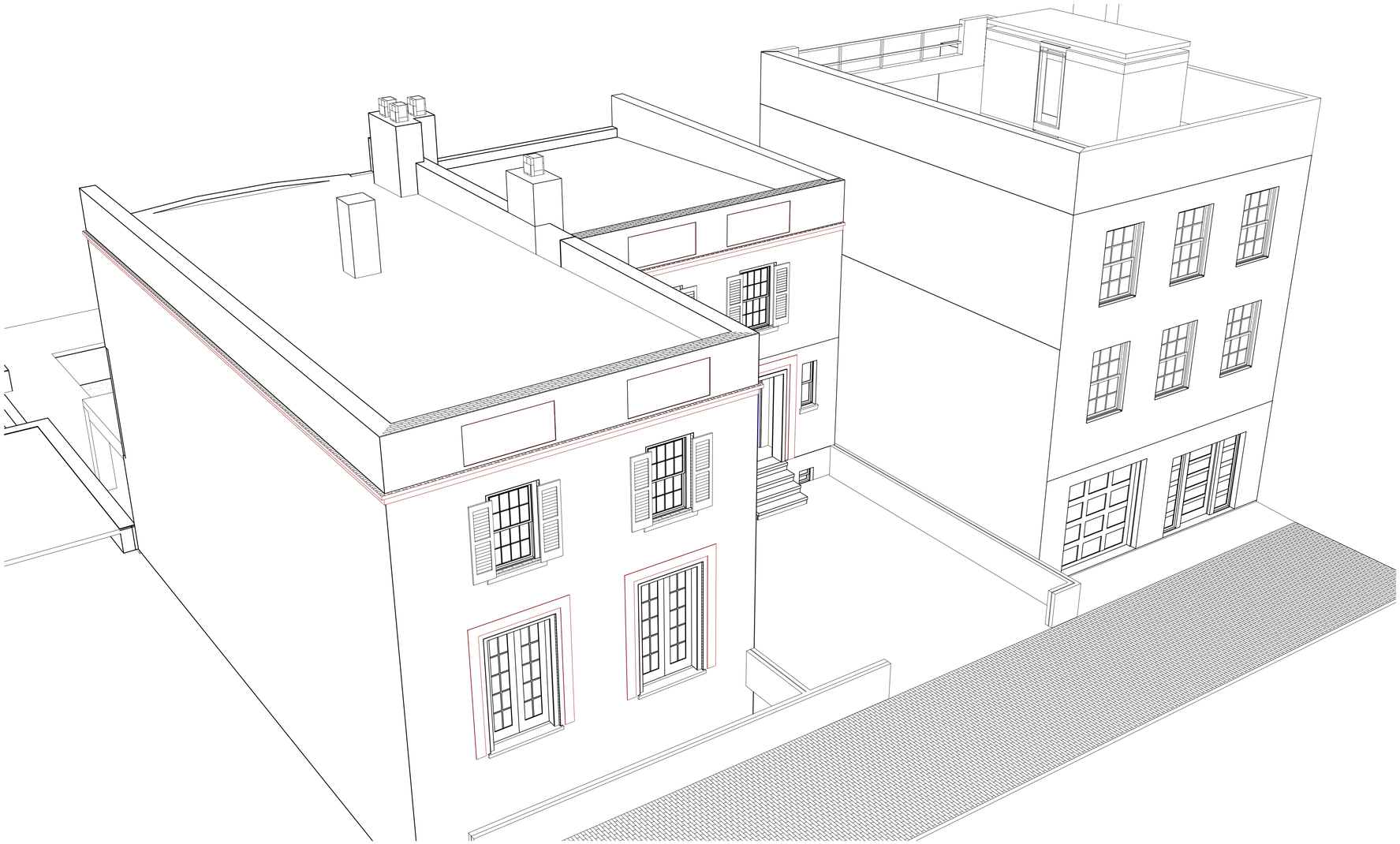
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
Elevation Proposed - S

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
A004.1b
of Total Sheets



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3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
VIEW EXISTING NE

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
A004.2a
of Total Sheets

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VIEW PROPOSED NE

Proj	3602
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Proj Date	02/09/15
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3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
VIEW EXISTING N

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
A004.3a
of Total Sheets

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Title

VIEW PROPOSED N

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

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Title
VIEW EXISTING SE

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
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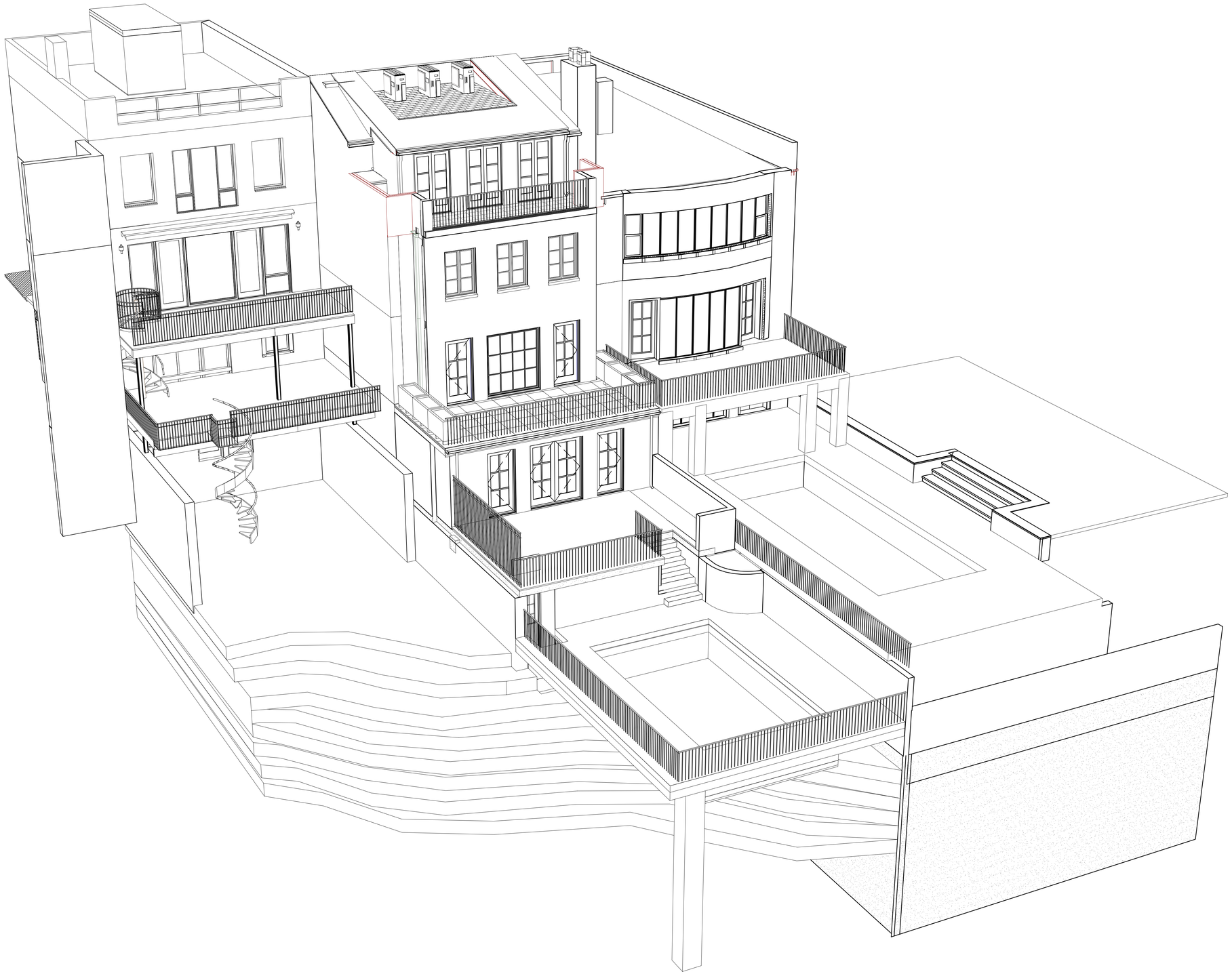
1	12/17/17	PD/Set up file

Title
VIEW PROPOSED SE

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
A004.4b
of Total Sheets



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Title

VIEW PROPOSED SW

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
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Drawing No.
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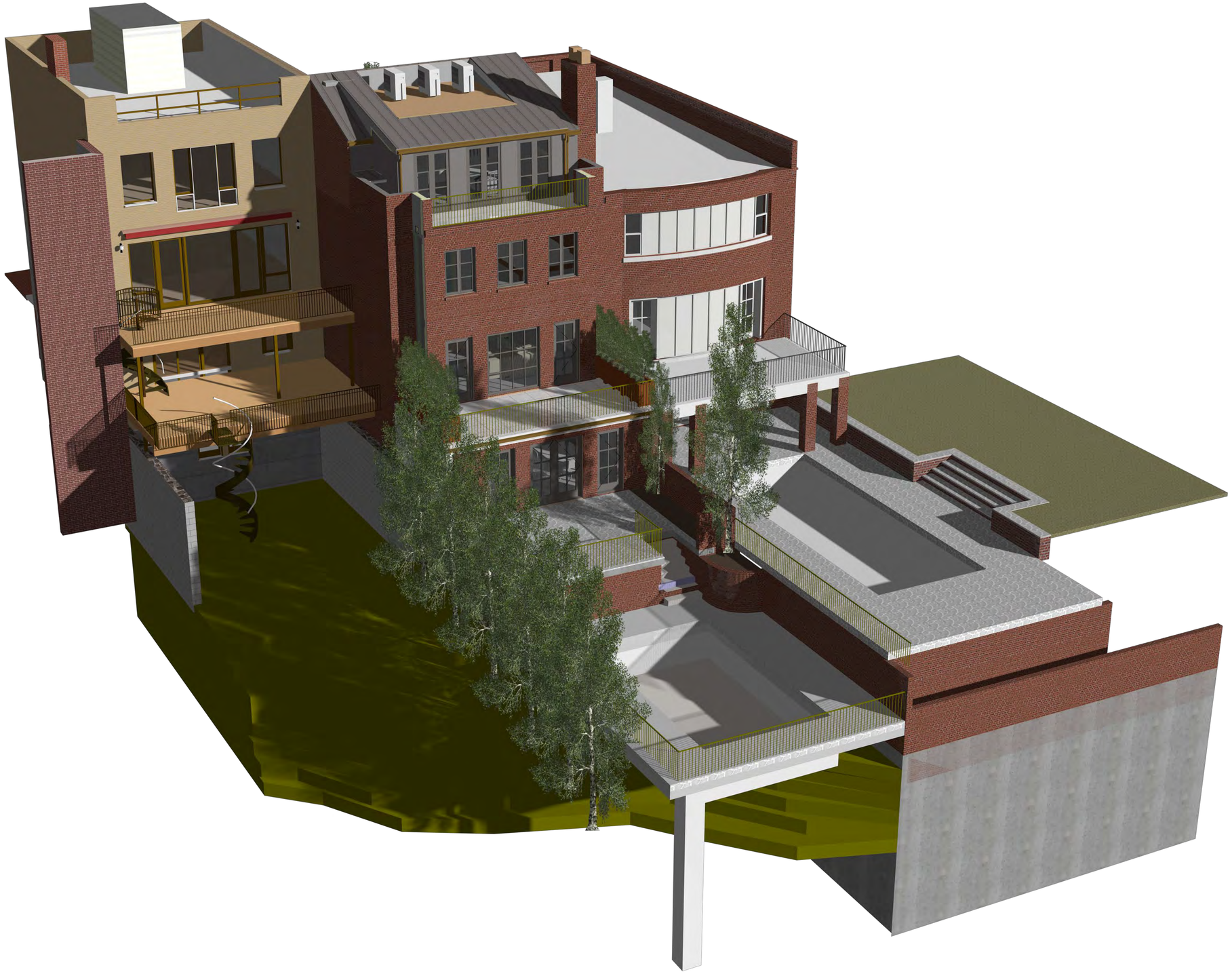
of Total Sheets



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1	12/17/17	PD/Set up file

Title
VIEW PROPOSED SW

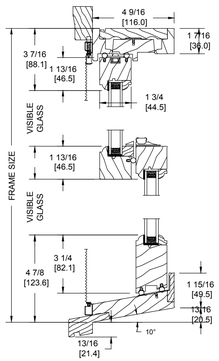
Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
A004.4c

of Total Sheets

WOOD 1 3/4" SASH DOUBLE HUNG WINDOW WITH
908 BRICKMOULD CASING AND STANDARD SILL NOSING



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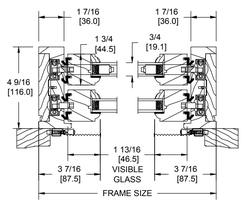
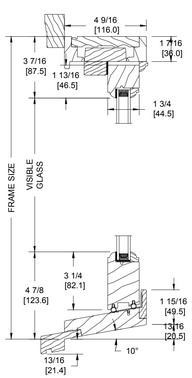


HORIZONTAL SECTION

LEPAGE MILLWORK

NOVEMBER 2016 SCALE: 3" = 1'-0" PAGE 1/9

WOOD 1 3/4" SASH DOUBLE HUNG PICTURE UNIT WITH
908 BRICKMOULD CASING AND STANDARD SILL NOSING



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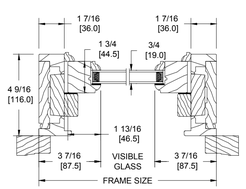


HORIZONTAL SECTION

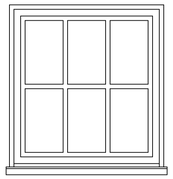
LEPAGE MILLWORK

MAY 2017 SCALE: 3" = 1'-0" PAGE 3/9

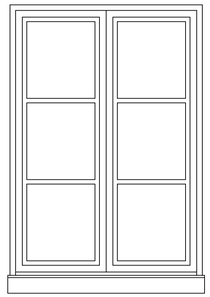
DOUBLE HUNG TO REPLACE VINYL AT FRONT 2ND

Door Schedule

			Nominal Size			Door Style			Door Frame		Frame Details			Fire Rating			Door Data			
	Mark	Quantity	Width	Height	Thickness	Door Operation	Slab Style	Location	Jamb Thick	Jamb Depth	Head Detail	Jamb Detail	Sill Detail	Frame	Door Slab	HW Set	Mfr	Model No.	Accessories	Comments
D-	2	4	3'0"	7'2"	2 1/4"	Swing Simple	Glass	---	1"	5 1/2"				Wood	INSUL Low-E, Argon	DHW-#	LePage	French Inswing		Davis 1-1/4" Muntin, Ext Putty Glaze
D-	3	3	4'0"	6'8"	2 1/4"	Swing Bi-part	Glass		1"	4 5/8"				Wood	INSUL Low-E, Argon	DHW-#	LePage	French Outswing		Davis 1-1/4" Muntin, Ext Putty Glaze
D-	4	1	6'0"	7'2"	2 1/4"	Swing Bi-part	Glass	Basement Rear	1"	5 1/2"				Wood	INSUL Low-E, Argon	DHW-#	LePage	French Inswing		Davis 2-1/4" Muntin, Ext Putty Glaze
D-	5	1	2'10"	7'2"	2 1/4"	Swing Simple	Panel		3/4"	6 1/2"						DHW-#				
D-	7	3	2'10"	7'0"	1 3/8"	Swing Simple	Panel		3/4"	---						DHW-#				
D-	7-1.5	1	2'10"	7'0"	1 3/8"	Swing Simple	Panel		3/4"	6"						DHW-#				1-1/2 HR fire label
D-	8	6	2'8"	7'0"	1 3/8"	Swing Simple	Panel		3/4"	---						DHW-#				
D-	10	5	2'4"	7'0"	1 3/8"	Swing Simple	Panel		3/4"	---						DHW-#				
D-	11	1	2'4"	7'0"	1 3/8"	Pocket Simple	Panel		1 1/2"	4 3/4"						DHW-#				
D-	12	2	5'0"	7'0"	1 3/8"	Swing Bi-part	Panel		3/4"	---						DHW-#				
D-	13	2	4'0"	7'0"	1 3/8"	Swing Bi-part	Panel		3/4"	4 3/4"						DHW-#				
D-	14	4	4'0"	6'8"	1 3/8"	Swing Bi-part	Panel		3/4"	4 3/4"						DHW-#				
D-	15	3	3'0"	7'0"	1 3/8"	Swing Bi-part	Panel		3/4"	4 3/4"						DHW-#				

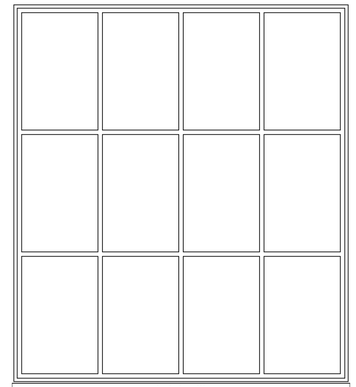


W-3 Casement
Scale: 3/4" = 1'-0"



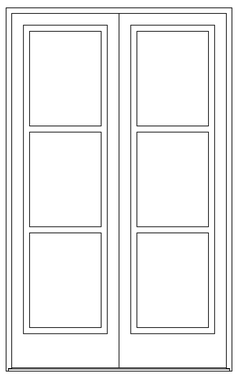
brick sill

W-2 Bi-Parting Casement
Scale: 3/4" = 1'-0"

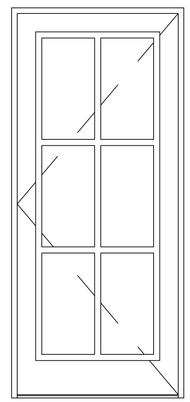


brick sill

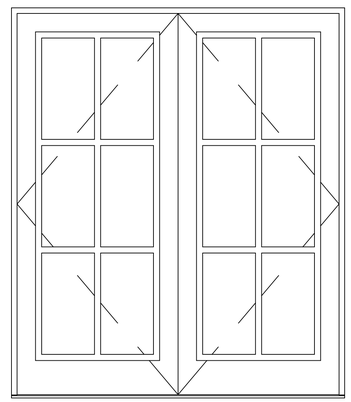
W-1 Fixed Window
Scale: 3/4" = 1'-0"



D-3 Bi-Parting Door
Scale: 3/4" = 1'-0"



D-2 Single Swing Door
Scale: 3/4" = 1'-0"



D-1 Bi-Parting Door
Scale: 3/4" = 1'-0"

North/Central Zone Required Properties (heating & cooling)

U-factor (ufactor.php)	Solar Heat Gain Coefficient (shgc.php) (SHGC)	Visible Transmittance (vt.php) (VT)	Air Leakage (al.php) (AL)
Windows: Us≤0.30 Skylights: Us≤0.53	Windows: SHGC≤0.40 Skylights: SHGC≤0.35	Windows: VT=No Requirement Skylights: VT=No Requirement	Windows: AL≤0.30 Skylights: AL≤0.30
EWC Recommendation: The larger your heating bill, the more important a low U-factor becomes. For superior energy performance, use windows with a U-factor of 0.25 or less.	*EWC Recommendation:* A low SHGC value reduces summer cooling demand, but also reduces free winter solar heat gain. If you have significant air conditioning costs or summer overheating problems, look for SHGC values of 0.25 or less. If you have moderate air conditioning requirements, select windows with a SHGC of 0.40 or less.	*EWC Recommendation:* Select windows with a higher VT to maximize daylight and view.	*EWC Recommendation:* Select windows with an AL of 0.30 or less.

TABLE R402.1.1
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT[a]

CLIMATE ZONE	FENESTRATION *U*-FACTOR[b]	SKYLIGHT[b] *U*-FACTOR	GLAZED FENESTRATION SHGC[b, e]	CEILING *R*-VALUE	WOOD FRAME WALL *R*-VALUE	MASS WALL *R*-VALUE[i]	FLOOR *R*-VALUE	BASEMENT[c] WALL *R*-VALUE	SLAB[d] *R*-VALUE & DEPTH	CRAWL SPACE[c] WALL *R*-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5[h]	8/13	19	5/13[f]	0	5/13
~~4 except Marine~~	~~0.35~~	~~0.55~~	~~0.40~~	~~49~~	~~20 or 13+5[h]~~	~~8/13~~	~~19~~	~~10/13~~	~~10, 2 ft~~	~~10/13~~
5 and Marine 4	0.32	0.55	NR	49	30 or 13+5[h]	13/17	30[g]	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10[h]	15/20	30[g]	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10[h]	19/21	38[g]	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

a. *R*-values are minimums. *U*-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed *R*-value of the insulation shall not be less than the *R*-value specified in the table.
b. The fenestration *U*-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in Climate Zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
d. R-5 shall be added to the required slab edge *R*-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
e. There are no SHGC requirements in the Marine Zone.
f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
h. First value is cavity insulation, second is continuous insulation or insulated siding, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation or insulated siding. If structural sheathing covers 40 percent or less of the exterior, continuous insulation *R*-value shall be permitted to be reduced by no more than R-3 in the locations where structural sheathing is used – to maintain a consistent total sheathing thickness.
i. The second *R*-value applies when more than half the insulation is on the interior of the mass wall.

2013 DISTRICT OF COLUMBIA ENERGY CONSERVATION CODE **R-27**

Window Schedule

			Nominal Size		Window Style		Sill	Glass	Details		Operi		Window Data			
	Mark	Mas. Opng. Group	O.A. Width	O.A. Height	Function	LOCATION	Muntin P		U-Value	Egress Win	RO Width	RO Height	Mfr	Model No	Accessor	Comments
W-	01		6'2 1/4"	6'11 5/8"	Fixed Glass		Brick	Low-E Insulated, Argon	.35 or better	FALSE	6'4"	7'1 1/2"				Davis 2-1/4" Muntin, Ext Putty Glaze
W-	02		3'4 3/4"	4'10 5/8"	Bi-parting Casement	2nd Floor Rear	Brick	Low-E Insulated, Argon	.35 or better	TRUE	3'6 1/2"	5'0 1/2"	LePage	Casement Ou		
W-	03		2'8 3/4"	2'10 5/8"	Casement		Timber	Low-E Insulated, Argon	.35 or better	TRUE	2'10 1/2"	3'0 1/2"	LePage	Casement Ou		
W-	E		2'10 3/4"	5'0 1/8"	Double Hung	2nd Floor Front	Brick	Low-E Insulated, Argon	.35 or better	TRUE	3'6 1/2"	5'8"	LePage	Double Hung		Replace Vinyl

DCRA

Farruggio Residence

3602 Prospect St., NW
Washington, DC 20007

Engineer

STEPHEN DUPONT, JR. RA
ARCHITECTS
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DISTRICT OF COLUMBIA
STEPHEN DUPONT, JR.
No. 3727
REGISTERED ARCHITECT

I am responsible for determining that the architectural designs included in this application are in compliance with all laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the development of, the architectural designs included in this application.

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12	2/3/20	Permit/Submittal set
11	9/16/19	CD/Update progress set
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9	6/25/19	CD/Prelim windows-doors
8	6/21/19	CD/Prelim elec
7	6/17/19	CD/Update Design, framing
6	2/10/19	DD/Option m
5	8/8/18	DD/TL option
4	5/17/18	DD/Pre-OGB
3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

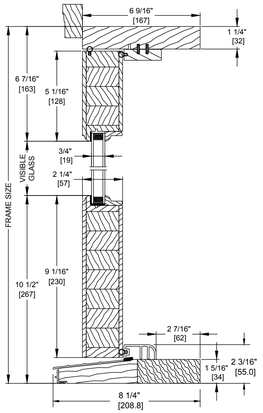
Title
Windows / Doors

Proj 3602
Revision Revision
Proj Date 02/09/15
Dwn JS
Ck
Scale 1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
A005.1
of Total Sheets

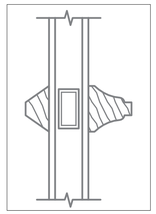
WOOD 2 1/4" PANEL OUTSWING FRENCH DOOR WITH
908 BRICKMOULD CASING AND 6 9/16" FRAME



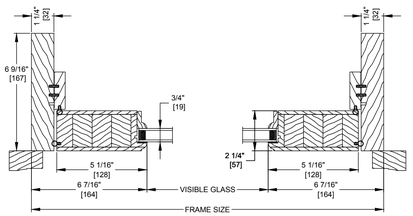
VERTICAL SECTION

LEPAGE MILLWORK MAY 2017 SCALE: 3" = 1'-0" PAGE 15/27

DAVIS MUNTIN (INT)

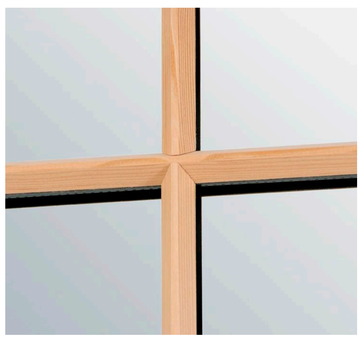


WOOD 2 1/4" PANEL OUTSWING FRENCH DOOR WITH
908 BRICKMOULD CASING AND 6 9/16" FRAME



HORIZONTAL SECTION

LEPAGE MILLWORK MAY 2017 SCALE: 3" = 1'-0" PAGE 16/27

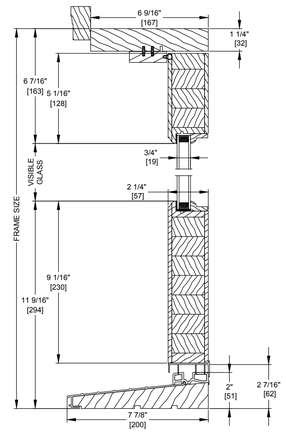


PUTTY GLAZED MUNTIN (EXT)

SDL MUNTIN (IN)

OUTSWING FRENCH DOOR

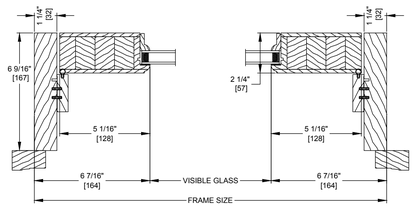
WOOD 2 1/4" PANEL INSWING FRENCH DOOR WITH
908 BRICKMOULD CASING AND 6 9/16" FRAME



VERTICAL SECTION

LEPAGE MILLWORK MAY 2017 SCALE: 3" = 1'-0" PAGE 11/27

WOOD 2 1/4" PANEL INSWING FRENCH DOOR WITH
908 BRICKMOULD CASING AND 6 9/16" FRAME

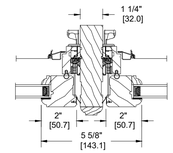


VERTICAL SECTION

LEPAGE MILLWORK MAY 2017 SCALE: 3" = 1'-0" PAGE 12/27

INSWING FRENCH DOOR

WOOD 1 3/4" AND 2 1/4" SASH CASEMENT WINDOW
VERTICAL MULLING OPTIONS



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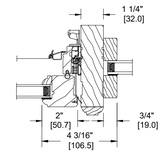
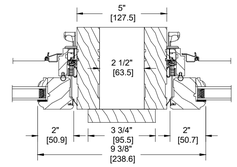
2-WIDE OPERATING STANDARD STRUCTURAL MULL



VERTICAL
OPERATING, DIRECT SET
STANDARD STRUCTURAL MULL



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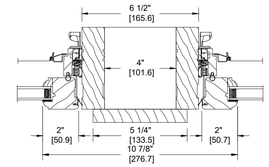
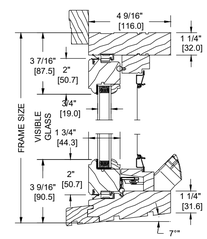
2 1/2" [64] SPACE MULL OR STUD POCKET



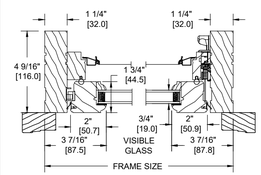
VERTICAL
4" [102] SPACE MULL OR STUD POCKET

LEPAGE MILLWORK JUNE 2017 SCALE: 3" = 1'-0" PAGE 7/8

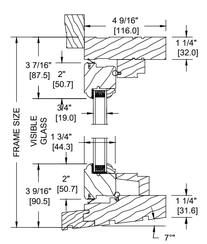
WOOD 1 3/4" SASH CASEMENT WINDOW WITH
908 BRICKMOULD CASING AND STANDARD SILL NOSING



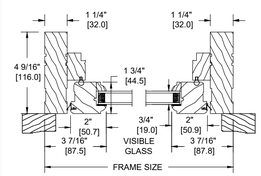
VERTICAL SECTION
OPERATING SASH



HORIZONTAL SECTION
OPERATING SASH



VERTICAL SECTION
FIXED SASH



HORIZONTAL SECTION
FIXED SASH

LEPAGE MILLWORK JUNE 2017 SCALE: 3" = 1'-0" PAGE 1/8

OUTSWING CASEMENT WINDOW

DCRA

Farruggio
Residence

3602 Prospect St., NW
Washington, DC 20007

Engineer

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3	4/29/18	DD/Opt i
2	02/08/18	DD/Plans for OGB
1	12/17/17	PD/Set up file

Title
Windows / Doors

Proj	3602
Revision	Revision
Proj Date	02/09/15
Dwn	JS
Ck	
Scale	1/4"=1'-0"

File Name:
3602 18 0419 DDi.vwx

Drawing No.
A005.2
of Total Sheets