

2900 to 2934 M Street

**Historic Georgetown Buildings:
Representing The Transition From
Port Town to Urban Neighborhood**



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PLAN 510, April 1998
Preservation of Cultural Resources



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INTRODUCTION

Georgetown was recognized for its historical and architectural importance when Congress passed the Old Georgetown Act in 1950 creating the first historic district in Washington, D.C. In 1957, the Historic American Buildings Survey (HABS) was reactivated by the National Park Service. Fifteen commercial buildings were surveyed on M Street in 1966 in coordination with the U.S. Fine Arts Commission.

In 1967, the National Register of Historic Places was established and Georgetown was officially listed. President Richard M. Nixon, in a message to Congress in 1971, called for preparation of "an overall development and preservation plan for the Georgetown Waterfront" in response to development pressures. Following that study, and the frenzy of commercial office building construction that occurred nationwide during the 1970s and 1980s, the Georgetown Waterfront and M Street changed dramatically.

A revised version of the Georgetown Historic Waterfront study was published in 1993 documenting the changes. Many older buildings have been demolished and replaced by larger structures. Historic buildings on M Street have been "facaded." The commercial thoroughfare continues to lose its 19th century character and scale.

This study looks at one of the last remaining rows of historically extant buildings on the south side of M Street in the block between 29th Street and 30th Street. One of these buildings was included in the 1966 HABS Survey. A 1993 reconnaissance survey by the D.C. Historic Preservation Office provided a basic inventory. By examining the buildings in context with Georgetown's culture, history, and its future, the study determines that these buildings should qualify for a separate listing on the National Register of Historic Places to further document their historic importance as part of the fabric of Georgetown's existence in the late 19th and early 20th centuries.

PART 1 - IDENTIFICATION

1. Location of properties

The subject properties are located near the eastern boundary of the Georgetown Historic District in District of Columbia, Tax Map Block Number 1196, bound by M Street on the north, the C and O Canal on the south, 29th Street on the east, and 30th Street on the west. The current study is limited to the historic structures facing M Street and the old carriage house on 29th Street bound by an alley in the back (Figures 1).

Addresses range from 2900 M Street which includes the carriage house at 1132-1134 29th Street at the corner of 29th and M Streets, to 2934 (historic 2930) M Street at the corner of 30th and M Streets. There is no 2926 M Street. The assemblage consists of twelve original buildings now divided into seventeen separate addresses. The buildings will be referred to by their original addresses (Figure 2).

The lots in the southern half of the block between the alley and the C and O Canal originally faced old Greene (29th) Street, Washington (30th) Street and Needwood Street until construction of the C & O Canal. Originally small individual parcels, they were consolidated over a period of years by Georgetown Gas as its business expanded, and by its successor, Washington Gas Light Company.

The company sold the property in the 1960's. A building that now serves as a hotel facing 30th Street was constructed in 1928 and remodeled. A residential-hotel was constructed along 29th Street and a large office building bordering the canal was constructed and later updated and expanded. Today the buildings form one large connected complex around a central courtyard with entrances on 30th Street (Figure 3). While the former Washington Gas Light Company property south of the alley is not part of this study, the larger complex creates a strong visual backdrop to the historic buildings and has a role in the context of the subject buildings.

The subject buildings were constructed between the mid-1870s and mid-1890s. While several were built as speculative ventures and rented to tenants, they were built and occupied primarily by their owners as businesses and/or homes. At one time back lots also had alley dwellings and accessory buildings. (See 1894 map) Buildings from 2910 to 2934 (historic 2930) M Street today have small back yards with accessory buildings. Additions occupy the back portion of 2900 through 2908 M Street. Other than noting its presence, the addition to the rear of 2934 (historic 2930) M Street with an entrance on 30th Street is an apartment building and is not included in this study. Specific

information, descriptions, current and historical tenants and photos of each building are in Appendix 1.

Kinds of historic properties/structures in the vicinity:

1) M Street, 2) Pennsylvania Avenue and M Street Bridges 3) Rock Creek
4) The C & O Canal 5) The Old Stone House at 30th and M Street 6) Nathan
Loughborough Houses (3037 and 3041 M Street) 7) Thomas Sim Lee Corner
Historic House at 30th and M Street, 8) Site of Union Tavern at 29th and M
Street. 9) 29th Street School building.

PART II - EVALUATION

To be nominated to the National Register of Historic Places, a building must first be evaluated to place it in its historic context to support its significance. Its period of significance must be defined and the property evaluated for its historical integrity. Current land use and existing zoning protection are also important for evaluation.

CHRONOLOGY

Georgetown's history has been well documented. Indians founded a small settlement called Tahoga at the fall line on the Potomac and later traded with the English from Virginia settlements. Ninian Beale and George Gordon received land grants in the early 1700s which included much of current Georgetown today. The settlement grew up around a tobacco warehouse Gordon built in 1743 just below current Wisconsin Avenue and M Street, then close to the waterfront. Scottish emigrants swelled the population after political uprisings in 1715 and 1745. In 1751, the Maryland Provincial Assembly officially platted the "Town of George" with streets in a grid like other colonial towns of eighty lots which were sold.

Chartered as Georgetown in 1789, the port and tobacco town prospered because of its proximity to Maryland plantations. The following year President George Washington chose a site at the confluence of Tiber Creek and the Potomac for the nation's capital. Once the government relocated to the new City of Washington in 1800, Georgetown gradually lost its market and identity to the growing federal city

Construction of the C and O Canal between 1828 and 1850, intended to boost Georgetown's economy by providing a gateway to Ohio River country, instead brought coal and produce from Cumberland and western Maryland attracting small foundries and mills to its waterpower. Grocery and tobacco warehouses were replaced by flour mills and open coalfields. Georgetown became a transshipment town. The town boomed as a manufacturing and provisioning site during the Civil War but was left with unemployed soldiers and merchants in its aftermath. Freed slaves coming north added to overcrowding and increasingly unhealthy conditions.

In recognition of its growing urbanization, Georgetown's charter was revoked in 1871, when Congress created the Territorial Government of Washington. No longer a separate town, it was referred to as "western Washington," and included in the city's massive public works efforts to pave streets and install sewers initiated by the Board of Public Works under "Boss

Shepherd.” In 1880, Georgetown’s historic street names were changed to conform to the city’s. Bridge Street became M Street.

From the mid 1870s to the 1920s Georgetown was transformed from a port town to an urban neighborhood where federal workers could find inexpensive housing and local shops and farmers from Maryland and Virginia could market their produce and pick up supplies. Wives of junior World War I officers, by restoring older homes in residential areas north of M Street, sparked interest in historic preservation elsewhere in the city.

By the time Georgetown achieved Historic District status in 1950, the notable and wealthy were well established in its historic homes. When the Kennedy’s purchased a home in the early 1950s the town increased its fashionable reputation. Upscale restaurants followed. The commercial office, hotel and condominium boom of the 1970s and 1980s transformed the old industrial waterfront areas. While the Georgetown waterfront has been revitalized, a strong economy dictates significant changes along M Street. Demolition and rebuilding continues to threaten historic structures along M Street.

The most important dates which give context to the subject properties include:

- 1751 - Georgetown is officially platted as the “Town of George”. Bridge Street appears on the map as the major east-west road.
- 1778 - Church of Scotland purchases parcel of land on Bridge Street and builds the Georgetown Presbyterian Church.
- 1789 - Georgetown is officially chartered. Bridge built over Rock Creek at portage creating eastern gateway.
- 1791 - George Washington travels past church property and over bridge in campaign for new federal city.
- 1796 - Union Tavern constructed at Washington Street and the north side of Bridge Streets (29th and M) across from the church.
- 1800 - Federal City relocated from Philadelphia to new location on Tiber Creek and the Potomac. First members of Congress live in Georgetown and travel by horse or carriage to the President’s House and Capitol Hill via Bridge Street and Pennsylvania Avenue.
- 1802 - Map by architect Benjamin Latrobe shows subject block bound by Bridge Street, Greene Street, Washington Street and Lovely Street.

- 1814 -Map by Francis Fenwick shows Georgetown neatly platted in rectangular numbered lots. The subject block has been bisected by Needwood Street and platted into 13 lots. The church lot and lot 183 face Bridge Street.
- 1820 - After a fire, the Georgetown Presbyterian Church constructs new brick church at Bridge and Washington Streets, becoming the largest building in the new city.
- 1827 - Congress charters the Chesapeake and Ohio Canal Company. Construction begins on canal parallel to and including Needwood Street.
- 1830 - First regularly scheduled omnibus travels from Bridge Street to a tavern on Capitol Hill.
- 1853 - New aqueduct and bridge designed by Montgomery Meigs constructed from Great Falls and pipes run through Georgetown over Rock Creek at Pennsylvania Avenue. Construction of fountain at apex of triangle created by convergence of Pennsylvania Avenue and M Street.
- 1861-1865 - Civil War brings prosperity and overcrowding to Georgetown.
- 1862 - Washington and Georgetown [Street] Railway Company chartered by Congress.
- 1871 - Georgetown's charter revoked by Washington Territorial Government. Grading and paving of Bridge Street and installation of sewers included in city's public works projects.
- 1874 - Faehz and Pratt Real Estate Map show same lot configuration as 1814 map. Lot 182 (church) and Lot 183 front M Street.
- 1880 - Georgetown's street names are abolished and renamed to be consistent with the city's.
- 1888 - Tolls for pedestrians lifted on Aquaduct Bridge.
- 1893 - Infill development of M Street is complete. Lots 182 and 183 have been subdivided into lots by owners of subject buildings.
- 1893 - Electrification of Washington and Georgetown street railroad.

- 1924 - C and O Canal goes out of business unable to compete with the railroad.

HISTORIC CONTEXT

The appropriate historic context for the subject properties lies in the period between 1871 and 1924 with the establishment of Bridge Street/M Street as Georgetown's emerging commercial center in its transition from a port town to an urban neighborhood. The buildings reflect the culture of the people who lived and worked in this block. Yet, the site can also draw on the impact of earlier activities.

Location forms the first important context. The subject row of buildings owe their existence, as Georgetown does, to a fortuitous location on a well traveled route. Bridge Street was platted in 1751 becoming the main east-west route through town (Figure 4). Buildings were constructed along this end of Bridge Street because they were closest to the portage across Rock Creek. The location of an important church, a tavern that attracted travelers, and a new bridge across the creek's gorge gave accessibility to the property. With the relocation of the new City of Washington from Philadelphia in 1800, the first private buildings were constructed from Georgetown along Pennsylvania Avenue, to the President's House, to Capitol Hill, and the Navy Yard.

Transportation provides a second context where sailing vessels, horses and wagons, canal barges, and eventually street cars and the railroad converged in Georgetown. Bridge Street provided the earliest and most direct route to Georgetown's wharves to and from the farms in eastern Maryland. With no housing in the new city, the first members of Congress lived in Georgetown and traveled by horse and carriage via the main route along Bridge Street into the city. The first omnibus route, forerunner of the street railroad and streetcar, was established in 1830 and ran from High Street two blocks away to the Navy Yard via Bridge Street over the Rock Creek on M Street, along Pennsylvania Avenue and on to Capitol Hill and the Navy Yard. The Washington and Georgetown Street railway was electrified in 1893. (Figure 5)

The C and O Canal was built at the block's southern boundary, increasing Georgetown's function as a transshipment town. Bridges at each end (Chain Bridge and the Aquaduct Bridge to the west, M Street and Pennsylvania Avenue bridges to the east) fed traffic through Bridge Street. A spur of the B and O Railroad and rail storage yard served the waterfront in the late 19th and well into this century. Canal boats brought raw materials, especially coal and produce, from Cumberland, Maryland into Georgetown and carried finished and milled goods out. Until 1910, masted schooners docked at the K Street wharves on the waterfront providing additional goods for Georgetown's shops.

Public works improvements provide the third context. Construction of the bridge at the creek's portage in 1788 brought access, the aqueduct bridge over Rock Creek in 1853 brought clean water to Washington residents and extended Pennsylvania Avenue and its traffic directly into Georgetown giving the subject location additional "gateway" status. Paving and grading of Bridge Street and Pennsylvania Avenue in 1871 provided a better surface for travel to and from Washington, D.C. Addition of a fountain at the triangle apex provided a rest place for horse-drawn coaches, farmers wagons and, until electrification, the horse-powered street railway. (Figures 6, and 7). The "Aqueduct Bridge" built at the other end of Georgetown for the transport of canal barges over the Potomac River diverted that traffic to Alexandria but later provided increased commercial activity through Georgetown when it was reopened and tolls were lifted for pedestrians in 1888.

Government action provides the fourth context. The Maryland Provisional Assembly forced original grantees to give up their land in 1751 when Georgetown was officially platted. Bridge Street was recorded on the plat. Failure of the major sections of the Potomac Canal built in 1784 between Little Falls and Georgetown around 1810 resulted in Congress granting a charter to the C & O Canal Company in 1825 to revitalize commerce.

Although the railroad was constructed to Ohio Country before the canal reached western Maryland, the new canal altered the direction of Georgetown's economy. Flour and cotton mills, coal fields, a foundry and sawmills gradually replaced tobacco and grocery warehouses. Its construction brought a wave of Irish immigrants who settled there. Congress consolidated competing omnibus companies by chartering the Washington and Georgetown Railroad in 1862, creating a transportation terminus. The end of the Civil War brought a large influx of freed slaves from the south who settled in Georgetown creating, along with Irish and other immigrants, overcrowded living conditions.

In 1871, the Washington Territorial Government, recognizing Georgetown's urbanized status and attendant problems, incorporated Georgetown as part of Washington including the town in its massive public works projects. In 1880, Georgetown's historic street names were changed to merge with the number and letter system of the District. Georgetown had become just another Washington neighborhood.

SIGNIFICANCE

The buildings in the subject block are important but not unique examples of vernacular commercial and residential architecture. They owe their historical and cultural significance, however, to the people who lived in them and the period they represent in Georgetown's history in its

transformation from a port town to an urban neighborhood. Specifically, this period can be defined from the advent of public works improvements and demolition of the Presbyterian Church in 1871 to closure of the C and O Canal in 1924. This block was also important because it was located at the "gateway" to the emerging commercial center of M Street and tells that story.

By 1880 Bridge Street, now called M Street, provided employment opportunities for retail workers, grocers, labors and craftsmen. Georgetown residents lived in homes either above shops or in row houses intermixed with the commercial establishments as was typical in a 19th century pedestrian-oriented city. While not listed in a directory, an 1893 map shows 14 families living in the alley in back of the subject properties, a common occurrence in Washington and Georgetown. Improved road conditions and provision of public transportation made the location on a main road more attractive to those wishing to start a business and to real estate speculators building row houses for employees of the expanding federal government.

Maps illustrate the evolution of the block as well. An 1814 map (Fenwick) and an 1874 map (Faetz and Pratt) show the block's lots unchanged. An 1893 map (Norris Peters) shows the lots as they exist today and reflect the transformation of the block and M Street that occurred during a 20 year period (Figure 9).

George Wise's imposing three story red-brick funeral parlor with round turret and residence at 2900 M Street has been a Georgetown landmark for many years. In fact, it survived as a Wise's Funeral Home for nearly 75 years until it was sold in the early 1950s. William Lee's family resided in Georgetown as early as 1860 and owned a feed store on K Street and a stall at the Central Market in Washington D.C. in the early 1870s. Apparently they earned enough from their business to buy property close to where they lived in Georgetown and to build a duplex for themselves at 2902-2908 and to lease the other half. By the mid 1880's, Lee was advertising "all choice grades of flour, grain, bale and cut hay, straw etc." His business is a legacy from 18th and early 19th century Georgetown when mills were established and to the era when people had to provision their horses. His location across from the fountain and on the route followed by the horse drawn omnibus and carriages probably provided business for many years. He also may have provided flour to neighborhood bakeries.

In 1878, James Goddard, a local real estate speculator who lived north of M Street, purchased the 36 foot wide lot next door to William Lee and subdivided it into three row houses, each 12 feet wide. The buildings at 2910, 2912, and 2914 M Street were at first occupied by members of the family and then rented thus capitalizing on the need for housing for federal government employees and local trades people. A lamplighter, laborer and a driver were tenants in 1915. The house at 2910 was later purchased by the Maryland

Agricultural College (University of Maryland), and the other two were owned by members of the Goddard family until as late as the 1950's. All three were purchased by Pierre Gaunoux in the 1970's.

The congregation of the Georgetown Presbyterian Church, which owned the other half of the block that fronted on M Street, abandoned their church in 1871 and relocated to P Street because Bridge Street had become too commercialized (Figure 10). Demolition of the old church created opportunities for other residents. Arthur Small who owned a print shop on Greene Street purchased a lot from the Presbyterian Church in 1880 and built three houses. The financial arrangement was one among neighbors. Small built one home for himself (2914), and two in partnership with a local blacksmith and another friend; Charles Muntz (2916), who had a shop on Water Street (K Street), and William Smith (2928), occupation unknown.

With the death of the original owners after 1910, these buildings were sold or rented to members of the Lavezzo family who had other shops and properties on M Street. While the original owners had been relatively prosperous, renters had more modest occupations like lamplighter, soldier, and plasterer.

The plasterer, William Gollan, provides an excellent example of the kind of family that rented one of these houses. Gollan rented 2916 M Street from 1911 to 1926 because the house was close to a barn along the canal where he kept his horse and wagon, he was close to those who supplied straw and lime and it provided affordable housing for his growing family of six children. His young sons walked to the 29th Street Elementary School. Two of his daughters found employment at stores in the downtown F Street shopping district, and his eldest daughter, in addition to being a seamstress, worked for the Treasury Department. All three depended on the streetcar, which passed by in front of their home, for transportation to their jobs.

Peter McIntyre constructed the commercial building at 2922-24 M Street in the 1880s, probably as an investment. He owned a grocery store on K Street, was a restaurateur for a time and his home was on 26th Street. He owned the property until 1920. One of several cigarmakers on M Street rented the store at 2922, a legacy from Georgetown's tobacco port days. Andrew King, an engineer, built 2928 M Street and lived in the building until at least 1915. James Goddard built the end building which for many years was rented to the Central Union Mission.

In addition to the residents of the subject block, in 1915 their neighbors were employed in the following positions: tailor, baker, grocer, widow, shoemaker, painter, cigar maker, plumber, druggist, junk company owner, saloon owner(s), laundry, tailor, drygoods, bicycles, electric contractor, undertaker(s), tinner, jeweler, 5 and 10 cent store, monuments, peanuts, real

estate, notary, and confectioners. For almost forty years, these modest buildings provided the homes and businesses of the residents which are characteristic of a 19th century urban village before the automobile replaced the horse and trolley. Most of the original property owners who built the buildings controlled their uses until about 1920 when the owners passed away and the properties were sold or leased by descendants. William Lee stayed in business until the mid- 1930s and the Wise building was kept in the family until the early 1950s.

Overcrowded living conditions gradually earned for Georgetown, particularly the area south of M Street and west of 31st Street, a reputation for having some of the worst slums in Washington. This was probably reflected in the Central Union Mission's long tenancy at the end of the subject block.

A 1903 map shows the Washington and Georgetown Car House and Power House that straddled the canal at 32nd and M Streets and the expanding Georgetown Gas Light gas houses at the southern half of the subject and adjacent block. On the other side of the canal was a wood and coal storage yard, and the land along Rock Creek in the 28th block had become a large dump area. By 1920, while the areas north of M Street were becoming more fashionable, the quality of life for people living on the southern side of M Street, because of the heavy industrial uses, had deteriorated. (Figures 11).

In addition to changing land uses in the waterfront, suburbs being constructed at the end of new trolley lines financed by real estate speculators gradually drew residents away from Georgetown and customers away from neighborhood businesses. Automobiles were replacing the horse. Where the location had once been advantageous for transportation, noisy street cars, some auto traffic, and dirt and grime made M Street less desirable as a place of residence and to do business. The closure of the C and O Canal in 1924 brought an important period of Georgetown's history and commercial viability to a close. The fountain appears on a 1924 map but by 1930 has been removed. The occupants of the middle buildings in 1930 were not the same as those in 1920. The plasterer's family finally found a larger and more fashionable home on 35th Street.

INTEGRITY

Location

The buildings occupy the land on which they were built. Original footprints are the same.

Design

Many row house buildings constructed during the late 19th century do not follow a particular architectural style but have elements copied from federal buildings downtown or from each other. The subject row, with the exception of 2900 and 2922-24 M Street are typical of two and three story red brick residential and commercial structures built in Washington during the late 19th and early 20th century.

Setting

The Four Seasons Hotel on 28th Street is characterized as a “gateway” building but the location of the subject row of late 19th century homes and stores provides the setting for the real gateway to the historic town. The buildings are important because they establish scale and harmony with the remaining historical buildings across the street and in adjacent blocks characteristic of the transition from port town to urban neighborhood.

Materials

The properties retain the key external materials dating from the period of construction, although some of the buildings have been painted. Foundations are stone and each has a basement, required by code at the time of construction to accommodate coal furnaces. Brick chimneys are still visible but internal heating systems likely have been updated. Roofing material was originally tin but without further examination it is not possible to determine if that is the current material. Original wrought iron railing in one building is in good condition. The major changes to the buildings are replacement or removal of windows, window sashes, and shutters. 2930-34 M Street was remodeled in 1951 but retains the basic external brickwork of the original structure.

Workmanship

Workmanship for each building is typical of brick craftsmanship of the day.

Feeling

Although M Street is wider and the sidewalks are narrower than they used to be to accommodate street parking and traffic, the buildings retain many of their original characteristics. As a group they create a feeling of how urban neighborhoods functioned when people of all occupations lived and worked together and depended on horses, trolleys and waterways for transportation. This feeling is best appreciated from the opposite side of the street.

Association

The subject block is associated with the decades immediately preceding the automobile and retains the character of pedestrian-oriented homes and businesses served by horse and trolley.

LAND USE

Other criteria are also useful in evaluating the property including current zoning and the relationship to the parcels around it.

Interest in historic preservation nationally and locally and the lack of home rule for many years has resulted in both national and local laws and ordinances to protect historic properties in general and Georgetown in particular. The following documents are provided in Appendix II: The 1951 Georgetown Act, 1967 National Register of Historic Places Inventory-Nomination Form, applicable pages from the District of Columbia Municipal Code and Comprehensive Plan.

A. Zoning

Four studies completed during the 1968-1973 timeframe provide an in-depth study of current and past land use as well as recommendations for future development of the Georgetown Waterfront area. These include: *The Georgetown Waterfront Feasibility Study* (1970), *The Georgetown Waterfront Area Study, Phase 1* (1972), *Georgetown Waterfront Area Study, Phase 11A* (1973), and *Georgetown Historic Waterfront* (1968-70, updated 1974, 1993).

Current zoning for the row of buildings facing M Street on Block 1196 is C-2-A (Community Business Center - Medium Density). The zoning for the remainder of the block bounded by the canal to the south is C-M-2^b. Current zoning maps classify this as W-2. (Figure 12)

Upper parcel facing M Street: C-2-A zoning permits building heights of 60 feet and an FAR of 2.0. Residential use is limited to 1.8 FAR and 60% lot coverage.

Lower Washington Gas Light Company parcel: C-M-2^b (W-2) zoning which permits a height of 60 feet and an FAR of 4.0. Performance standards are required for this category and a site plan review is required.

The parcels on lower Blocks 1196 and 1195, consolidated by Washington Gas Light Company, were classified as "highly susceptible" to development in the 1972 study. The lots have been developed since that time. The subject lots facing M Street on Blocks 1196 and 1195 were classified as

being of "major historic value" in 1970 (p. 14 map) and "resistant" to development because they were "givens" in 1972 (map/text p. 35-36) which is defined as property under ownership or control which has the ability to retain them as they are. Some of buildings facing M Street on Block 1195 were altered or demolished with the development of the lower part of that block.

B. Ownership Patterns (See Appendix III for list and graphs of property assessments since 1900)

Properties in the subject block are being consolidated. Since 1970, one property owner has been buying properties and now owns 2900, 2902-2904, 2910, 2912, 2914, 2918, 2920, and 2922. These properties increased in value after purchase compared with other properties on the block indicating that substantial improvements, including additional internal subdivisions, probably were made to increase investment. The buildings today are most likely being used at their maximum potential. There has been no recent effort to build on remaining vacant land in the back "yards" of buildings on the block and the alley remains functional, though it is not a through road.

Land at the edge of the Rock Creek Stream Valley and bordered by the C and O National Park, is valuable. Property developed to its highest and best use increases that value. The historical asset of location that made the subject block valuable makes it valuable again and increases the tax burden on owners and the pressure to develop.

THREATS

Development: The subject block is surrounded on three sides by consolidated and redeveloped parcels. Even though the buildings were classified in a 1970 study as having "major" historical value, that classification has not protected historic buildings in other parts of M Street from alteration. (Figure 3).

From 1900 to about the mid 1960s land values remained constant. Assessments increased dramatically during the 1970s, 1980s and 1990s. The land has become more valuable as a result of consolidation of old industrial parcels along the Georgetown Waterfront and construction of office buildings and apartments at densities recommended by the 1972 study. The best illustration of this trend are the Passonneau maps that show structures demolished between 1903 and 1973, and structures erected between 1973 and 1991 (Figures 13 and 14).

The majority property owner could try to acquire the remaining three properties on the block and sell to a developer who could then build to the highest and best use allowed by the comprehensive plan (60 feet, FAR 2)

utilizing the vacant land in the back yards and preserving only the facades. This is the trend not the exception on M Street.

Traffic: Intensification of uses along the Georgetown Waterfront and the subject block have resulted in an increase in local traffic in addition to the through traffic on M Street, although the Whitehurst Freeway carries most of the commuter load. The location that made this a good place to live and conduct business in the late 19th century contributes to pedestrian access problems today. The need to accommodate more cars has resulted in widening M Street at the expense of the once wide sidewalk in front of the building. A narrow sidewalk makes window shopping difficult. The block is also being impacted by local traffic and tour buses generated by the adjacent hotels, office and apartment buildings. This part of Georgetown is quiet, however, when compared with the congestion several blocks away at the intersection of M Street and Wisconsin Avenue.

HISTORIC PRESERVATION TOOLS

Georgetown is protected by a layer of laws and ordinances, including the "The Old Georgetown Act" passed by the U.S. Congress in 1950 that requires that before permits are issued by the District government for construction, alteration, reconstruction or razing of any building in Georgetown, the proposal must be reviewed by the U.S. Commission of Fine Arts which then submits a recommendation to the Mayor within 45 days. This recommendation refers to exterior architectural features that are subject to view from a public highway. Listing on the National Register of Historic Places also provides an additional measure of review.

Attorney Louis P. Robbins, esq. who wrote the "Memorandum of Law" for the 1968-70 *Georgetown Waterfront Feasibility Study* (p. B-5) interprets the legal status of these measures as follows:

"The Old Georgetown Act . . . directs the District government to take into consideration the recommendations of the National Commission of Fine Arts before issuing permits "for the construction, alteration, reconstruction, or razing of any building within the said Georgetown District" but permits the District after such consideration to use its judgment thereafter."

"Additionally, the Georgetown area has been placed on the National Register of Historic Places pursuant to the National Historic Preservation Act, 1966 . This Act, however, is limited and does not prevent the demolition or destruction of historical places."

Despite the Act, listing on the National Register in 1967, and other ordinances and laws, owners of Georgetown's historic buildings are not required to preserve them from demolition or alteration.

The Citizens Association of Georgetown has been active in reviewing building applications for many years. The D.C. Preservation League also provides oversight on such issues.

The real estate market, economic needs of property owners and decisions by elected officials will be the ultimate determinants of the fate of the subject historic buildings.

GAPS IN EVALUATION

The commercial building at 2922-2924 was included in a 1966 study (included with property description and photographs of that address) which includes a detailed architectural description, but the building history in that same study contains information that is not accurate. Detailed architectural descriptions have not been undertaken on the other properties.

PART 111 - TREATMENT

What can be done to protect a row of late 19th century buildings whose original residents represented the social and economic fabric of Georgetown between 1880 and 1924, that are being used to their current maximum investment potential for their owners, and are surrounded by much larger buildings which comply with the District's comprehensive plan?

Given the evidence gathered for this study, the following course of action to increase the profile of the subject block is recommended:

1. Document. Only one building, 2922-2924 M Street, has been researched in a HABS Survey (1966), and there are errors in that published study. A 1993 reconnaissance study contracted out by the D.C. Preservation Office catalogued the buildings by lot number and address but there is little other useful information. To aid in their protection, the properties in this block need to be adequately documented.

2. Apply for National Register status. The Georgetown Market is protected by such a listing. The subject row of buildings, one of the last extant on M Street, could benefit from individual listing because it would require additional documentation.

3. Meet with the major property owners to come to an understanding about the future status of the buildings.

4. Suggest changing the zoning on remaining parcels. C-2A with an FAR of 2 and a permitted building height of 60 feet leaves property owners with unused capacity but with land and buildings assessed at highest and best use. Downzoning would reduce the value of property. Cooperation of property owners would be essential. Compensation in the form of significantly lower assessments would have to be considered. Given the number of property owners along M Street that could be impacted by a zoning change, this option is unlikely but at the least should be explored.

6. Amend TDR criteria in code to permit density transfer to parcels other than the subject block. Precedents exist in the city where TDR's have been used but under restricted circumstances.

7. Additional tax incentives.

In 1974 the District passed an historic property tax relief proposal that permits owners of officially designated buildings to assess land and improvements on the basis of current use and structures of the buildings, and if lower than full market value, to have that figure the basis of tax liability.

(D.C. Code §47-842 through 844). District property owners also benefited from the U.S. Tax Reform Act of 1976 which provided incentives for renovation of existing historic structures. The U.S. Tax Reform Act of 1986 pared back the more generous incentives but still provides benefits for those investors below a specific annual income ceiling.

It is probable that the property owners in the subject block have benefited from these acts.

8. Meet with candidates who run for Mayor and members of the District Committee in Congress. Accompany candidates on a tour of historic properties in Georgetown stressing the economic benefits to tourism and "adult entertainment" such as restaurants, clubs, and upscale boutiques that showcase adaptive use. Stress that once elected, an "Executive Order" regarding adherence to historic preservation ordinances be issued.

9. Include modest buildings in tours that feature the homes of the rich and famous. Information about modest homes that once housed the working class and their businesses should be included in historical brochures about Georgetown, in the Georgetown Trolley tour, and in walking tours available to tourists. Comprehensive guides stressing the diverse history of Georgetown should also be made available to Washington hotels, especially those adjacent to this historic town.

PART IV - MAINTENANCE

The most effective way to make certain that the historic integrity of a building is preserved is eternal vigilance. The Citizens Association of Georgetown is an active organization and regularly monitors development activities in the historic district. Staff at the D.C. Government's Office of Historic Preservation are employed to review and comment on applications and site plans. Any changes to buildings in the historic district must be reviewed by the U. S. Fine Arts Commission. Citizens should work with elected officials and government staff to make certain that ordinances are enforced.

Washington, D.C. residents will soon be electing a new mayor. Citizens interested in historic preservation should meet at the earliest opportunity and talk with every candidate to be certain that historic preservation is important to the integrity of Georgetown. It represents good business for the tour industry as well as local merchants. Encourage a newly elected official to issue an executive order that the code will be enforced with respect to historic preservation.

Historic Preservation in Georgetown

A number of factors have influenced preservation actions nationally and efforts in Georgetown locally; the Antiquities Act of 1906, the formation of the National Park Service in 1916, and the Historic Sites Act of 1935. Georgetown first captured attention as being worth preserving when wives of junior officers living in Georgetown during World War I began restoring the old homes in which they lived. The establishment of the Historic American Buildings Survey (HABS) in 1933 coupled with the need to employ inactive draftsmen and architects resulted in a survey of Georgetown architecture. It also established consistent recording techniques and broadened the scope of preservation since the guidelines included many types of non-residential types of architecture such as commercial structures, mills, barns, foundries, etc. The National Park Service had also established a program to develop National Park Sites in the early 1930s. The C & O Canal through Georgetown became a National Park in 1938.

Highway construction after World War II and urban renewal caused social displacement and demolition of visual landmarks throughout the country. Charter of the National Trust for Historic Preservation in 1949 coincided with the construction of the Whitehurst Freeway through Georgetown. The rich and the powerful, including John F. Kennedy, were attracted to Georgetown's historic homes about the time Williamsburg was becoming the most popular tourist destination in the country. The subject of

preservation was topical among leaders of the day, many of whom lived in Georgetown, and increased visibility of Georgetown as an Historic District.

The passage of the National Historic Preservation Act in 1966 resulted in the National Register of Historic Places which could be of local, state or national significance. Georgetown was placed on the National Register immediately. The Tax Reform act of 1986 has helped those property owners in Georgetown who have wished to benefit from preserving or rehabilitating historic structures.

CONCLUSION

The modest row of late 19th century homes and commercial structures between 29th Street and 30th Street on the south side of M Street in Block 1196 are a lasting reminder of Georgetown's transition from an early port city to an urban neighborhood. The buildings comprise one of the last complete blocks on M Street in which the original footprints exist as they were originally constructed. External changes have been minimal, with the exception of the remodeled building at 2934 (historic 2930), and have involved primarily the modernization and expansion of display windows.

The buildings housed the energetic merchants and working class people whose enterprise created the social and commercial fabric of the Georgetown, a time when the horses and wagons of the plasterer, baker, and greengrocer competed for space with the horse-drawn street car carrying people to and from downtown, when the last schooners brought goods to the wharves that the merchants could sell in their stores, when canal boats and farmers from Maryland and Virginia brought agricultural produce to market, when people still lived close to where they worked, and when the first automobiles and electric streetcars began to edge the wagons and their drivers of another era aside. The lives of the undertaker, the feedstore owner, the plasterer, the lamplighter, the clerk and greengrocer, the cigar store owner, and the people who ran the mission house for the poor are all reflected in this unique row of buildings.

Georgetown's main street continues to evolve as the real estate market dictates. The current owners of these buildings have respected their historic integrity and the structures are maintained in excellent condition. Their proximity to upscale hotels and charming restaurants increases their visibility and their value as a gateway site to the historic district. Steps should be taken now to ensure, with the cooperation of the owners, that these buildings remain protected from any changes that could negatively impact their value to Georgetown's history.

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Review of Canal and Riverside Architecture. U. S. Commission of Fine Arts
and Office of Archeology and Historic Preservation, National Park Service,
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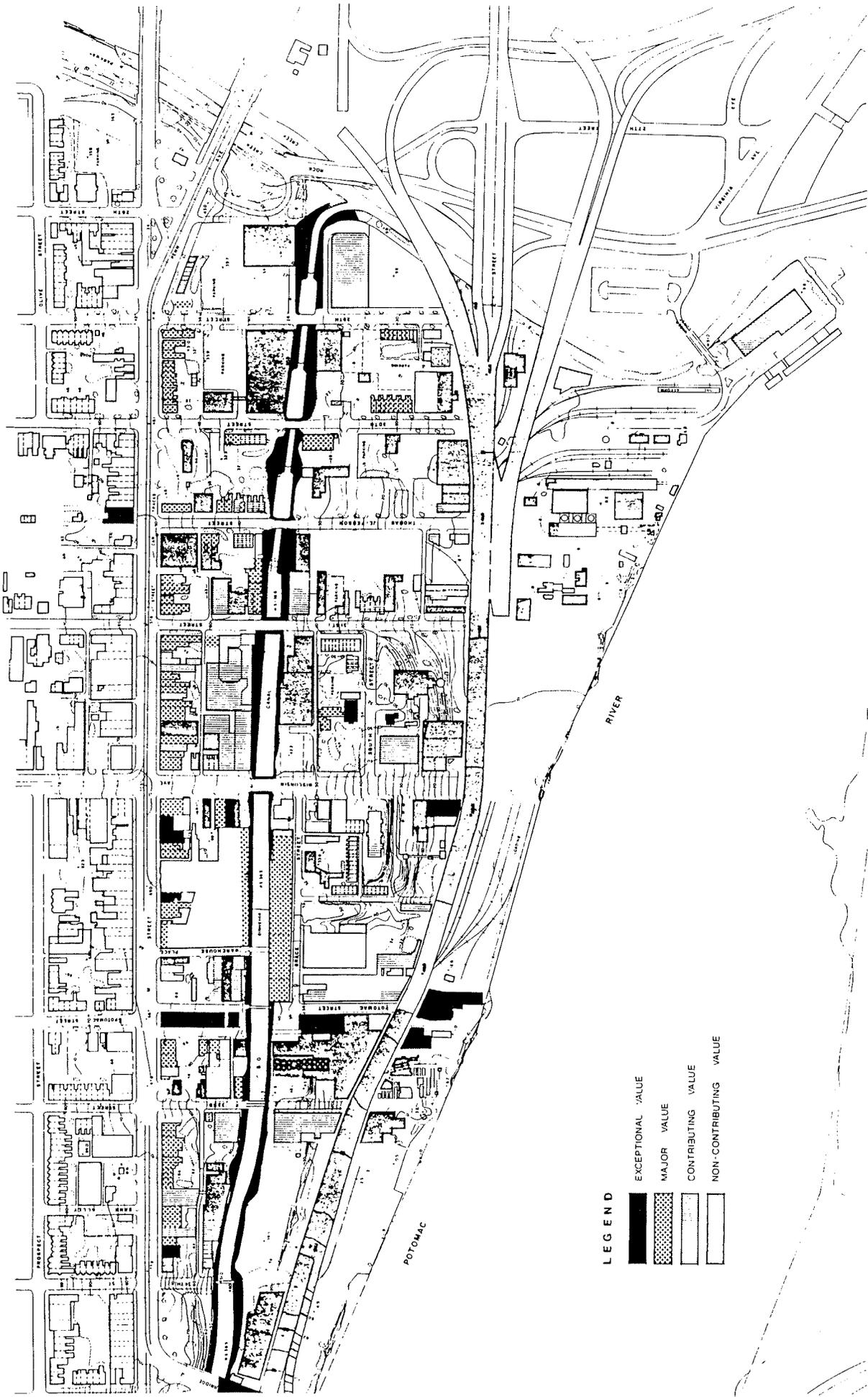


Figure 1 - Location of subject Block #1196 at the northeastern boundary of the Georgetown Waterfront.

Figure 2

ADDRESS	SQUARE	LOT NUMBER
2900 M Street/1132-23 29th Street NW	1196	0824 0824B
2902-2904 M Street 2906-2908 M Street	1196	0195M1 0195M2
2910 M Street 2912 M Street 2914 M Street	1196 1196 1196	0194 0193 0192
2916 M Street 2918 M Street 2920 M Street	1196 1196 1196	0807 0805 0805
2922 M Street 2924 M Street	1196 1196	0816 0815
2928 M Street	1196	0803
2934 M Street (Current) 2930 M Street (Historic)	1196 1196	0802

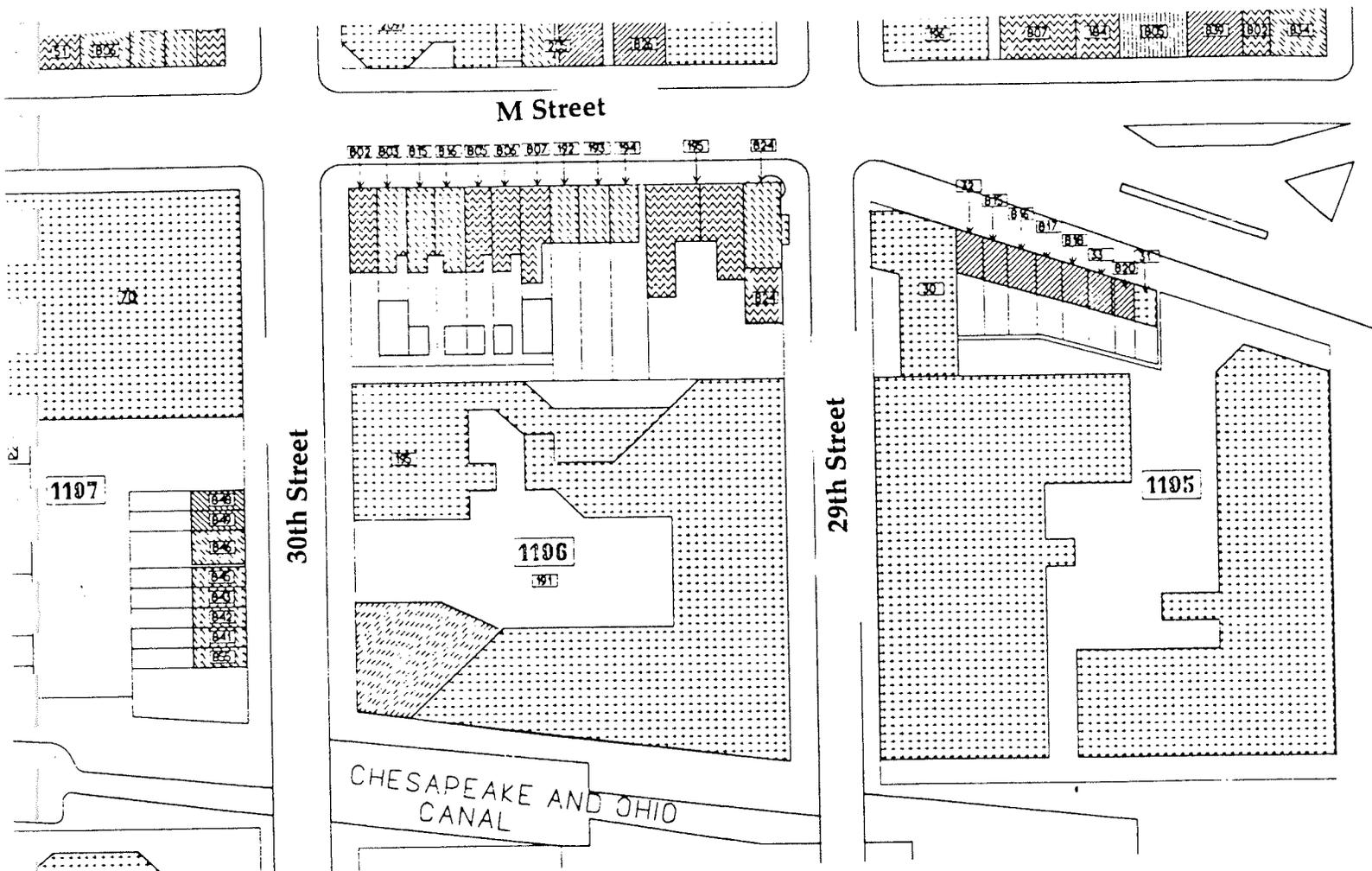


Figure 3 - Block 1196 in 1993 showing current building footprints (Reconnaissance Level Survey Map)



Figure 8. Plat of George-Town in 1751 from the "Georgetown Commissioners' Minutes, 1751-1789."

Figure 4 - 1751 Map of Georgetown showing Bridge Street



Figure 5 - Washington and Georgetown Street Railway, date unknown.
Photograph collection, Historical Society of Washington.

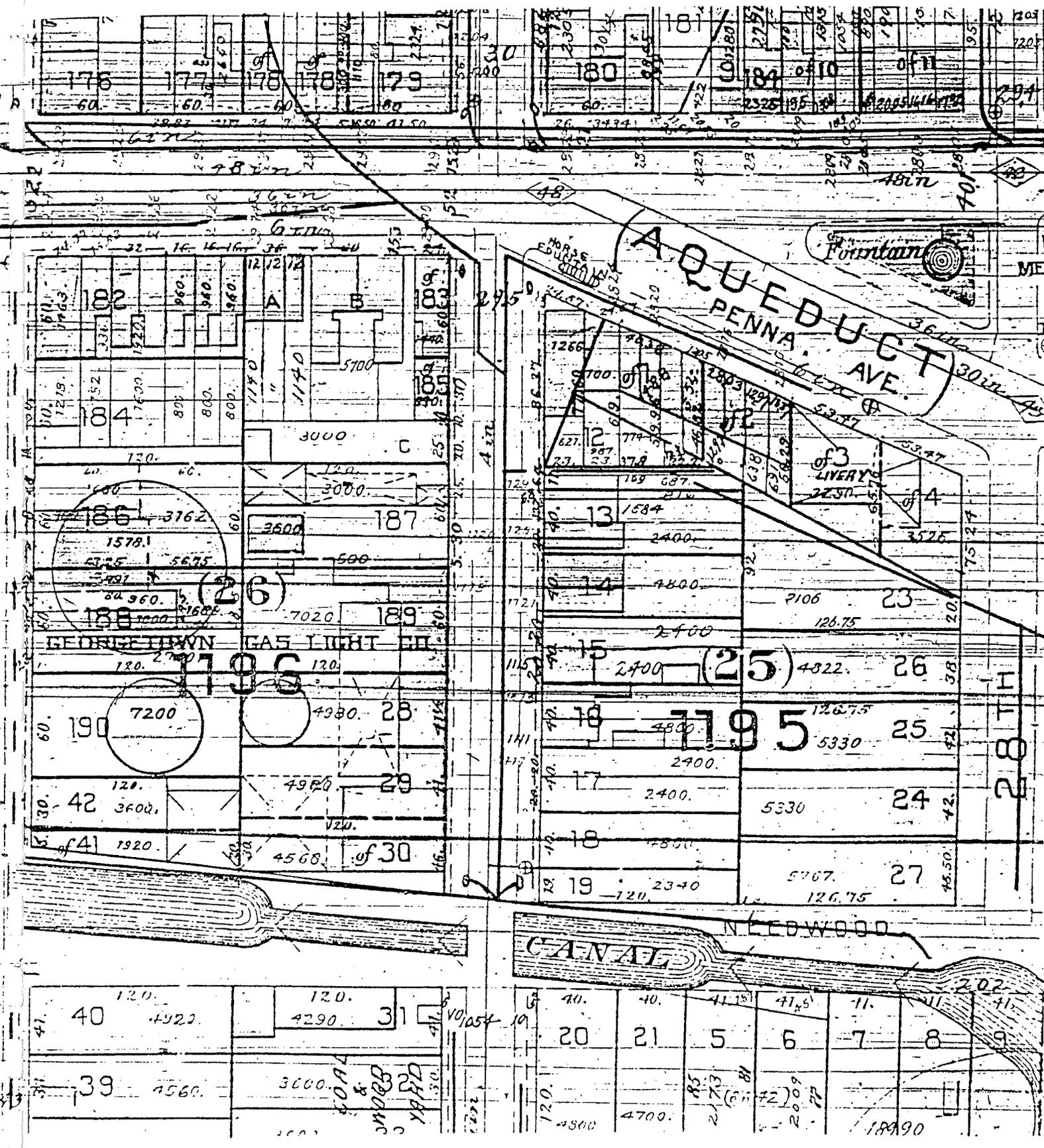


Figure 6 - 1913 Baist Real Estate Map illustrates eastern gateway location showing convergence of Pennsylvania Avenue and M Street Bridges with Aqueduct Extension of Pennsylvania Avenue and fountain installed at apex of triangle.

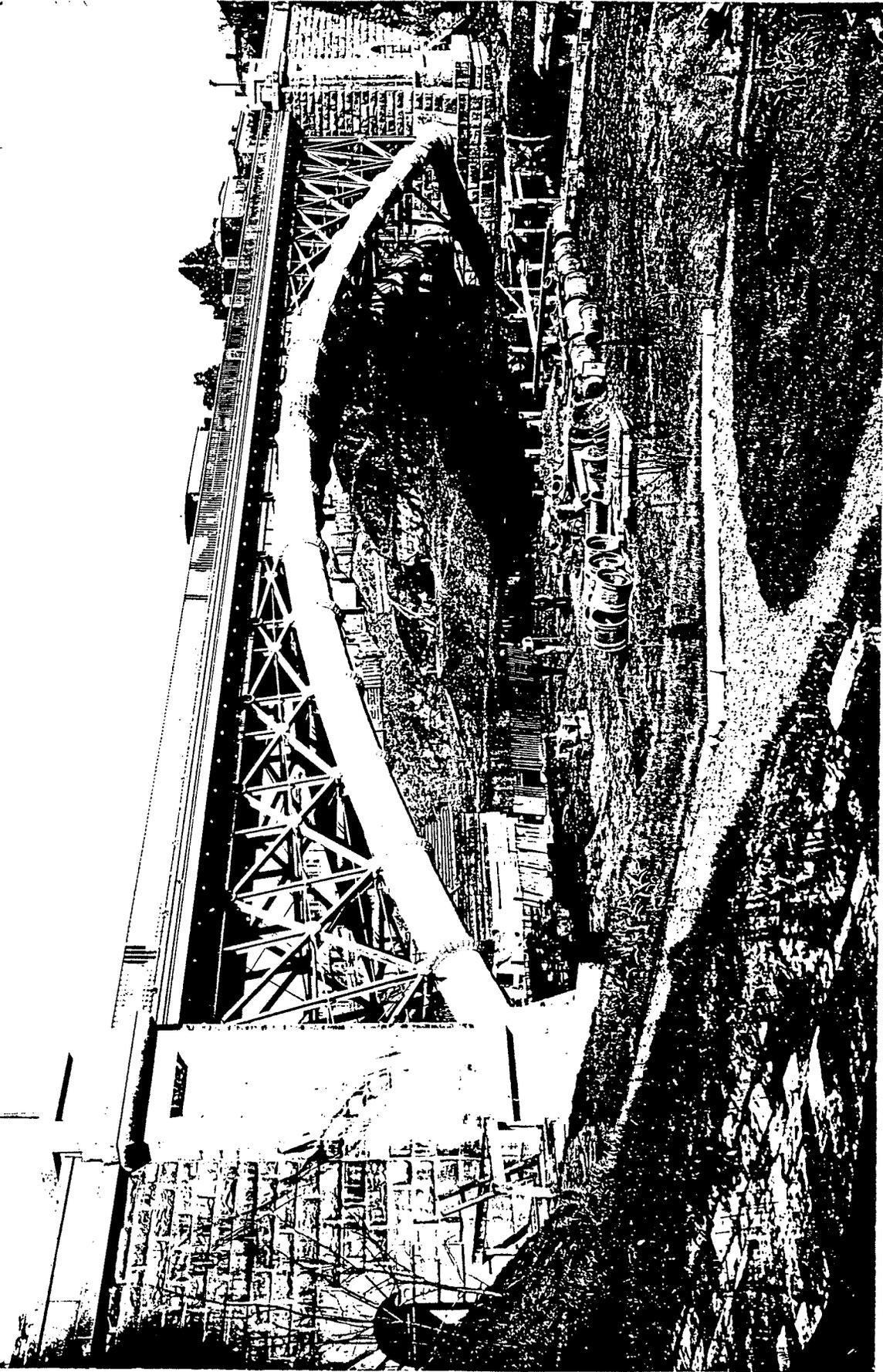
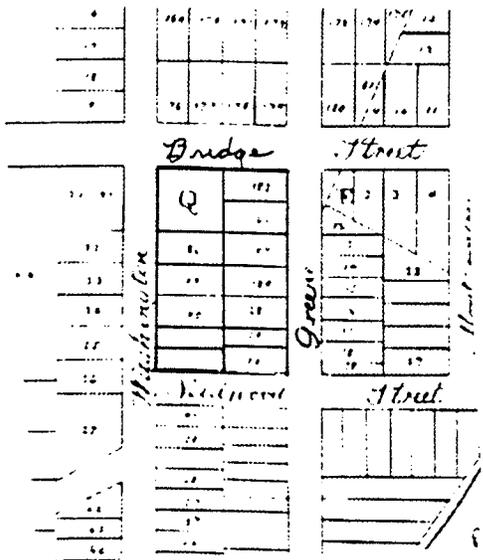
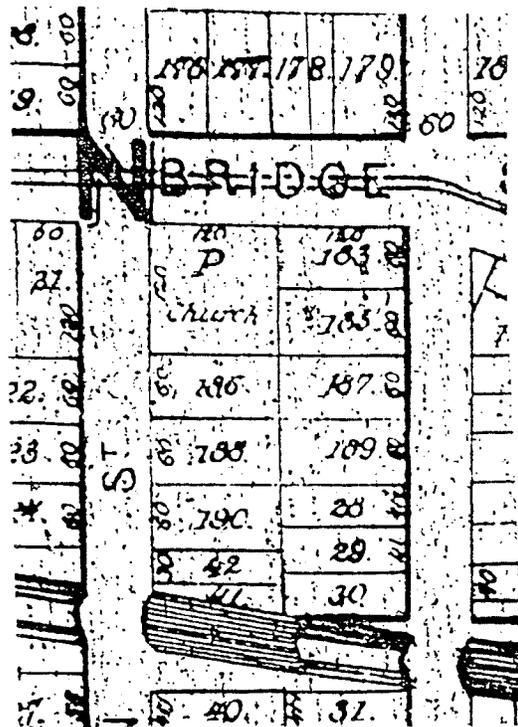


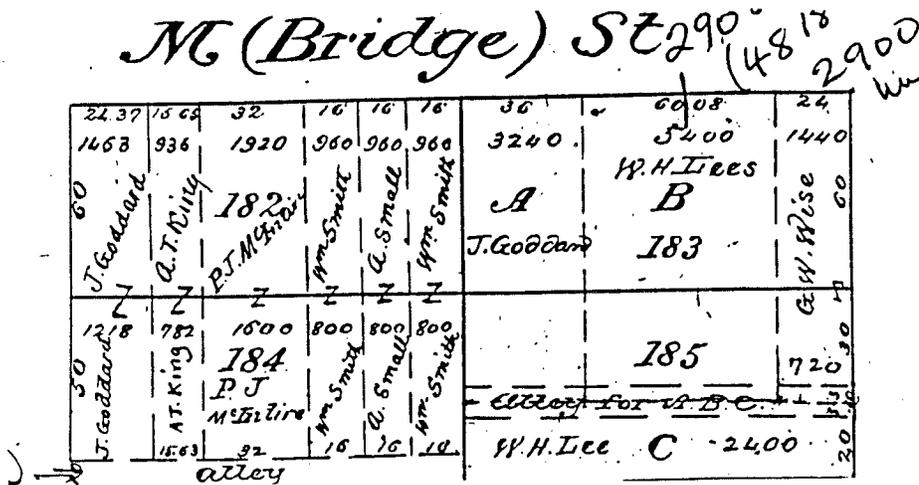
Figure 7 - Construction of Meig's arched aqueduct across Rock Creek Park, circa 1853. Photo from collection of the Historical Society of Washington.



1814 Fenwick Map



1874 Faetz and Pratt Map



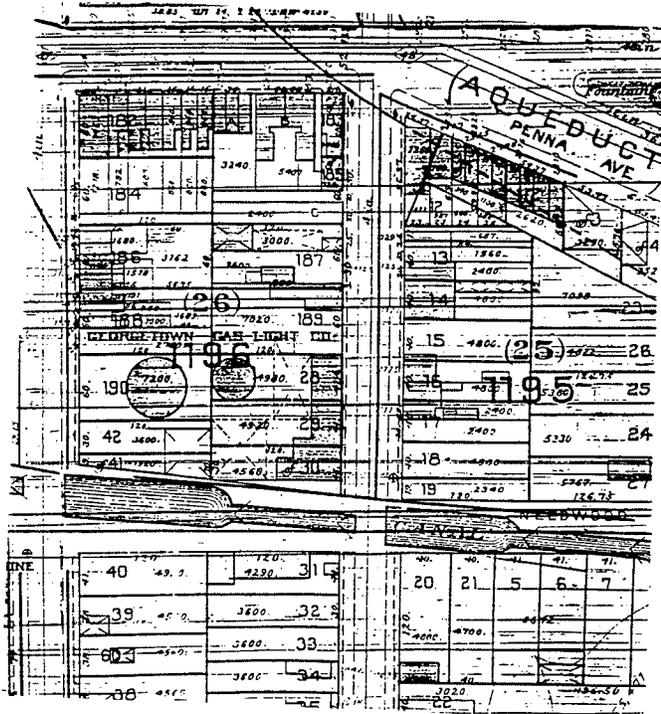
1893 Norris Peters Map

Figure 9 Maps which show subdivision of the Georgetown Presbyterian Church Lot ("Q"/"P" Lot 182 and 184) and Lots 183 and 185 between 1874 and 1893.

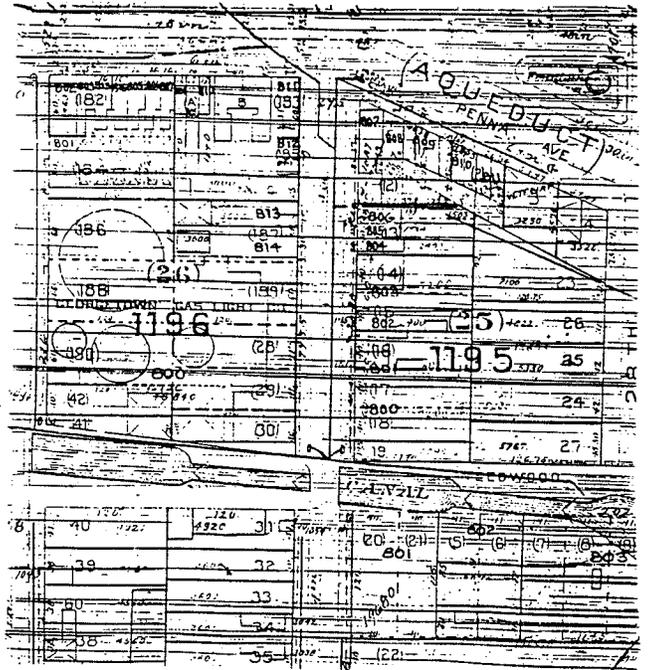


The largest religious building in the District of Columbia when built in 1820, the Bridge Street Presbyterian Church was abandoned in 1872 by its congregation after Bridge Street (now M Street) had turned commercial.

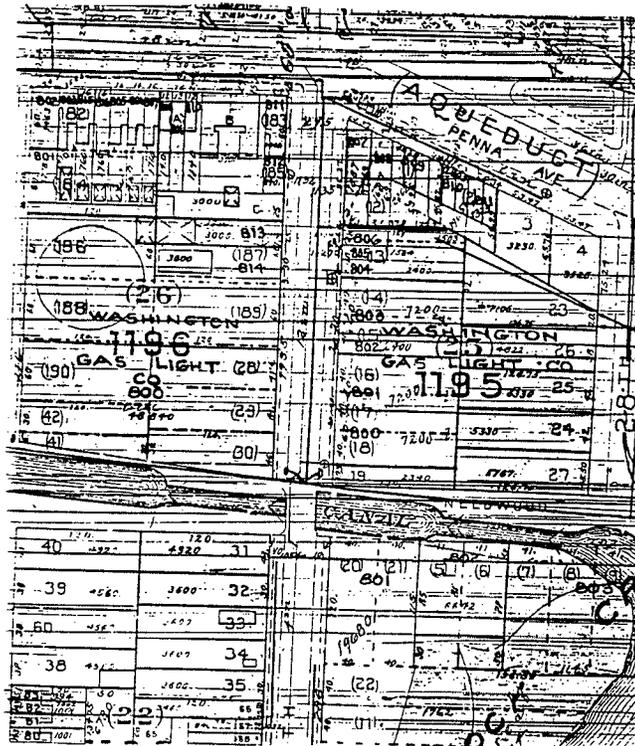
Figure 10 - Photo of Bridge Street Presbyterian Church and caption from Goode's Capital Losses, Historical Society of Washington.



1903



1924



1931

Figure 11 - Three Baist maps (1903, 1924 and 1931) showing expansion of gas company activity on Blocks 1195 and 1196.

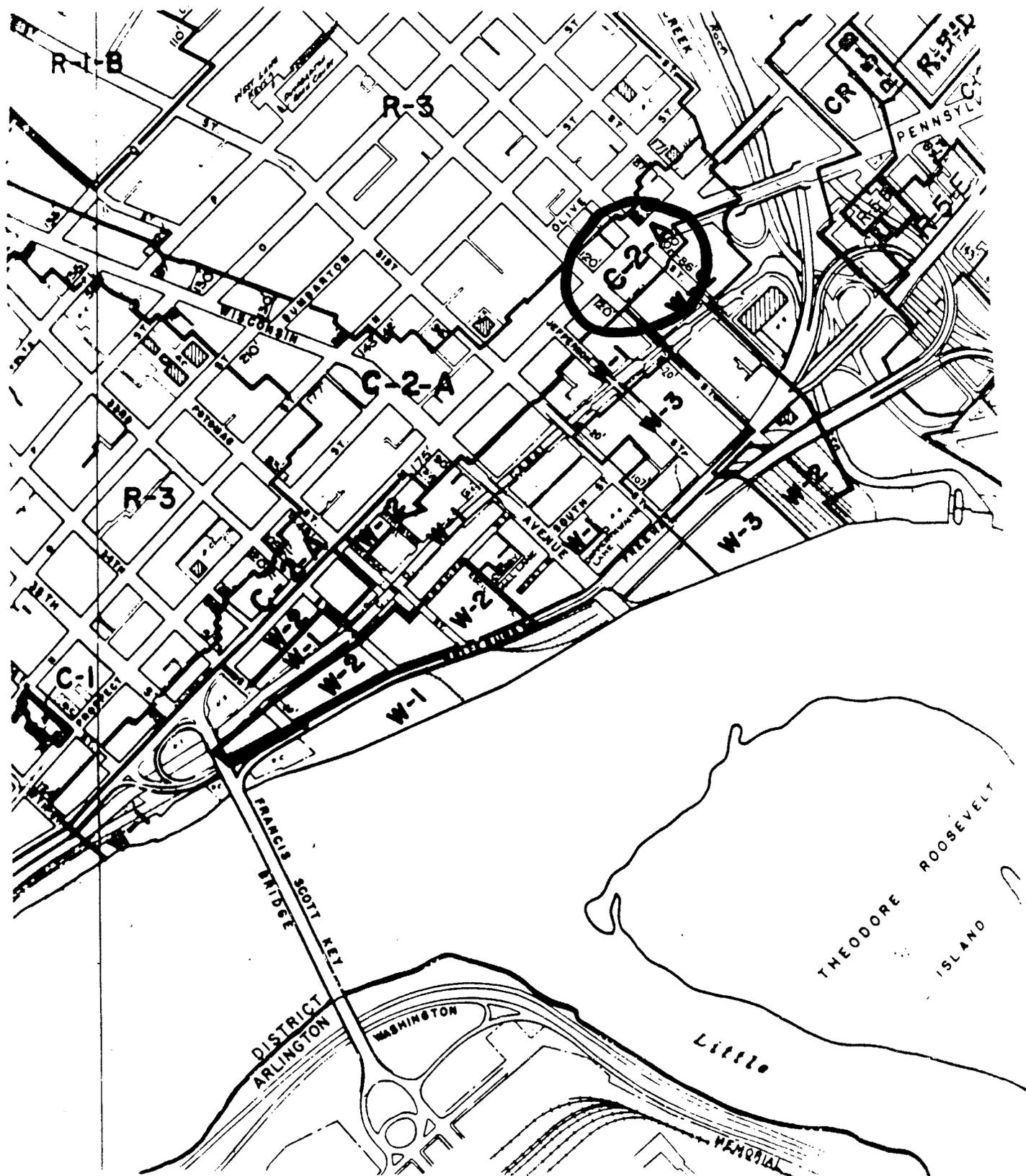


Figure 12 - Comprehensive Land Use Plan Map, District of Columbia, Georgetown, 1994-96.

Passonneau - Structures demolished between 1903 and 1973

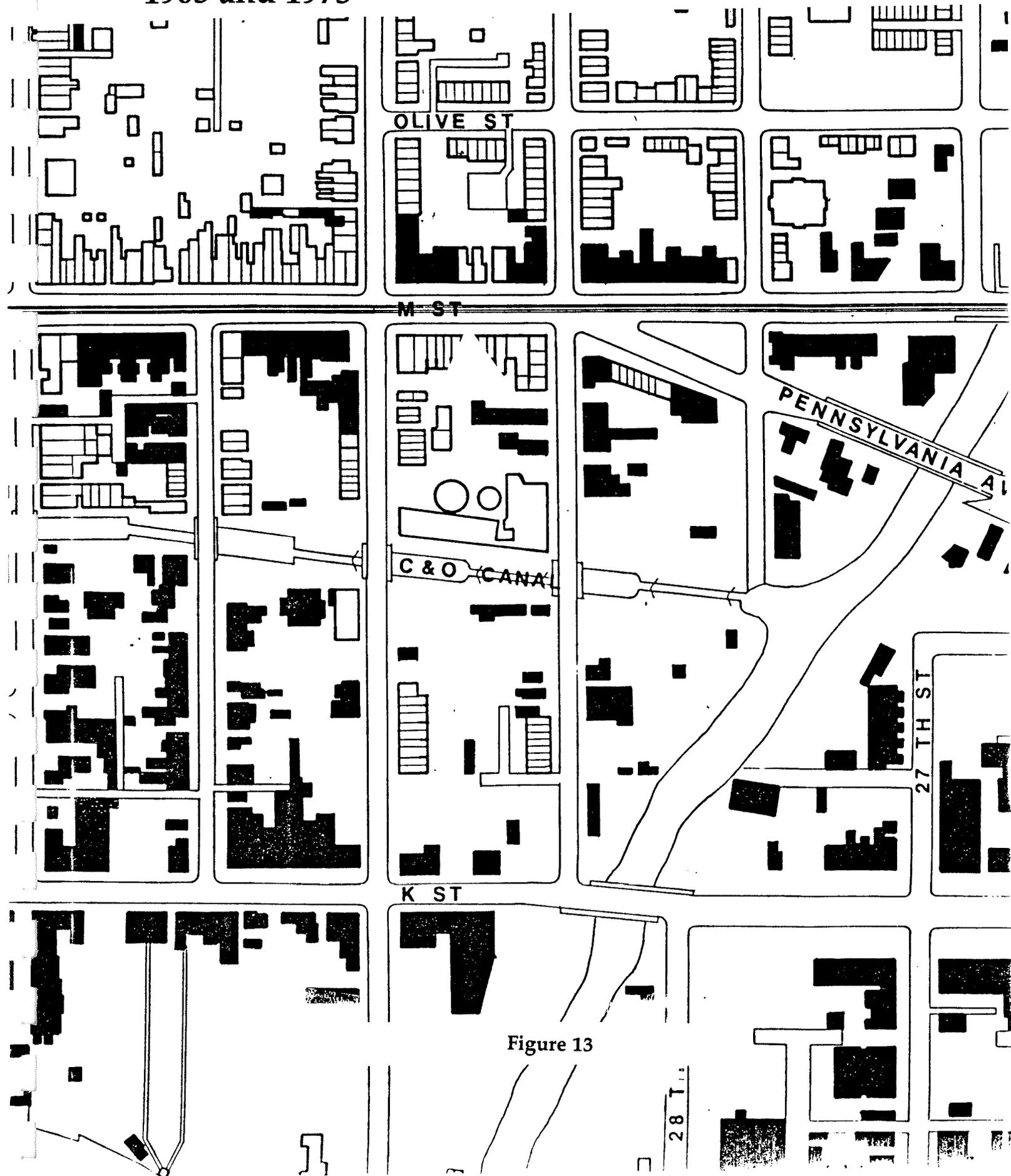


Figure 13

1991 - Passonneau (Structures erected 1973-1991)

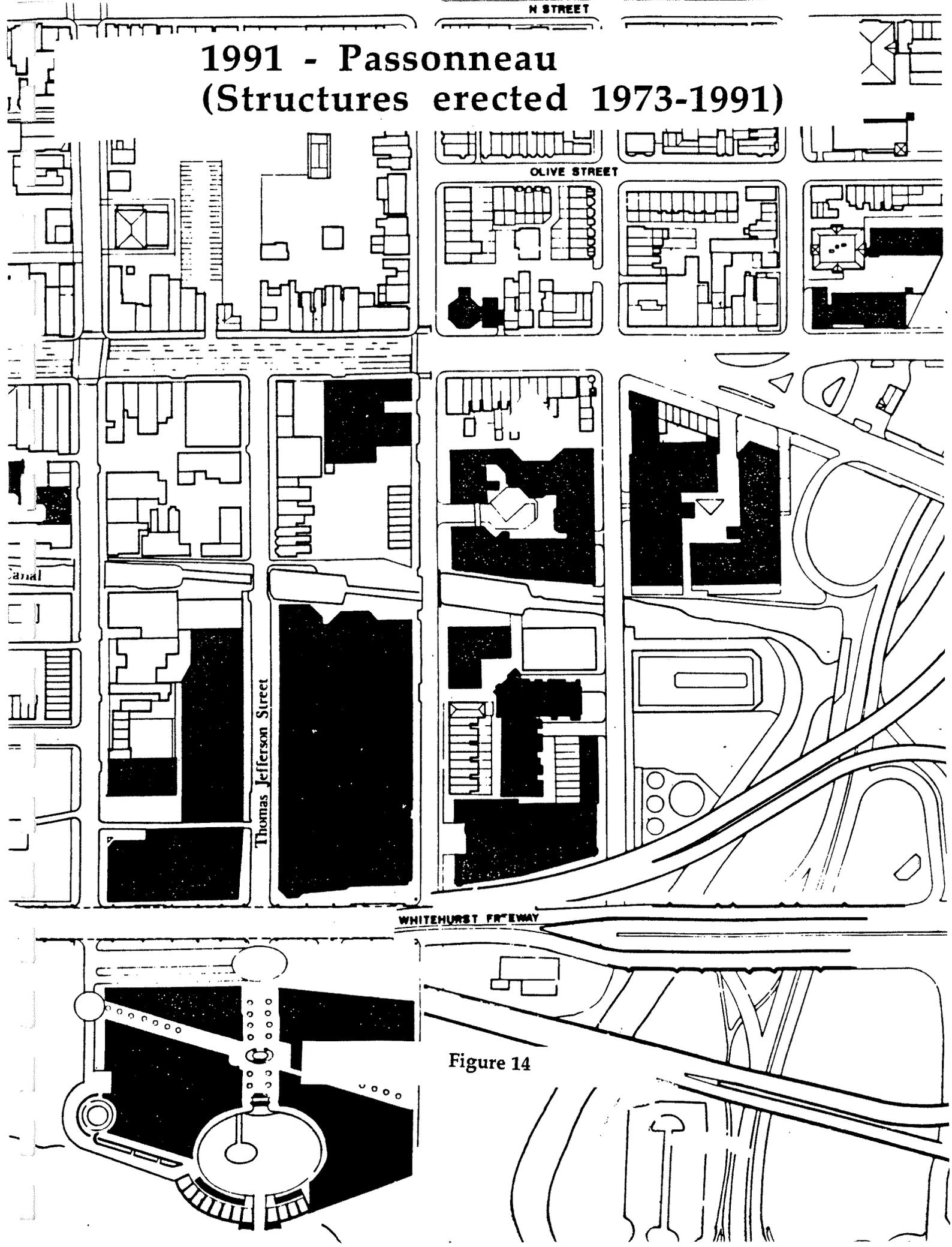


Figure 14

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Plats of Squares and Subdivisions of Georgetown, Norris Peters, 1893. Martin Luther King Memorial Library

Faehz and Pratt Real Estate Map, 1974. Martin Luther King Memorial Library

Comprehensive Land Use Plan Map, District of Columbia, 1994/96. Martin Luther King Memorial Library.

Photographs:

From the collections of the Historical Society of Washington, D.C.

Interviews:

Sue Kohler, U. S. Commission of Fine Arts
David Maloney, D.C. Office of Historic Preservation

APPENDIX I

2900 M STREET (1132-1134 29th STREET)









2900 M Street (includes Carriage House)

Location: 2900 M Street (1132-34 29th Street)
Present Owner: Pierre Gaunoux
Present Occupants:

AOS Architectural (DULP)
(202) 342-1656
Grimes, Susan Assoc.
(202) 338-1468
Henry Foundation
(202) 298-7879
Int'l. SKYE Assoc. Ltd
(202) 625-6128
Janis Aldridge, Inc.
(202) 338-7710
Long, Alvah C.
(202) 333-1587
Moore, Timothy
(202) 333-4318
The Curtis Munson Foundation
(202) 298-7879
Peter A. White
(202) 625-6128

A. Historical Information

1. Construction History: None available for the carriage house, although it has always been under the same ownership as 2900 M Street. S. Norris Thornton made repairs on a building at 2900 M Street in 1881. George W. Wise hired an architect and builder to construct the current three story brick building with cellar in 1892 as a dwelling and a funeral parlor which was operated for more than seventy years. A four story addition has been added in back of the building and next to the adjacent carriage house on 29th Street. In 1973, Pierre Gaunoux purchased the building and carriage house and the two lots (811 and 812) were consolidated into lot 824. Both buildings are occupied by antique stores on the street level. The remainder is leased to eight additional firms.

2. Owner information

George W. Wise is listed as a laborer living on Congress Lane in Georgetown in 1879 and first appears on the subject block in 1882 where he is listed as a painter living at 2900 M Street. By 1883, he is listed at that address as undertaker. He owed property (building?) at or near the corner site prior to construction of the current structure.

2. Historical Events Connected with the Structure(s)

Past Occupants/owners

1880 - George W. Wise, hu B & P
51 Bridge Street/G.W. Wise
1882 George W. Wise, Painter
1883 George W. Wise, Undertaker
1885 George W. Wise, 2900 M Street
1890 George W. Wise, Undertaker
1900 George W. Wise, Undertaker/G.W. Wise
1905 George W. Wise, Undertaker
1910 George W. Wise, Undertaker/G. W. Wise
1915 George W. Wise, Undertaker
1920 George W. Wise, Undertaker/ G. W. Wise
1925 George W. Wise, Undertaker
1930 George W. Wise, Undertaker/G. W. Wise
1935 George W. Wise, Undertaker
1940 George W. Wise, Undertaker/ G.W. Wise
1950 Wise Funeral Home/G.B. Properties, Inc.
1960 occupant?/G.B. Properties, Inc.
1970 occupant?/Gustis Ent.
1980 occupant?/P. Gaunoux
1990 occupant?/P. Gaunoux

B. Architectural Information

1. Carriage House (address: 1132-34 29th Street, NW)

Building is a typical Georgetown three story structure built on a stone foundation with basement and two stories. Two entrances indicate that it may have been constructed as two separate buildings. It may predate the red brick corner building. It faces 29th Street and has been divided into two buildings internally. Original brick work has been painted but is intact and in good condition. There are six windows on the second story each capped by an ornamental arch. On the street level, there is one large opening that may have been a carriage entrance at one time, one opening with two doors where the building has been divided, and triple elongated windows probably remodeled to provide additional display area. The carriage opening, two doors and three windows are all capped by ornamental arches unifying the facade. Both buildings now serve as an art gallery.

2. Funeral Parlor / Residence (2900 M Street)

Building with circular tower is an impressive anchor for the eastern end of the block and typical of late 19th century architecture for street corners in Washington, D.C. Tower is capped by ornamental brick work and a tiled cone shaped cap. Its height gives the building the appearance of being almost four stories in height. Although the brick structure remains intact and window and door openings appear to be untouched, the windows themselves are modern replacements. Similar buildings in parts of Washington, D.C. still have the original curved glass window panes in circular towers. The facade facing 29th street is broken up by a square tower that protrudes from the building and is capped by ornamented brickwork and roof tiles that match the circular tower. There is one brick chimney visible between the two. A series of three stone steps lead to a covered formal entrance. The building served as a business and a home. An arched doorway on the western end of the building was probably the private residential entrance.

Name:

Address: 2900M StreetNW[Current]

Tax Code: Square/Lot1196 0824[Current]

----- STATUS, PURPOSE, AND USE -----

ID Number: 1196 -0824-P
Record Type: Building
Designation:

Status:
Quality:
Condition:

Purpose:

Year Built: 1892

----- CONSTRUCTION HISTORY -----

Owner(Orig Construction):Wise, George W.
Builder(Orig Construction):Goodrick, William
Architect(Orig Construction):Ross, Mr.

----- OCCUPANTS & EVENTS -----

----- SETTING, SHAPE, AND SIZE -----

Neighborhood Type: Urban	Height:	0.00
Streetscape:	Width:	0.00
Relation to Bldgs:	Length:	0.00
Relation to Street:		
Massing:	Lot Width:	0.00
Footprint:	Lot Length:	0.00

# Stories:		
Bays Wide: 0	Bldg SqFt:	7818
# Units: 0	Lot SqFt:	2400

----- ARCHITECTURAL FEATURES -----

----- COMPONENTS AND MATERIALS -----

Walls Brick

----- PLANNING, SURVEY, AND DESIGNATION -----

Neighborhood: Georgetown	Ward/ANC: 2	2E
Subdivision:	Zoning:	

Historic Dist: Georgetown HD Contributing:

Survey: Georgetown (1993)
Data: Reconnaissance Survey

----- EVALUATION OF SIGNIFICANCE -----

07/07/1993 ===== DCIPS DATA REPORT ===== #1196 -0824-P

----- DOCUMENTATION -----

Permit: Build(#2358, 5/13/1892)

----- NOTES -----

=====

Application for Permit for Repairs, Alterations, Etc.

Washington, D.C.

To the

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to
the following-described building:

DESCRIPTION OF PRESENT BUILDING

Where located

2900

M. St. Lorraine
S. Morris Thorne

No. of buildings to be altered

one

Name of owner

Area of present building

Name of architect

No. of stories

Name of mechanic

Style of roof

Name of occupant

How is the building occupied?

If a dwelling, by how many families?

What is the cost of proposed improvement?

\$85-

NATURE OF PROPOSED ALTERATION, Etc. GIVE DEFINITE PARTICULARS.

To build new stone front.

RECEIVED of Geo. W. Wise

One dollar, for permit to

One brick building, as specified in foregoing application.

W. H. E. E. E. E.
Inspector of Buildings

the sum of

Repair of existing

No. 980 ✓

APPLICATION FOR
PERMIT FOR REPAIRS, ALTERATIONS, &c.

Owner, *Geo. W. Wise*

LOCATION.

Lot, *183*
Square, *1196*
Street, *2900 N. St. NW*

PERMIT GRANTED.

March 13th 1888.

800

Memoranda

No. *28* Page *23*

231

Repair

No. 2358

APPLICATION FOR PERMIT TO BUILD.

BRICK AND STONE.

Washington, D. C.,

May 13

1892

To the INSPECTOR OF BUILDINGS:

The undersigned hereby applies for a permit to build according to the following specification:

1. State how many buildings to be erected *one*
2. Material *brick*
3. What is the Owner's name? *Mr. J. M. Wise*
4. " Architect's " *Mr. Ross Goodrich*
5. " Builder's " *Mr. J. M. Wise*
6. " location? *lot B. 29th & M Sts. N.W.*
7. " nearest street? *4 S.W. Cor. 29th & M Sts. N.W.*
8. " purpose of the building? *dwelling*
9. If a dwelling, for how many families? *one*
10. Is there a store in lower story? *no*
11. Will the building be erected on solid or filled land? *solid*
12. Size of lot, No. of feet front _____; No. of feet rear, _____; No. of feet deep, *40'*
13. Size of building, No. of feet front *20'*; No. of feet rear, _____; No. of feet deep, *35' 11"*
No. of stories in height, *3 + cellar*
14. No. of feet in height from level of sidewalk to highest part of wall, *35' 11"*
15. No. of feet in height from sidewalk to eaves, *35' 11"*
16. Size of back building _____ feet long; _____ feet wide; _____ feet high; No. of stories _____
brick 12' x 12' 12' 11"

No. 2358

C

Memoranda

Application for Permit to Build

Brick, Stone, Etc

v.m Building Book.

No. 27 Page 109

Owner Geo W. Wise

LOCATION.

Lot. B

Square. ~~26~~ 1196

Street, SW cor 29th & M. H. W

PERMIT GRANTED,

May 13th 1892.

Value, \$ 5,500

1
stor
yall
s.



1190

2900 M St NW
812

Geo. Wise

6/5/58 Cumberland Corp, D C Corp; \$340.70 & lt 11

1092 812 } 82-
811 } 824

4/24/62 Gusti's enterprises Inc., Dela Corp, no stamps.

11/21/73 Pierre Gaunoux T\$625.00 & lt 811

1190

813

Hattie E. Lee

2/23/46 Norman M Yonan et ux Rosalie L -F-0845.10 & B-C

4/15/70 Washington Gas Light Company, Incorporated; T\$1.70
& C

5/26/74 Bernard S. Gewirz, Philip H Sagan

Albert Small & Carl S. Gewirz JT T\$10 500.00 &

lts 800 & 814

This lot into lot 191

3/21/65 Margaret H Fowler \$512.00

6/17/67 George G. Gilsdorf: no

12-11-68 Marie E. Gilsdorf, and I. Gilsdorf, Wilson
and Pierre Gaunoux: \$4.00.

8/6/73 This lot into lot 818

1196

81:

2900 M St NW

George G. Gilsdorf

6/5/58 Cumberland Corp, D C Corp; \$540.70 & 1t 812
11-11-60 J. B. Gilsdorf, Inc., D C Corp; 1.50 & 1t 812
4/24/62 Gusti's Enterprises Inc. Dela Corp. no stamps.
11/21/73 Pierre Gaunoux T\$625.00 & 1t 812



2902-2904 M STREET
2906-2908 M STREET





2902-2908 M Street

Location: 2902-2908 M Street

Present Owners: Pierre and Alain Gaunoux

Present Occupants:

2902 G. Properties, Inc.
(202) 333-9615
Gaunoux, Pierre (Owner)
(202) 333-5680

2904 Custom Frame
(202) 342-4747
Grafix
(202) 342-0610
Revival Processes
(202) 965-7474
Past Occupants
See below

2906 The Amer Hand
(202) 965-3273

2908 Alain Gaunoux (owner)
(202) 333-6719

A. Historical Information:

1. Construction history: Two separate buildings separated by a common wall, this building may have been constructed as early as 1876. The 2902-2908 complex was owned by William H. Lee until the 1940's. 2904-26 was occupied as a feed store and 2908 as a private home. 2902 and 2904 at times were leased to local craftsmen. Mr. Lee expanded his business into 2902-2904 in 1930. The complex was sold before 1953 and used as a residence until purchased in the 1970s by P. Gaunoux. A. Gaunoux now owns 2908. The buildings are currently leased to a total of six businesses.

2. Owner information: This property has had only three owners since construction. The Lee family had apparently been in the feed business for some years. The earliest listing, from Hutchison's 1862 Washington Directory lists a Wm. H. Lee as a clerk boarding at 69 Bridge Street. In 1869, he is listed as Wm. H. (John T. Lee and Co) 43 Bridge St., Gtn. John T. Lee and Co is listed as a Feed Dealer at 546 12th St., and 455 Central Market. In 1875, the listing is as follows: W. H. Lee, Feed 1019 K N.W. Separate listing for John T. Feed, 209 12th St., h 2139 K. N.W. By 1876, William H. Lee has a feed store at 1019 K Street and at Bridge Street. The 1877 Boyd's Directory lists William H. Lee,

Feed and home 48 Bridge, the subject block, and John T., feed, 209 12th, home 53 Bridge. William H. Lee was the earliest property owner on the subject block and clearly made, like Mr. Wise, a lifetime investment in the business and his home at that location. He or a family member owned the building through 1940. R. Yonan purchased both buildings in the late 1940's or early 50's and occupied it until the 1970's when both were purchased by its current owner, Pierre Gaunoux.

B. Historical Events connected with the Structure:

- 2902-04 Past Occupants/owner
1915 Thomas M. White, Carpenter
1916 Thomas M. White, Carpenter
1917 Thomas M. White, Carpenter
1918 Wm. H. Drummond, Cabinetmaker
1919 Wm. H. Drummond, Cabinetmaker
1920 Wm. H. Drummond, Cabinetmaker/R. Yonan
1925 John P. Zier
1930 William Lee, Feed/R. Yonan
1935 William Lee, Feed
1940 William Lee, Feed/R. Yonan
1950 occupant?/R. Yonan
1960 occupant?/R. Yonan
1970 occupant?/R. Yonan
1980 occupant?/P. Gaunoux
1990 occupant?/ P. Gaunoux
- 2906 Past Occupants/owner
1876 William H. Lee, feed, 1019 K and Bridge at Washington,
 Gtn.
1877 William H. Lee, Feed and home, 48 Bridge
 (John T, Feed, 209 12th, h. Bridge St.)
1880 William H. Lee, Wholesale and retail dealer in all choice
 grades of flour, grain, bale and cut hay, straw etc. at the
 very lowest cash price. 2906 and 2906 M St., 209 12th
 Street, 208 9th St. Home, 48 Bridge Street./W. H. Lee
1885 Same as 1880
1890 William H. Lee, Flour and Feed/W.H. Lee
1900 William H. Lee, Flour and Feed/W.H. Lee
1905 William H. Lee, Feed Store
1910 William H. Lee, Feed Store/W. H. Lee
1915 William H. Lee, Feed Store
1920 William H. Lee, Feed Store/W. H. Lee
1925 William H. Lee, Feed Store
1930 William H. Lee, Feed Store/W. H. Lee
1935 William H. Lee, Feed Store

2908 1940 William H. Lee, Feed Store/W. H. Lee
Past Occupants
1877 Mrs. Hattie E.(William H.) Lee, Home
1880 Mrs. Hattie E.(William H.) Lee, Home
1890 Mrs. Hattie E.(William H.) Lee, Home
1900 Mrs. Hattie E.(William H.) Lee, Home
1905 Mrs. Hattie E.(William H.) Lee, home
1910 Mrs. Hattie E.(William H.) Lee, home
1915 Mrs. Hattie E.(William H.) Lee, home
1920 Mrs. Hattie E.(William H.) Lee, home
1925 Mrs. Hattie E.(William H.) Lee, home
1930 Mrs. Hattie E.(William H.) Lee, home
1935 Mrs. Hattie E.(William H.) Lee, home
1940 Mrs. Hattie E.(William H.) Lee, home

C. Architectural Information

Building is constructed as two separate two-story buildings with a common wall and unified facade with basements. Original flat roof with one brick chimney is visible. Construction material is original red brick. First and second stories are separated by a row of masonry/cast iron? trim with regularly spaced decoration. Outside doors on each building are solid construction with window lights above and may have served as the residential entrances. Inner doors appear to have original wood work, are glass and appear to be the store entrances. There are four identical front display windows. The second story has six window openings. The eave is decorated with masonry/cast iron? trim with interspaced ornamentation that matches the eave decoration of the modest row houses from 2910-2914 next door and were probably constructed by the same builder. Window glass and windows do not appear to be original. There are also separate recessed connections with entrance doors on each side of the building of modern construction which connect to adjacent buildings or lead to subdivided space in back of the building or to the back lots.

Name:

Address: 2902-04M StreetNW[Current]

Tax Code: Square/Lot1196 0195[Current]

----- STATUS, PURPOSE, AND USE -----

ID Number: 1196 -0195-M1	Status:
Record Type: Building	Quality:
Designation:	Condition:
Purpose:	Year Built: 1903 pre

----- CONSTRUCTION HISTORY -----

----- OCCUPANTS & EVENTS -----

----- SETTING, SHAPE, AND SIZE -----

Neighborhood Type: Urban	Height:	0.00
Streetscape:	Width:	0.00
Relation to Bldgs:	Length:	0.00
Relation to Street:		
Massing:	Lot Width:	0.00
Footprint:	Lot Length:	0.00

# Stories:			
Bays Wide: 0		Bldg SqFt:	9199
# Units: 0		Lot SqFt:	7680

----- ARCHITECTURAL FEATURES -----

----- COMPONENTS AND MATERIALS -----

Walls Brick

----- PLANNING, SURVEY, AND DESIGNATION -----

Neighborhood: Georgetown	Ward/ANC: 2	2E
Subdivision:	Zoning:	

Historic Dist: Georgetown HD Contributing:

Survey: Georgetown (1993)
Data: Reconnaissance Survey

----- EVALUATION OF SIGNIFICANCE -----

----- DOCUMENTATION -----

Permit:

----- NOTES -----

This appears to be either one building with a party wall or two buildings. Permit will verify. There are four addresses currently located on Lot 195. 2904 is the lower story and 2902 is the upper story of the first building. 2906 is the lower story and 2908 is the upper story of the second building.

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NOTES
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2910, 2912, 2914 M STREET







2910, 2912, 2914 M Street

Location: 2910, 2912, and 2914 M Street, NW

Present owner: Pierre Gaunoux

Present occupants:

2910	Lynn Flexner Fine Art (202) 333-0277 Lynn Flexner (202) 342-0140
2912	Frank Milwee Antiques (202) 333-4811
2914	Animation Sensations (202) 337-5024

A. Historical Information

Construction history: Lot 183 A was subdivided into 3 lots, 12 feet in width, by real estate developer James Goddard and three row houses constructed in 1878; 2910, adjacent to the feed store, was purchased by the Maryland Agricultural College (later U. of M). The two others were owned and occupied or leased by members of the Goddard family until the 1950s. Early tenants included blue-collar workers such as drivers, lamplighters, barbers, coal workers, and an auditor. All three buildings were purchased in the 1970s by P. Gaunoux.

B. Historical Events connected with the property

2910	Past Occupants/owner
1890	Occupant?/J. Goddard
1900	Occupant?/J. Goddard
1910	Occupant?/J. Goddard
1915	Michael Ricucci, lamplighter
1916	Michael Ricucci, lamplighter Louis Ricucci, barber
1917	Frank Vernon, coal
1918	Frank Shore, auditor treasury
1920	Frank Shore, auditor treasury/MD Agricultural College
1925	Frank Shore, auditor treasury
1930	Herbert A. Scott, driver/MD Agricultural College
1935	Wm. J. Edgerton, auto mechanic
1950	Occupant?/MD Agricultural College
1960	Occupant?/U. of Maryland
1970	Occupant?/P. Gaunoux
1980	Occupant?/P. Gaunoux
1990	Occupant?/P. Gaunoux

2912 Past Occupants/owner
 1890 Occupant?/J. Goddard
 1900 Occupant?/J. Goddard
 1910 Occupant?/M. Goddard
 1915 Henry O. Becker - driver
 1920 Henry O. Becker - driver/M. Goddard
 1925 Henry O. Becker - driver
 1930 vacant/F.&A. Goddard
 1935 Andrew J. Frizel
 1950 Occupant?/L.Rebsnider
 1960 Occupant?/P. Gaunoux
 1970 Occupant?/P. Gaunoux
 1980 Occupant?/P. Gaunoux
 1990 Occupant?/P. Gaunoux

2914 Past occupants/owner
 1900 Occupant?/Alice Goddard
 1910 Occupant?/A. Goddard
 1915 Robert Hayden, salesman
 1916 Thomas J. Hazel, laborer
 1917 Jas. A. Johns, soldier
 1918 Samuel Davis, laborer
 1920 Phemia Davis/A. Goddard
 1925 Phemia Davis
 1930 Louis Becker, driver/A. Goddard
 1935 Estelle Becker
 1950 Occupant?/F. Goddard
 1960 Occupant?/F. Stetson
 1970 Occupant?/P. Gaunoux
 1980 Occupant?/P. Gaunoux
 1990 Occupant?/P. Gaunoux

C. Architecture

These three examples represent a typical vernacular row house that were built by real estate speculators in the latter part of the 19th century. Buildings are each 12 feet wide and 38 feet deep brick construction with common walls, flat tin roofs and basements. Buildings are the only ones on the block in which the entrances were built 5 feet above ground level which may have provided better light and ventilation for kitchens and dining rooms, traditionally in the basements in row houses. 2912 and 2914 have the original brick stairway with five steps leading to entrance 2910 has a wrought iron staircase. 2910 is painted gray, 2912, white, and 2914 retains original red brick. The porch appears to be the only exterior alteration on 2910. The original doors and windows appear to be intact. Windows and doors appear to have been altered on 2912 and 2914, the first floor window having been

altered or expanded for display of merchandise. Second story windows in 2914 have been replaced. All three buildings have shutters, but it is not clear if they are original. All three buildings have eaves bordered with molded iron (?) trim with regularly spaced ornamentation, similar in design to 2902-2908. Buildings appear to be in excellent condition.

Name:

Address: 2910M StreetNW[Current]

Tax Code: Square/Lot1196 0194[Current]

----- STATUS, PURPOSE, AND USE -----

ID Number: 1196 -0194-
Record Type: Building
Designation:

Status:
Quality:
Condition:

Purpose:

Year Built: 1878.

----- CONSTRUCTION HISTORY -----

Owner(Orig Construction):Goddard, James
Architect(Orig Construction):[not listed on permit]
Builder(Orig Construction):[not listed on permit]

----- OCCUPANTS & EVENTS -----

----- SETTING, SHAPE, AND SIZE -----

Neighborhood Type: Urban	Height:	0.00
Streetscape:	Width:	0.00
Relation to Bldgs:	Length:	0.00
Relation to Street:		
Massing:	Lot Width:	0.00
Footprint:	Lot Length:	0.00

# Stories:			
Bays Wide: 0		Bldg SqFt:	1350
# Units: 0		Lot SqFt:	1440

----- ARCHITECTURAL FEATURES -----

----- COMPONENTS AND MATERIALS -----

Walls Brick

----- PLANNING, SURVEY, AND DESIGNATION -----

Neighborhood: Georgetown	Ward/ANC: 2	2E
Subdivision:	Zoning:	

Historic Dist: Georgetown HD Contributing:

Survey: Georgetown (1993)
Data: Reconnaissance Survey

----- EVALUATION OF SIGNIFICANCE -----

----- DOCUMENTATION -----

Permit: Build(#296, 3/ 8/1978)

----- NOTES -----

=====

Name:

Address: 2912M StreetNW[Current]

Tax Code: Square/Lot1196 0193[Current]

----- STATUS, PURPOSE, AND USE -----

ID Number: 1196 -0193-
Record Type: Building
Designation:

Status:
Quality:
Condition:

Purpose:

Year Built: 1878.

----- CONSTRUCTION HISTORY -----

Owner(Orig Construction):Goddard, James
Architect(Orig Construction):[not listed on permit]
Builder(Orig Construction):[not listed on permit]

----- OCCUPANTS & EVENTS -----

----- SETTING, SHAPE, AND SIZE -----

Neighborhood Type: Urban	Height:	0.00
Streetscape:	Width:	0.00
Relation to Bldgs:	Length:	0.00
Relation to Street:		
Massing:	Lot Width:	0.00
Footprint:	Lot Length:	0.00

Stories:

Bays Wide: 0

Bldg SqFt: 1350

Units: 0

Lot SqFt: 1440

----- ARCHITECTURAL FEATURES -----

----- COMPONENTS AND MATERIALS -----

Walls Brick

----- PLANNING, SURVEY, AND DESIGNATION -----

Neighborhood: Georgetown
Subdivision:

Ward/ANC: 2 2E
Zoning:

Historic Dist: Georgetown HD

Contributing:

Survey: Georgetown (1993)
Data: Reconnaissance Survey

----- EVALUATION OF SIGNIFICANCE -----

----- DOCUMENTATION -----

Permit: Build(#296, 3/ 8/1978)

----- NOTES -----

=====

Name:

Address: 2914M StreetNW[Current]

Tax Code: Square/Lot1196 0192[Current]

----- STATUS, PURPOSE, AND USE -----

ID Number: 1196 -0192- Status:
Record Type: Building Quality:
Designation: Condition:

Purpose: Year Built: 1878

----- CONSTRUCTION HISTORY -----

Owner(Orig Construction):Goddard, James
Architect(Orig Construction):[not listed on permit]
Builder(Orig Construction):[not listed on permit]

----- OCCUPANTS & EVENTS -----

----- SETTING, SHAPE, AND SIZE -----

Neighborhood Type: Urban Height: 0.00
Streetscape: Width: 0.00
Relation to Bldgs: Length: 0.00
Relation to Street:
Massing: Lot Width: 0.00
Footprint: Lot Length: 0.00

Stories:
Bays Wide: 0 Bldg SqFt: 1350
Units: 0 Lot SqFt: 1440

----- ARCHITECTURAL FEATURES -----

----- COMPONENTS AND MATERIALS -----

Walls Brick

----- PLANNING, SURVEY, AND DESIGNATION -----

Neighborhood: Georgetown Ward/ANC: 2 2E
Subdivision: Zoning:

Historic Dist: Georgetown HD Contributing:

Survey: Georgetown (1993)
Data: Reconnaissance Survey

----- EVALUATION OF SIGNIFICANCE -----

----- DOCUMENTATION -----

Permit: Build(#296, 3/ 8/1878)

----- NOTES -----

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No. 296

APPLICATION FOR PERMIT TO BUILD

[BRICK AND STONE]

Washington, *March 8 1878*

INSPECTOR OF BUILDINGS.

The undersigned hereby applies for a permit to build according to the following specification:

State how many buildings to be erected, *three*

Material, *Brick*

What is the Owner's name? *James Goodland*

Architect's " *—*

Builder's " *—*

location? *The Bridge bet Wash & Penn*

nearest street? *—*

purpose of the building? *—*

If a dwelling, for how many families? *—*

Is there a store in lower story? *—*

Will the building be erected on solid or filled land? *—*

Size of lot, No. of feet front, *—*; No. of feet rear, *—*; No. of feet deep, *—*

Size of building, No. of feet front, *12*; No. of feet rear, *12*; No. of feet deep, *28*

No. of stories in height, *two*; No. of feet in height from sidewalk to highest point of roof, *—*

No. of feet in height from level of sidewalk to highest part of wall, *—*

No. of feet in height from sidewalk to eaves, *—*

Size of back building, *—* feet long; *—* feet wide; *—* feet high; No. of stories, *—*

style of roof, *—*

Material of foundation, *14" Brumk*

Thickness of external walls, 1st story *9*; 2d story *9*; 3d story *—*; 4th story *—*

5th story *—*

Thickness of party walls, 1st story *9*; 2d story *9*; 3d story *—*; 4th story *—*

5th story *—*

Are the party walls solid or vaulted? *—*

What will be the materials of front? *Brick* If of stone, what kind? *—*

What will the roof be flat, pitch or Mansard? *pitch* Material of roofing? *—*

What will be the material of cornice? *—* Ornamental projections? *—*

What will be the means of access to roof? *—*

Are there any hoistways? *—* How protected? *—*

How is the building heated? *—*

Are there any bay windows? *—*; height *—*; width *—*; projection *—*; form *—*

Are there any tower projections? *—*; height *—*; width *—*; projection *—*

Are there any show windows? *—* form *—*; projection *—*

What will be projection of steps from building line? *—*

Are there any vaults? *—* Dimensions, *—*

What is width of roadway, sidewalk and parking? *—*

Will there be an area? *—* width, *—*; how protected, *—*

Will there be cellar steps? *—*; how protected, *—*

Is the lower story to be used for business purposes of any kind? *—*

What is the estimated cost of the proposed improvement? *\$ 2400*

Name, *W. A. Hutchins*

Address, *—*

J.B.E

1198

808

Alice 2914 M St., N W

7/12/27 Alice T. Giddard to Frederick J. Giddard
1/3/47 Frank Stetson & National Savings & Trust Co, trs.
& 801, 802
10/29/59 Pierre Gaunoux \$19.25

8/6/73 This lot into lot 818

1190

2910 M St NW

809

Frederick J. & Alice E. Goddard

5/18/38 Frederick J Goddard, surv tenant to Helen M Earley

5/5/39 Leo M Bernatein

4/16/42 Howard S Gott Co., Inc., Dela Corp - S \$4.95

4/13/46 Jessie L Moffett - S\$2.20

6/6/46 Charles V Taylor - S\$7.70

10/27/48 Claude Russe & Carter et x Dorothy E. entirety S\$6.05

11/21/50 Marshall J Maple and Esther M Milstead, trs, to Susie B Maple, s/d/f of tr, S\$3.30

11/21/50 Mary Ella Montgomery, S\$5.50

6/12/51 Morine M Lelsnider S\$6.60

1190

2910 M St NW

010

Maryland Agricultural College Inc.

10/30/49 The University of Maryland, Inc, No Corp. to Samuel M Levy et ux, Gertrude G, S; S15.20

1/17/50 Howard S Gott Co., Inc, Dela Corp, S\$4.95

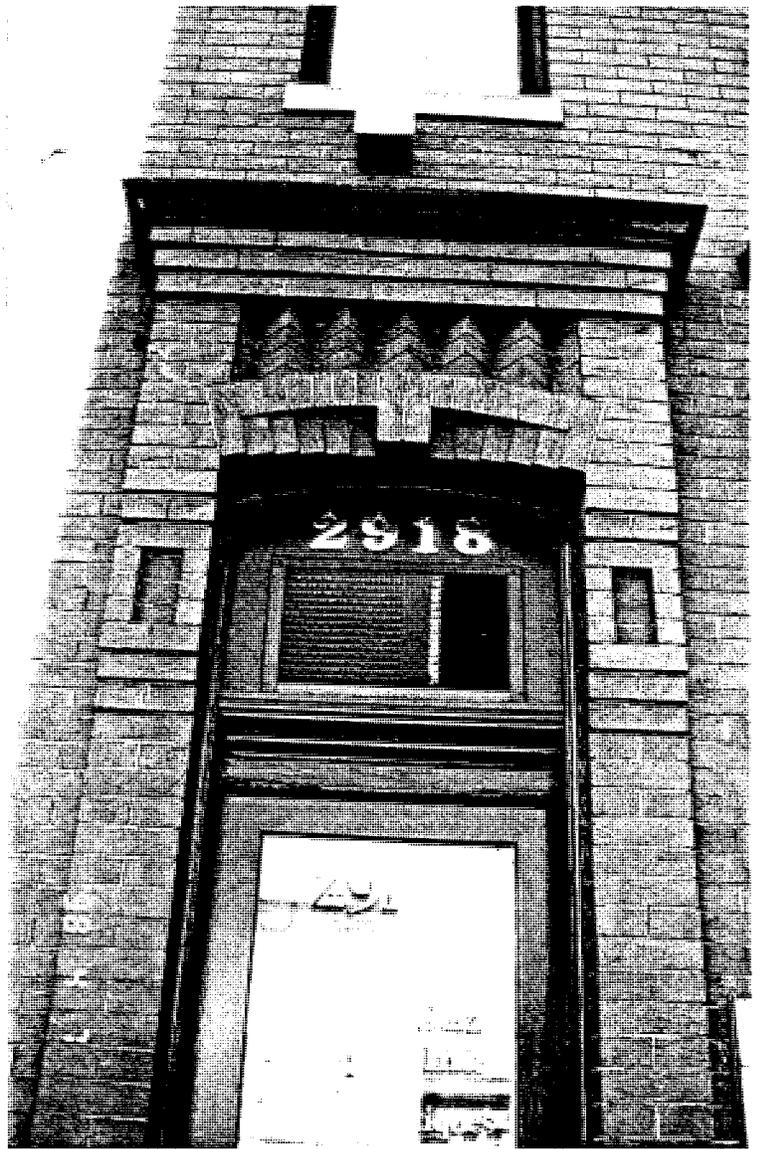
2/18/51 Claude A Huret; S\$7.15

2/15/51 Pierre Gauboux; n/s

2916,2918,2920 M STREET



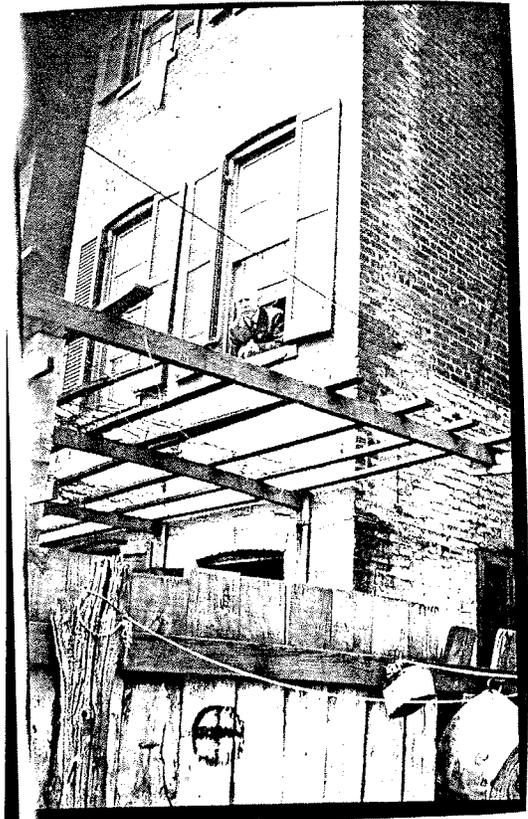




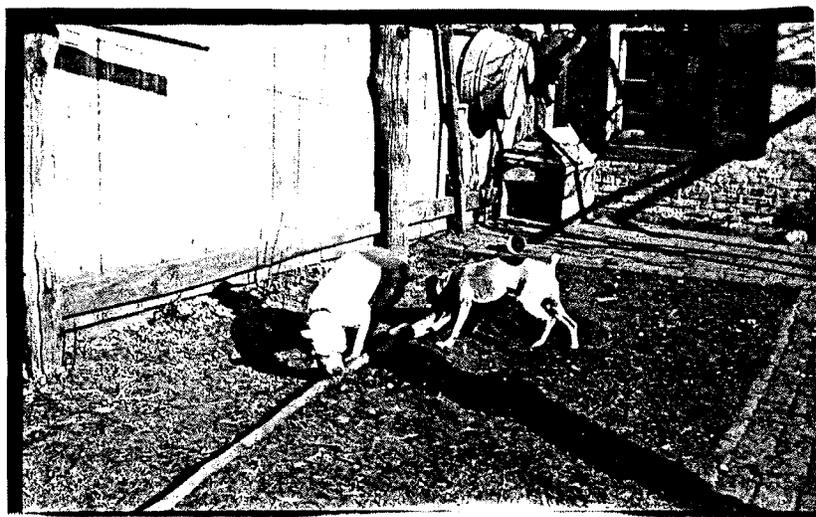








Circa 1913, backyard photos of family that rented 1916 M Street
Private collection



2916, 2918, and 2920 M Street

Location: 2916, 2918, and 2920 M Street, NW
Current owner:

2916 Bayles, Wesley B. DVM
(202) 333-2140
2918/2920 Pierre Gannoux

Current occupants:

2916 Bayles, Wesley B. DVM
(202) 333-2140
Georgetown Veterinarian Hospital
(202) 333-2140

2918 Cherub Antiques Gallery
(202) 337-2224
Georgetown Antiques
(202) 338-3811
Michael Getz Antiques

2920 Educational Support Systems, Inc.
(202) 342-8312
Fine Art and Artists, Inc.
(202) 965-0780
Myerson and Associates
(202) 298-0034

A. Historical information

"This property was conveyed by Thomas Beall of Georgetown to the Reverend James Hunt by deed dated September 19, 1785 (Land Records of Montgomery County, 1776-1800, County Clerk's Office, Rockville, Maryland) in trust for the Presbyterian Society and members of the Church of Scotland. An act of the Maryland legislature to enable James Hunt to convey a lot called the "Church of Scotland Lot" in exchange for other land is cited in the deed. The trustees of the Presbyterian congregation did not incorporate until 1806 [Act: Congress Statutes at Large, Volume 2, Page 56 and Amendment: Statutes at Large, Volume 17, Page 73.]" (HABS No. DC-112)

Construction history: "Deed dated April 24, 1880 and recorded May 1, 1880 from Thomas Muntz and William Smith to Arthur Small (Recorder of Deeds District of Columbia, Liber 941, folio 205) relates that "...by certain conveyance October 7, 1879 (Recorder of Deeds Liber 926 folio 232) certain lot fronting 48' on Bridge Street was conveyed to Arthur Small and said Small did by said

1980 W.B. Bayles/W.B. Bayles
1990 W.B. Bayles/W.B. Bayles

2918

Past Occupants/owner

1880 Arthur H. Small, printer, 76 Greene Street
1885 Arthur Small, printer
1900 Arthur H. Small, printer/A. Small
1915 Charles T. Small, painter
Arthur Small
1916 Charles T. Small, painter
1917 Charles T. Small, painter
1918 Charles T. Small, painter
1918 Deed November 20, 1918 recorded November 22, 1918 in
Liber 4142 folio 16 Arthur Small, widower, to Agostino B.
Lavezzo
1920 Agostino Lavezzo/A. Lavezzo
1925 Agostino Lavezzo
1930 Agostino Lavezzo, fruits/A. Lavezzo
1935 Agostino Lavezzo, fruits
Percy Fisher
1940 A. Lavezzo, fruits/A. Lavezzo?
1950 Occupant?/C. Lavezzo
1960 Occupant?/C. Lavezzo
1970 Occupant?/P. Gaunoux
1980 Occupant?/P. Gaunoux
1990 Occupant?/P. Gaunoux

2920

Past Occupants/owner

1881 William Smith (?)
1900 William Smith
1910 B. O'Neill?/B. O'Neill
1915 Millard F. Burrows, Clerk
1916 Millard F. Burrows, Clerk
1917 Millard F. Burrows, Clerk
1918 Millard F. Burrows, Clerk
1920 Millard F. Burrows, Clerk
Wm. Poole/F. J. Lavezzo
1925 Millard F. Burrows, Clerk
1930 Frank Lavezzo/F. J. Lavezzo
1935 H. P. Imlay, painter
Jas. T. Poole, laborer
Oliver Surface, attendant
1940 Occupant?/F.J. Lavezzo
1950 Occupant?/F. J. Lavezzo
1960 P. Gaunoux/P. Gaunoux
1970 Occupant?/P. Gaunoux

1980 Occupant?/P. Gaunoux

1990 Occupant?/P. Gaunoux

C. Architectural information

Three buildings are typical two story row houses with basements and extended bay windows on the first floor, constructed by the same builder for different owners. Construction is in brick, but only 2918 retains original red brick, the two others have been painted white. There is some variation in the brick work. All three have identical front door ornamentation and masonry/cast iron? roof decorations. Bay window ornamentation is different in 2916 and 2920. Unfortunately, the bay window has been completely removed in 2918 so there is no third comparison. There are three window openings in the second story of each, and 2916 and 2918 both have ornamented brick arches over each but this feature is missing in 2920. Only 2918 appears to have original window sashes in both stories. Exteriors of all three buildings appear to be in excellent condition.

Name:

Address: 2916M StreetNW[Current]

Tax Code: Square/Lot1196 0807[Current]

----- STATUS, PURPOSE, AND USE -----

ID Number: 1196 -0807-
Record Type: Building
Designation:

Status:
Quality:
Condition:

Purpose:

Year Built: 1903 pre 1784

----- CONSTRUCTION HISTORY -----

----- OCCUPANTS & EVENTS -----

----- SETTING, SHAPE, AND SIZE -----

Neighborhood Type: Urban	Height:	0.00
Streetscape:	Width:	0.00
Relation to Bldgs:	Length:	0.00
Relation to Street:		
Massing:	Lot Width:	0.00
Footprint:	Lot Length:	0.00

# Stories:			
Bays Wide: 0		Bldg SqFt:	2654
# Units: 0		Lot SqFt:	1760

----- ARCHITECTURAL FEATURES -----

----- COMPONENTS AND MATERIALS -----

Walls Brick

----- PLANNING, SURVEY, AND DESIGNATION -----

Neighborhood: Georgetown	Ward/ANC: 2	2E
Subdivision:	Zoning:	

Historic Dist: Georgetown HD Contributing:

Survey: Georgetown (1993)
Data: Reconnaissance Survey

----- EVALUATION OF SIGNIFICANCE -----

----- DOCUMENTATION -----

Permit:

----- NOTES -----
=====

Form B.

No. 1422

Application for Permit for Repairs, Alterations, Etc.

Washington, D.C., Apr. 10th 1885

To the

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to Build

the following described building:

Description of Present Building.

Where located in rear of 2916

*North Hill
Thos. Chant*

No. of buildings to be altered one

Name of owner

Area of present building

Name of architect

No. of stories

Name of mechanic

Style of roof

Name of occupant

How is the building occupied? fuel shed

Material frame

What is the cost of proposed improvement? \$ 50

If a dwelling, by how many families?

Nature of Proposed Alterations, Etc.

GIVE DEFINITE PARTICULARS.

None

1196 2916 "M" Street NW

307

David John Lavezzo

6/30/50 Irving G. Cashell etux John W. S\$17.60

4/10/79 Wesley B. Bayles TP\$218,500.00

10/2/79 Wesley B. Bayles etux NT

**FIRE INSURANCE PLACED IN SOUND COMPANIES.
 SPECIAL ATTENTION TO AUCTION SALES.**

MUL 627 MUR

ABNER,
 -719 E Street, N. W.,
 AGENT FOR
AN CHAMPAGNES,
 at wba. Ph. J. Lauber's Bohemian Beer.

AL BARBER & CO
 FIRE INSURANCE
DETROIT PARK

MANTELS AND TILES,

BALTO. MANTEL CO
 75 N. HOWARD STREET. BALTIMORE

and junk, 454 N J av se
 farmer, Broad-branch rd
 washer, 1425 Madison av nw
 farmer, Broad branch rd
 and John, 1013 4 1/2 sw
 m J, carp, Broad-branch rd
 m M, driver, 1115 4 1/2 sw
 ylene V, wid Judson, 601 N J
 er y H, pl prin, 938 C sw
 mond. clk. 736 12th nw
 P. saloon, 601 Md av sw
 V, g pr o, 326 E Cap
 E, carp, 1112 8th nw
 E police, 1901 8th nw
 p, 6 3d se
 driver, 614 T nw
 hoemkr, 1 Baptist-ch al nw
 f, carp, 327 C sw
 n A, court crier, 6 3d se
 ric C, teacher, 737 2d nw
 id James, 737 2d nw
 E, clk, 737 2d nw
 e, 510 2d se
 e, 418 9th nw
 s, cook, 1926 10th nw
 xnder, druggist, 901 H nw
 r der (Muncaster & Howard),
 o M, physician, 1405 N Y av nw
 o L, com mer, 1021 33d nw, h
 Steuart B. surgeon
 2 E nw, h 1008 M nw
 & Howard (Magruder

Mundy Olivia, servt, 805 1st se
 Mungen Theo, lawyer, 711 G nw, h 929 C sw
 Munn Daniel J, bookbndr, 72 Defrees nw
Munn & Co, patent agents,
James H Gridley superintend-
ent, 7th c F nw
 Munroe B Hershey, mess, 741 13th nw
 Munroe Elizabeth, servt, Vinegar hill nw
 Munroe Hannah, clk treas, 1618 Madison av
 nw
 Munroe Jennie S, clk pen o, 741 13th nw
 Munroe L R Miss, clk pen o, 906 14th
 Murroe Mary, E c 11th nw
 Munroe Seaton, clk a g o 1738 I nw
 Munroe William, lab, 1012 I ne
 Munson Harmon A, clk treas, 1326 T nw
 Munson Henry T, lawyer, 1440 M nw
 Munson Miles C, clk, 6th aud o, Arlington Va
 Muntz Thomas, blksmith, 3000 Water nw, h
 2916 M nw.
 Murdoch John, foreman, 313 D sw
 Murdoch Michael, lab, 621 M ne
 Murdoch Robert, waiter, 1025 18th nw
 Murdock David B, carp, 321 N sw
 Murdock Edwin F, patents, 629 F nw h 1021
 Vt av nw
 Murdock Joseph, carp, 713 7th sw
 Murdock Kate C, bur ptg, 214 17th se
 Murdock Louisa, 927 10th nw
 Murdock Samuel, saddler, 321 N sw
Murdock William C, attorney and
solicitor of patents, 629 F nw. h
1021 Vt av nw
 Murlin Arlington E, topographical asst U S
 geol sur, Tremont House
 Murreau William H, postal clk, 902 4 1/2 nw

Name:

Address: 2918M StreetNW[Current]

Tax Code: Square/Lot1196 0806[Current]

----- STATUS, PURPOSE, AND USE -----

ID Number: 1196 -0806-
Record Type: Building
Designation:

Status:
Quality:
Condition:

Purpose:

Year Built: 1903 pre

----- CONSTRUCTION HISTORY -----

----- OCCUPANTS & EVENTS -----

----- SETTING, SHAPE, AND SIZE -----

Neighborhood Type: Urban	Height:	0.00
Streetscape:	Width:	0.00
Relation to Bldgs:	Length:	0.00
Relation to Street:		
Massing:	Lot Width:	0.00
Footprint:	Lot Length:	0.00

Stories:

Bays Wide: 0

Units: 0

Bldg SqFt: 2160

Lot SqFt: 1760

----- ARCHITECTURAL FEATURES -----

----- COMPONENTS AND MATERIALS -----

Walls Brick

----- PLANNING, SURVEY, AND DESIGNATION -----

Neighborhood: Georgetown
Subdivision:

Ward/ANC: 2 2E
Zoning:

Historic Dist: Georgetown HD

Contributing:

Survey: Georgetown (1993)

Data: Reconnaissance Survey

----- EVALUATION OF SIGNIFICANCE -----

----- DOCUMENTATION -----

Permit:

----- NOTES -----
=====

Name:

Address: 2920M StreetNW[Current]

Tax Code: Square/Lot1196 0805[Current]

----- STATUS, PURPOSE, AND USE -----

ID Number: 1196 -0805-
Record Type: Building
Designation:

Status:
Quality:
Condition:

Purpose: Year Built: 1903 pre

----- CONSTRUCTION HISTORY -----

----- OCCUPANTS & EVENTS -----

----- SETTING, SHAPE, AND SIZE -----

Neighborhood Type: Urban	Height:	0.00
Streetscape:	Width:	0.00
Relation to Bldgs:	Length:	0.00
Relation to Street:		
Massing:	Lot Width:	0.00
Footprint:	Lot Length:	0.00

# Stories:			
Bays Wide: 0		Bldg SqFt:	2346
# Units: 0		Lot SqFt:	1760

----- ARCHITECTURAL FEATURES -----

----- COMPONENTS AND MATERIALS -----

Walls Brick

----- PLANNING, SURVEY, AND DESIGNATION -----

Neighborhood: Georgetown	Ward/ANC: 2	2E
Subdivision:	Zoning:	

Historic Dist: Georgetown HD Contributing:

Survey: Georgetown (1993)
Data: Reconnaissance Survey

----- EVALUATION OF SIGNIFICANCE -----

----- DOCUMENTATION -----

Permit:

2922-2924 M Street





2922-2924 M Street

Location: 2922-2924 M Street, NW
Current owner:

2922 M Street A. Gaunoux
2924 M Street D. Lavezzo, Jr. Tr.

Current occupants:

2922 Keith Lipert Gallery
(202) 965-0541
Lipert International, Inc.
(202) 625-0541

2924 Dr. Renee Garfinkel
(202) 338-1550
Intersport Ventures
(202) 337-1571
McWile and Associates
(202) 333-3889

A. Historical information

Construction history: Originally part of the old Presbyterian Church property. Building was considered a significant example of typical Georgetown commercial architecture and was included in a 1966 HABS Survey of buildings on M Street. While architectural description is relevant, the survey contains inaccurate information about the early ownership and construction of this property. Deed cited refers to adjacent properties, 2916, 2918, and 2920. This property was constructed probably between 1874 and 1880 by Peter J. McIntyre. McIntyre is listed in Boyd's directory as having been a grocer in the 1870's and early 1880's, then briefly in the restaurant business. In 1920, McIntyre Tr. is the listed owner. McIntyre's grocery store is listed at 2534 K Street and his home at 957 26th Street indicating that the commercial building may have been an investment. The Lavezzo family purchased the complex in the early 1920's when the building was divided into two separate parcels. 2922 was sold to A. Gaunoux in 1990 and D. Lavezzo, Jr. Tr. owns 2924. It has housed basic service shops in the past and is now leased to an art gallery and three other businesses.

B. Historical events associated with property

2922 Past Occupants/owner
1890 Peter J. McIntyre/P.J. McIntyre
1900 Peter J. McIntyre?/P.J. McIntyre

1915 Morris Segal, cigarmaker/P. McIntyre, grocer h. 957 K St,
 1916 Morris Segal, cigarmaker/P. McIntyre, grocer
 1917 Morris Segal, cigarmaker
 1920 Frank Lucas, laborer/R.E.&L.M. McIntyre, Tr.
 1925 Frank Lucas, laborer/D.J Lavezzo and F. Lavezzo
 1930 Irene Parsons
 Charles W. Morrison, paints/R. L. Donohue
 1935 Charles W. Morrison, paints
 1940 Sadie Herling, used clothes
 1950 Frank Miller, used clothing/F. J. Lavezzo
 1960 Georgia Luthy, used furniture/F. J. Lavezzo
 1970 Occupant?/F.J. Lavezzo
 1980 Occupant?/F. J. Lavezzo
 1990 Occupant?/A. Gaunoux

2924 Past Occupants/owner
 1915 Meyer Furr, clothing
 1916 Meyer Furr, clothing
 1920 Meyer Furr, clothing
 1925 Saul Rogers, sheet metal
 1930 Cummings Tire Co.
 Lloyd Burgess/D.J. Lavezzo
 1940 W. Butler, electrical contractor
 1950 Occupant?/D.J. Lavezzo
 1960 Wayne's Radio and TV Company/D. J. Lavezzo
 1970 Occupant?/D.J. Lavezzo
 1980 Occupant?/D.J. Lavezzo
 1990 Occupant?/D.J. Lavezzo, Tr.

C. Architectural information (from HABS No. DC112)

"A typical Georgetown commercial structure in plan and function, the building is distinctive by virtue of its unusually ponderous and elaborate brick work. The more commonplace shop fronts provide insufficient visual support for the massive effect of the masonry above. Shallow wooden balcony [has] cast-iron railing [which] spans front at second floor. Doors are deeply recessed within wooden frames with glazed double doors. Shop windows are projecting bays, fixed wooden sashes set above single-paneled bases. Upper windows have ... double-hung wooded sashes. Stretcher-brick hood moldings embrace upper quarters of openings. No shutters."

No external alterations appear to been made since the building was photographed in 1966.

Name:

Address: 2922M StreetNW[Current]

Tax Code: Square/Lot1196 0816[Current]

----- STATUS, PURPOSE, AND USE -----

ID Number: 1196 -0816-
Record Type: Building
Designation:

Status:
Quality:
Condition:

Purpose:

Year Built: 1870-1880

----- CONSTRUCTION HISTORY -----

Orig Construction(From / /1870-1880[FA]to / /)

Owner(Orig Construction):Small, Arthur

----- OCCUPANTS & EVENTS -----

----- SETTING, SHAPE, AND SIZE -----

Neighborhood Type: Urban	Height:	0.00
Streetscape:	Width:	0.00
Relation to Bldgs:	Length:	0.00
Relation to Street:		
Massing:	Lot Width:	0.00
Footprint:	Lot Length:	0.00

Stories:

Bays Wide: 0

Units: 0

Bldg SqFt: 2296

Lot SqFt: 1760

----- ARCHITECTURAL FEATURES -----

----- COMPONENTS AND MATERIALS -----

Walls Brick

----- PLANNING, SURVEY, AND DESIGNATION -----

Neighborhood: Georgetown
Subdivision:

Ward/ANC: 2 2E
Zoning:

Historic Dist: Georgetown HD

Contributing:

Survey: Georgetown (1993)

Data: Reconnaissance Survey

----- EVALUATION OF SIGNIFICANCE -----

----- DOCUMENTATION -----

Permit:

----- NOTES -----
=====

1198

818

David John Lavezzo

IO/25/62 Angela M.F. Lavezzo unmarried n/s

IO/25/62 David John Lavezzo et ux Sophie L aka
Sofia entirety n/s

1198

2922 M St NW

818

Frank J. Lavezzo

1/29/62 Esley T Juair; n/s

1/29/62 Frank J Lavezzo et ux, Catherine M, e;
n/s

4/18/84 C. M. Desible et ux Alain Gounoux TPS 260,000.00

Handwritten scribbles

Name:

Address: 2924M StreetNW[Current]

Tax Code: Square/Lot1196 0815 [Current]

----- STATUS, PURPOSE, AND USE -----

ID Number: 1196 -0815-
Record Type: Building
Designation:

Status:
Quality:
Condition:

Purpose:

Year Built: 1870-1880

----- CONSTRUCTION HISTORY -----

Orig Construction(From / /1870-1880[FA]to / /)

Owner(Orig Construction):Small, Arthur

----- OCCUPANTS & EVENTS -----

----- SETTING, SHAPE, AND SIZE -----

Neighborhood Type: Urban	Height:	0.00
Streetscape:	Width:	0.00
Relation to Bldgs:	Length:	0.00
Relation to Street:		
Massing:	Lot Width:	0.00
Footprint:	Lot Length:	0.00

Stories:

Bays Wide: 0

Units: 0

Bldg SqFt: 2296

Lot SqFt: 1760

----- ARCHITECTURAL FEATURES -----

----- COMPONENTS AND MATERIALS -----

Walls Brick

----- PLANNING, SURVEY, AND DESIGNATION -----

Neighborhood: Georgetown
Subdivision:

Ward/ANC: 2 2E
Zoning:

Historic Dist: Georgetown HD

Contributing:

Survey: Georgetown (1993)
Data: Reconnaissance Survey

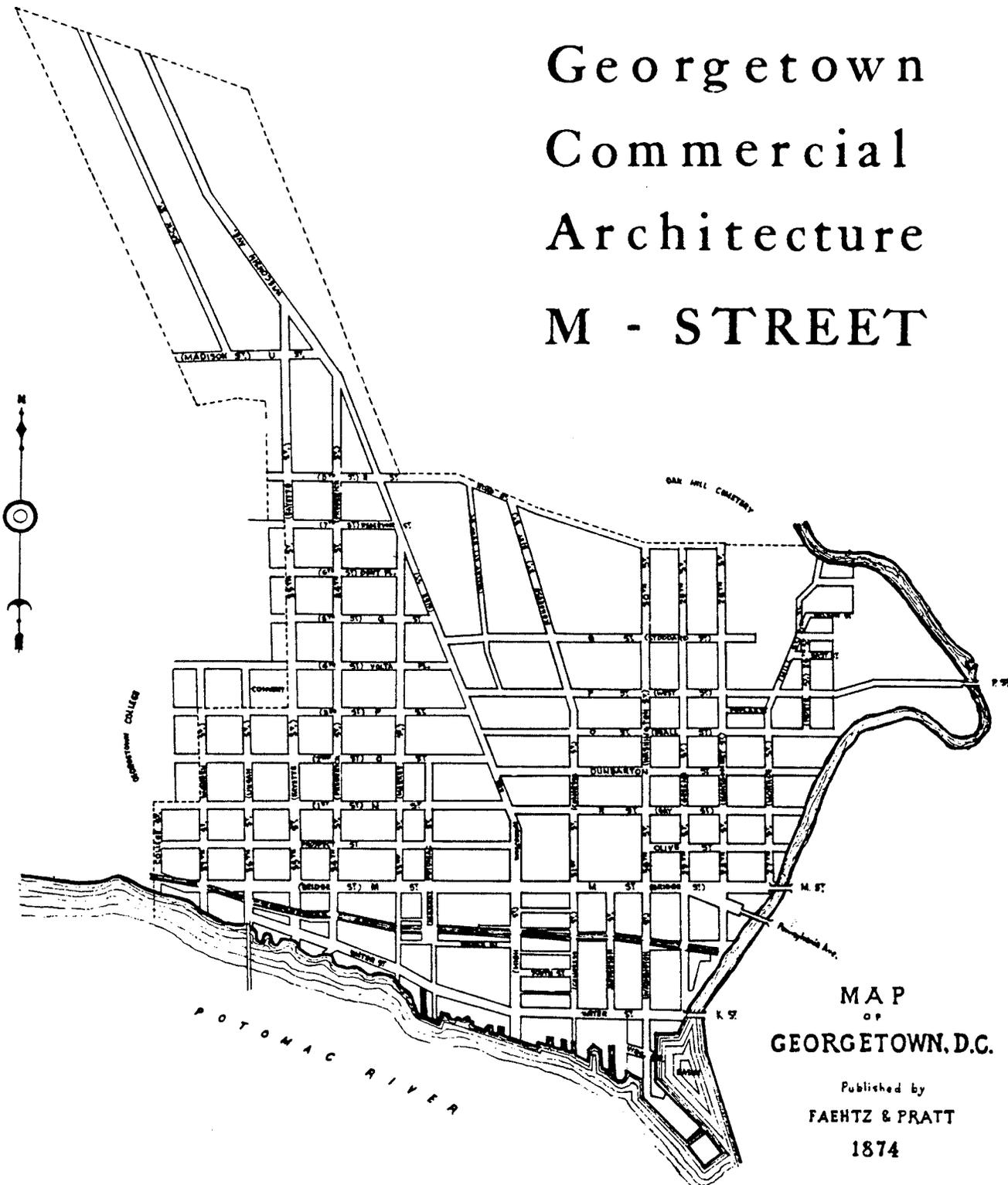
----- EVALUATION OF SIGNIFICANCE -----

----- DOCUMENTATION -----

Permit:

----- NOTES -----
=====

Georgetown Commercial Architecture M - STREET



MAP
OF
GEORGETOWN, D.C.

Published by
FAEHTZ & PRATT
1874

GEORGETOWN COMMERCIAL ARCHITECTURE - M STREET

Northwest Washington, District of Columbia

Historic American Buildings Survey Selections

Number 2

Issued Jointly By

THE COMMISSION OF FINE ARTS

Room 7000, Interior Building
18th and C Streets, N. W. - Washington, D. C. 20240

and

THE HISTORIC AMERICAN BUILDINGS SURVEY

Washington Planning and Service Center
National Park Service
1730 North Lynn Street - Arlington, Virginia 22209

February, 1967

II

INTRODUCTION

The major historical and architectural importance of Georgetown was recognized in 1950 by preservation legislation, the Old Georgetown Act (see Appendix, page 129). In spite of valiant preservation efforts, however, M Street, N. W. still suffers from the blight, economic pressures and heavy motor traffic which plague so many older urban neighborhoods. The ever-present threat of demolition for parking lots or rebuilding was a factor in determining the choice of M Street for recording by the Historic American Buildings Survey.

Georgetown is notable for the many fine early dwellings which have received the esteem and interest of residents and visitors alike. However, the merits of Georgetown's residential architecture have somewhat overshadowed M Street, one of the district's two principal commercial thoroughfares. The history of Georgetown's indigenous architecture would be incomplete without a selection of commercial structures of various periods to represent the locality more fully as a whole.

Fifteen commercial buildings -- some rich in association, some of greater architectural merit than others, but all typical, and therefore of interest as examples of their time and place -- have met the criteria set for this selection. They range from a barber shop to a street railway station, from a wooden frame house to a public market in type, and help to complete the architectural record of a business street in a rapidly changing old-established urban area.

The documentation and recording of these buildings was planned in April, 1966 by the Commission of Fine Arts, the Historic American Buildings Survey and many dedicated Washington residents. Dr. James Philip Noffsinger, Architect with the National Park Service and Professor of Architecture at the University of Kentucky; assisted by Thomas R. Martinson, Student Assistant Architect with the National Park Service and a student at the University of Minnesota; and Marc Blair, photographer; completed the field work in September, 1966.

COMMERCIAL BUILDING

2922-2924 M Street, N. W.

(Georgetown)

Washington, D. C.

HISTORIC AMERICAN BUILDINGS SURVEY HABS No. DC-112

COMMERCIAL BUILDING

Location: 2922-24 M Street, N.W., Washington, D. C.
(Note: M Street was called Bridge Street
in 1877.)

Present Owner: Frank J. Lavezzo.

Present Occupant: Peggy's Showroom - Draperies (Peggy Steininger).

Present Use: First floor shop; apartment above.

Statement of
Significance: This is the eastern half of double building
representative of a typical architectural
solution for commercial structures in George-
town in the later 19th century.

PART I. HISTORICAL INFORMATION

A. Physical History:

1. Original and subsequent owners: Part of Lot 182 (Old Georgetown) present Lot 816 of Square 1196. This property was conveyed by Thomas Beall of Georgetown to the Reverend James Hunt by deed dated September 10, 1785 (Land Records of Montgomery County, 1776-1800, County Clerk's Office, Rockville, Maryland) in trust for the Presbyterian Society and members of the Church of Scotland. An act of the Maryland legislature to enable James Hunt to convey a lot called the "Church of Scotland Lot" in exchange for other land is cited in the deed. The trustees of the Presbyterian congregation did not incorporate until 1806 [Act: Congress Statutes at Large, Volume 2, Page 56 and Amendment: Statutes at Large, Volume 17, Page 73.].

1880 Deed April 24, 1880, recorded May 1, 1880
in Liber 941 folio 205
Thomas Muntz and William Smith
To
Arthur Small

1908 Deed in trust September 17, 1908, recorded
September 19, 1908 in Liber 3172 folio 417
Arthur Small, widower
To
Jesse H. Wilson
Levin H. Frey

COMMERCIAL BUILDING
HABS No. DC-112

Though it is probable that it was intended to transfer all property belonging to the Presbyterian Society, an Act of Congress is ineffective to pass the title to real estate by this approach. The title was therefore defective. A title contains the following statement:
"...from my personal knowledge of the possession of Mr. Small, who has owned the property and lived in it for more than 20 years (since 1888), I regard it as in fact good in substance..."

There then precedes a release of the above mentioned deed in trust dated November 12-15, 1910.

- 1918 Deed November 20, 1918 recorded November 22, 1918
in Liber 4142 folio 16
Arthur Small, widower
To
Agostino B. Lavezzo
- 1962 Agostino B. Lavezzo - Deed
To
Frank J. Lavezzo (2922 M Street)
Agostino B. Lavezzo - Deed
To
David J. Lavezzo (2924 M Street)

2. Date of erection: 1870-1880.

The deed dated April 24, 1880 and recorded May 1, 1880 from Thomas Muntz and William Smith to Arthur Small (Recorder of Deeds District of Columbia, Liber 941 folio 205) relates that "...by certain conveyance October 7, 1879 (Recorder of Deeds Liber 926 folio 232) certain lot fronting 48' on Bridge Street was conveyed to Arthur Small and said Small did by said deed covenant to stand seized of 2 undivided thirds of same to use of 1st parties that parties of 1st and 2nd parts did jointly erect on said ground 3 dwelling houses leaving a front of 16' each on Bridge Street - that said parties have agreed upon a partition under terms of which the easternmost 16' front by depth of 110' to 10' alley of said 48' so conveyed to Small was to become property of said Thomas Muntz and the westernmost part of like dimensions to become property of said William Smith and the center 16' by added depth with the dwelling thereon was to remain to said Small..."

COMMERCIAL BUILDING
HABS No. DC-112

3. Architect: Unknown.
4. Original plans, construction, etc.: None known.
5. Notes on alterations: None.
6. Important old views: None.

B. Historical Events Connected with the Structure:

Washington directories provide the following tenant information:

2922 M Street

1915-1923 Morris Segal, cigarmaker
1925-1935 Charles W. Morrison, paints
1936-1941 John T. Gessling
1942-1943 Mrs. Sadie Herling, second hand clothes
1948-1956 Frank Miller, used clothing
1960-1962 Georgia E. Luthy, used furniture
1964-1966 Peggy's Showroom, drapes

2924 M Street

1915-1918 Furr Meyer, clothing
1919-1920 Mrs. Bessie Beavers
1921-1922 Mrs. Annie Askinwall
1923-1928 Samuel Rogers, sheet metal
1930-1931 Cummings Tire Company
1932 George M. Wall
1933 William R. Smith, printer
1934 Ernest V. Cooke, printer
1935 Robert G. Noble, tire repair
1936 City Wholesale Drug Company
1937 Morris Berry, tailor
1938 Helen D. LaMonte
1939-1960 William F. Butler, electrical contractor
1964-1966 Wayne's Radio and TV Company

Prepared by Dr. James Philip Noffsinger
Architect
National Park Service
August 15, 1966

PART II. ARCHITECTURAL INFORMATION

A. General Statement:

1. Architectural character: A typical Georgetown commercial structure in plan and function, the building is distinctive by virtue of its unusually ponderous and elaborate brick work. The more commonplace shop fronts provide insufficient visual support for the massive effect of the masonry above.
2. Condition of fabric: Good; brick is in excellent condition.

B. Technical Description of Exteriors:

1. Overall dimensions: 32'-6" (four-bays) x approximately 65'; two stories.
2. Foundations: Stone.
3. Wall construction: Brick front is among the most elaborate in the commercial area. Piers of common bond define bays, within which are window apertures. Between piers above windows is decorative belt composed of two corbeled courses above and below diagonally-laid stretchers. Above this, three separate corbeled belts form base for decorative eave brickwork.
4. Porches, stoops, bulkheads, etc.: Shallow wooden balcony with ornamental cast-iron railing spans front at second floor; balcony supported by four wooden brackets and bay windows of adjacent shops.
5. Chimneys: Brick chimneys 1'-8" x 2'-4" cannot be seen from street grade.
6. Openings:
 - a. Doorways and doors: Doors are rather deeply recessed within wooden frames. Hall doorways 2'-8" wide have four-paneled wooden doors and single-paneled transoms. Wooden shop doorways 4'-6" wide frame glazed double doors, each with single lower panel, and three-paneled transoms, one of which is now blocked for air conditioner.
 - b. Windows and shutters: Shop windows are projecting bays; fixed wooden sashes set above single-paneled bases. Upper windows have two-over-two-light double-hung wooden sashes set within elongated openings under low segmental arches. Stretcher-brick hood moldings embrace upper quarters of openings. No shutters.

COMMERCIAL BUILDING
HABS No. DC-112

7. Roof:

- a. Shape, covering: Roof slopes gently to the south; covering unknown.
- b. Framing: Unknown.
- c. Cornice, eaves: Three projecting brick belts supporting vertical course set at forty-five degree angle to front plane and single stretcher course capped by low molded metal strip form complex cornice divided vertically into equal sections by five brick corbel motifs. Two easternmost vertical elements retain original metal terminations ornamented with animal masks.

C. Technical Description of Interiors: Typical side hall plan; upper rooms open off stair halls. Marble mantelpiece in front room of apartment; plaster centerpiece for gas chandelier remains on ceiling.

D. Site:

1. General setting and orientation: The building faces north on M Street between 29th and 30th Streets not far from the eastern border of Georgetown. It is a noteworthy structure in its neighborhood of reasonably stable but undistinguished buildings.
2. Enclosures: None.
3. Outbuildings: None.
4. Walks: Fronts on concrete public sidewalk to the north.
5. Landscaping: None.

Prepared by Thomas R. Martinson
Student Assistant Architect
National Park Service
September 1, 1966



Commercial Building
2922-2924 M Street

photo: Marc Blair, 1966

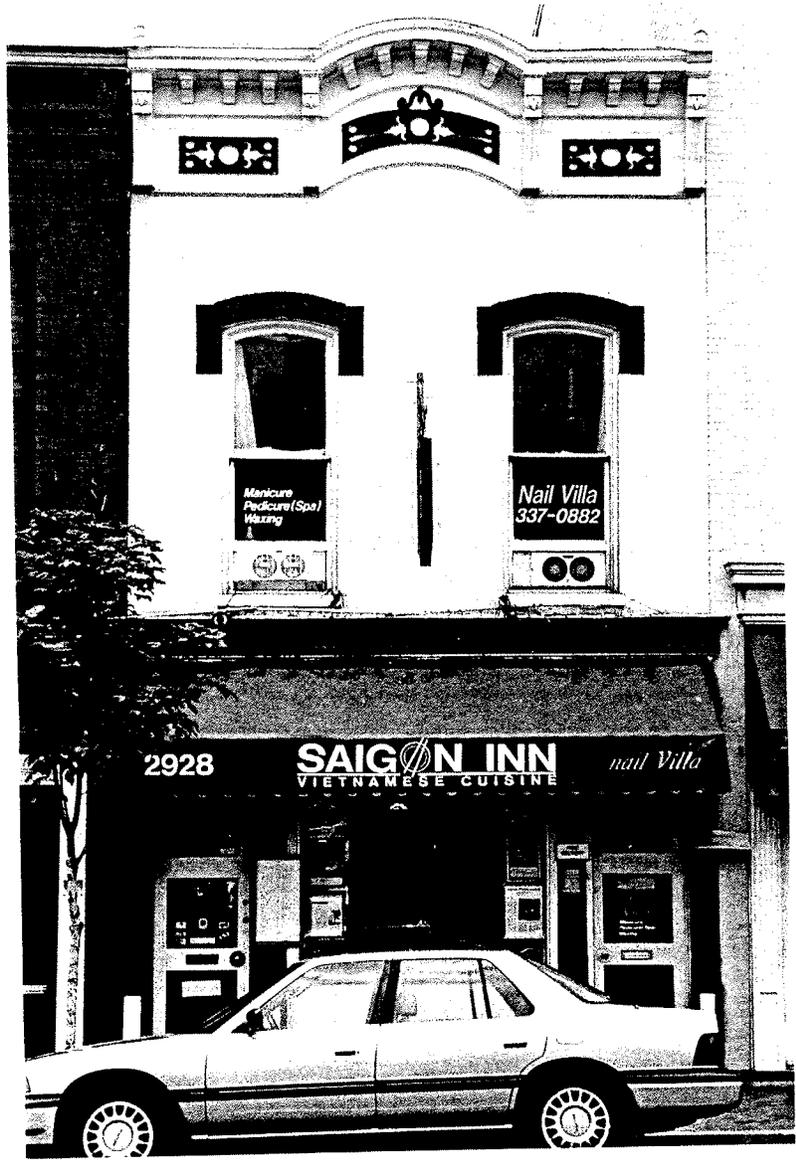


Eynon Building
3407 M Street

photo: Marc Blair, 1966

2928 M STREET





2928

SAIGON INN
VIETNAMESE CUISINE

nail Villa

Manicure
Pedicure (Spa)
Waxing

Nail Villa
337-0882



Photo of 2928 M Street, circa early 1960's.
Note streetcar tracks. U.S. Fine Arts Commission collection.

2928 M Street

Location: 2928 (2930) M Street, NW

Current Owner: Lillian Kengla Harper

Current Occupants:

2928 Saigon Inn
 (202) 337-0882
(2930) 2nd Floor
 Nail Villa
 (202) 337-0882

A. Historical information

Construction history: This building was constructed in 1881 by Andrew Taylor King on the site of the old Presbyterian Church. It was leased as a clothing store between 1910 and 1920. In the twenties and thirties it served as a funeral home. Today the building is leased to a "nail palace" on the second floor and a modest restaurant on the street floor.

B. Historical events associated with property

Past Occupants/owner

1890 A. T. King, engineer
1900 Andrew Taylor King, engineer
1910 A. Taylor King
1915 Meyer Furr, clothing/
 Mrs. Betty E. Riley
1916 Meyer Furr, clothing
1917 vacant store/
 Mrs. Betty E. Riley
1918 vacant/
1920 R. L. Donohue, undertaker
1925 Mrs. Betty E. Riley/
 R. L. Donohue, undertaker
1930 R. L. Donohue, undertaker
1935 Ridgley and Hicks, Funeral Director
1950 Occupant?/L. Watson
1960 Occupant?/E. Audette
1970 Occupant?/E. Audette
1980 Occupant?/E. Audette
1990 Occupant?/E. Audette

C. Architecture

This is a typical two story brick building with basement, the only building in the row with an arched roof ornamentation. Owners in the 1950's obscured the brick and cast iron decorations on the eave decoration with black paint. Current owners have obscured the second story brick ornamented window arches with black paint. There are two entrances are on either side of large display window.

Name:

Address: 2928M StreetNW[Current]

Tax Code: Square/Lot1196 0803[Current]

----- STATUS, PURPOSE, AND USE -----

ID Number: 1196 -0803-
Record Type: Building
Designation:

Status:
Quality:
Condition:

Purpose:

Year Built: 1881

----- CONSTRUCTION HISTORY -----

Owner(Orig Construction):King, A.T.
Architect(Orig Construction):[not listed on permit]
Builder(Orig Construction):[not listed on permit]

----- OCCUPANTS & EVENTS -----

----- SETTING, SHAPE, AND SIZE -----

Neighborhood Type: Urban	Height: 0.00
Streetscape:	Width: 0.00
Relation to Bldgs:	Length: 0.00
Relation to Street:	
Massing:	Lot Width: 0.00
Footprint:	Lot Length: 0.00

# Stories:		
Bays Wide: 0	Bldg SqFt: 2556	
# Units: 0	Lot SqFt: 1718	

----- ARCHITECTURAL FEATURES -----

----- COMPONENTS AND MATERIALS -----

Walls Brick

----- PLANNING, SURVEY, AND DESIGNATION -----

Neighborhood: Georgetown	Ward/ANC: 2	2E
Subdivision:	Zoning:	

Historic Dist: Georgetown HD Contributing:

Survey: Georgetown (1993)
Data: Reconnaissance Survey

----- EVALUATION OF SIGNIFICANCE -----

----- DOCUMENTATION -----

Permit: Build(#59, 7/19/1881)

----- NOTES -----

=====

No. 59

APPLICATION FOR PERMIT TO BUILD

[BRICK AND STONE.]

Washington, July 19 1881

To the INSPECTOR OF BUILDINGS:

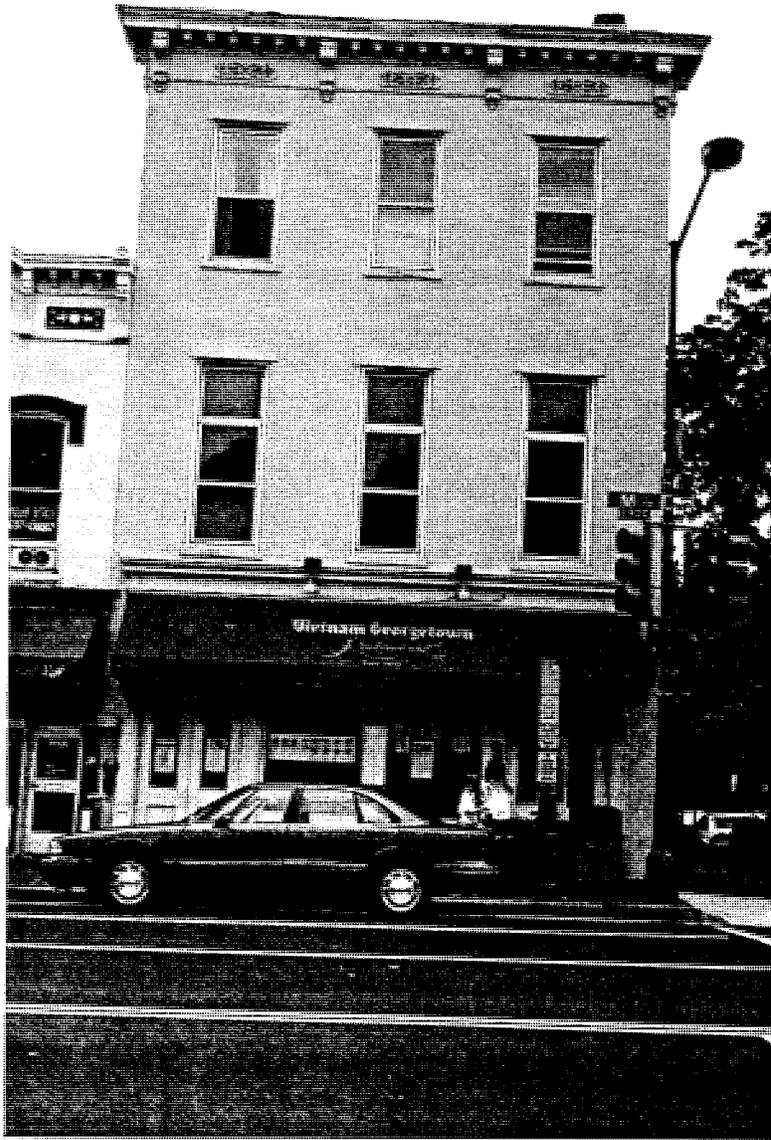
The undersigned hereby applies for a permit to build according to the following specification:

1. State how many buildings to be erected? *one*
2. Material? *Brick*
3. What is the Owner's name? *A. T. King*
4. " Architect's " *1*
5. " Builder's "
6. " location? *Bridge St bet Green & Wash*
7. " nearest street? *Star*
8. " purpose of the building?
9. If a dwelling, for how many families?
10. Is there a store in lower story? *1*
11. Will the building be erected on solid or filled land?
12. Size of lot, No. of feet front, *15*; No. of feet rear, *15*; No. of feet deep, *37*
13. Size of building, No. of feet front, *15*; No. of feet rear, *15*; No. of feet deep, *37*
No. of stories in height, *two*; No. of feet in height from sidewalk to highest point of roof, *Present*
14. No. of feet in height from level of sidewalk to highest part of wall,
15. No. of feet in height from sidewalk to eaves.
16. Size of back building, feet long: feet wide: feet high: No. of stories, style of roof.
17. Material of foundation.
18. Thickness of external walls, cellar or basement, *14*; 1st story *14*; 2d story *14*; 3d story

2934 M STREET (CURRENT)
2930 M STREET (HISTORIC)



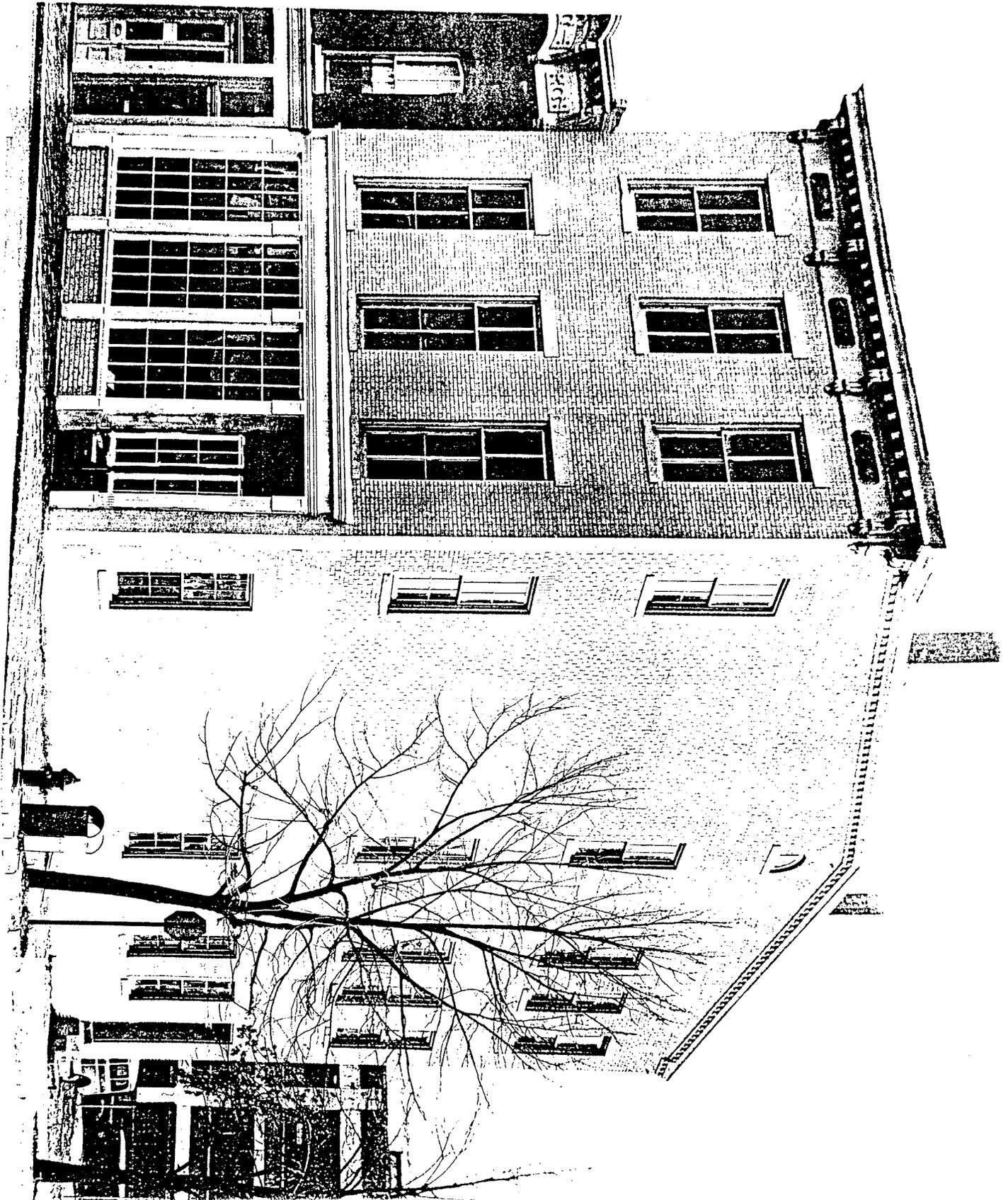




Building before remodeling in 1951



Building after remodeling in 1951



2934 M Street

Location: 2934 (current) M Street
2930 (historic)

Current owner: Naomi Slebst, et al.
Current occupant:

2934 Vietnam Georgetown Restaurant
(202) 337-4536

Occupants of apartments on 30th Street unknown.

A. Historical information

Construction history: Lots 182 and 184 (rear) owned by James Goddard. Three story building was constructed pre 1890, two projecting display windows were constructed in 1890, a 3 story addition in 1891, and a back porch in 1892. A three story building was added in back in 1928, and the building extensively remodeled in 1951. From about 1915, the building served as the site of the Central Union Mission until the early 1950's and was then sold by the Goddard family to M. Horowitz. In the 1990's it was purchased by Naomi Slebst et. al and is leased as a restaurant on the ground floor. Entrance to apartments is on 30th Street.

B. Historical events associated with property

Past Occupants/owner

1900 Occupants?/J. Goddard
1910 Occupants?/J. Goddard, et. al.
1915 Central Union Mission, Georgetown Branch
1916 Central Union Mission, Georgetown Branch
1917 Central Union Mission, Georgetown Branch
1918 Central Union Mission, Georgetown Branch
1920 Central Union Mission, Georgetown Branch/F. J. Goddard
1925 Central Union Mission, Georgetown Branch
1930 Central Union Mission, Georgetown Branch/F.J. Goddard
1935 Central Union Mission, Georgetown Branch
1940 Central Union Mission, Georgetown Branch/F. J. Goddard
1950 Occupant?/M. Hurowitz
1960 Occupant?/M. Hurowitz
1970 Occupant?/M. Hurowitz
1980 Occupant?/M. Hurowitz
1990 Occupant?/Naomi Selbst

C. Architecture

Like the three story building at the other end of the block, this building anchors the end of the block, but architecture is undistinguished. Masonry/cast iron? eave ornamentation is the only distinguishing feature. Building was remodeled in 1951 replacing the original display windows Goddard had added in 1890. The front has been altered since 1951 adding an extra door so there is a door at each side of the front, although currently only one is used. The second and third story window sashes facing M Sreet have been replaced. Original brick was painted when the building was remodeled in 1951.

Name:

Address: 2934M StreetNW[Current]
2930M StreetNW[Historic]

Tax Code: Square/Lot1196 0802[Current]

----- STATUS, PURPOSE, AND USE -----

ID Number: 1196 -0802-
Record Type: Building
Designation:

Status:
Quality:
Condition:

Purpose: Year Built: 1903 pre

----- CONSTRUCTION HISTORY -----

----- OCCUPANTS & EVENTS -----

----- SETTING, SHAPE, AND SIZE -----

Neighborhood Type: Urban	Height:	0.00
Streetscape:	Width:	0.00
Relation to Bldgs:	Length:	0.00
Relation to Street:		
Massing:	Lot Width:	0.00
Footprint:	Lot Length:	0.00

# Stories:			
Bays Wide: 0		Bldg SqFt:	5880
# Units: 0		Lot SqFt:	1463

----- ARCHITECTURAL FEATURES -----

----- COMPONENTS AND MATERIALS -----

Walls Brick

----- PLANNING, SURVEY, AND DESIGNATION -----

Neighborhood: Georgetown	Ward/ANC: 2	2E
Subdivision:	Zoning:	

Historic Dist: Georgetown HD Contributing:

Survey: Georgetown (1993)
Data: Reconnaissance Survey

----- EVALUATION OF SIGNIFICANCE -----

----- DOCUMENTATION -----

dollar, for permit to building, as specified in foregoing application.

Inspector of Buildings.

No. 2556



APPLICATION FOR
Permit for Repairs, Alterations, &c.

Owner M. R. Goddard

LOCATION.

Lot, 7182
Square, 1196
Street, 2934 N. A. N. W.

PERMIT GRANTED.

May 31st 1892

30⁰⁰

Memoranda.

No. 37 Page 189



Application for Permit for Repairs, Alterations, &c.

Washington, D.C. May 11th 1892

To the

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to Build

following described building:

Description of Present Building.

located 2734

10 st. n. w.
M. R. Goddard

of buildings to be altered one

Name of owner

of present building

Name of architect

of stories

Name of mechanic

of roof

Name of occupant

is the building occupied? store

If a dwelling, how many families?

at is the cost of the proposed improvements? \$ 200

Nature of Proposed Alterations, &c.

GIVE DEFINITE PARTICULARS.

To build open porch
ten feet wide on rear of house
on roof

what will the building be used after alteration? store

After alteration, will the building conform, in every respect, with the requirements of the building law? yes

Signature—

M. R. Goddard

Address—

1206 30th St. N.W.
Minneapolis, Minn.

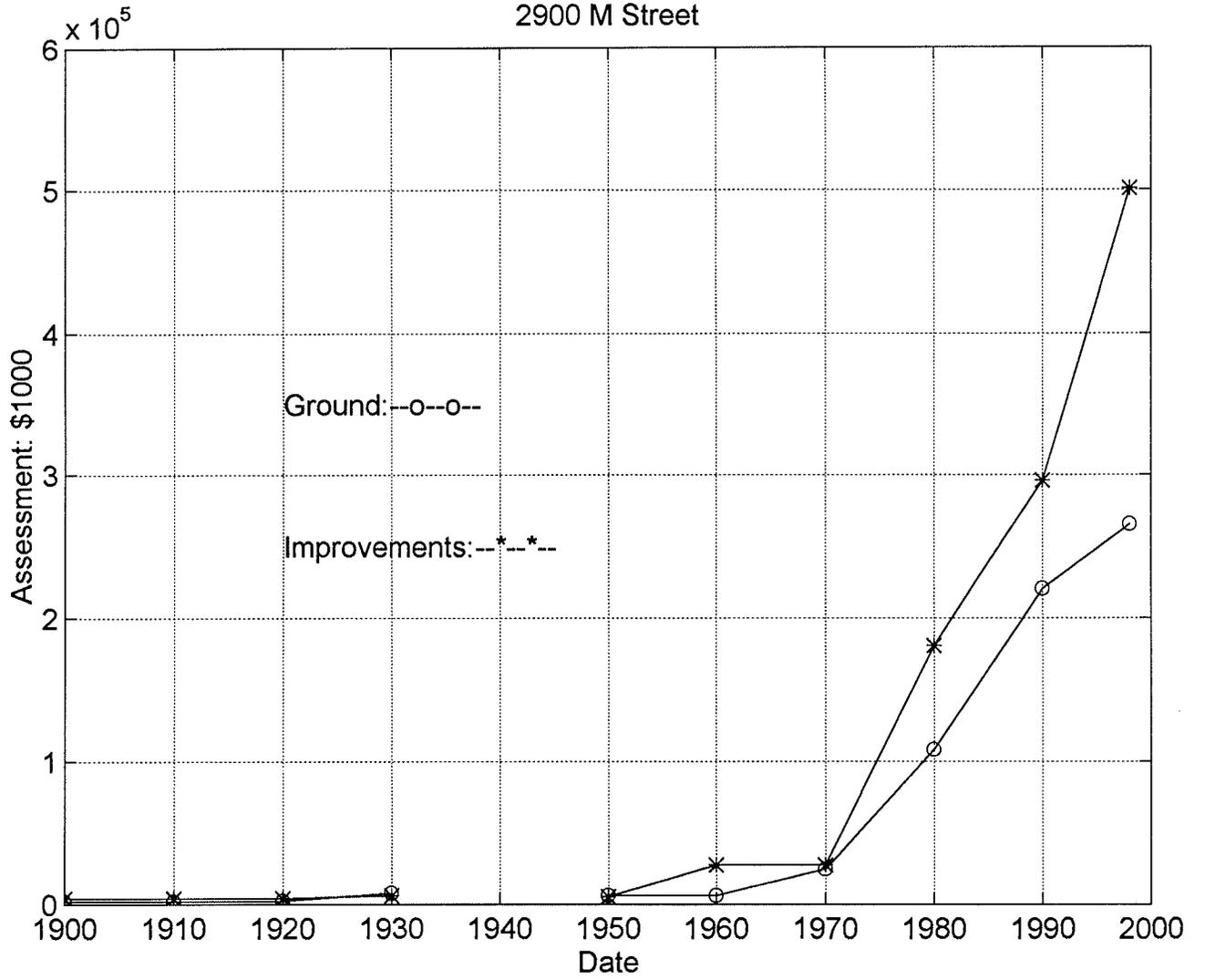
APPENDIX II

APPENDIX III

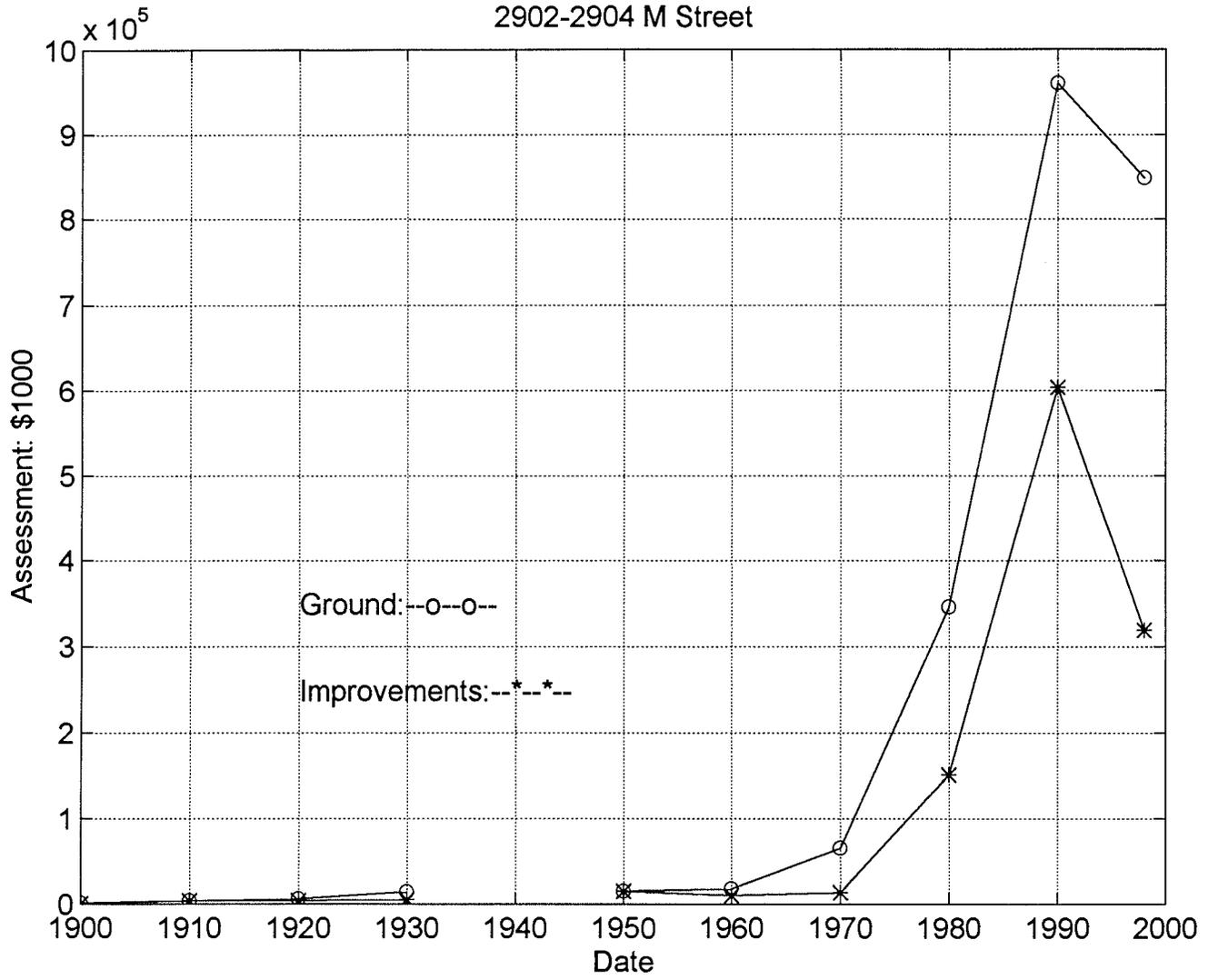
	2900		2902-08	2910/12/14	2916/18/20	2922/24	2928	2934
1880	Wise		Lee	Goddard	Smith/Small/Smith	McIntyre	King	Goddard
1900	Wise		Lee	Goddard	Smith/Small/Smith	McIntyre	King	Goddard
1910	Wise		Lee	Goddard	Smith/Small/Smith	McIntyre	King	Goddard
1920	Wise		Lee	MD/Goddard	Lavezzo	McIntyre		Goddard
1930	Wise		Lee	MD/Goddard	Lavezzo	Donohue?	Donohue?	Goddard
1950	G.B. Prop.		Yonan	MD/Goddard	Lavezzo	Lavezzo	Audette	Horowitz
1960	G.B. Prop.		Yonan		Cashel/Lavezzo	Lavezzo	Audette	Horowitz
1970	Gustis Ent.		Yonan	P. Gaunoux	Bayles/Gaunoux	Lavezzo	Audette	Horowitz
1980	P. Gaunoux		P. Gaunoux	P. Gaunoux	Bayles/Gaunoux	Lavezzo	Audette	Horowitz
1990	P. Gaunoux		P. Gaunoux	P. Gaunoux	Bayles/Gaunoux	Lavezzo	Audette	Selbst
current	P. Gaunoux		P. Gaunoux	P. Gaunoux	Bayles/Gaunoux	Gaunoux/Lavezzo	Audette	Selbst

- Chart of Property Owners by Address

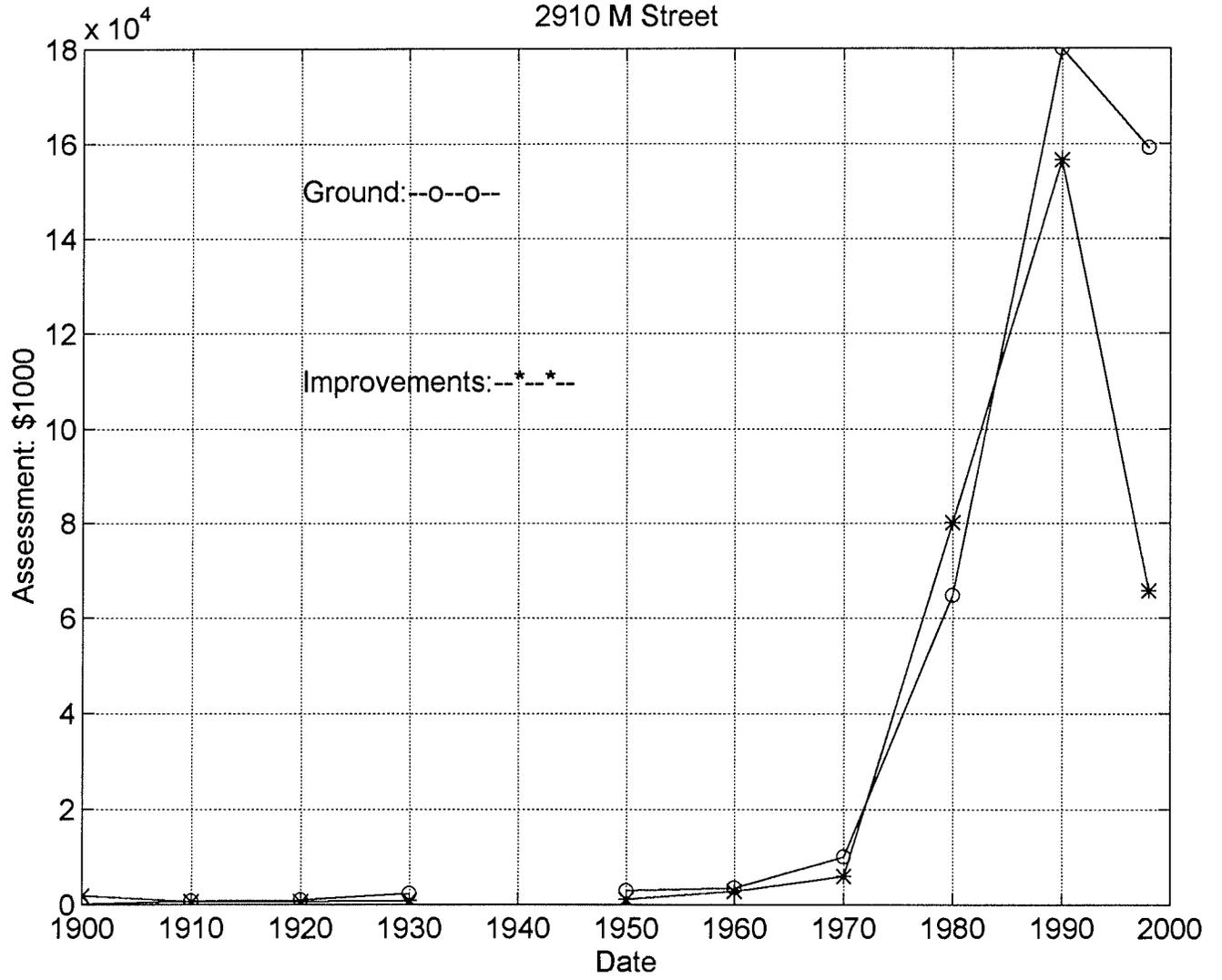
2900 M Street



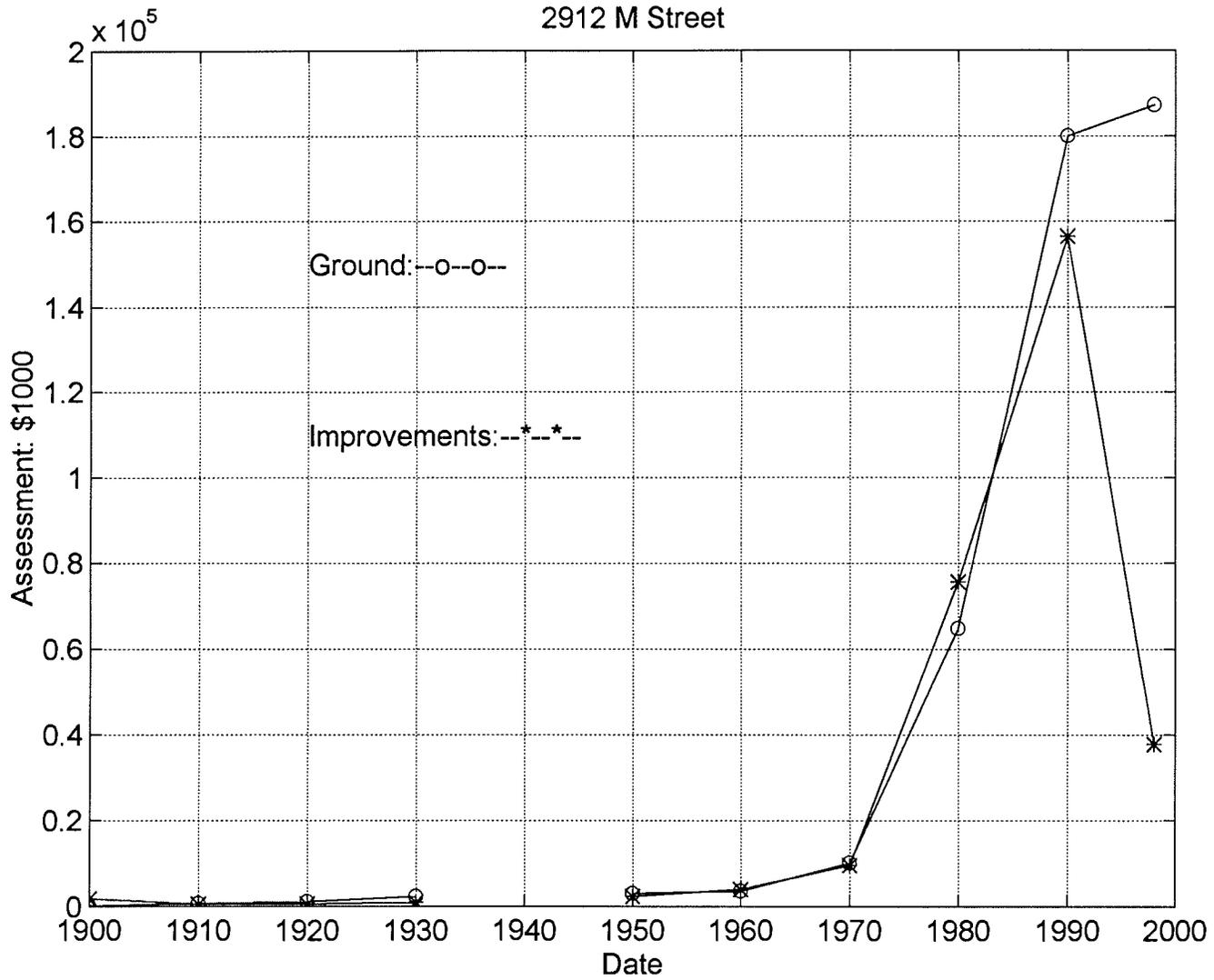
2902-2904 M Street



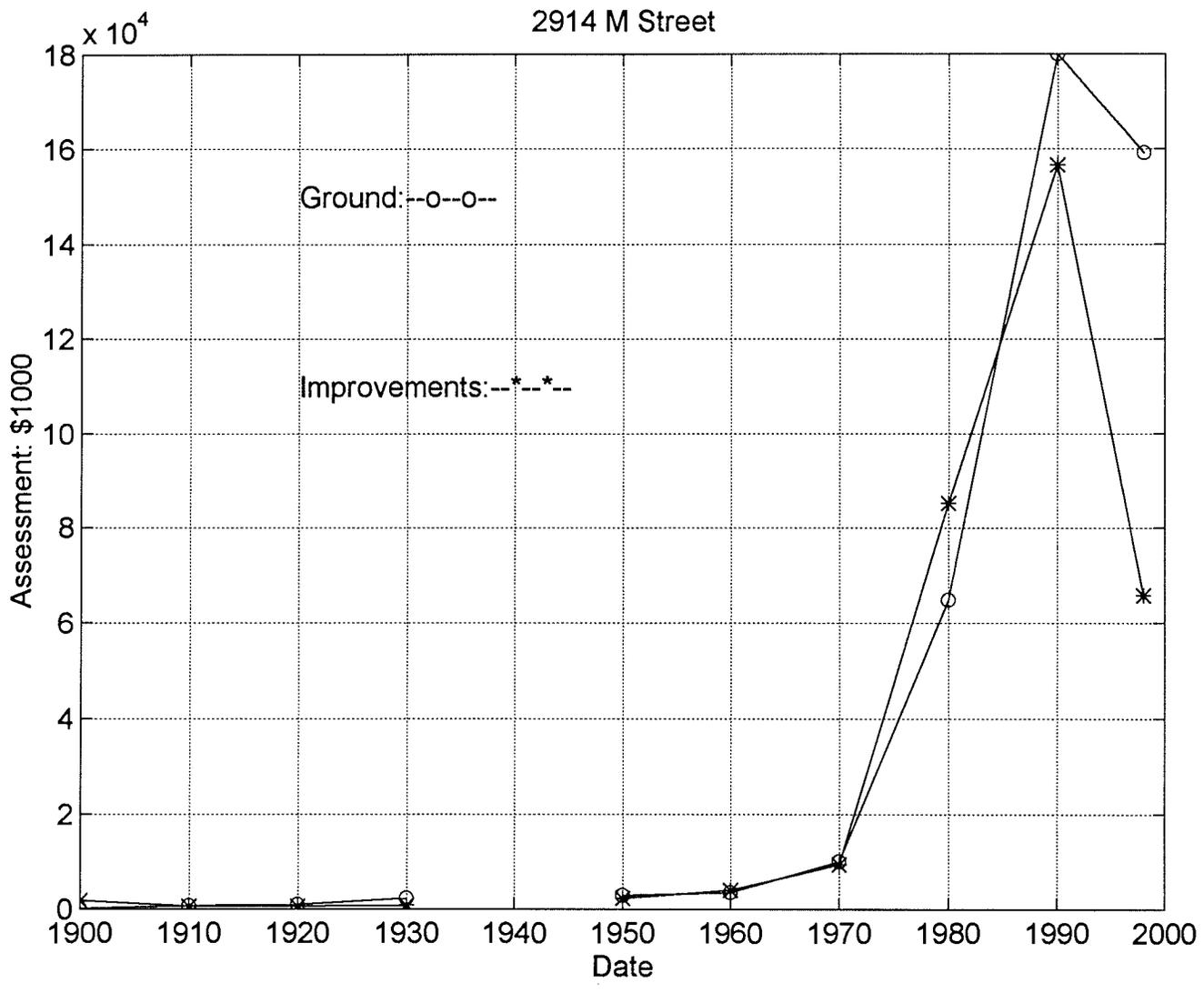
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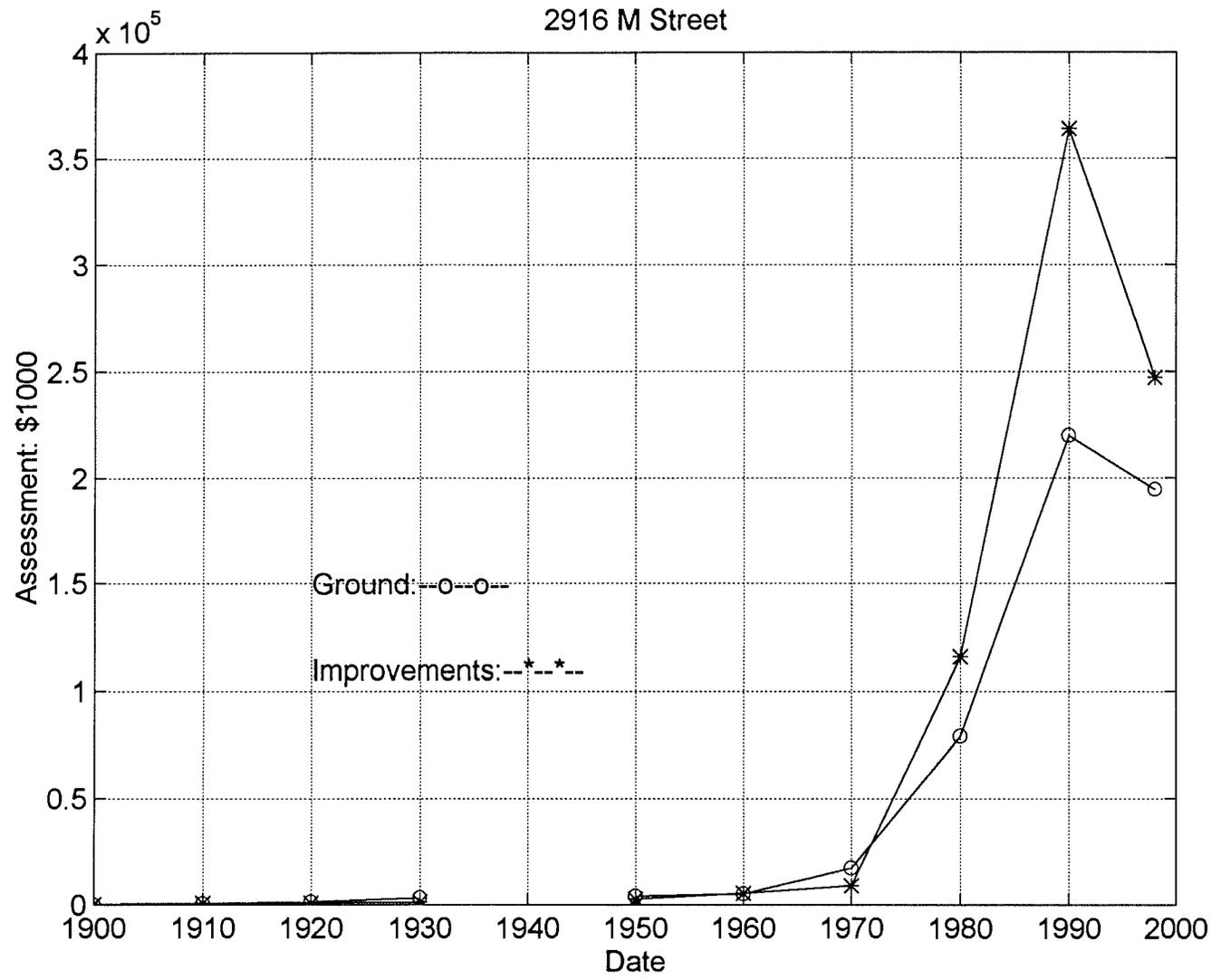
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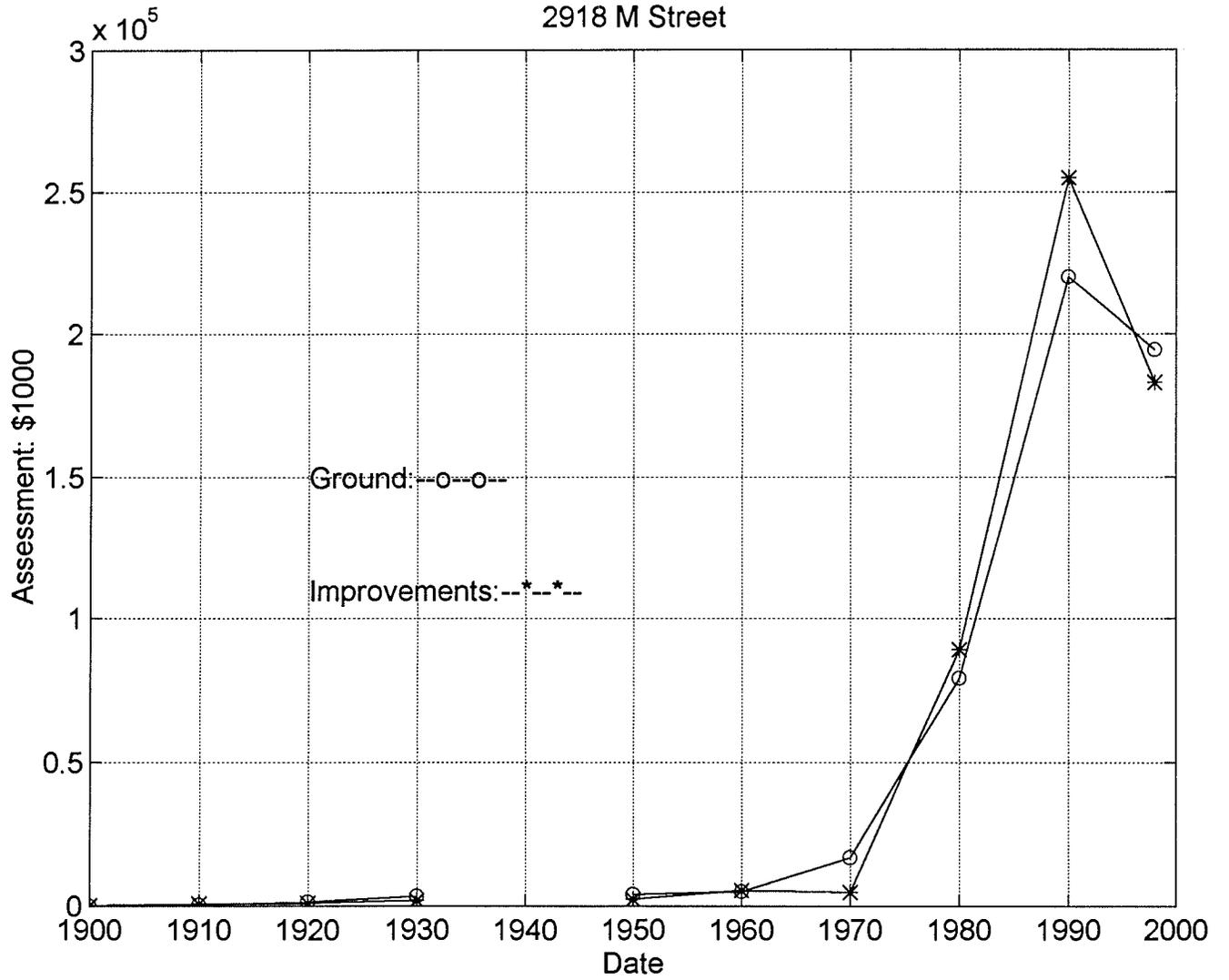
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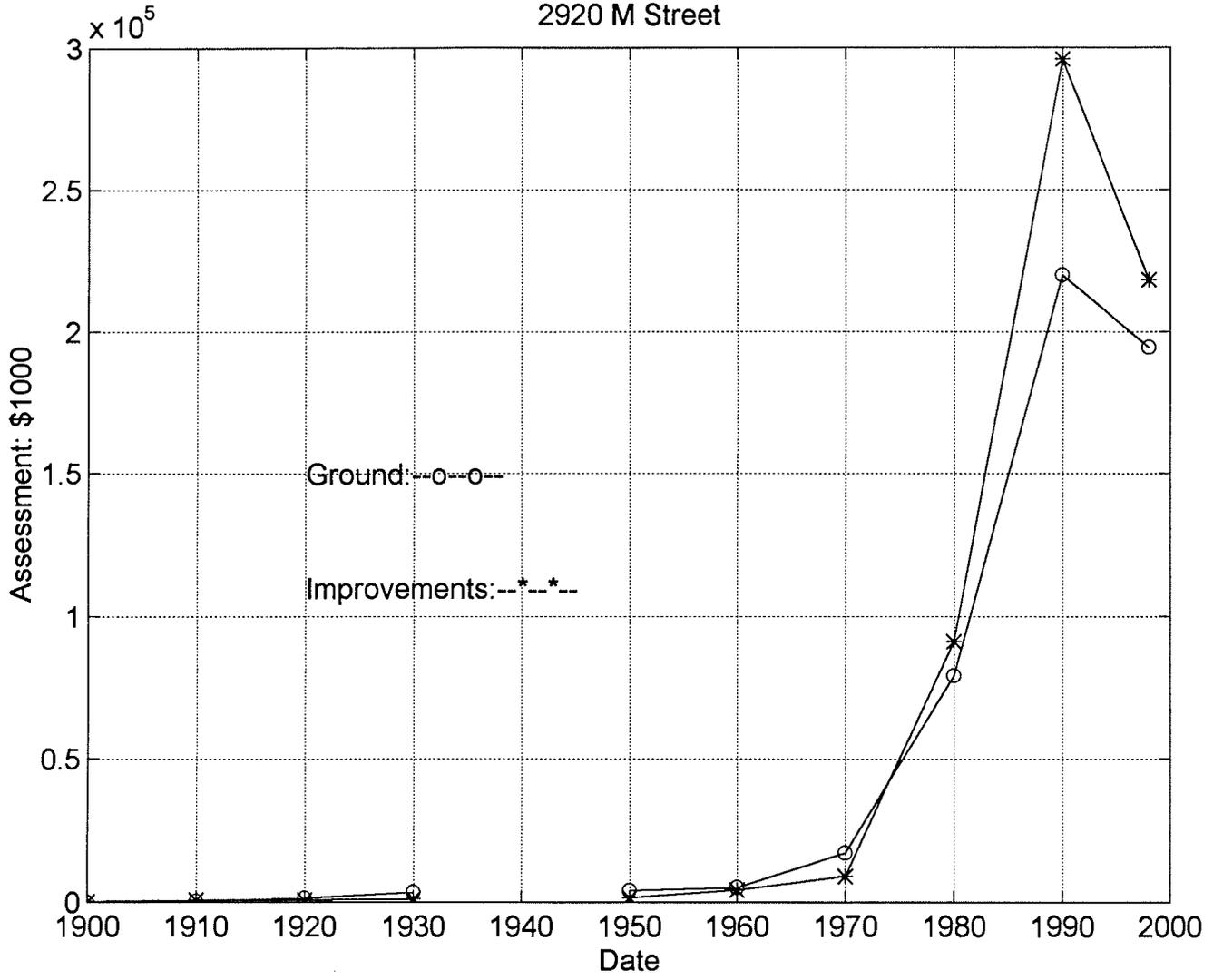
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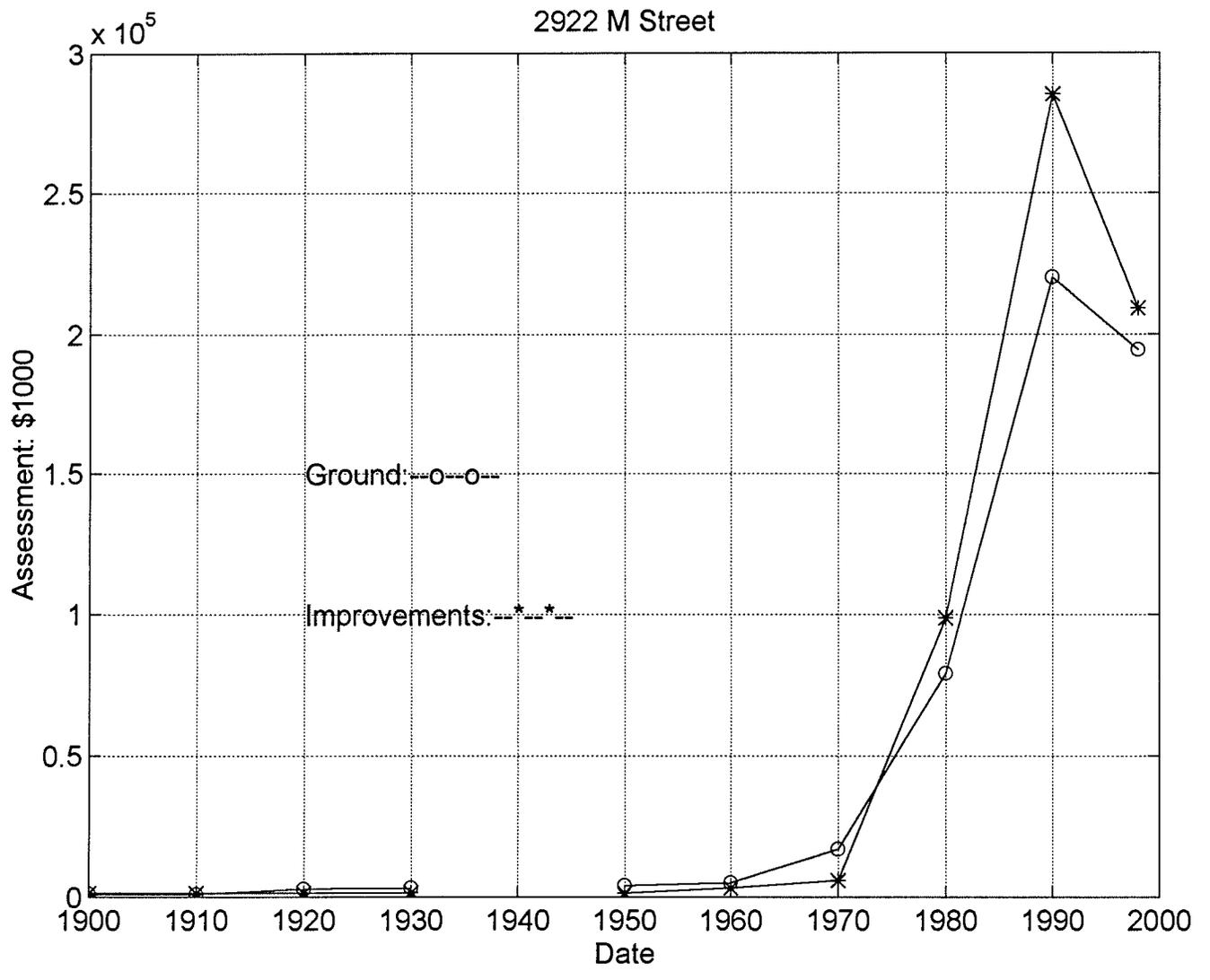


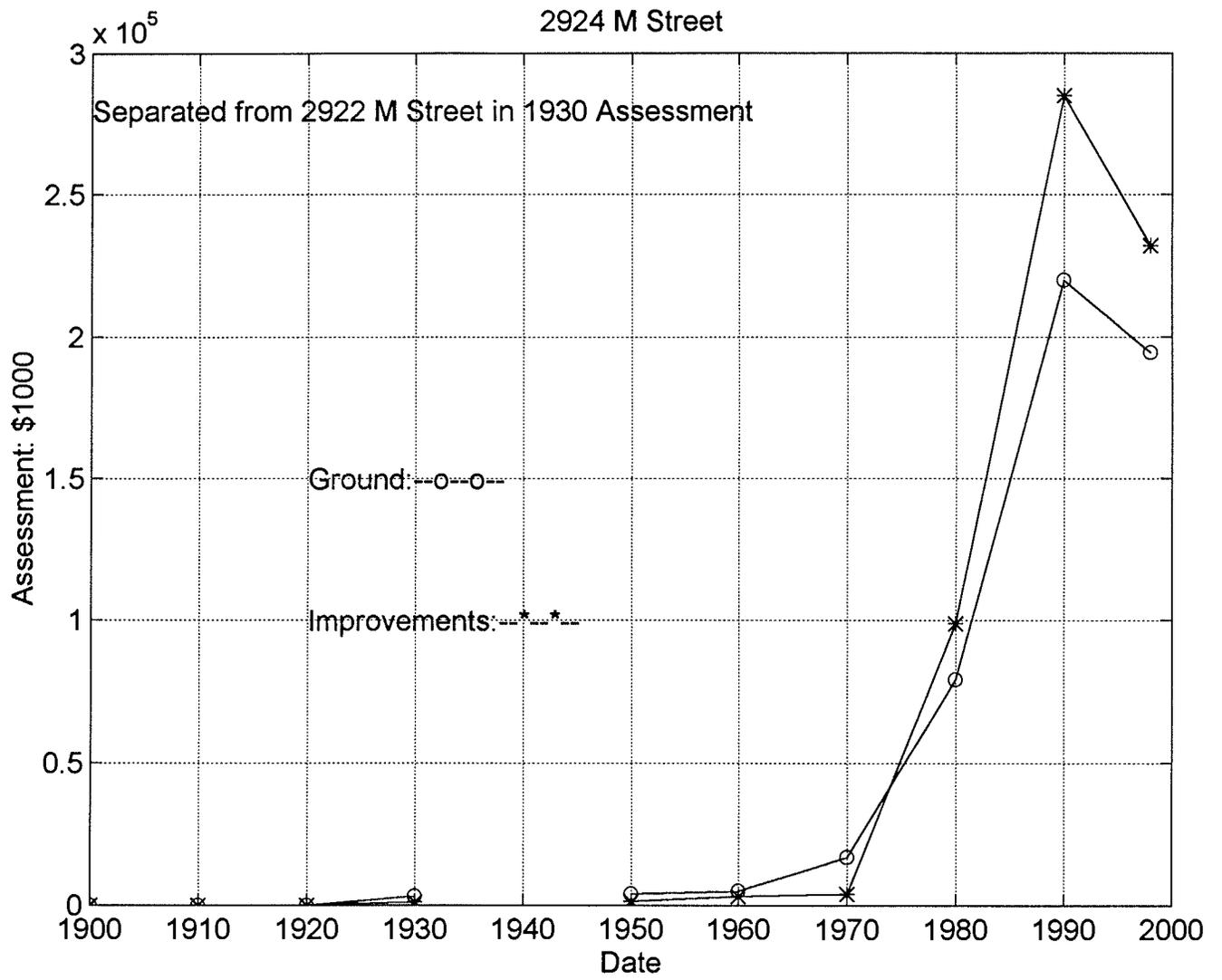
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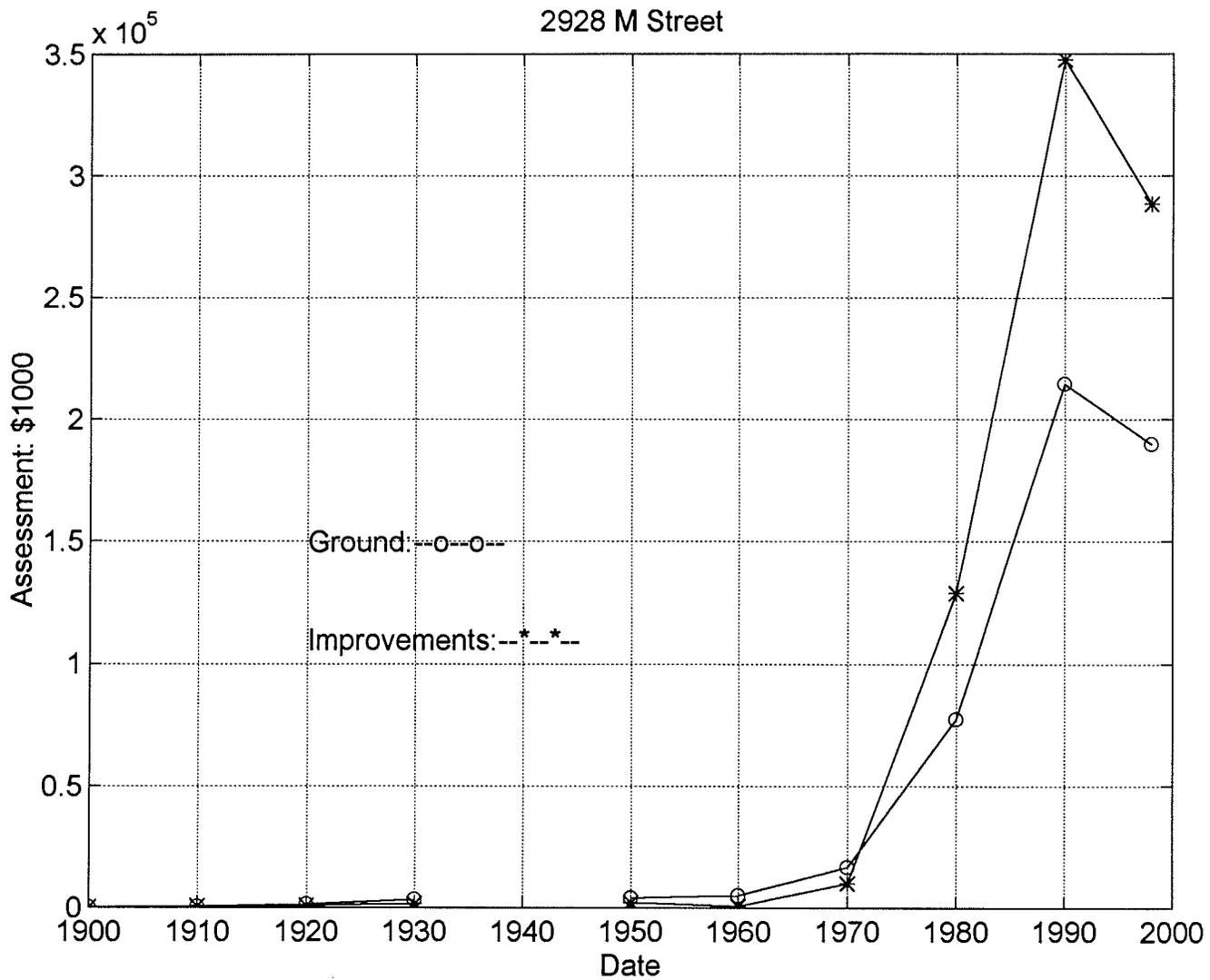
2920 M Street







2928 M Street



2930 M Street

