

PROJECT NAME

ADDITION AND REMODELING PROJECT

1653 34TH STREET NW
WASHINGTON DC 20007

SYMBOLS

INDICATES EXISTING TO REMAIN

INDICATES EXISTING TO BE REMOVED

NEW PARTITION WORK

1

A-1

NUMBER INDICATES ELEVATION

1

A-1

ELEVATION

1

A-1

SHEET NUMBER WHERE DRAWN

1

A-1

NUMBER INDICATES SECTION

1

A-1

SECTION

1

A-1

SHEET NUMBER WHERE DRAWN

1

A-1

NUMBER INDICATES DETAIL

1

A-1

DETAIL

1

A-1

SHEET NUMBER WHERE DRAWN

A-1

ROOM NUMBER

A-1

DOOR NUMBER

A-1

PARTITION TYPE

3

A-1

ELEVATION NUMBER

3

A-1

PAGE NUMBER

3

NOTE NUMBER

ALIGN

INDEX

HP - II SITE PHOTOS FROM ALLEY

HP COVER SHEET

HP EX EXISTING FLOOR PLANS

HP P PROPOSED FLOOR PLANS

HP EL EXISTING ELEVATIONS

HP - 1 SITE PLAN WITH NEIGHBORS

HP - 2 SITE PLAN WITH SECTION AND CONTEXTUAL ELEVATION

HP - 3 SUN ANGLE STUDY

HP-4 NOT USED

HP-5A ELEVATIONS OPTION 1

HP-5AI ELEVATIONS OPTION 1A

HP-5B ELEVATIONS SIDE ELEVATION OPTIONS

HP-5C SIDE ELEVATION OPTIONS WITH INFILLED CRAWLSPACE

HP - 6 SITE PLAN WITH PARTIAL REAR PATIO DETAILS

HP - 7 NOT USED

HP - 8 WINDOW DOOR DETAILS

HP - 9 SITE PHOTOS EXISTING CONDITION

HP - 10 SIDE BY SIDE ELEVATION OPTIONS

PROJECT NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO EXECUTION OF CONTRACT WORK. IF DISCREPANCIES ARE FOUND IN THE FIELD OR CODE RELATED ISSUES ARE DISCOVERED CONTACT ARCHITECT BEFORE PERFORMING ANY WORK.

2. PROVIDE R-44 INSULATION IN ATTIC. ALSO PROVIDE R-20 INSULATION ON ALL EXTERIOR WALLS WHERE APPLICABLE.

3. SOIL DESIGN VALUE REQ'D: 2000 PSF FOR FOOTINGS FOUNDED ON UNDISTURBED SOIL. DESIGN SOIL BEARING SHALL BE FIELD VERIFIED.

4. FOUNDATION: BOTTOMS OF ALL FOOTINGS SHALL EXTEND A MINIMUM OF ONE FOOT INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION, AT LEAST 30 INCHES BELOW FINISH GRADE. FOOTING ELEVATIONS SHALL BE ADJUSTED AS REQUIRED TO SUIT FIELD CONDITIONS. ALL FOUNDATION WORK TO BE APPROVED BY BUILDING INSPECTOR OR PROFESSIONAL ENGINEER PRIOR TO POURING CONCRETE.

5. CONCRETE: ALL CONCRETE SHALL CONFORM TO ACI CODE 318 AND INTERNATIONAL BUILDING CODES. 28 DAYS STRENGTH SHALL BE F'c = 3000 PSI FOR FOOTINGS. ALL CONCRETE SHALL BE NORMAL WEIGHT.

6. CONCRETE PROTECTION FOR REINFORCEMENT, REINFORCING BARS AND MESH TO HAVE MINIMUM CONCRETE COVER AS FOLLOWS: CONCRETE POURED AGAINST EARTH - 3 INCH. FORMED CONCRETE EXPOSED TO WEATHER OR IN CONTACT WITH EARTH: 2".

7. REINFORCING STEEL: ALL REINFORCING STEEL TO CONFORM TO ASTM A-615, GRADE 60, WELDED WIRE MESH TO CONFORM TO ASTM A-955, FABRICATE AND PROVIDE STANDARD SUPPORTING ACCESSORIES IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES AC-318-80 AND CRSI STANDARDS. PROVIDE PLACING ACCESSORIES IN ACCORDANCE WITH ACI RECOMMENDATIONS.

8. FOUNDATION WALL: CONCRETE MASONRY UNIT (CMU) FOUNDATION WALLS SHALL CONFORM TO THE BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530-02/TMS 402-02) CHAPTER 1, 2 AND 3. MINIMUM HORIZONTAL JOINT REINFORCEMENT CONSISTING OF NOT LESS THAN TWO CONTINUOUS WIRES EACH WITH MINIMUM CROSS-SECTIONAL AREA OF 0.011 SQUARE INCH (4 GAGE) SHALL BE PROVIDED IN HORIZONTAL BED JOINTS SPACED NOT MORE THAN EVERY SECOND COURSE VERTICALLY. MINIMUM VERTICAL REINFORCEMENT SHALL CONSIST OF ONE #5 REBAR @ 16" OC MAXIMUM. CELLS HAVING VERTICAL REINFORCEMENT SHALL BE FILLED WITH EA GRAVEL. CONCRETE OR MASONRY GROUT MEETING THE REQUIREMENTS OF ASTM C476. VERTICAL STEEL REINFORCEMENT SHALL BE PLACED NOT MORE THAN 2 INCHES FROM THE INSIDE FACE OF THE WALLS.

9. FOUNDATION ANCHORAGE: ALL MOOD SILL PLATES SHALL BE ANCHORED TO THE TOP OF THE FOUNDATION WALL WITH 1/2" DIAMETER ANCHOR BOLTS SPACED OF 48" ON CENTER.

10. MOOD FRAMING: ALL MOOD CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF AMERICAN INSTITUTE OF WOOD CONSTRUCTION TIMBER CONSTRUCTION MANUAL, LATEST EDITION. ALL FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE NO 2 MFG 19% (INCLUDING TOP PLATED, HEADERS, JOISTS, STUDS, RAFTERS, AND POSTS) OR EQUAL. ALL LUMBER IN CONTACT WITH CONCRETE SLAB TO BE MOISTURE PROOFED TREATED LUMBER. FIRE RETARDANT TREATED LUMBER IS UNACCEPTABLE. FRAMING LUMBER SHALL BE FB # 1200 PSI MINIMUM. TOP PLATE SPLICES MUST BE STAGGERED A MINIMUM OF 4 FEET AND OCCUR OVER STUD. WHERE CUTTINGS OF TOP PLATE MORE THAN HALF WIDTH IS NECESSARY, A METAL TIE NOT LESS THAN EIGHTEEN GAUGE 04 INCH THICKNESS AND 1 1/2" WIDE SHALL BE FASTENED TO THE PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN FOUR 160 NAILS. ALL PLYWOOD USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS FOR THE TYPE, GRADE AND SPECIES OF PLYWOOD AND SHALL BE SO IDENTIFIED BY AN APPROVED TESTING AGENCY. SHEATHING FASTENING METHOD TO CONFORM WITH INTERNATIONAL BUILDING CODES. CONVENTIONAL FLOOR JOISTS SHALL MEET THE PERFORMANCE STANDARDS FOR THE TYPE, GRADE AND SPECIES OF PLYWOOD AND SHALL BE SO IDENTIFIED BY AN APPROVED TESTING AGENCY. SHEATHING FASTENING METHOD TO CONFORM WITH INTERNATIONAL BUILDING CODES. CONVENTIONAL JOISTS OR RAFTERS SHALL HAVE BRIDGINGS AT A MINIMUM OF 8' - 0" . CUT AND NOTCH HOLES SIZE AND LOCATIONS SHALL CONFORM WITH THE RECOMMENDATION OF BUILDING INSPECTOR OR PROFESSIONAL ENGINEER. SUBMIT 3 COPIES OF TRUSS FABRICATORS SHOP DRAWING SIGNED AND SEALED BY A P. E. AS REQUIRED FOR APPROVAL PRIOR TO FABRICATION AND ERECTION OF PREFABRICATED TRUSSES. PREFABRICATED TRUSSES SHALL BE CENTERED OVER STUD. WHENEVER RESPECTIVE SPACINGS COINCIDES AND METAL SHARP ANCHOR TO BE USED AT SUCH INTERVAL. NOT CUTS OR HOLES PERMITTED IN ANY PART OF TRUSS, UNLESS OTHERWISE INDICATED AND APPROVED BY TRUSS DESIGNER. ON SITE STORAGE OF ALL PREFABRICATED MOOD TRUSSES SHALL BE ON LEVEL GRADE, PROTECTED FROM MOISTURE AND/ OR GROUND CONDITIONS, AND LAID FLAT UNLESS OTHERWISE INDICATED BY MANUFACTURERS RECOMMENDATION. ALL LATERAL BRIDGING AND BRACING AS REQUIRED BY TRUSS DESIGNER SHALL BE INSTALLED.

11. WIND BRACING: EXTERIOR SHEATHING TO BE 1/2" PLYWOOD, FASTENERS ARE 1 1/8" TO 1 1/4" 10-D SMOOTH OR 8 - D DEFORMED NAILS AT 8" OC NAILING THE EDGES AND AT 12" OC INTERMEDIATE.

12. ALL MOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY AND AT EXTERIOR AREAS SHALL BE PRESSURE TREATED.

13. LINTEL : AT MOOD WALL - USE 2- 2X 10 FOR UP TO 6 FT SPAN WITH MINIMUM 2 STUDS EACH END.

14. APPLICABLE CODE: INTERNATIONAL RESIDENTIAL CODE 2015

15. ALL ENERGY COMPONENTS SHALL MEET OR EXCEED MODEL ENERGY CODE REQUIREMENTS. AN ENERGY EVALUATION SHALL BE PERFORMED & SUBMITTED BY AN AUTHORIZED INSULATION OR ENERGY EVALUATION COMPANY.

16. ALL PLUMBING, ELECTRICAL AND HVAC WORK SHALL BE DONE BY LICENSED CONTRACTORS IN THEIR FIELD WITH SEPARATE PERMIT.

17. PROVIDE SMOKE DETECTORS IN BASEMENT, STAIR, BEDROOMS AND HALL. SMOKE DETECTORS ARE TO BE INTERCONNECTED WIRED TO POWER SOURCE AND WITH BATTERY BACK UP.

MATERIAL SYMBOLS

CONCRETE

STEEL

GRAVEL

RIGID INSULATION

BRICK

GRANITE

C.M.U.

CEMENT SETTING BED

EARTH

BATT INSULATION

ABBREVIATIONS

ALUM.

ALUMINUM

AC.T.

ACOUSTICAL CEILING TILE

&

AND

@

AT

A.D.

AREA DRAIN

AVE.

AVENUE

BLDG.

BUILDING

CONC.

CONCRETE

C.M.U.

CONCRETE MASONRY WALL

CONT.

CONTINUOUS

DEM.

DEMOLITION, DEMOLISH

S.B.O.

SELECTION BY OWNER

DIA (Ø)

DIAMETER

DWS.

DRAWING

ELEC.

ELECTRICAL

ELEV.

ELEVATION

EQ.

EQUAL

EXIST.

EXISTING

EXP.

EXPANSION

EXP. JT.

EXPANSION JOINT

GALV.

GALVANIZED

GYP. BD.

GYPSPUM BOARD

MARB.

MARBLE

R AS R

RISE AS REQUIRED

INSUL.

INSULATION

JT.

JOINT

MTL.

METAL

MIN.

MINIMUM

N.

NORTH

NIC.

NOT IN CONTRACT

O.C.

ON CENTER (S)

OPT.

OPPOSITE

REINF.

REINFORCED (METAL)

P.L.

PLASTIC LAMINATE

RT.

ROUTE

SHT

SHEET

SIM.

SIMILAR

S.S.

STAINLESS STEEL

STL.

STEEL

ST.

STREET

STRUCT.

STRUCTURE (AL)

TME.

TO MATCH EXISTING

TYP.

TYPICAL

W.

WEST

WV

WITH

VIF.

VERIFY IN FIELD

TBS.

TO BE SELECTED

STF.

SELECTION TO FOLLOW

SITE PLAN 1/8"=1'-0"

SITE PLAN 3/16"=1'-0"

PROJECT CODE ANALYSIS

LOCATION : WASHINGTON DC

GOVERNING CODE BOOKS : IRC 2015

CONSTRUCTION CLASSIFICATION : SINGLE FAMILY ATTACHED

EXISTING LOT SIZE 1440 SF 15' X 96'

EXISTING FLOOR AREA SF

BASEMENT (IF APPLICABLE) =

1st FLOOR =

2nd FLOOR

1/2 STORY (IF APPLICABLE) =

TOTAL FLOOR AREA OF EXISTING =

DEMOLISHED FLOOR AREA SF

BASEMENT (IF APPLICABLE) =

1st FLOOR =

2nd FLOOR

1/2 STORY (IF APPLICABLE) =

TOTAL FLOOR AREA DEMOLISHED =

ADDITION FLOOR AREA SF

BASEMENT (IF APPLICABLE) =

1st FLOOR =

2nd FLOOR

TOTAL FLOOR AREA ADDED =

VICINITY MAP

1653 34TH ST NW
LOT 24 SQ 1240

Georgetown Neighborhood Library
Temporarily closed.

Book Hill Park

ILS VISA

Wisconsin Ave
Takeout • Delivery

Leto Pizza
Takeout • Delivery

DC Urban Green Inc

Mattress Firm
Georgetown

Simply Banh Mi
Takeout

Ok! Bowl @ Georgetown

Farrell Advisory

Dent Place Market
Takeout

Tips On Trips & Camps

Addison/Ripley Fine Art
Temporarily closed

Used Books

Meridian Heat And Relaxation

African Union Representational...

AIR LEAKAGE

BUILDING THERMAL ENVELOPE.

THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CALKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH AND AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL.

1. ALL JOINTS, SEAMS AND PENETRATIONS.

2. SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS.

3. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.

4. UTILITY PENETRATIONS.

5. DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE.

6. KNEE WALLS.

7. WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES.

8. BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS.

9. COMMON WALLS BETWEEN DWELLING UNITS.

10. ATTIC ACCESS OPENINGS.

11. RIM JOIST JUNCTION.

12. OTHER SOURCES OF INFILTRATION.

CLIMATIC AND GEOGRAPHIC DESIGN PARAMETERS

GROUND SNOW LOAD: 30 psf

WIND SPEED: 115 mph

TOPOGRAPHIC EFFECTS: NO

SEISMIC DESIGN CATEGORY: B

WEATHERING: SEVERE

FROST LINE DEPTH: 30 inches (minimum)

TERMITES: MODERATE TO HEAVY

WINTER DESIGN TEMPERATURE: 13° F

FLOOD HAZARD: JULY 2, 1974

AIR FREEZING INDEX: 300

MEAN ANNUAL TEMPERATURE: 55° F

MINIMUM DESIGN LIVE VALUES

USE

LIVE LOAD

ATTICS WITHOUT STORAGE

10 PSF

ATTICS WITH LIMITED STORAGE

20

HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS

30

BALCONIES (EXTERIOR) AND DECKS

40

FIRE ESCAPES

40

GUARDRAILS AND HANDRAILS

200 h PLF

GUARDRAILS IN-FILL COMPONENTS

50 h PLF

PASSENGER VEHICLE GARAGES

50 a PLF

ROOMS OTHER THAN SLEEPING ROOM

40 PSF

SLEEPING ROOMS

30 PSF

STAIRS

40 c PSF

COVER PAGE

VICINITY MAP

SITE PLAN

ISSUED FOR PERMIT

DISTRICT OF COLUMBIA
AUGUST 1, 2020
N 5635
REGISTERED ARCHITECT

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A
DULY LICENSED ARCHITECT UNDER THE LAWS OF THE DISTRICT OF COLUMBIA.
LICENSE NUMBER: J0052655
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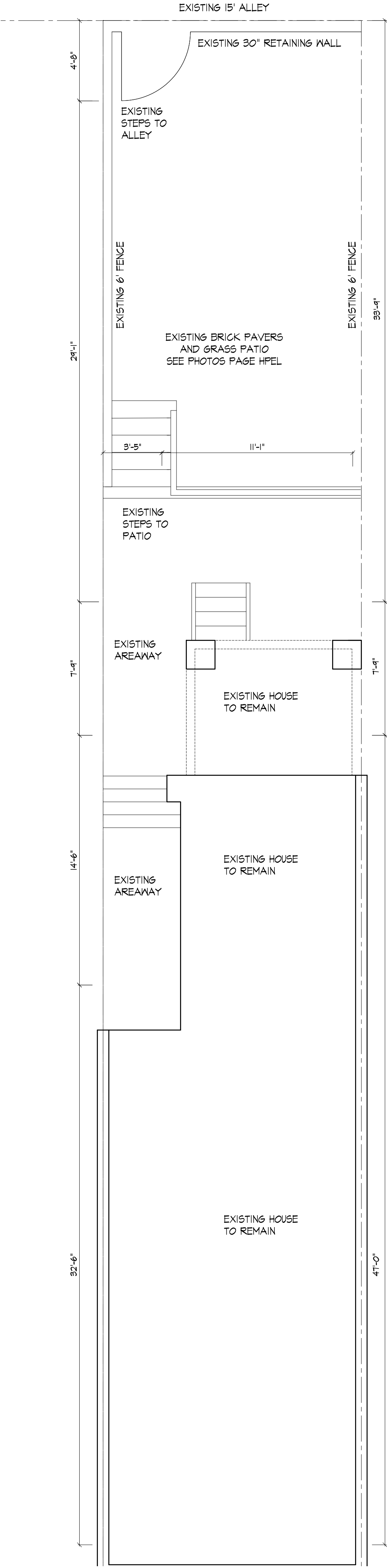
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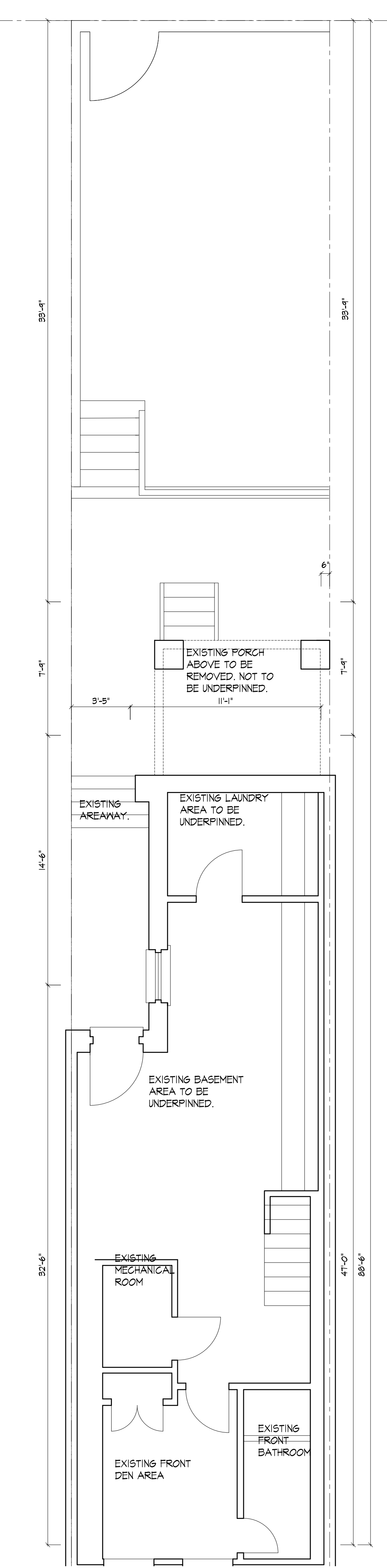
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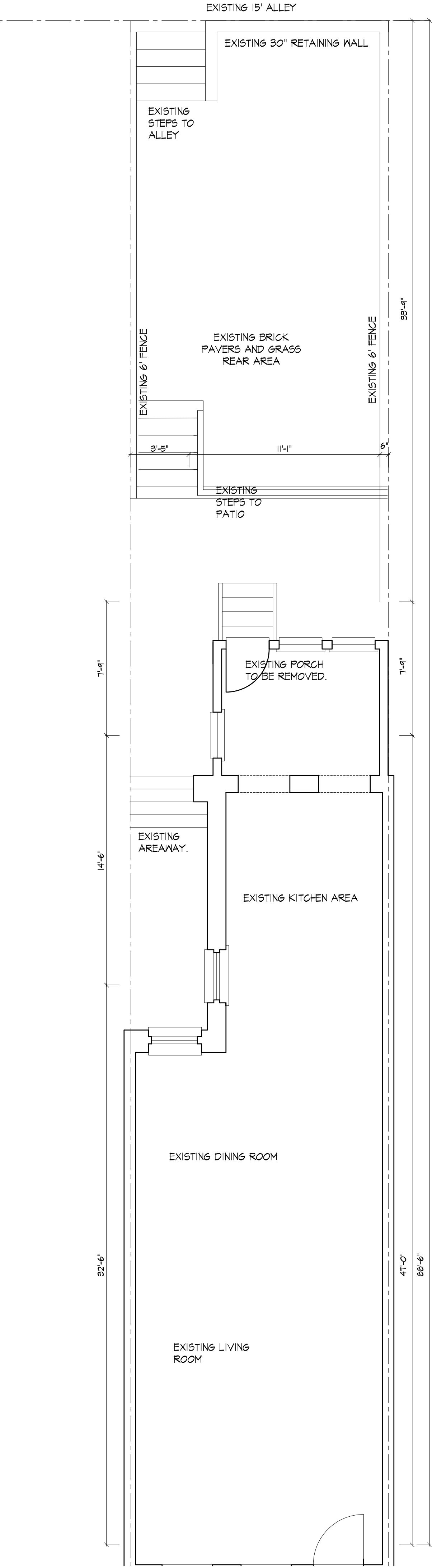
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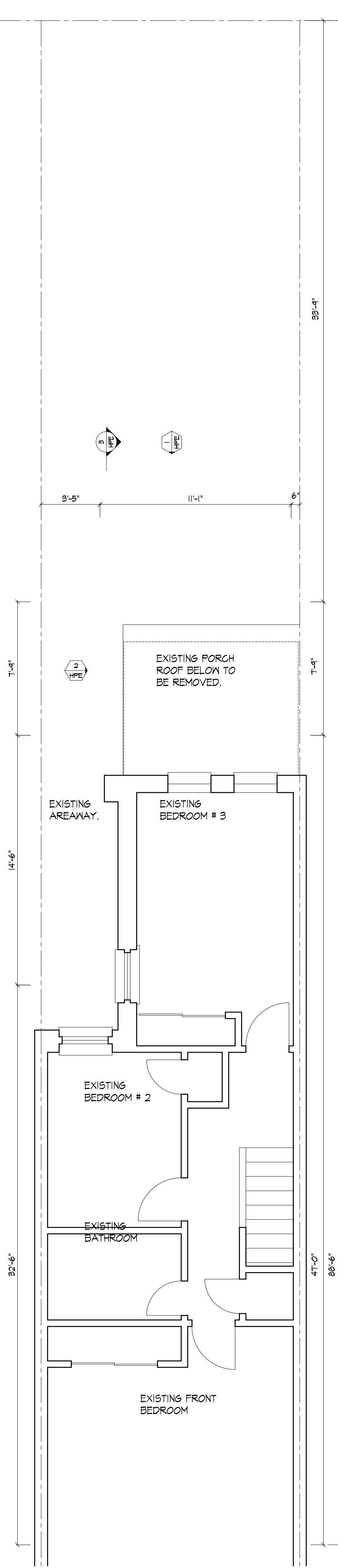
1 SITE PLAN EXISTING
HPEX SCALE 1/4"=1'-0"



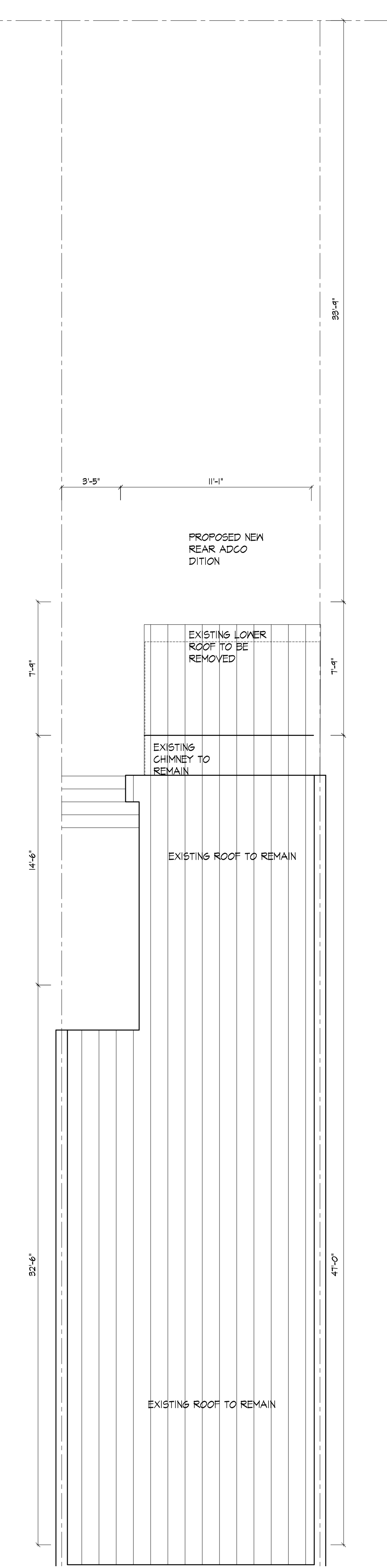
2 BASEMENT EXISTING
HPEX SCALE 1/4"=1'-0"



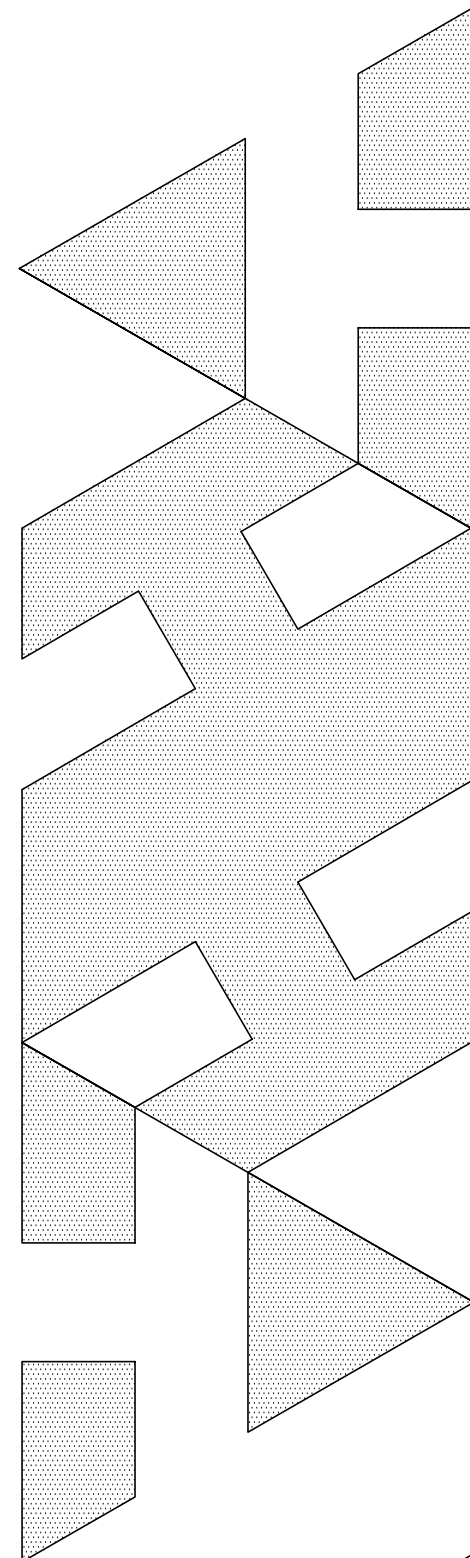
3 FIRST FLOOR EXISTING
HPEX SCALE 1/4"=1'-0"



4 SECOND FLOOR EXISTING
HPEX SCALE 1/4"=1'-0"



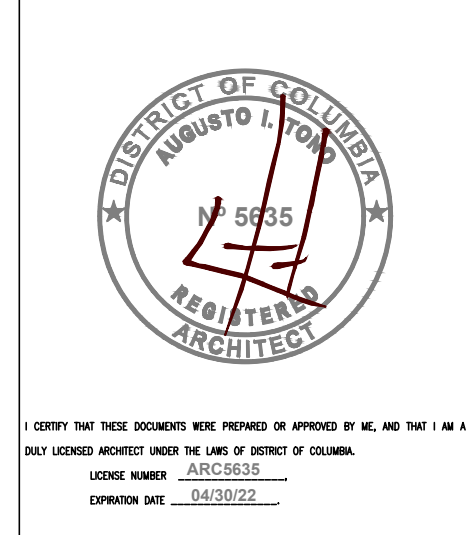
5 ROOF PLAN EXISTING
HPEX SCALE 1/4"=1'-0"



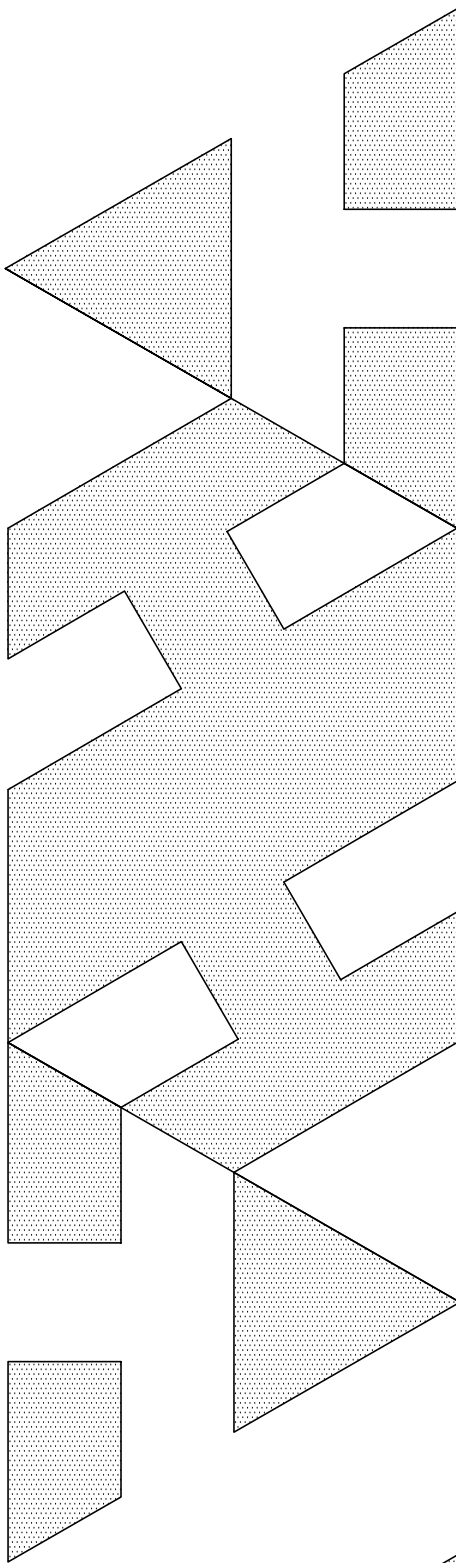
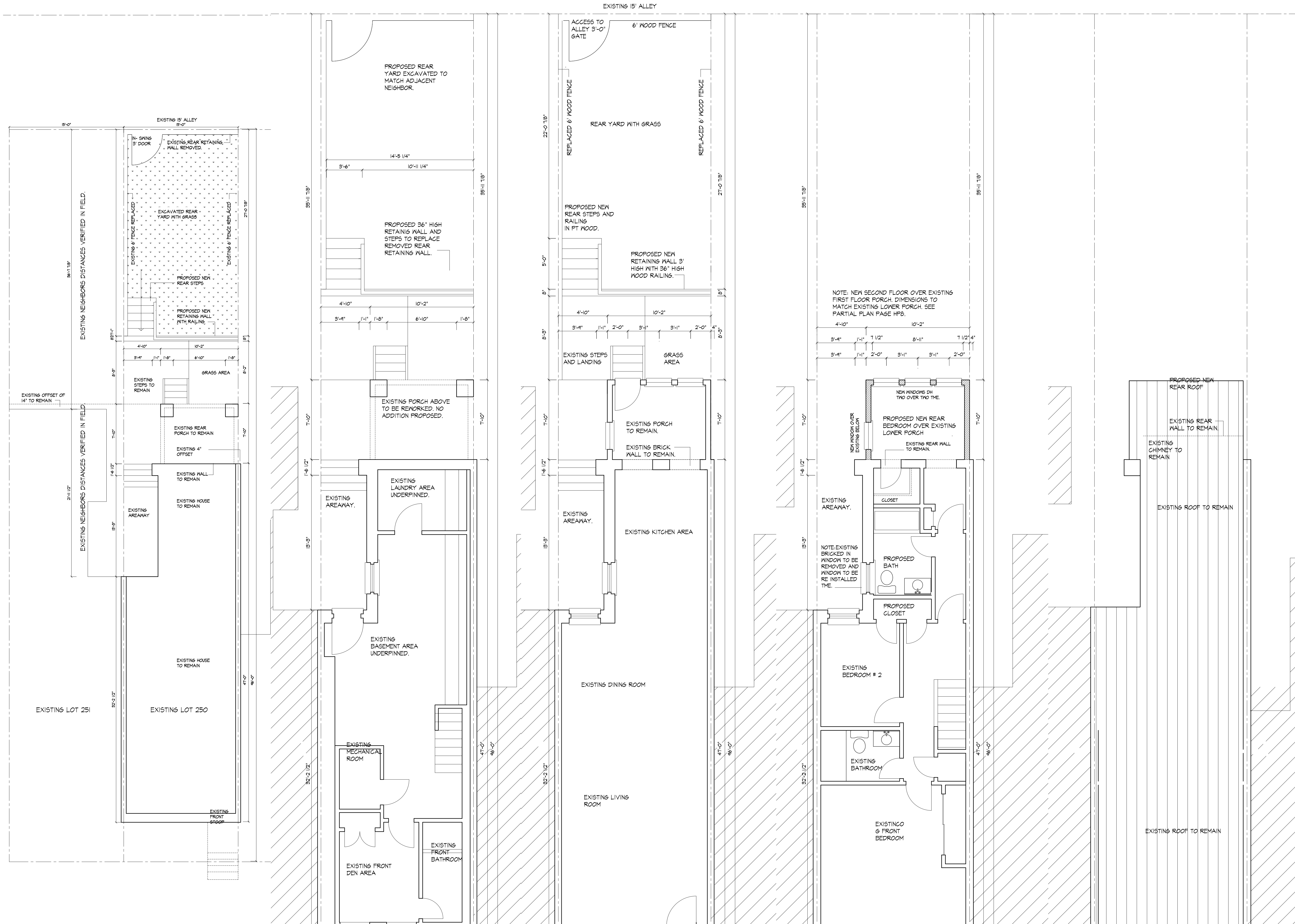
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E-MAIL: atono@architono.com

ADDITION REMODELING
TO AN EXISTING HOUSE
1653 34TH ST NW
WASHINGTON DC 20007

EXISTING PLANS	ISSUED FOR PERMIT
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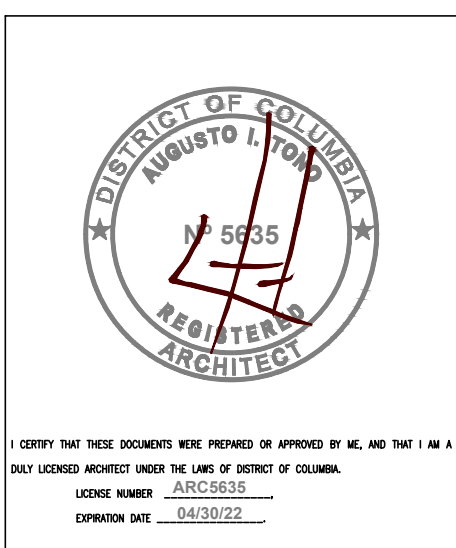
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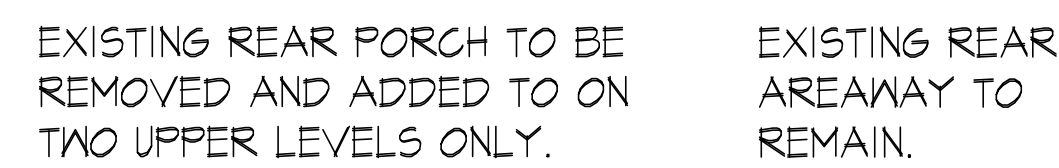
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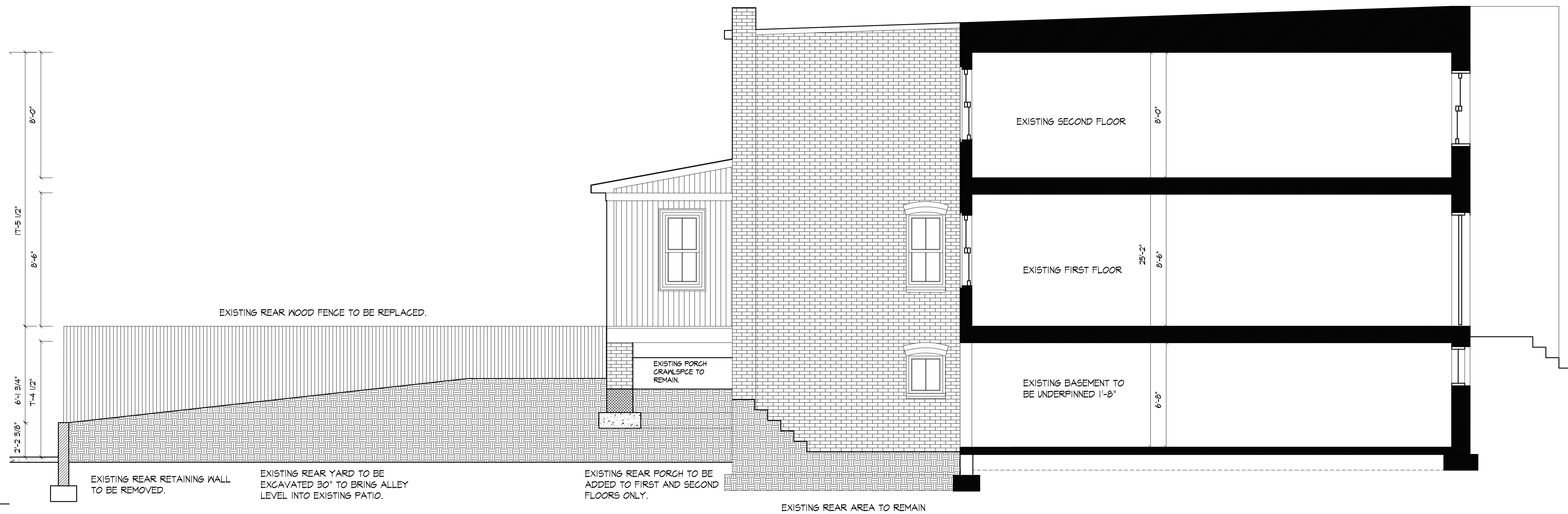
PROPOSED PLANS	ISSUED FOR PERMIT
SEE ALL HP DRAWINGS	
FOR ALL NEW WORK	



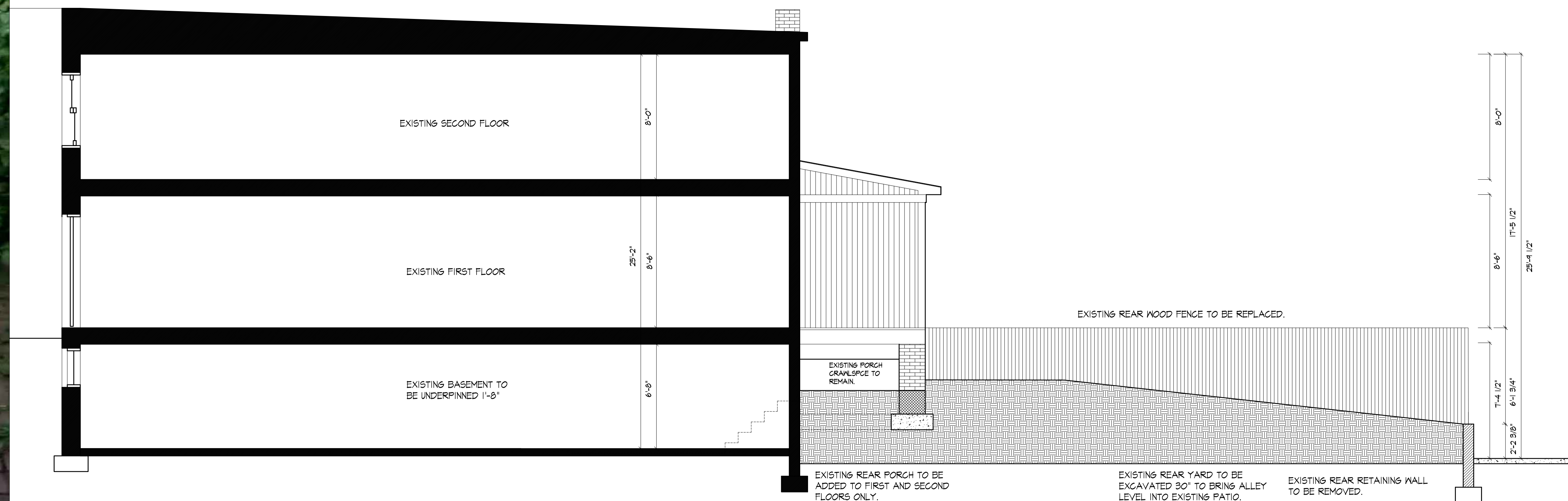
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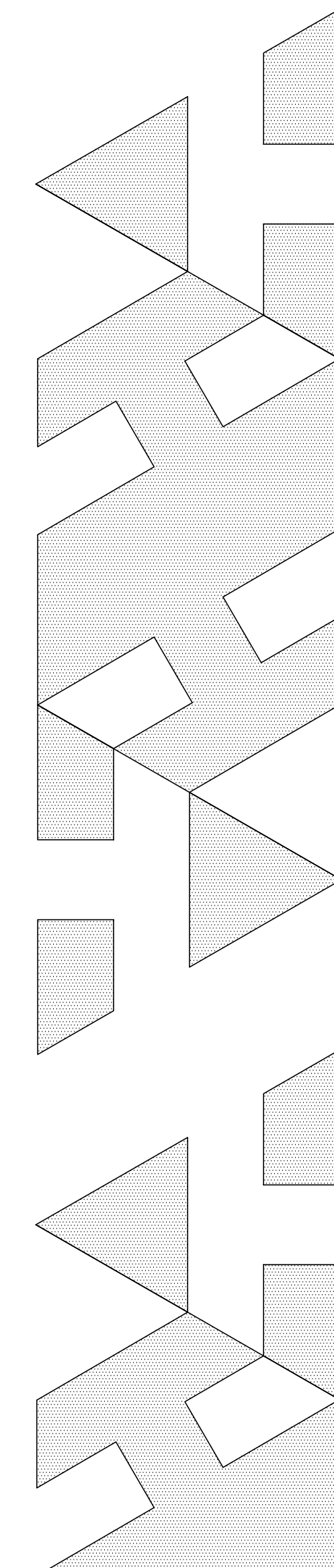
REAR ELEVATION EXISTING
SCALE 3/8" = 1'-0"



2 SIDE ELEVATION SECTION LEFT SIDE EXISTING
HPEL SCALE 1/4"=1'-0"



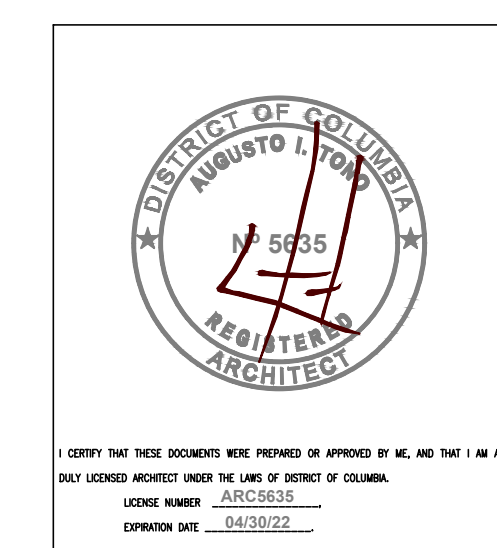
3 SIDE ELEVATION SECTION RIGHT SIDE EXISTING
HPEL SCALE 1/4"=1'-0"



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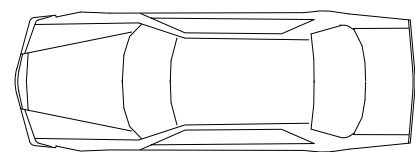
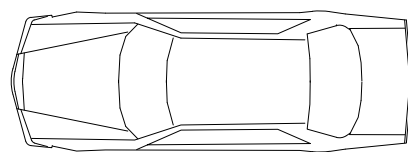
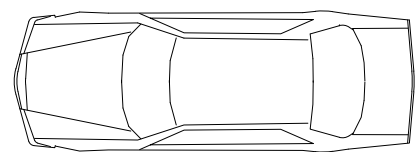
ADDITION REMODELING
TO AN EXISTING HOUSE
1653 34TH ST NW
WASHINGTON DC 20007

EXISTING CONDITIONS
ELEVATIONS
ISSUED FOR PERMIT



	DATE:
	SEPTEMBER 20
APPROVAL:	SHEET
	HPEL

34TH STREET NW



DENT PL NW

LOT 288

LOT 287

LOT 286

LOT 285

LOT 246

LOT 247

LOT 248

LOT 250
SQ 1290

LOT 251

LOT 252

LOT 253

LOT 254

LOT 301

ACCESS
TO LOWER
LEVEL

EXISTING
BRICK WALL
TO REMAIN

EXISTING
REAR PORCH

GRASS
AREA

EXISTING
LANDING

NEW 36"
RETAINING WALL,
AND STEPS.

REAR YARD IN
GRASS.

EXISTING 30"
HIGH RETAINING
WALL REMOVED.

NEW REAR 3'
DOOR.

EXISTING NEIGHBORS
HOUSE LOCATION
VERIFIED DISTANCE
1'-2" FROM EXISTING
REAR PORCH.

EXISTING 15' ALLEY

SEE PAGE HP6
FOR DIMENSIONS

LOT 283

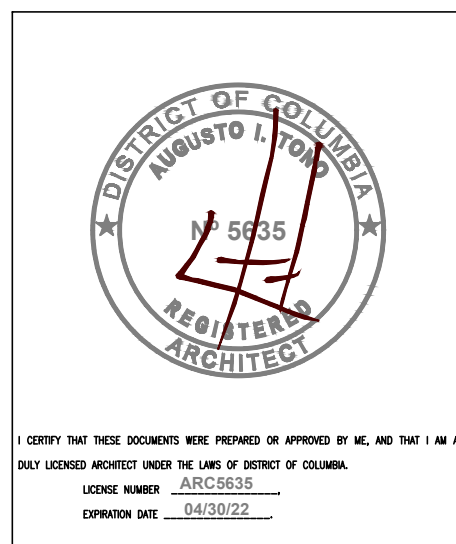
LOT 282

NORTH

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ADDITION REMODELING
TO AN EXISTING HOUSE
1653 34TH ST NW
WASHINGTON DC 20007

SITE PLAN CONTEXTUAL						ISSUED FOR PERMIT
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APPROVAL: SHEET	
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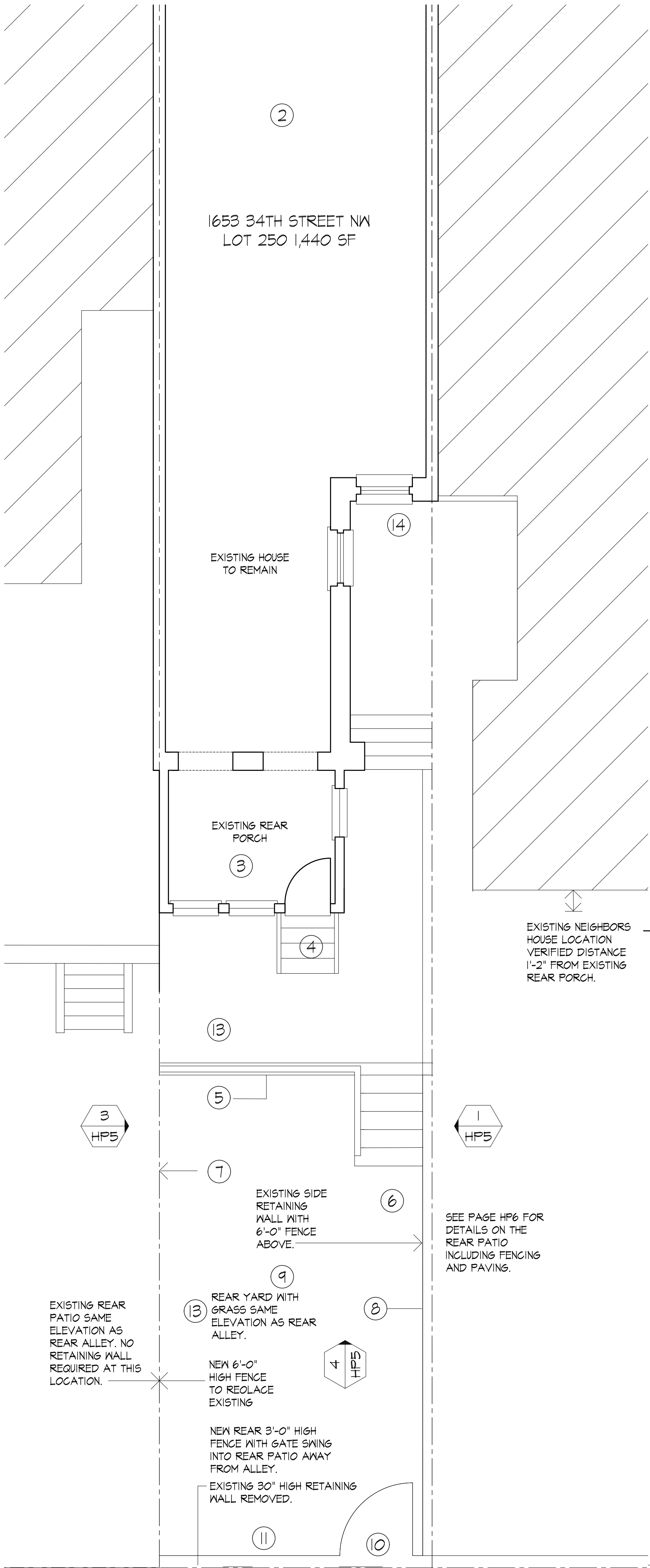
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SITE PLAN CONTEXTUAL

SCALE 1/8"=1'-0"



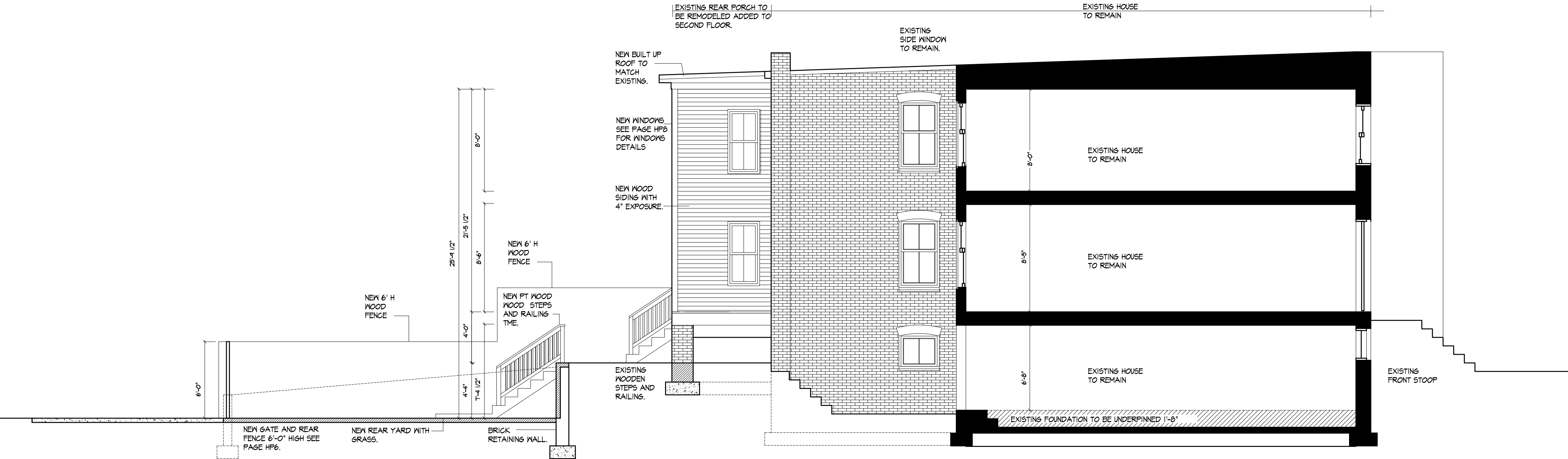
1 SITE PLAN PARTIAL

SCALE 1/4"=1'-0"

- EXISTING MAIN ENTRY AND FRONT STOOP.
- EXISTING HOUSE TO REMAIN.
- EXISTING REAR PORCH TO REMAIN.
- REAR STEPS TO REMAIN.
- RETAINING WALL 3'-0" HIGH WITH 36" HIGH RAIL.
- NEW WOOD PT STEPS TO LOWER PATIO .
- EXISTING 6'-0" FENCE REWORKED.
- EXISTING 6'-0" FENCE OVER RETAINING WALL.
- LOWERED REAR YARD BY 3'-0"
- NEW IN SWING 3'-0" DOOR.
- REAR EXISTING RETAINING WALL AND FENCE TO BE REMOVED
- EXISTING REAR ALLEY. NEW LOWER REAR YARD TO MAINTAIN SAME ELEVATION.
- PROPOSED GRASS AREA.
- EXISTING REAR ENTRY INTO BASEMENT.

2 SITE NOTES

SCALE N.T.S.



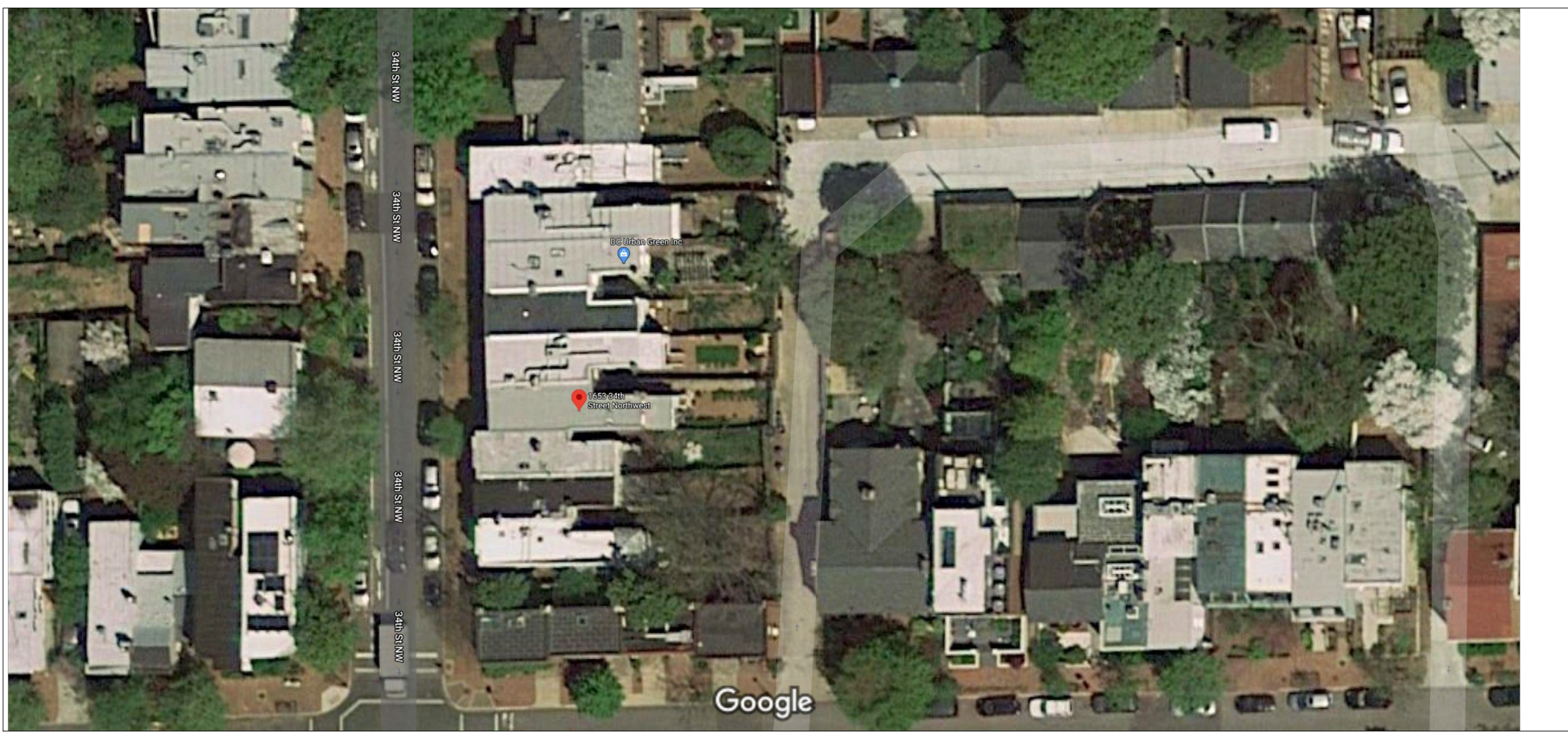
4 SITE SECTION FRONT TO REAR

SCALE 3/16"=1'-0"



5 REAR CONTEXTUAL ELEVATION FROM ALLEY

SCALE 1/4"=1'-0"



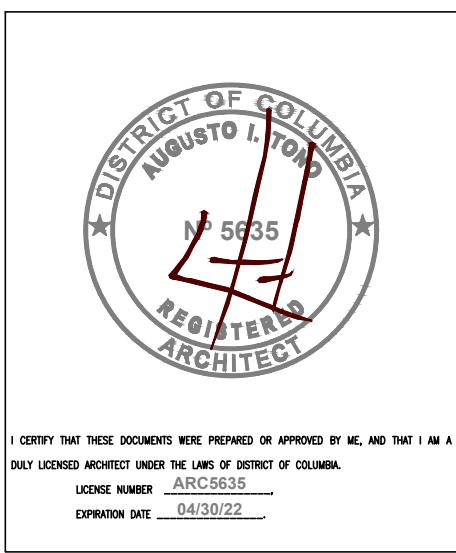
3 SITE OVERHEAD VIEW

SCALE N.T.S.

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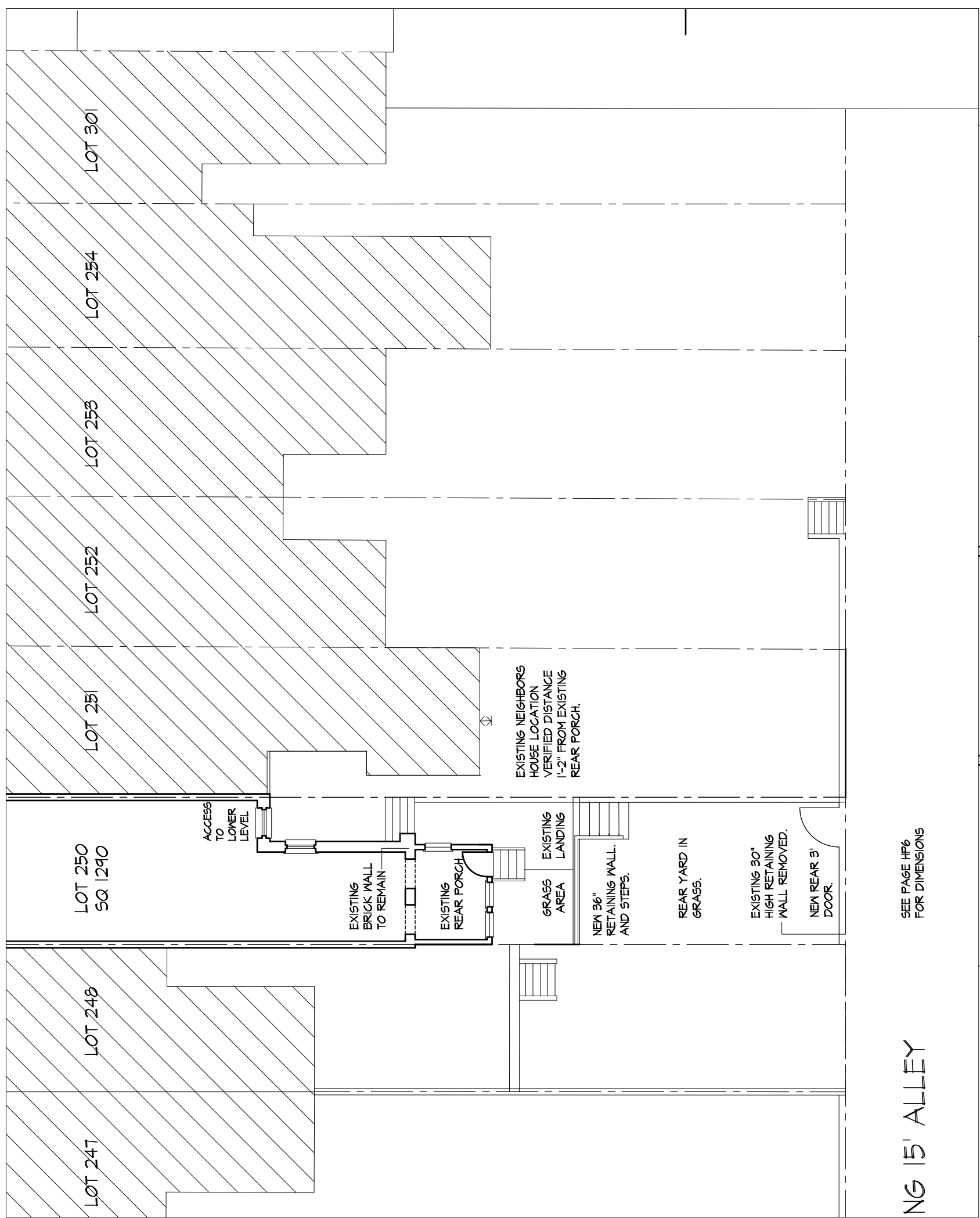
ADDITION REMODELING
TO AN EXISTING HOUSE
1653 34TH ST NW
WASHINGTON DC 20007

SITE PLAN PARTIAL
SITE PLAN NOTES
SITE SECTION
REAR ELEVATION
OVERHEAD SITE VIEW
ISSUED FOR PERMIT

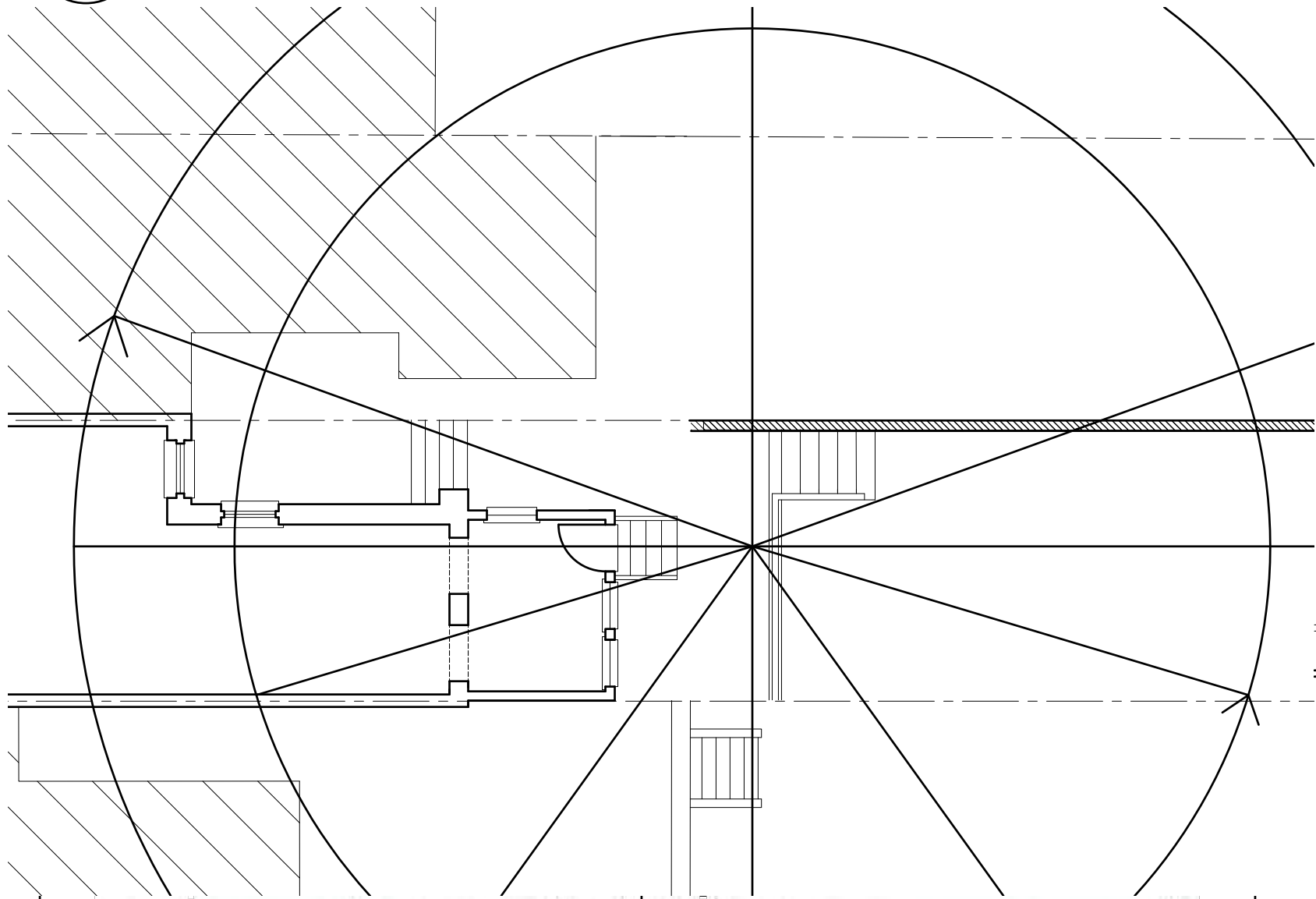


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APPROVAL:	SHEET
HP2	

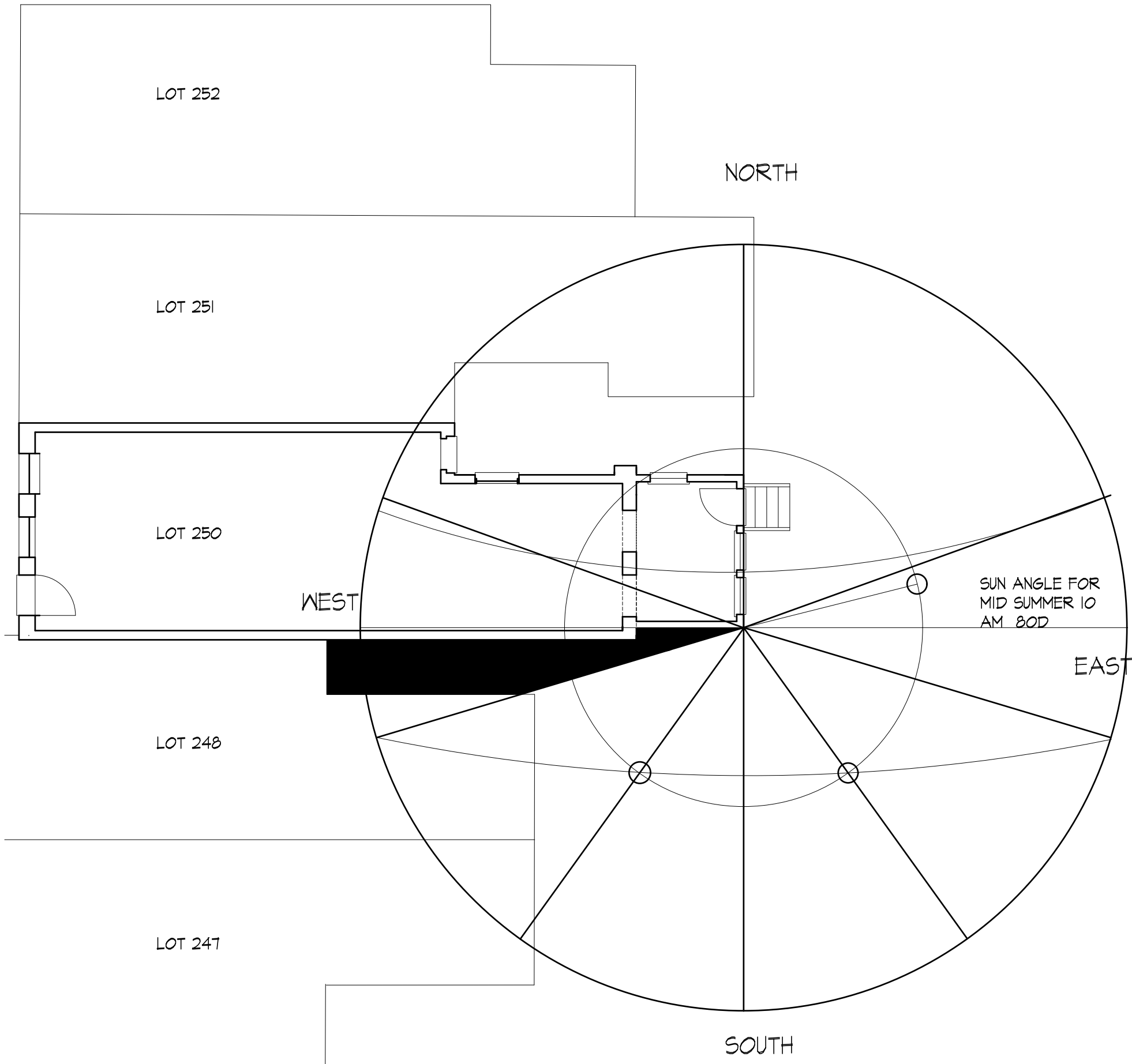
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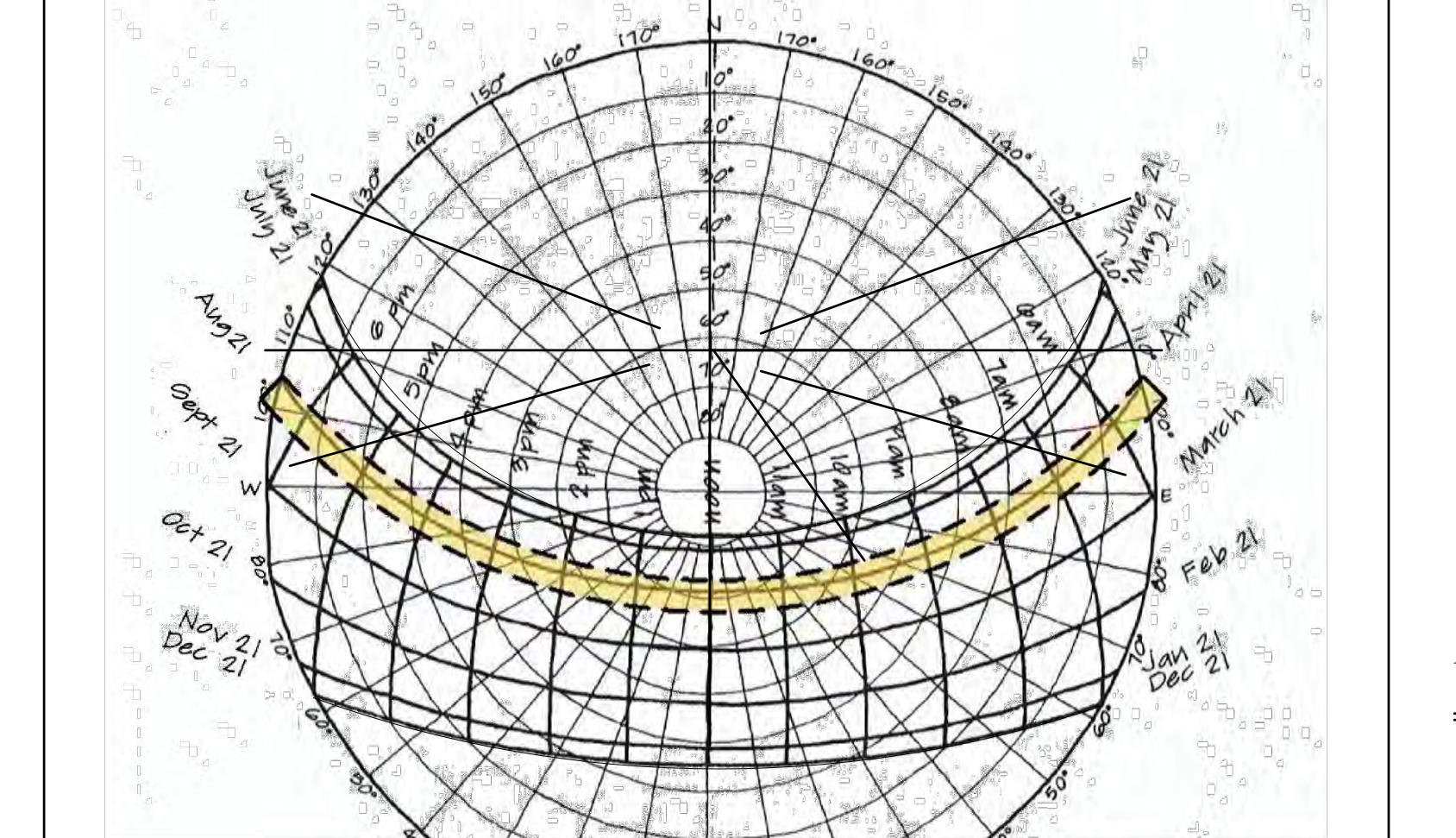
1 SITE PLAN WITH REAR ADDITION
HP3 SCALE 1/8"=1'-0"



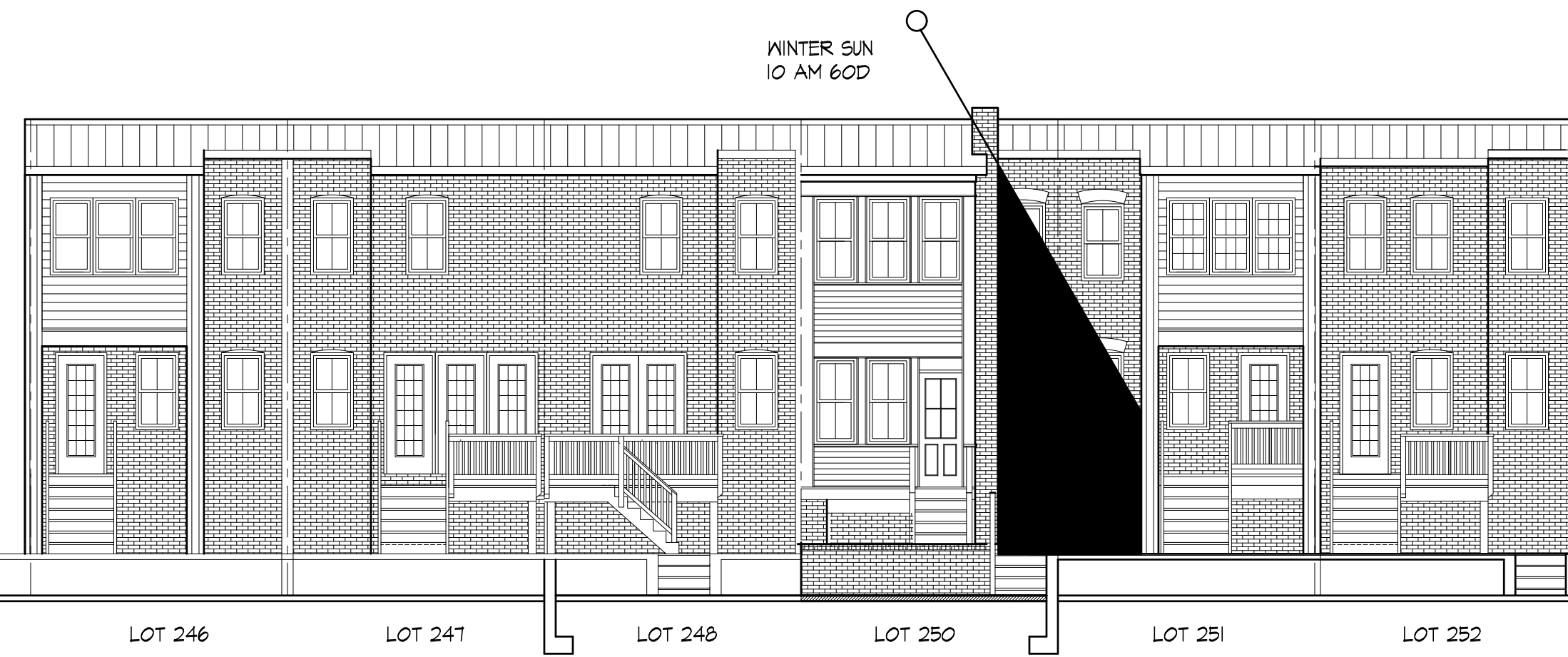
2 SITE PLAN WITH WINTER SHADOWS
HP3 SCALE 1/8"=1'-0"



3 SITE PLAN WITH SUMMER SHADOWS
HP3 SCALE 1/8"=1'-0"



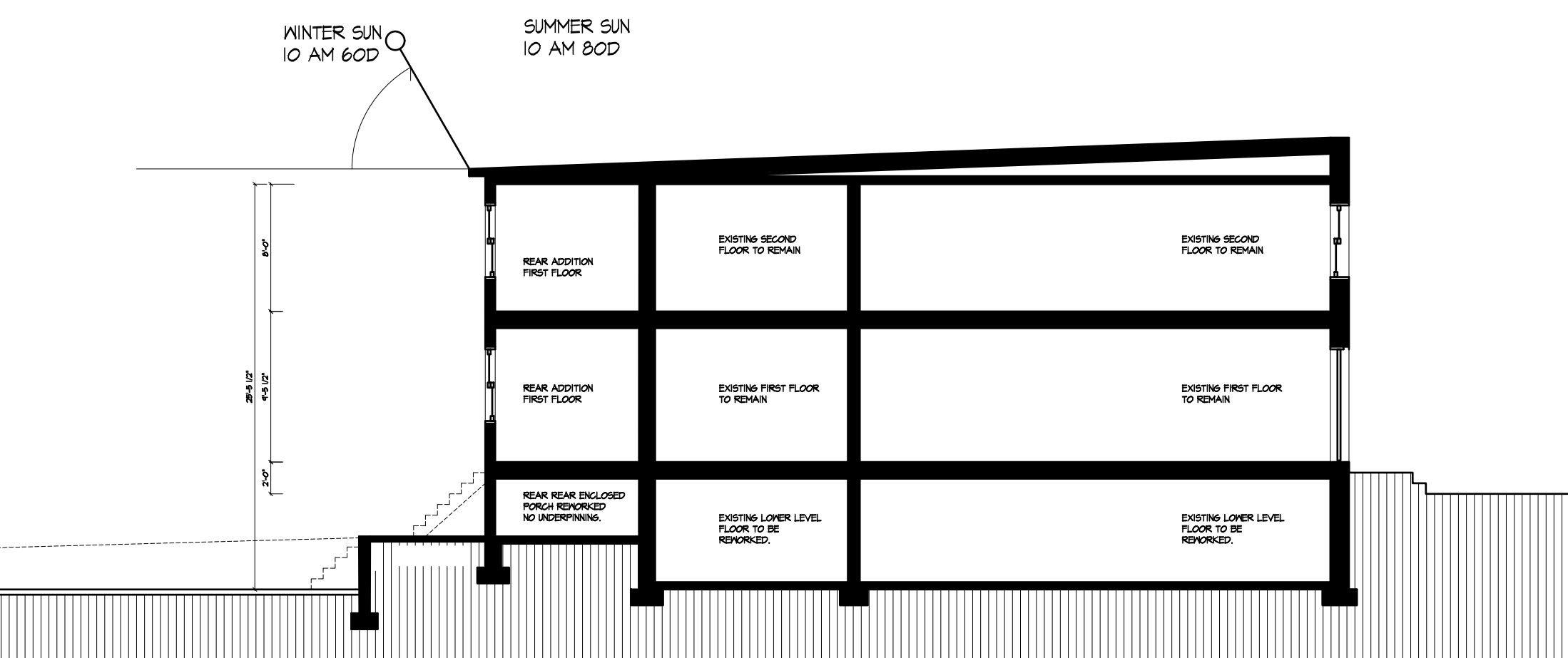
4 SITE OVERVIEW AND SUN DIAGRAM
HP3 SCALE N.T.S.



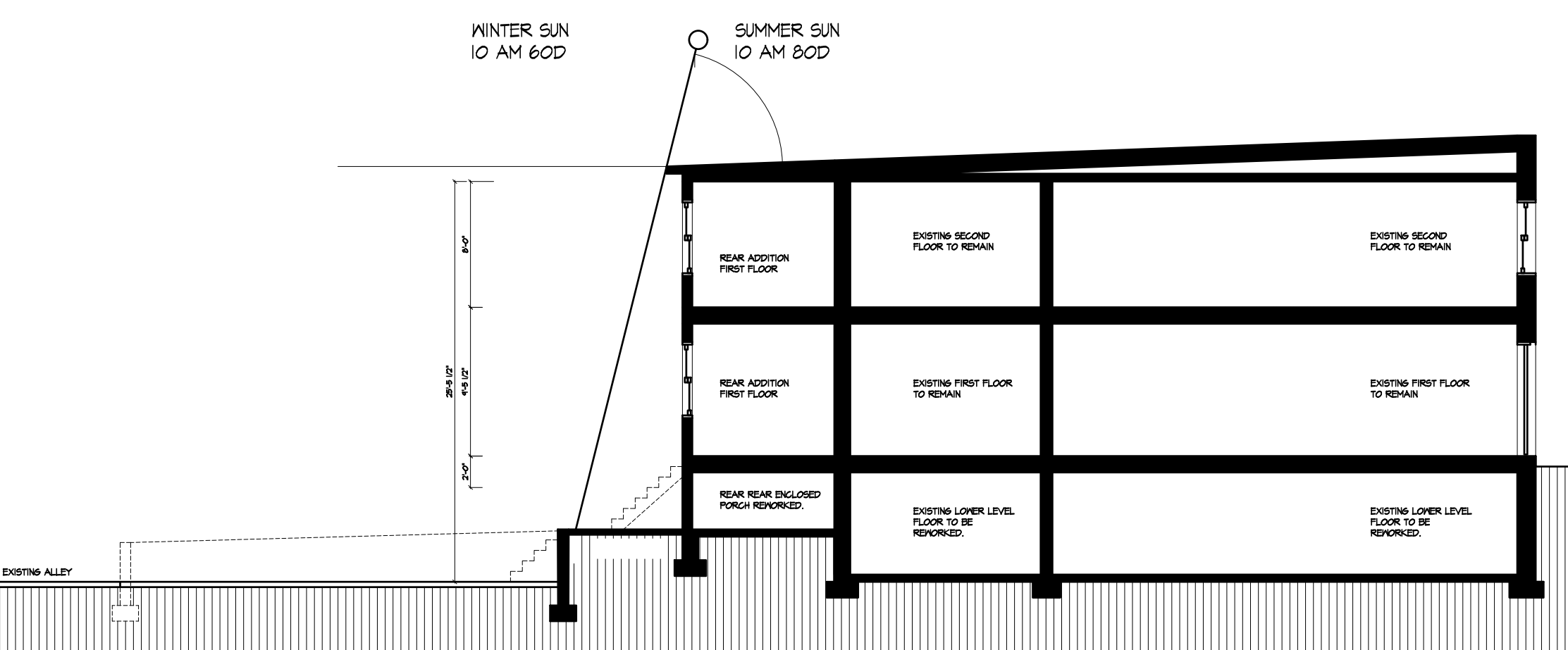
5 ELEVATION STUDY WINTER
HP3 SCALE 1/8"=1'-0"



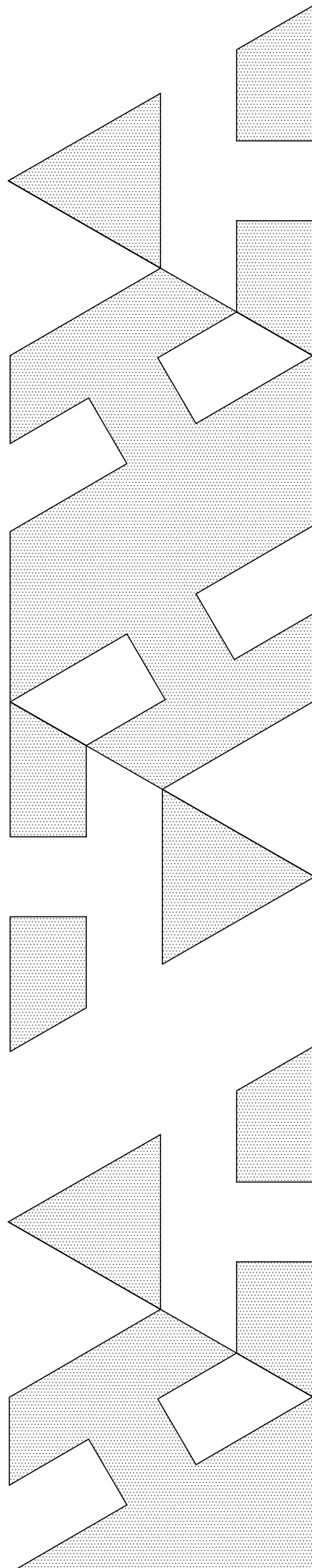
6 ELEVATION STUDY SUMMER
HP3 SCALE 1/8"=1'-0"



7 SECTION STUDY WINTER
HP3 SCALE 1/8"=1'-0"



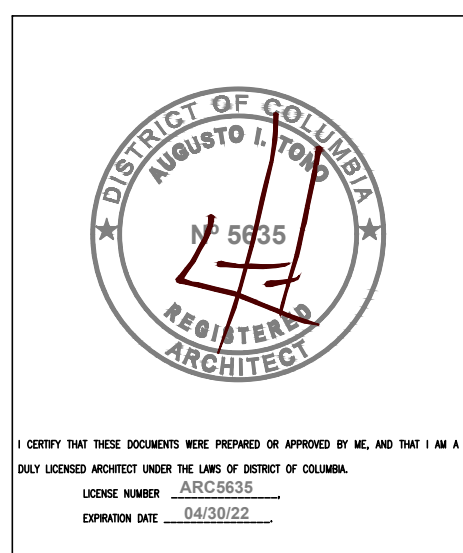
8 SECTION STUDY SUMMER
HP3 SCALE 1/8"=1'-0"



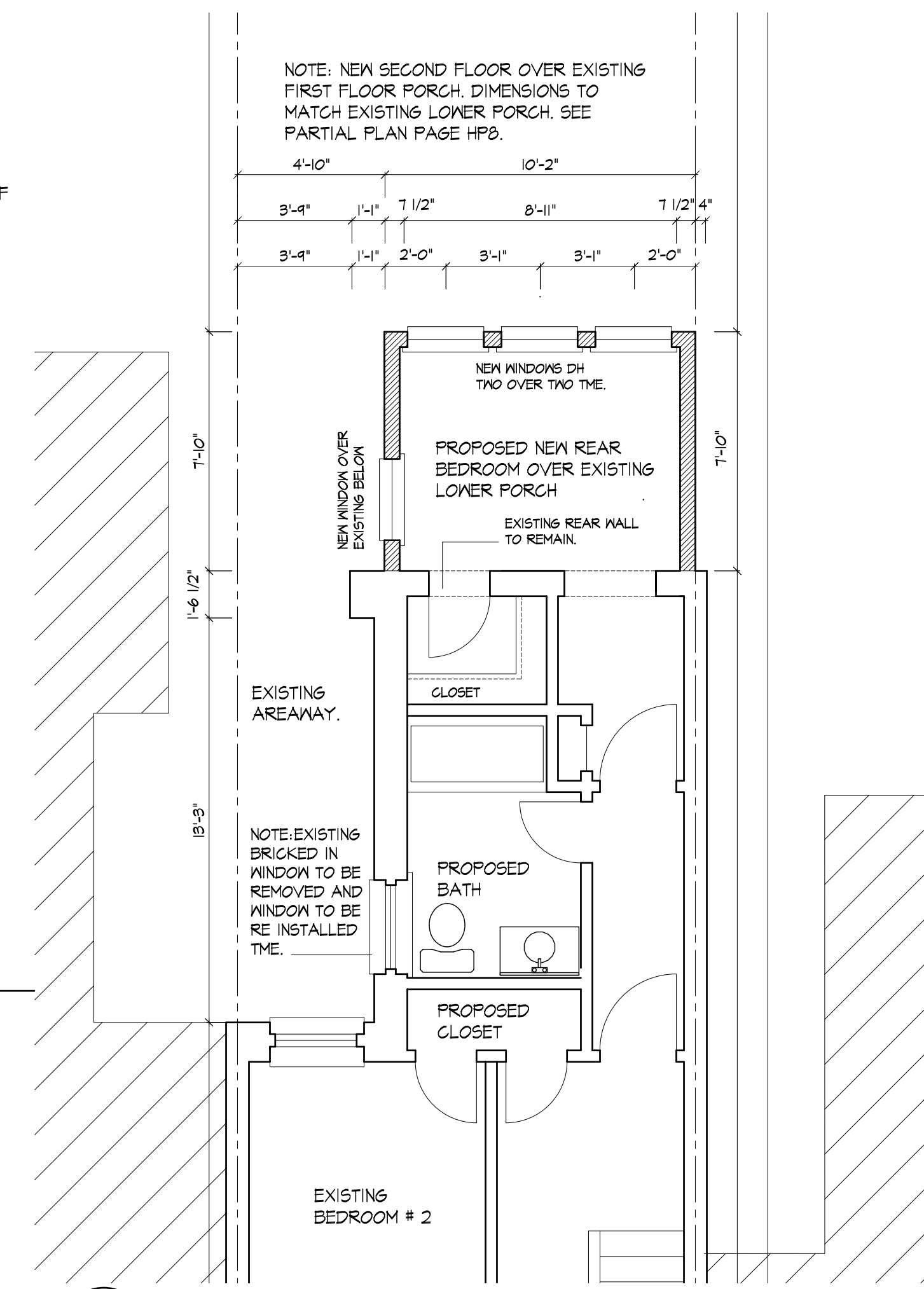
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PHONE 301 424 6140
WEB PAGE: www.architono.com
E-MAIL: atono@architono.com

ADDITION REMODELING
TO AN EXISTING HOUSE
1653 34TH ST NW
WASHINGTON DC 20007

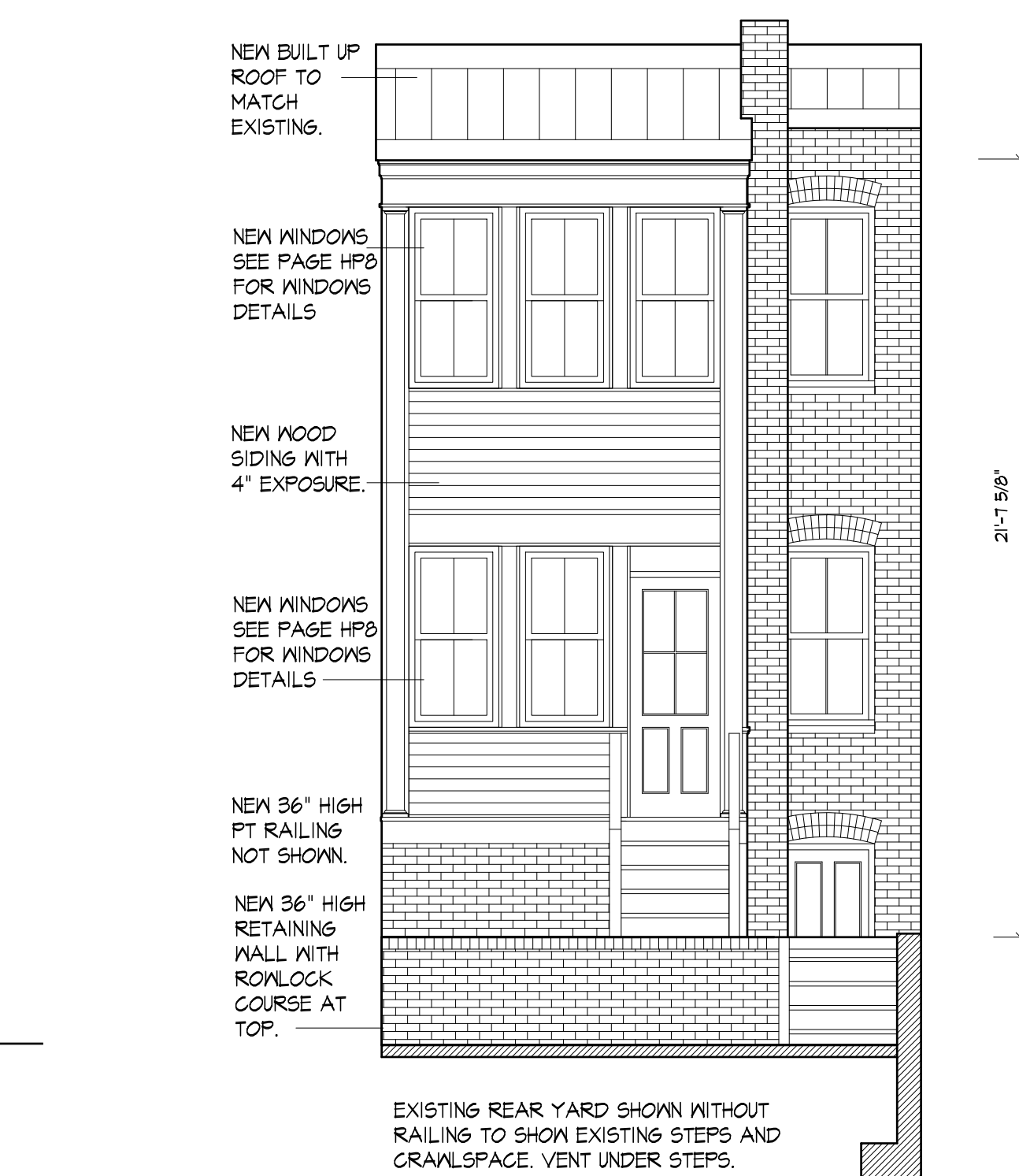
SUN ANGLE STUDY
SUN PATH WASH DC
SHADOW DIAGRAMS
REAR ELEVATION
OVERHEAD SITE VIEW
ISSUED FOR PERMIT



DATE:	SEPTEMBER 20
APPROVAL:	SHEET
	HP3
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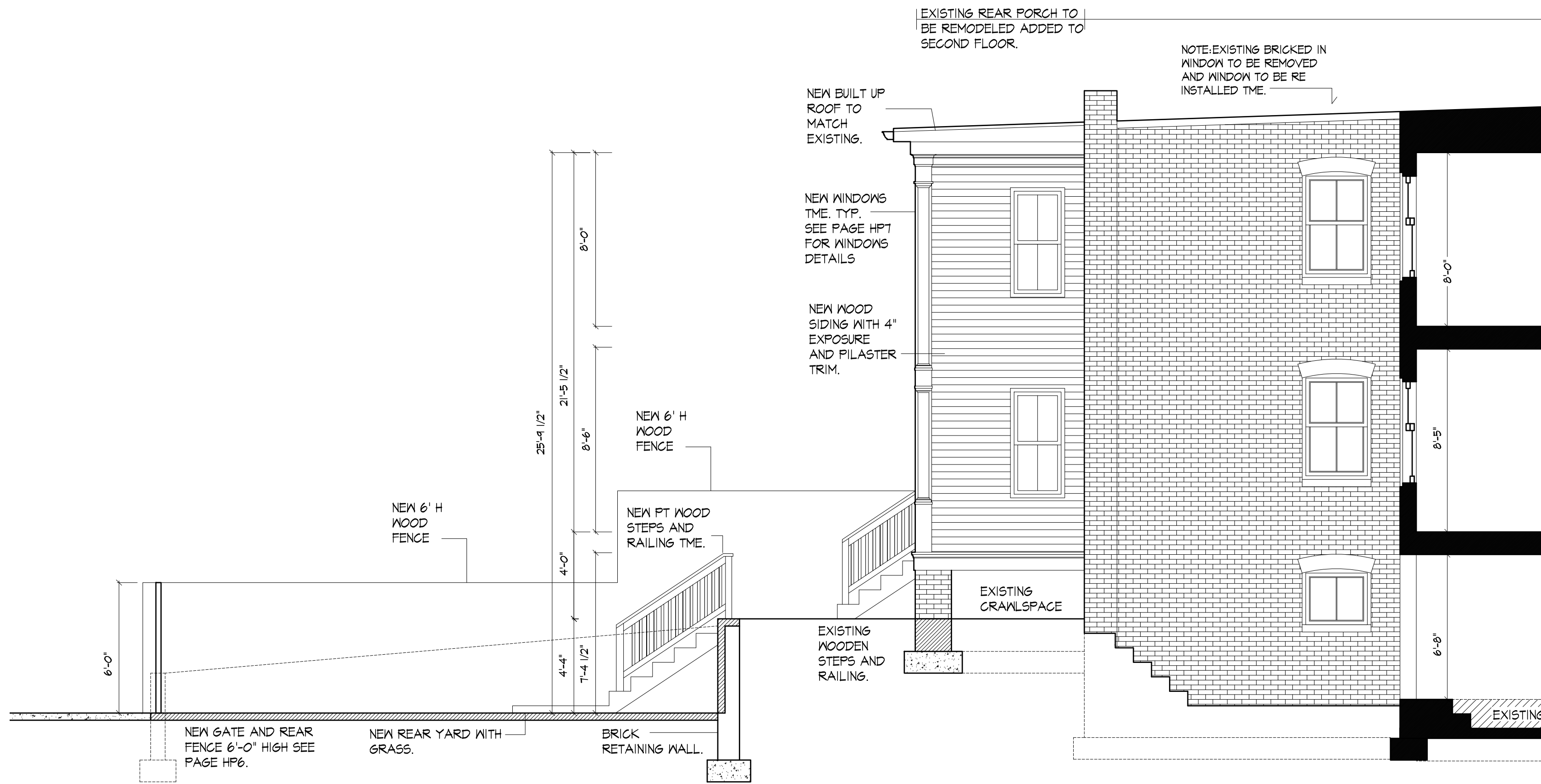


3 PARTIAL SECOND FLOOR PLAN OPTION ONE
HP5A SCALE 1/4" = 1'-0"

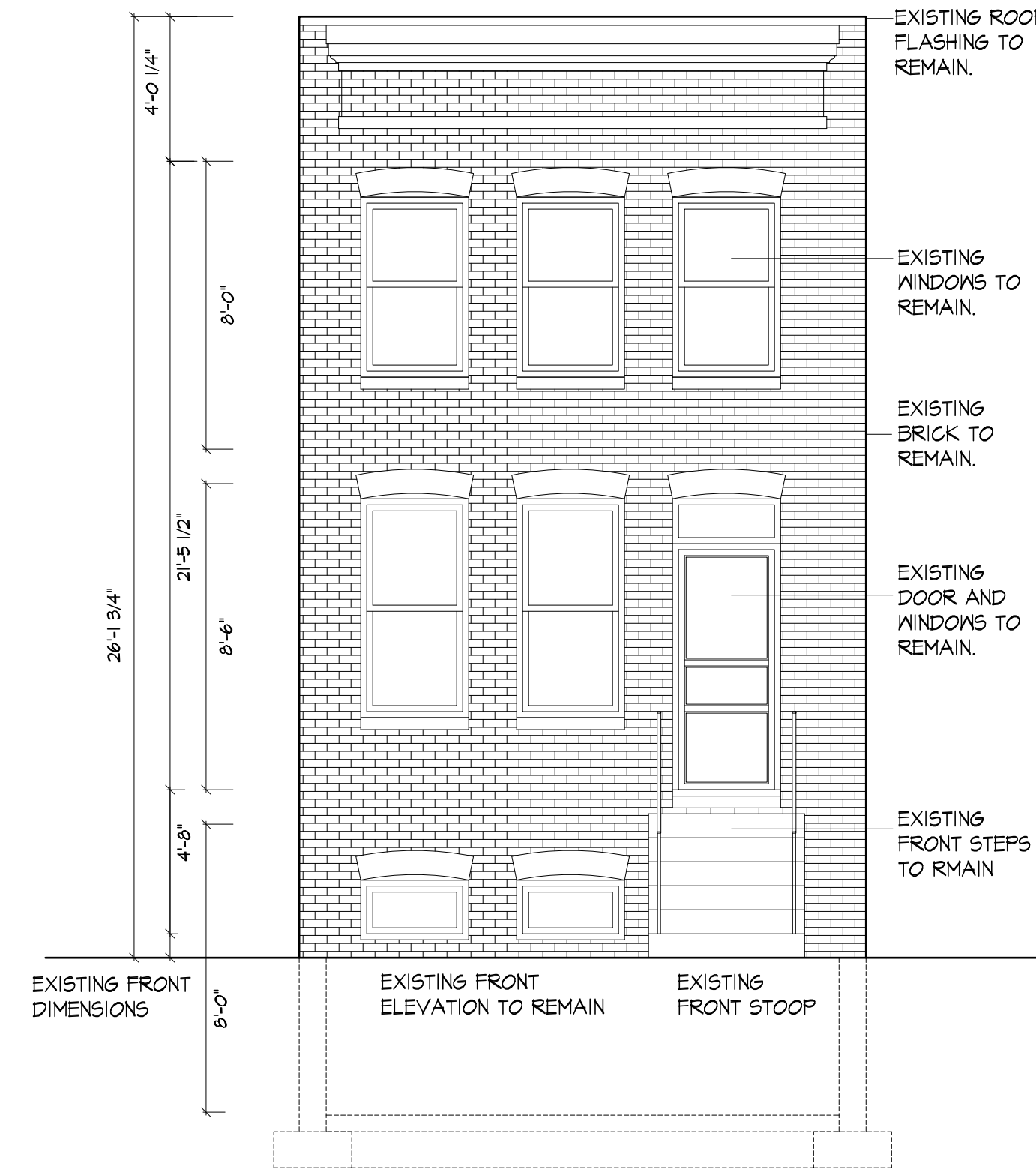


7 REAR ELEVATION IN FILLED CRAWLSPACE
HP5A SCALE 1/4" = 1'-0" ALL OPTIONS

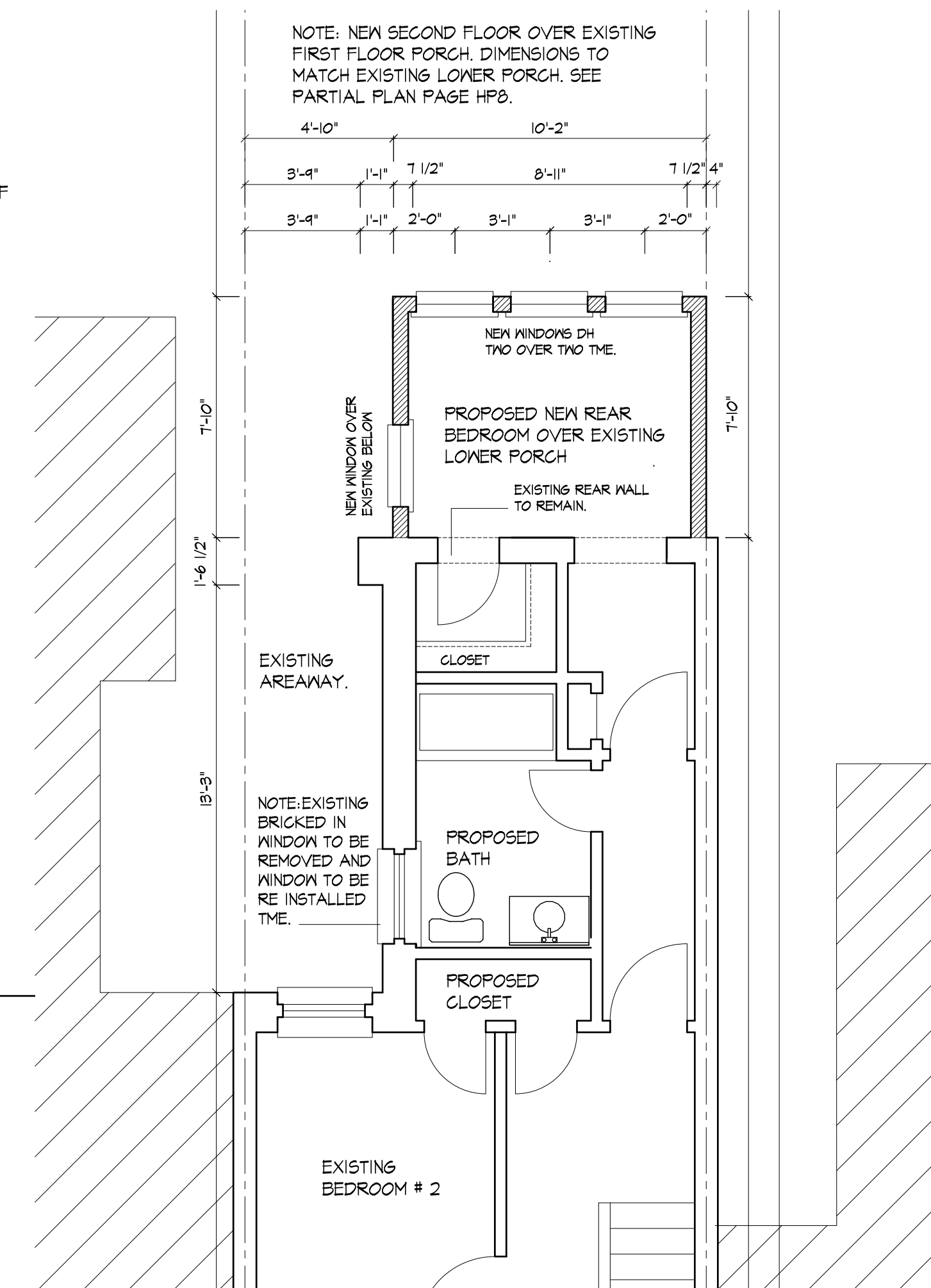
	DATE:
	SEPTEMBER 20
APPROVAL:	SHEET
	HP5A



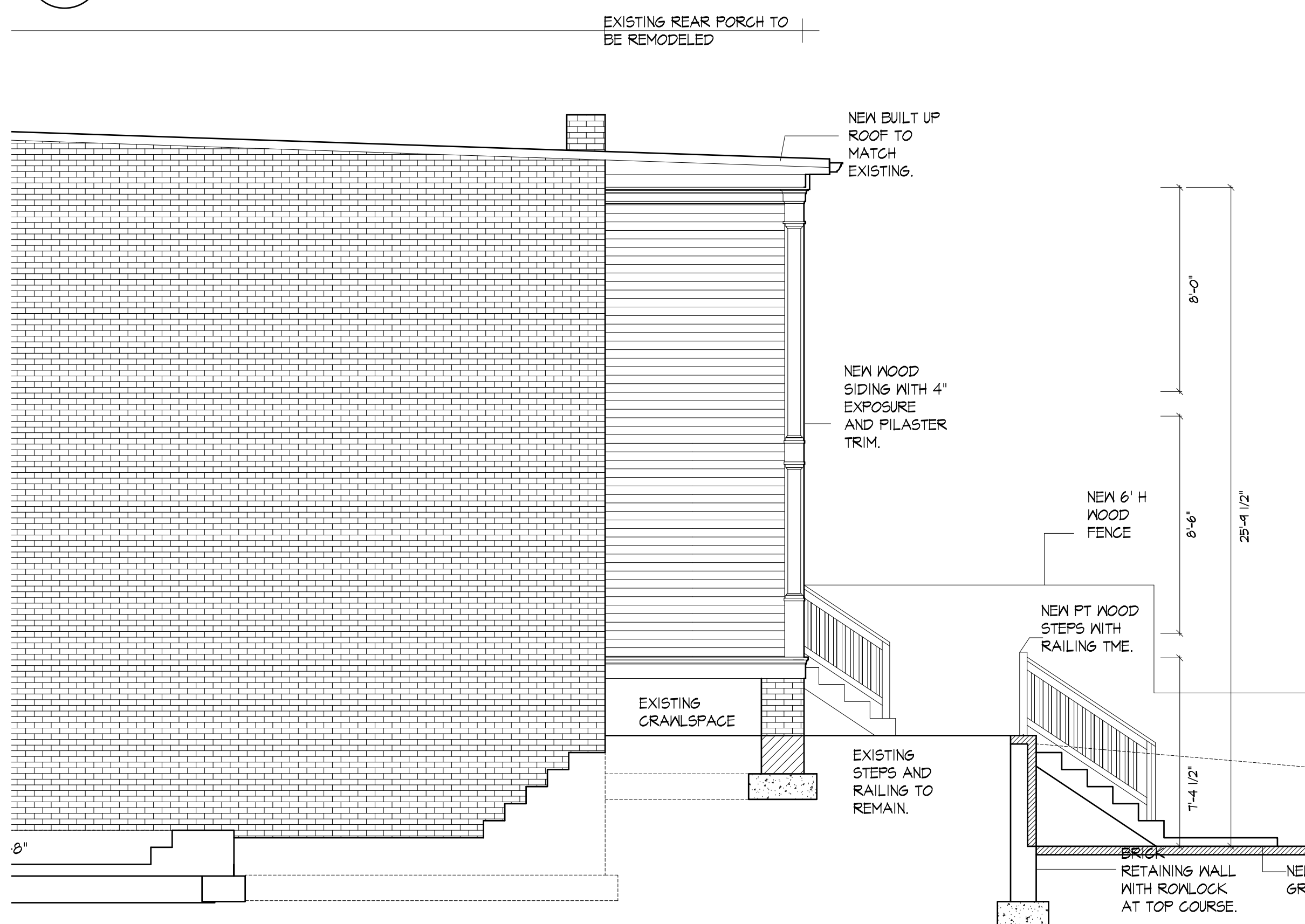
1 SIDE ELEVATION | OPTION ONE A
HP5A | SCALE 1/4"=1'-0"



2 FRONT ELEVATION
HP5A | SCALE 1/4"=1'-0"



3 PARTIAL SECOND FLOOR PLAN OPTION ONE A
HP5A | SCALE 1/4"=1'-0"



4 SIDE ELEVATION | OPTION 1A
HP5A | SCALE 1/4"=1'-0"



6 REAR ELEVATION NO RETAINING WALL RAILING
HP5A | SCALE 1/4"=1'-0"



6 REAR ELEVATION NO RETAINING WALL RAILING
HP5A | SCALE 1/4"=1'-0"

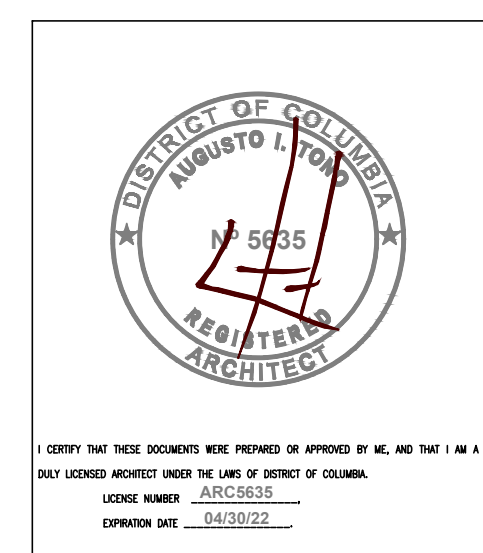


7 REAR ELEVATION IN FILLED CRAWLSPACE
HP5A | SCALE 1/4"=1'-0"

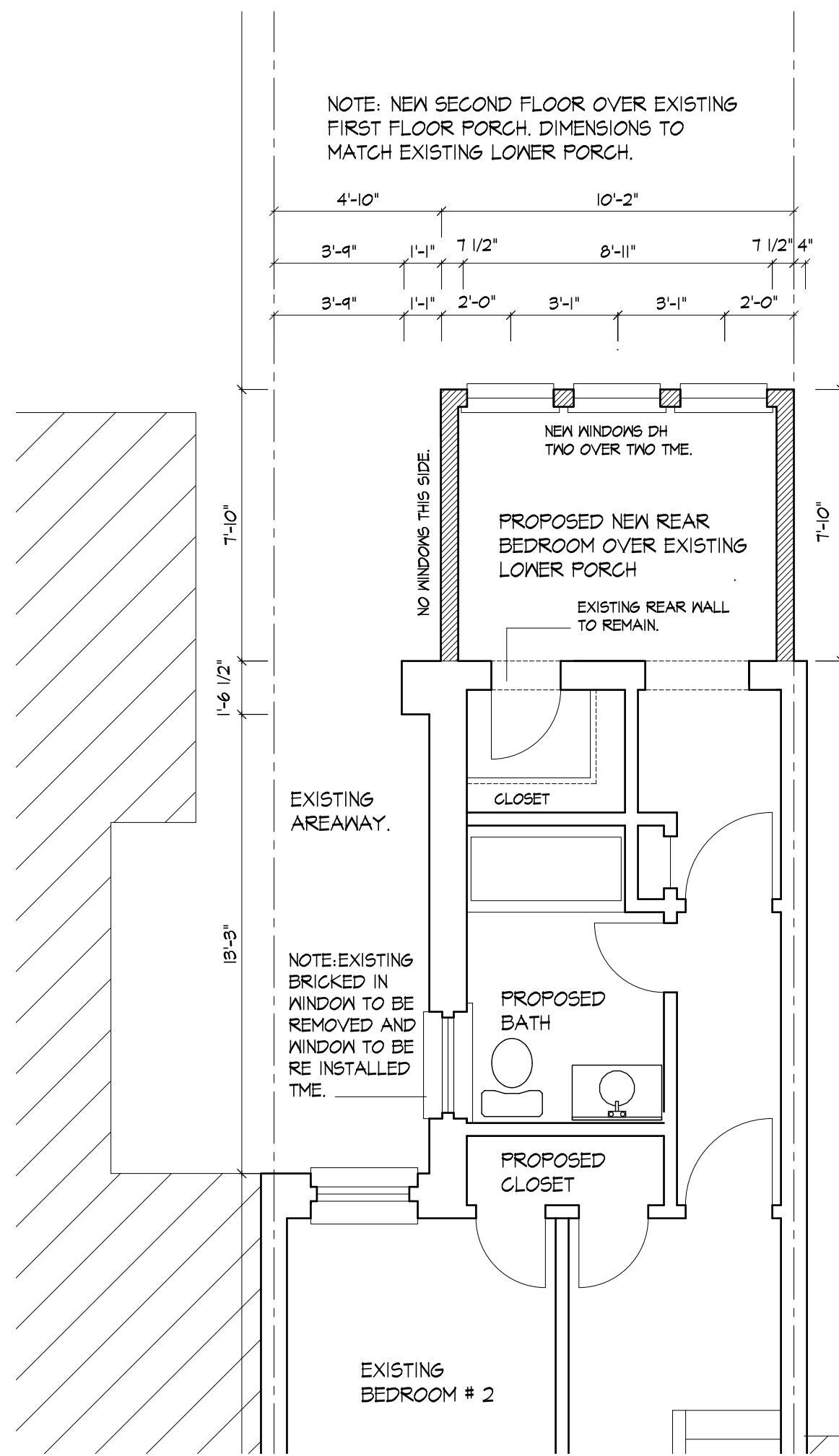
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1653 34TH ST NW
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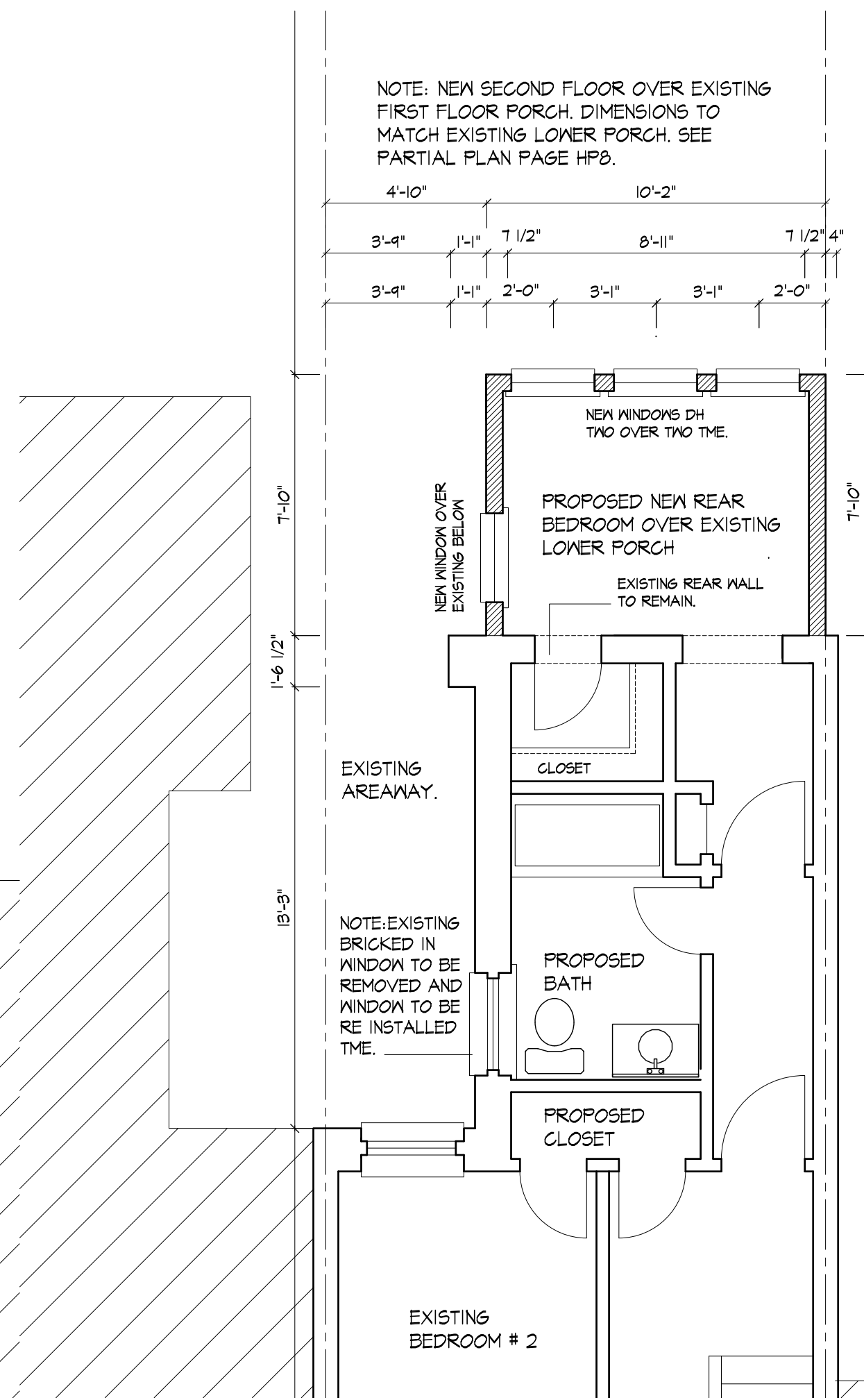
ELEVATIONS	OPTION 1A	PILASTER TRIM	ISSUED FOR PERMIT
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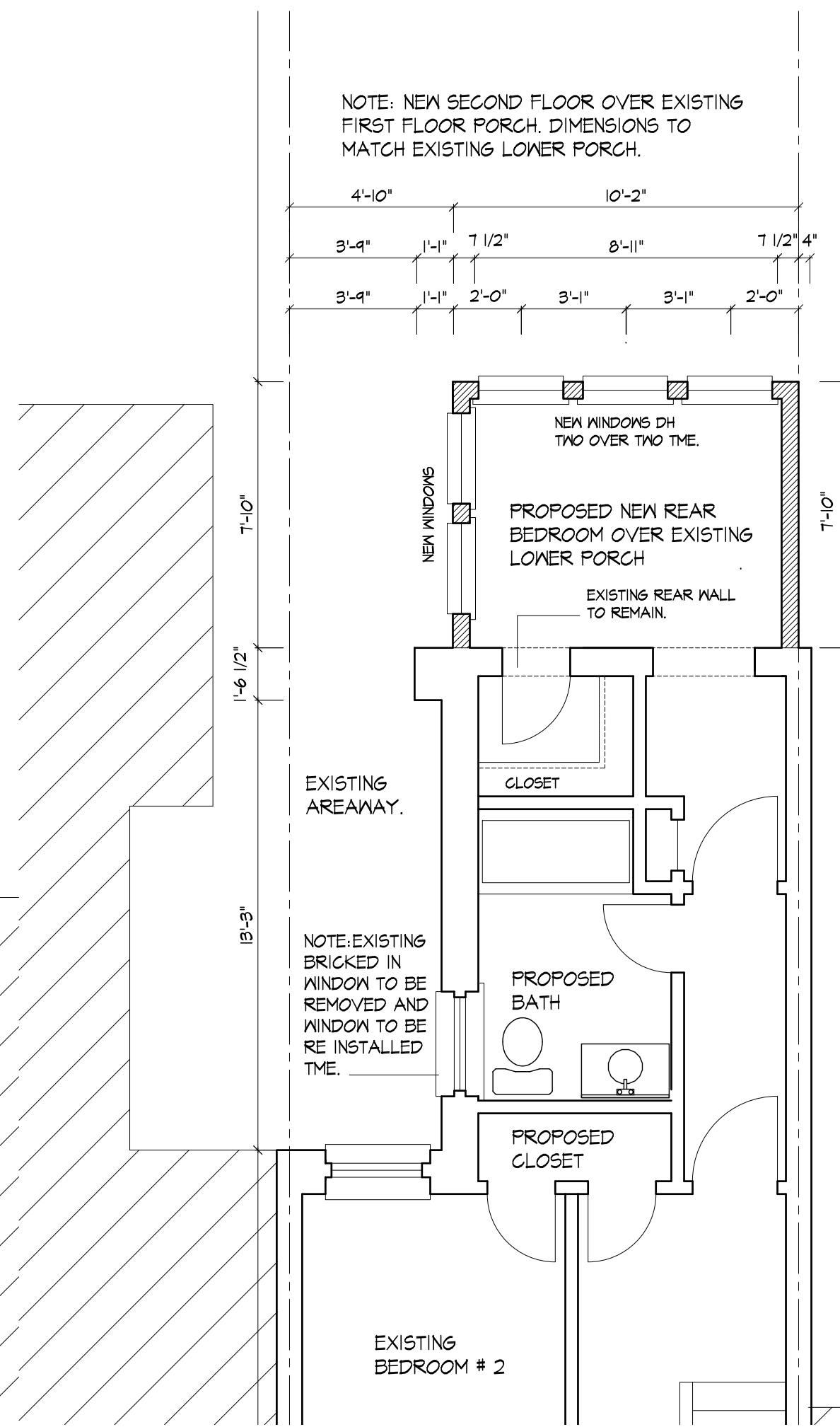
DATE:	SEPTEMBER 20
APPROVAL:	SHEET
HP5A	



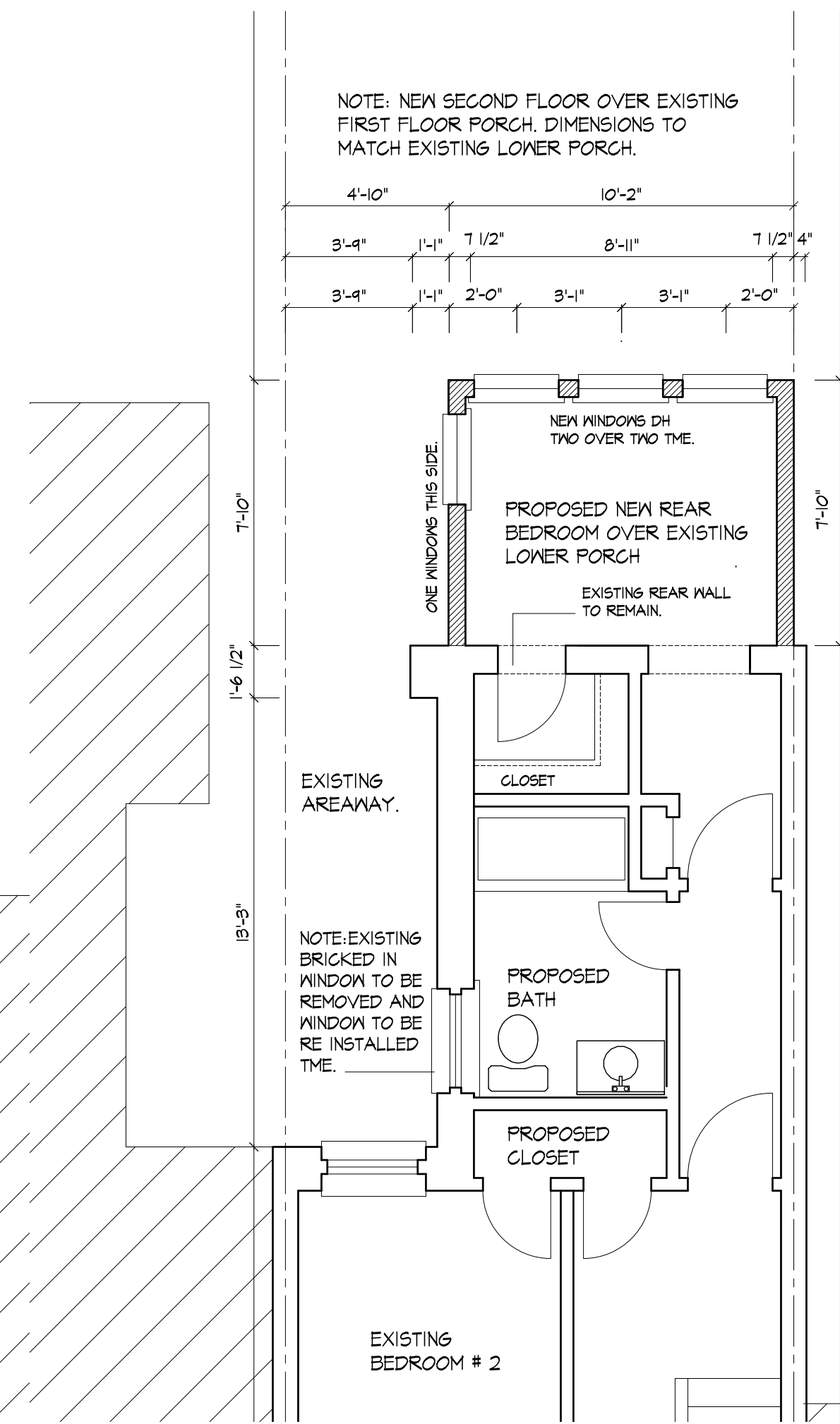
1 SECOND FLOOR PLAN OPTION 2
HP5B SCALE 1/4"=1'-0"



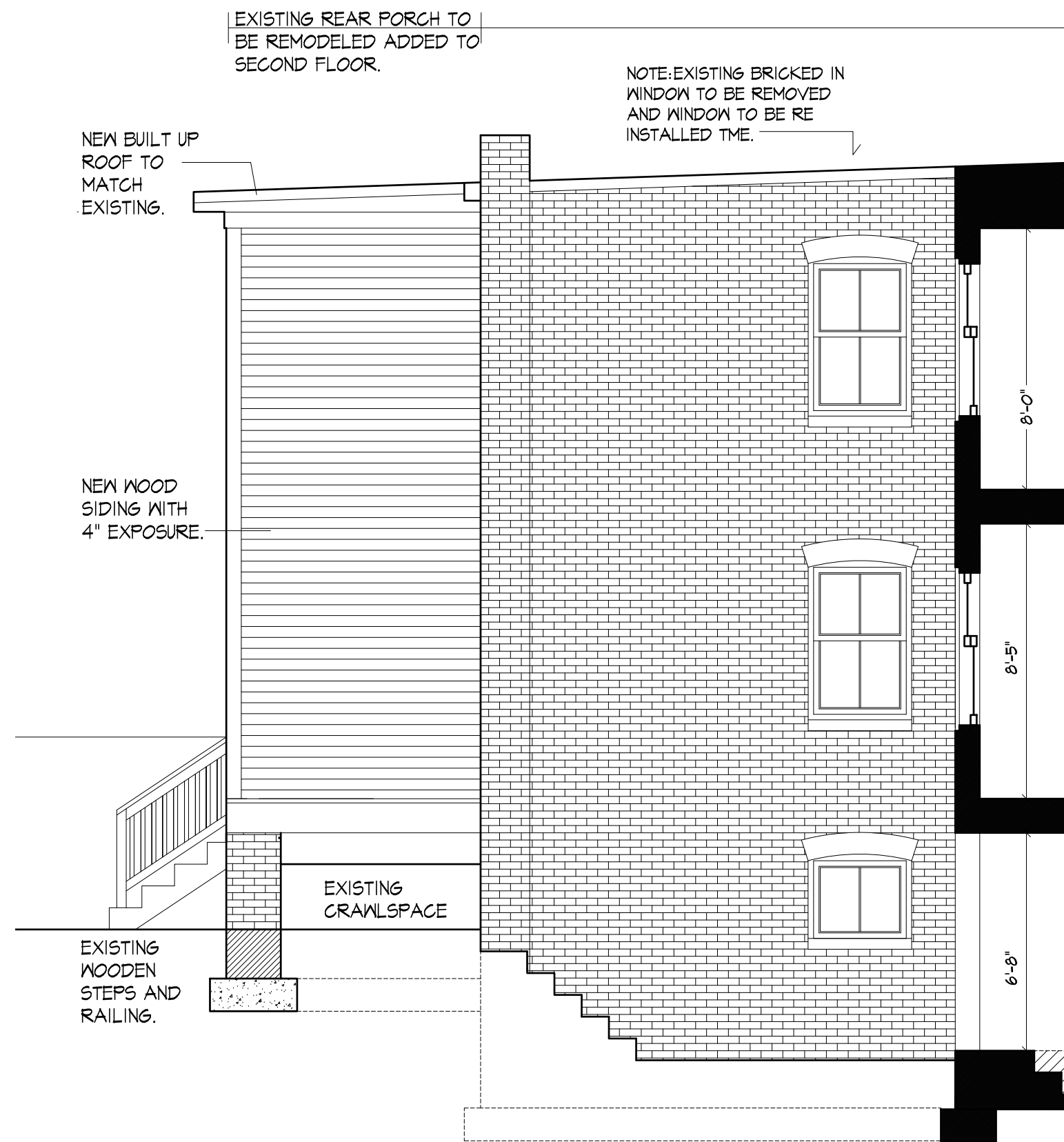
2 SECOND FLOOR PLAN OPTION 3
HP5B SCALE 1/4"=1'-0"



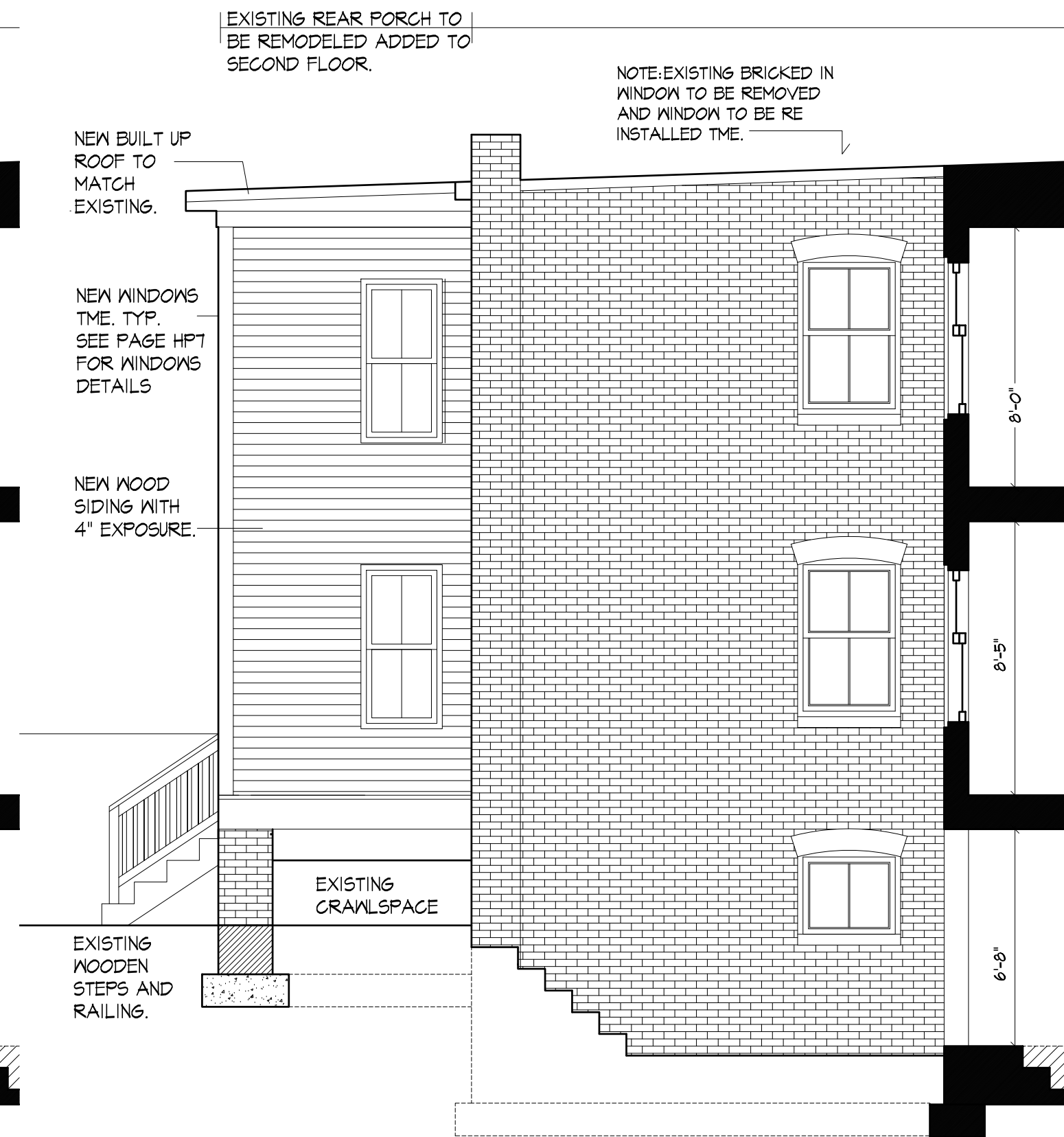
3 SECOND FLOOR PLAN OPTION 4
HP5B SCALE 1/4"=1'-0"



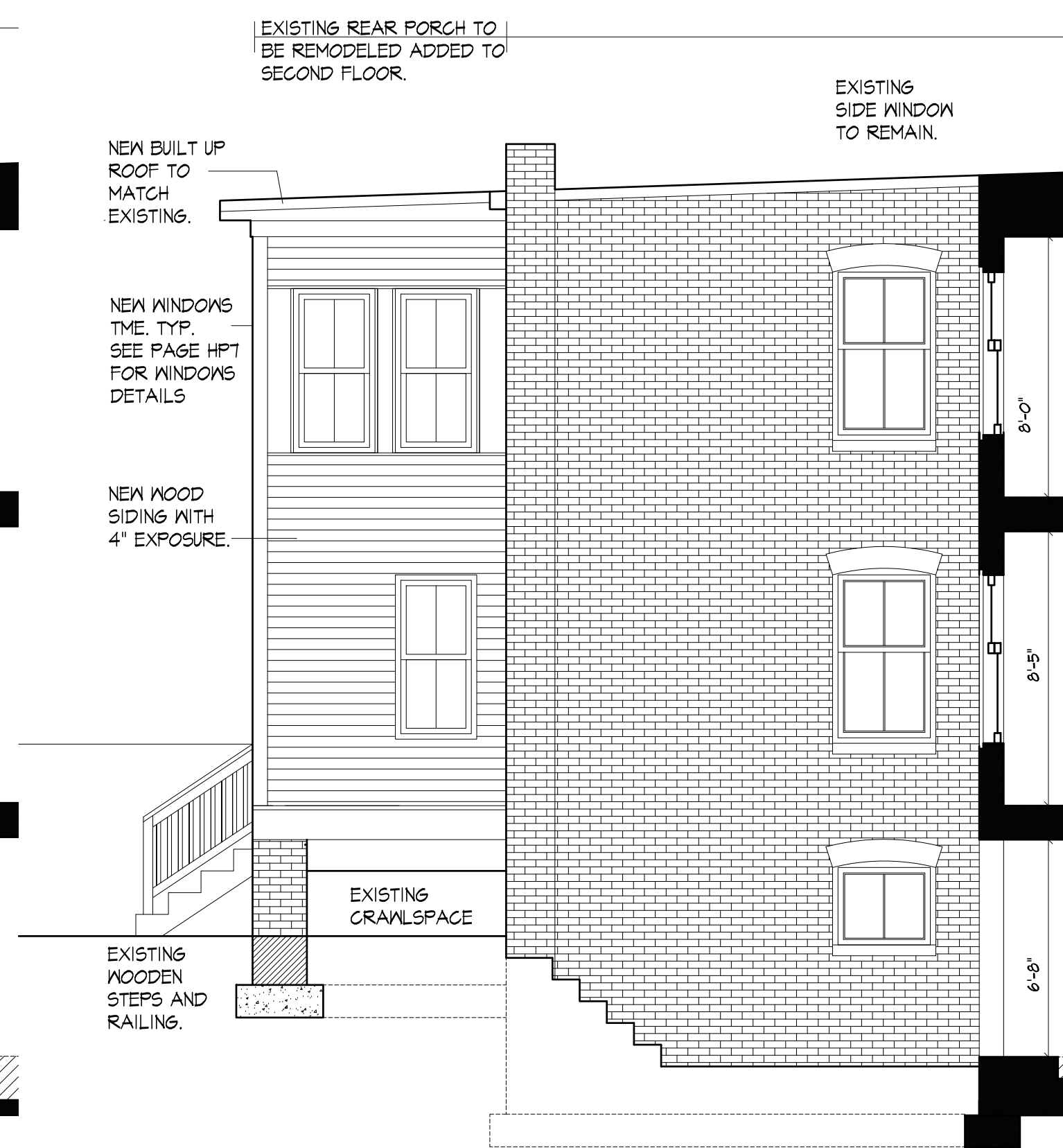
4 SECOND FLOOR PLAN OPTION 5
HP5B SCALE 1/4"=1'-0"



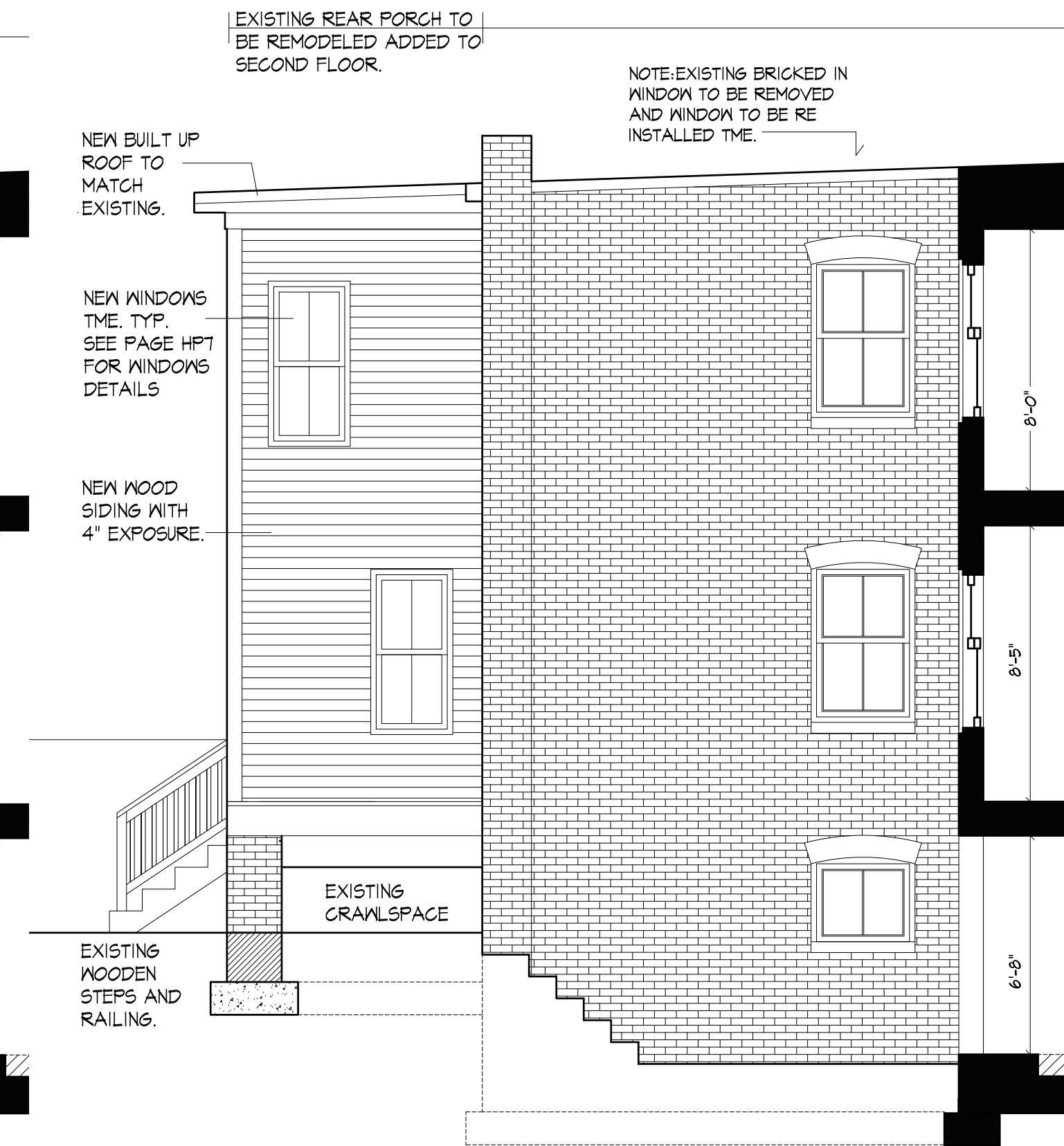
5 SIDE ELEVATION OPTION 2
HP5B SCALE 1/4"=1'-0"



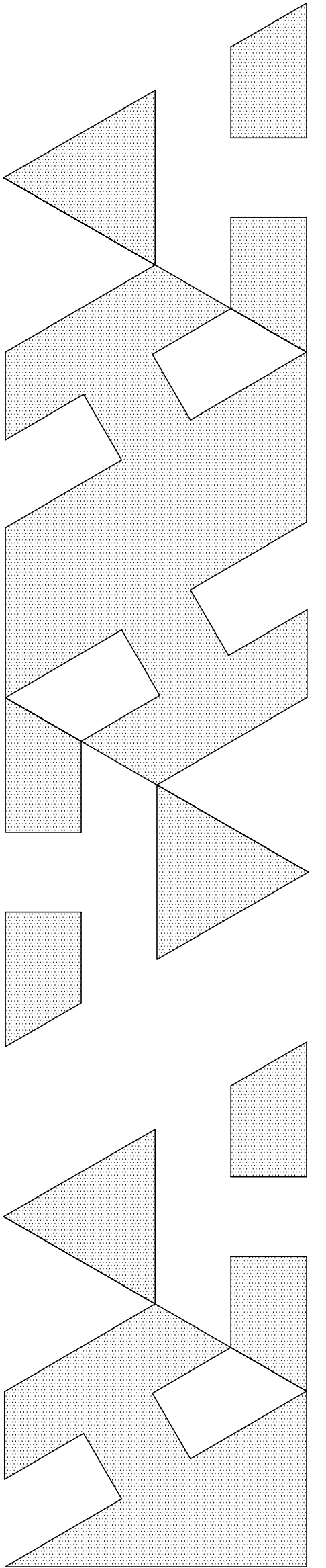
6 SIDE ELEVATION OPTION 3
HP5B SCALE 1/4"=1'-0"



7 SIDE ELEVATION OPTION 4
HP5B SCALE 1/4"=1'-0"



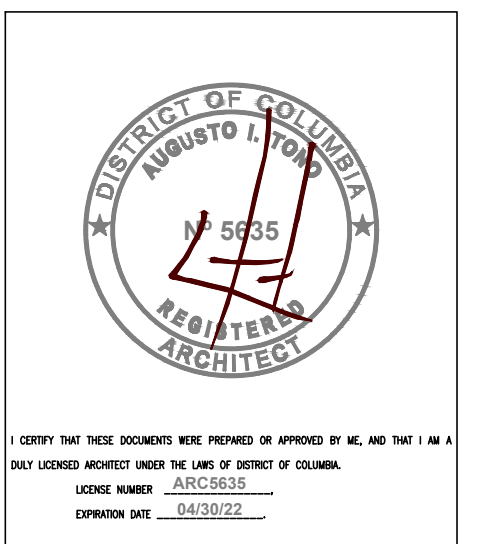
8 SIDE ELEVATION OPTION 5
HP5B SCALE 1/4"=1'-0"



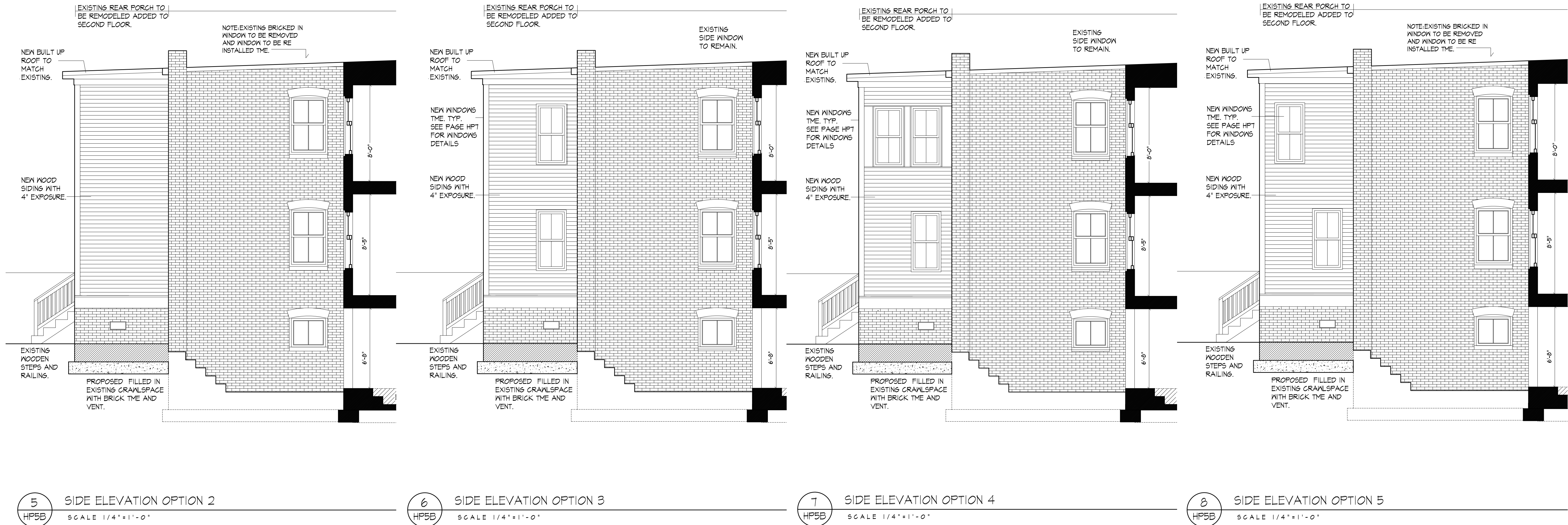
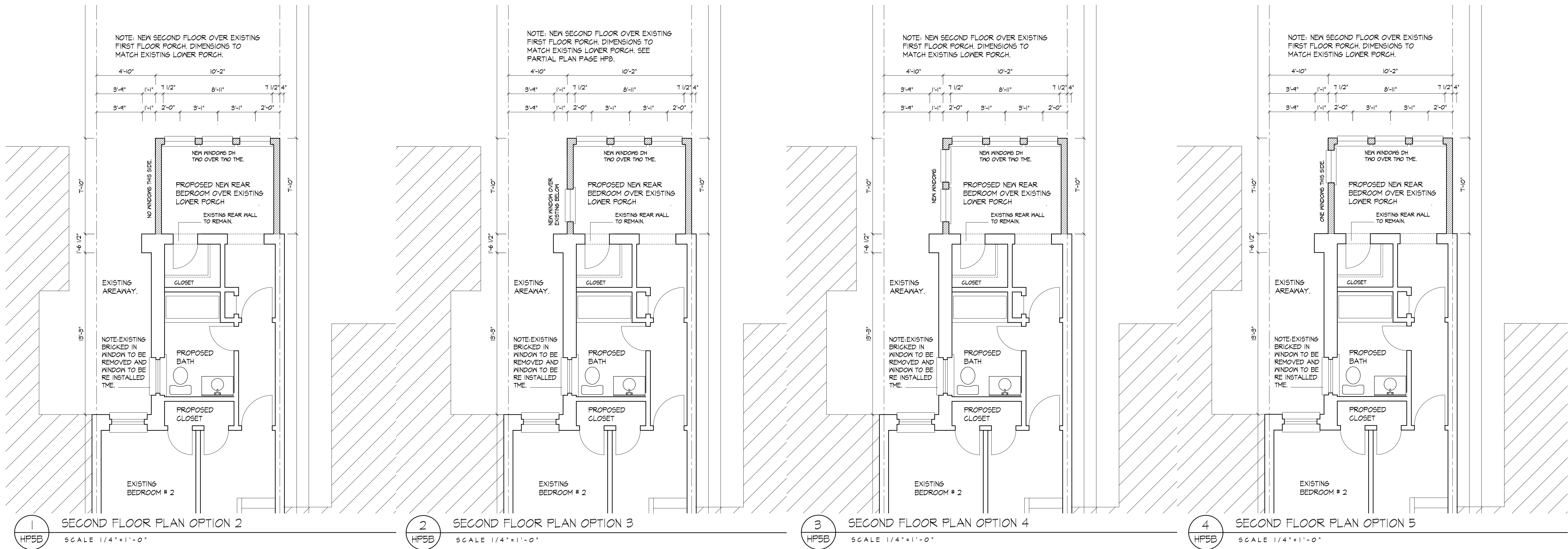
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ADDITION REMODELING
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ELEVATIONS	ISSUED FOR PERMIT
SIDE ELEVATION	
OPTIONS	



DATE:	SEPTEMBER 20
APPROVAL:	SHEET
	HP5B



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ADDITION REMODELING
TO AN EXISTING HOUSE
1653 34TH ST NW
WASHINGTON DC 20007

ELEVATIONS	SIDE ELEVATION	OPTIONS WITH	FILLED IN CRAWLSPACE	ISSUED FOR PERMIT
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DATE: SEPTEMBER 20

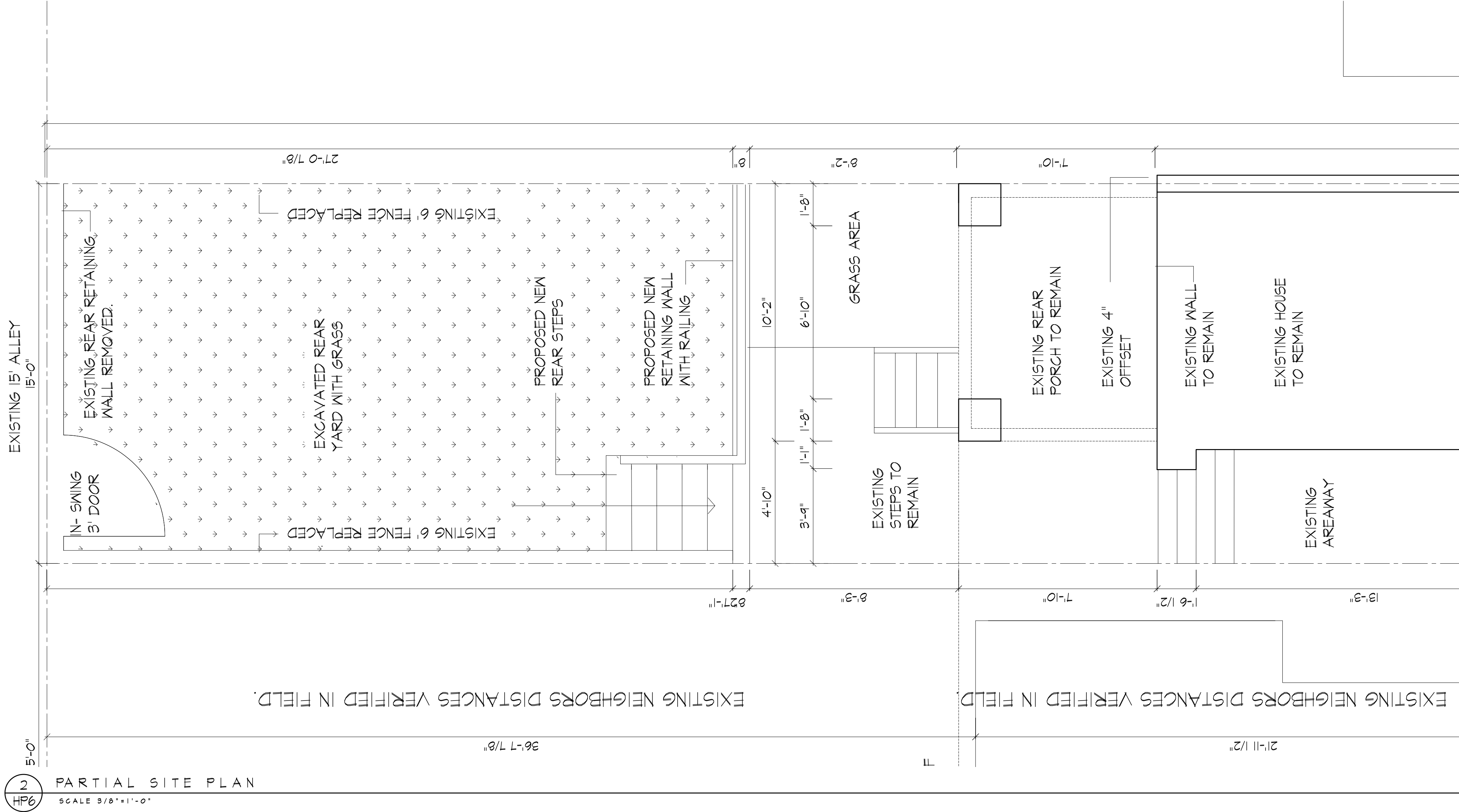
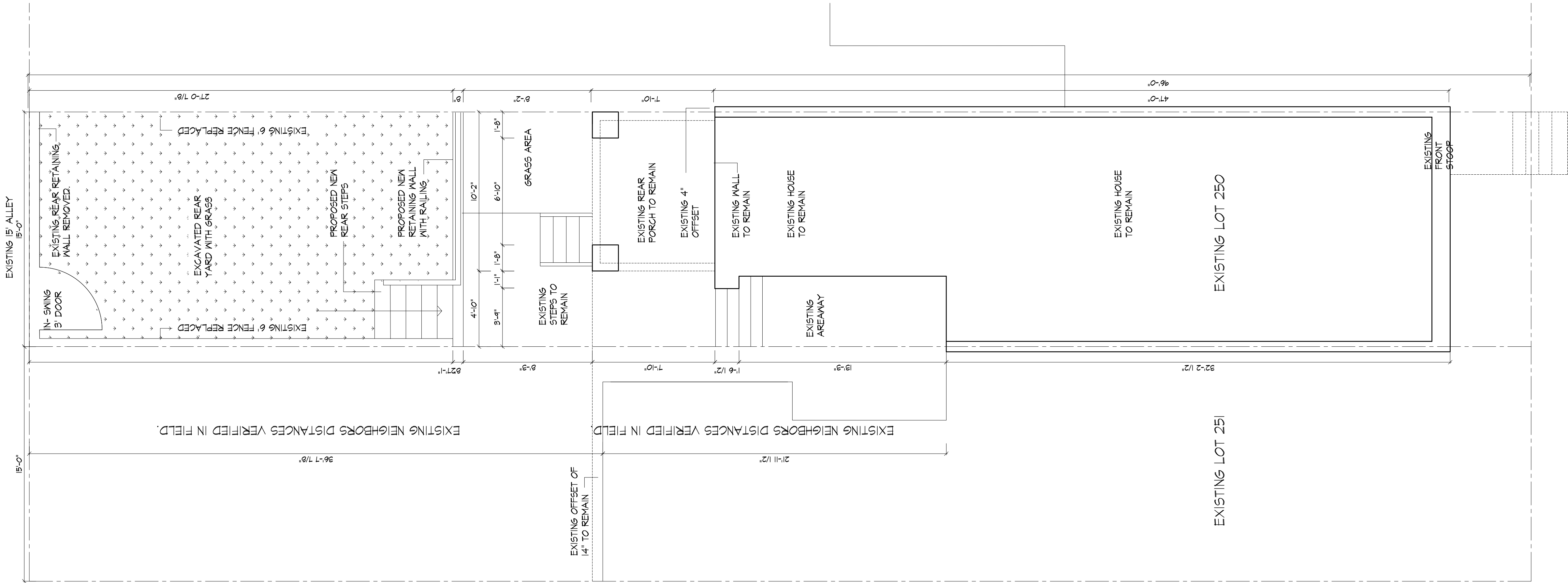
APPROVAL: SHEET

HP5C

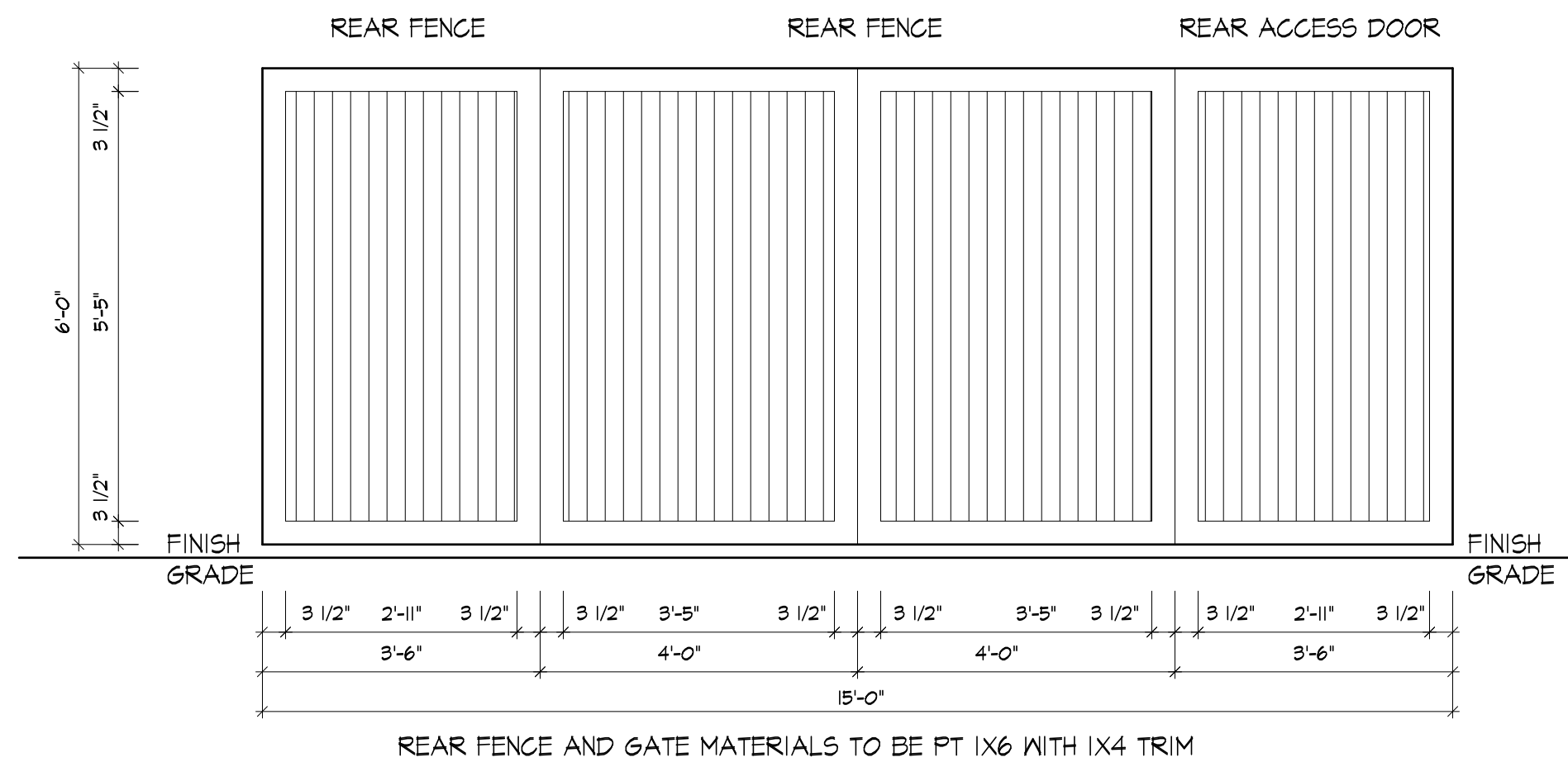
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DISTRICT OF COLUMBIA
REGISTERED ARCHITECT
NO. 5535
JAMES HENRY JONES
EXPIRATION DATE: 04/30/22

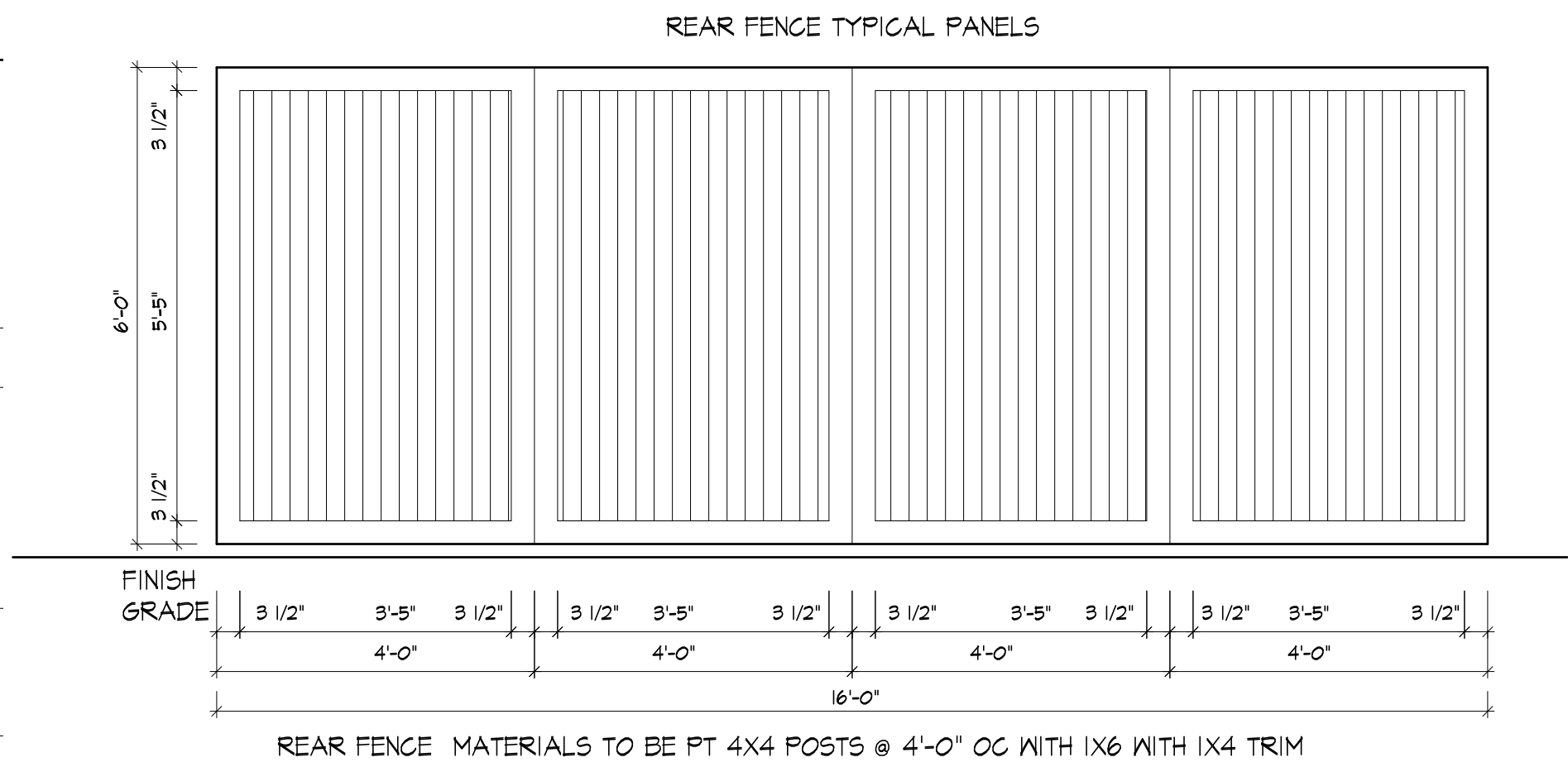
1 SITE PLAN
HP6 SCALE 1/4"=1'-0"



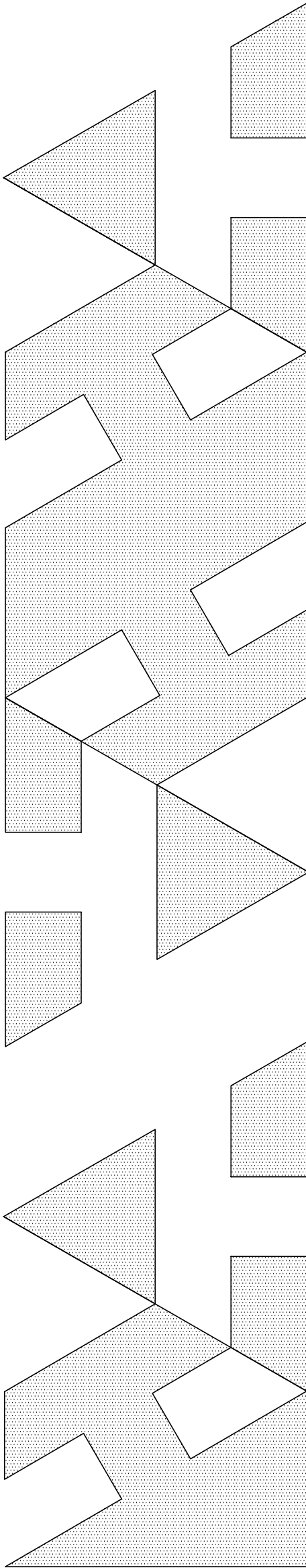
2 PARTIAL SITE PLAN
HP6 SCALE 3/8"=1'-0"



3 REAR GATE DETAILS
HP6 SCALE 1"=1'-0"



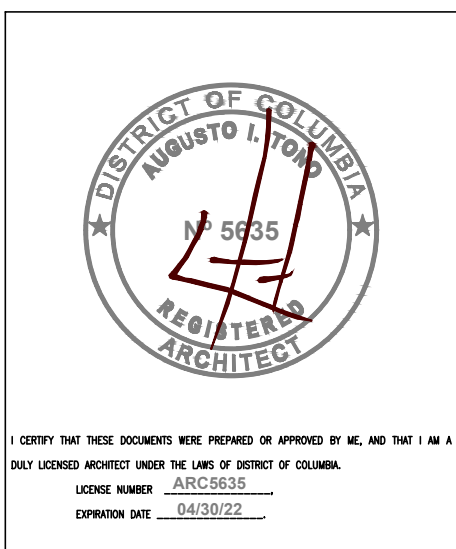
4 REAR SIDES FENCE DETAILS
HP6 SCALE 1"=1'-0"



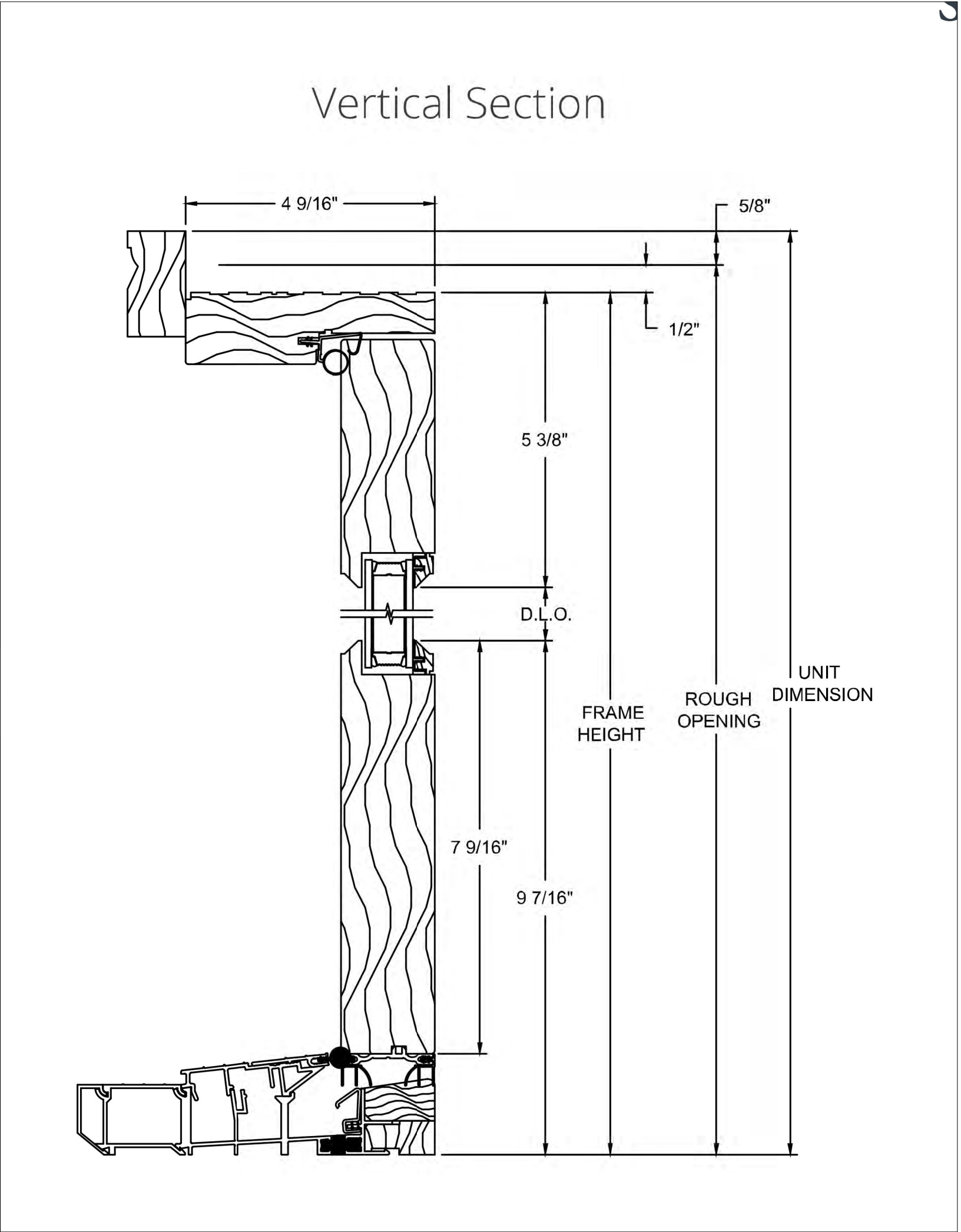
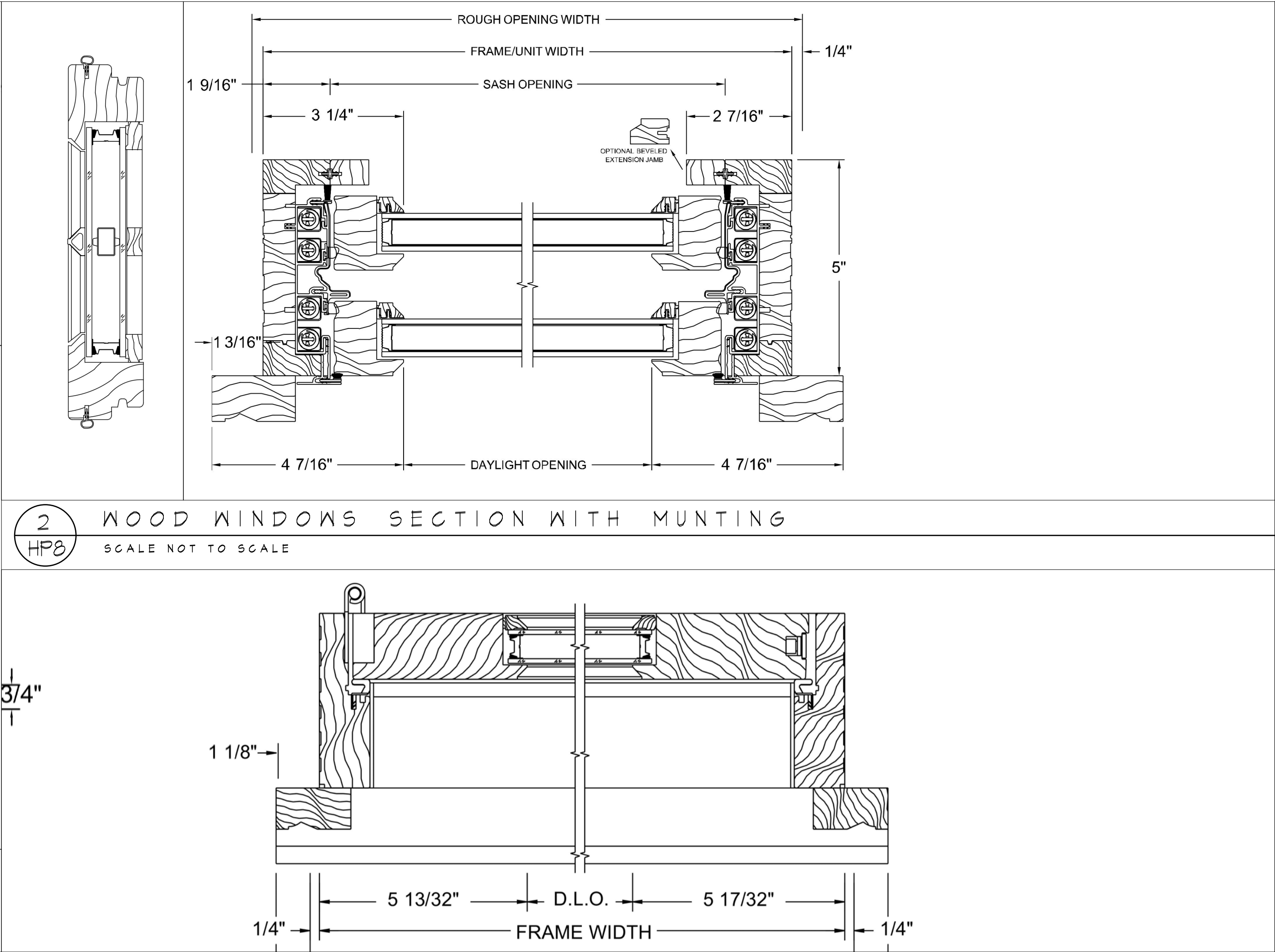
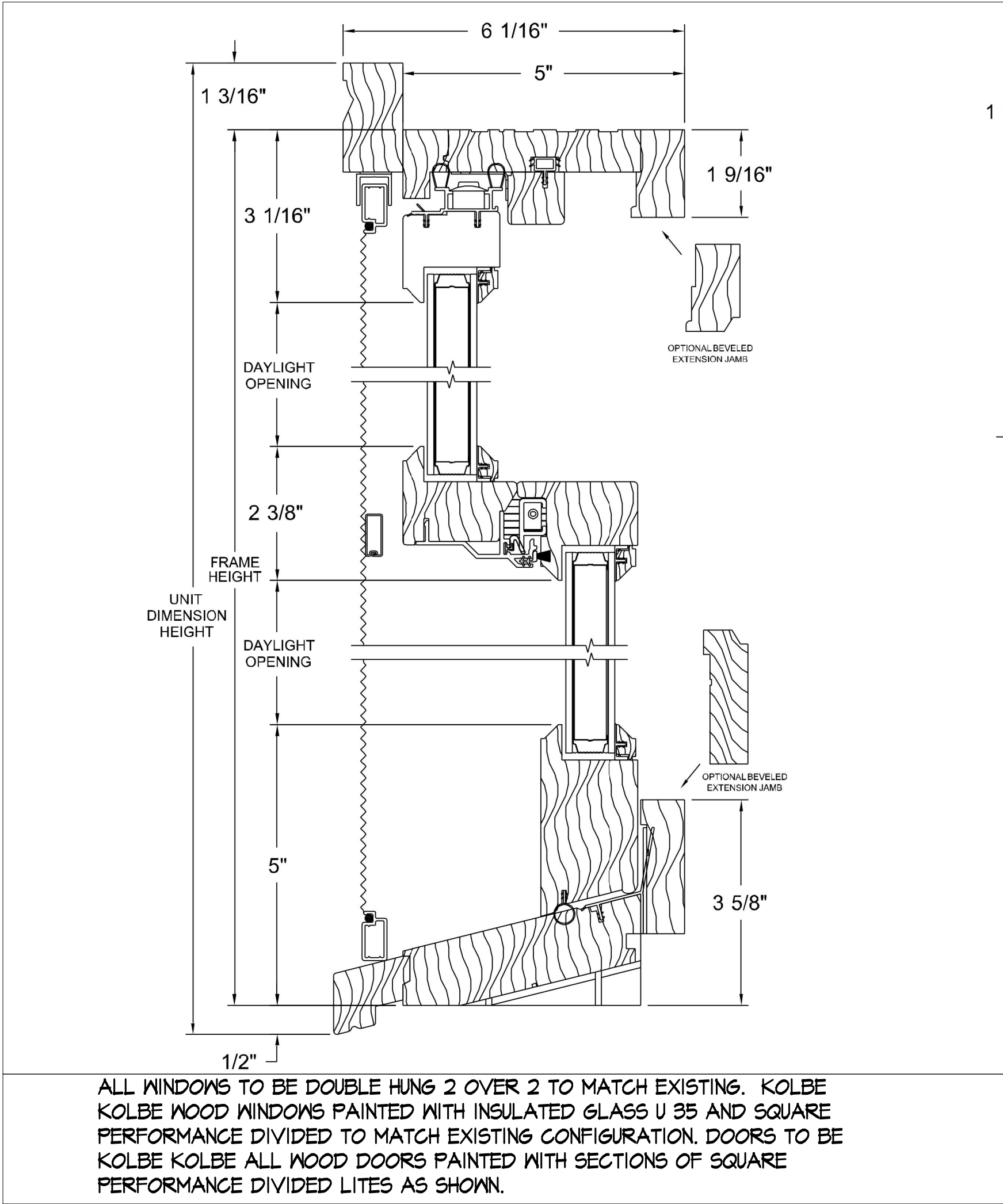
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ADDITION REMODELING
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FLOOR PLAN
PARTIAL PLAN
REAR FENCE DETAILS
ISSUED FOR PERMIT



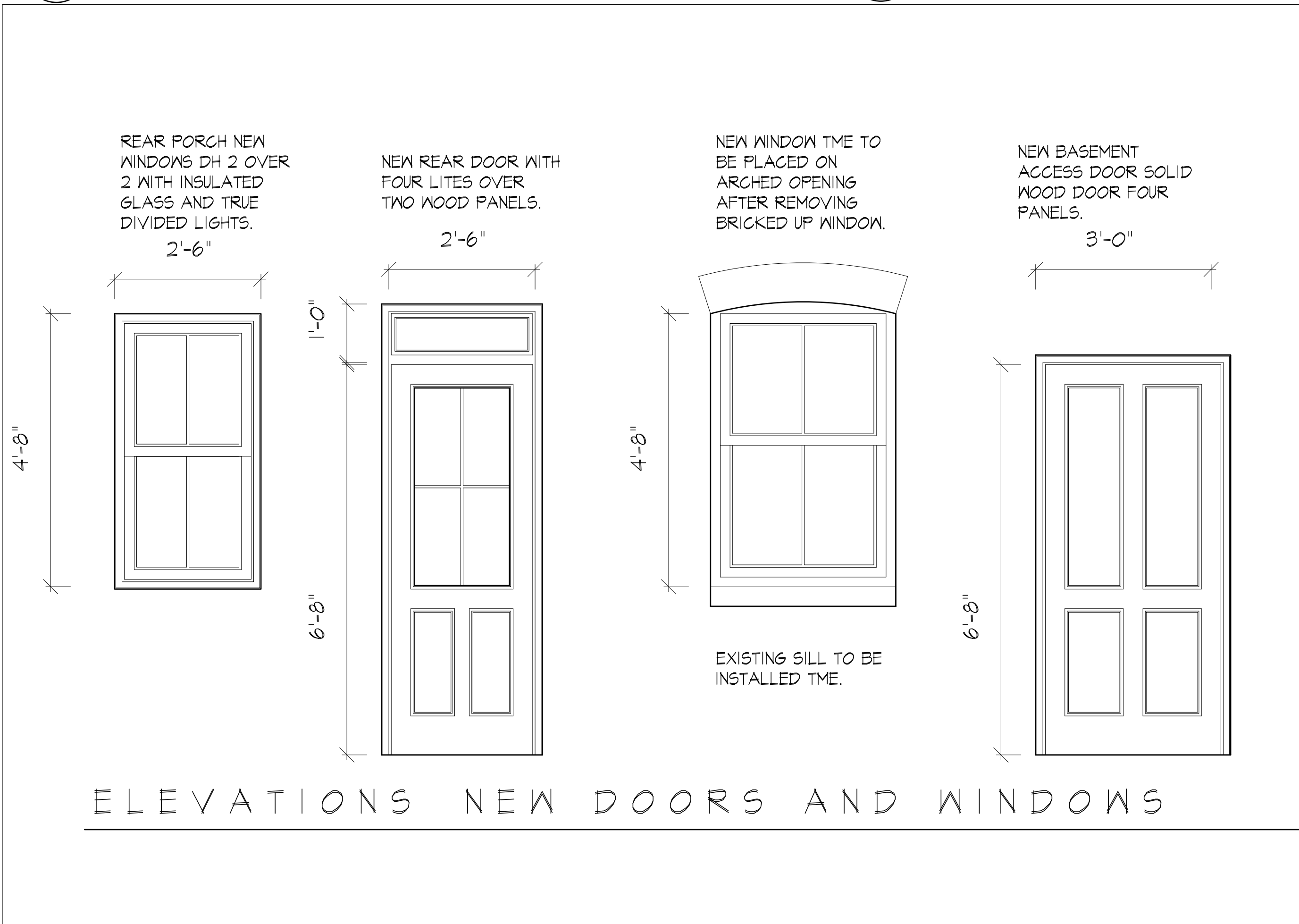
DATE:	SEPTEMBER 20
APPROVAL:	SHEET
	HP6



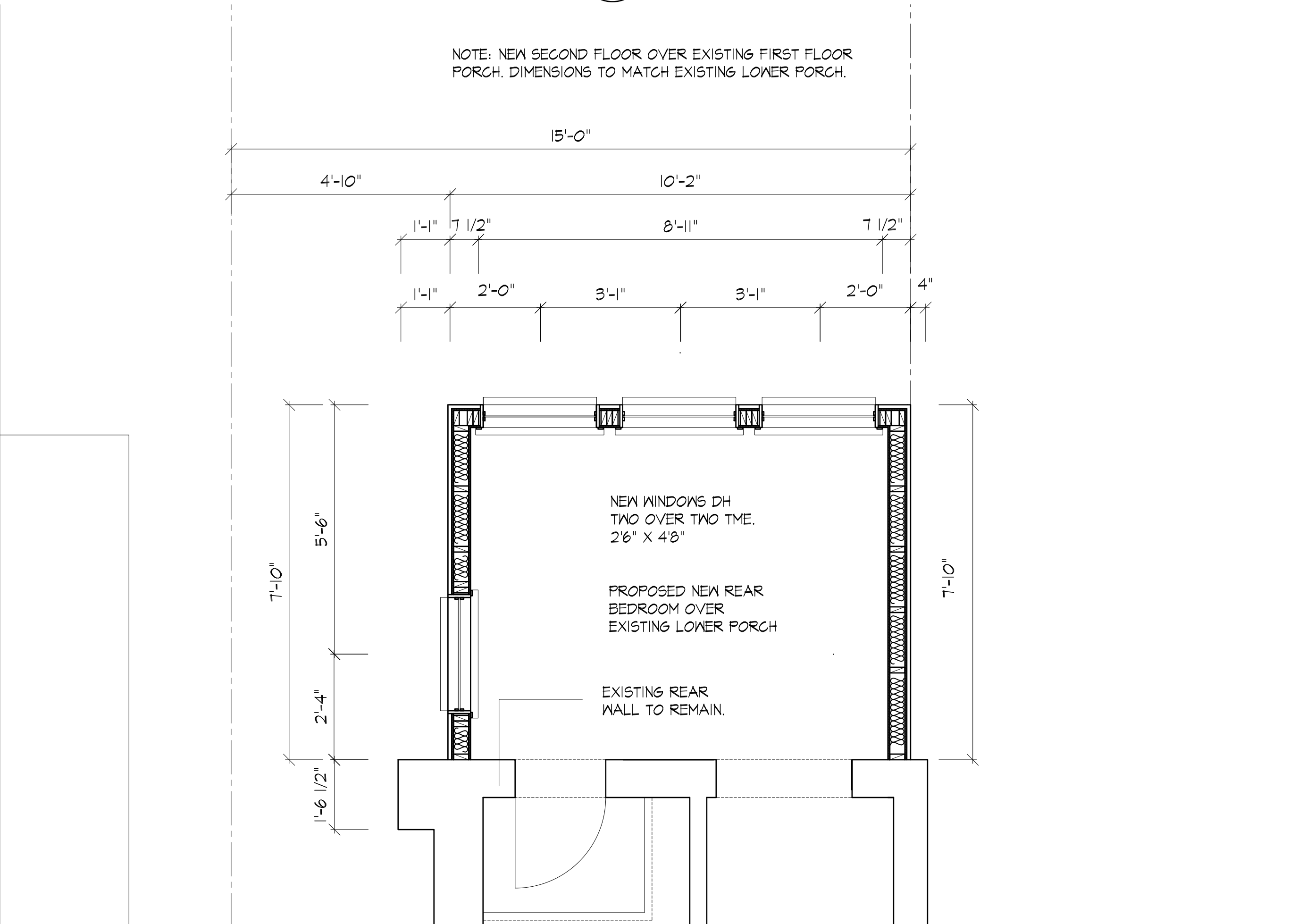
1 WOOD WINDOWS SECTION
HPB SCALE NOT TO SCALE

4 DOOR SECTION 1
HPB SCALE NOT TO SCALE

5 DOOR SECTION 2
HPB SCALE NOT TO SCALE



3 WINDOW AND DOOR ELEVATION WITH WOOD SIDING PROFILE
HPB SCALE NOT TO SCALE



6 PARTIAL FLOOR PLAN SECOND FLOOR
HPB SCALE 1/2" = 1'-0"

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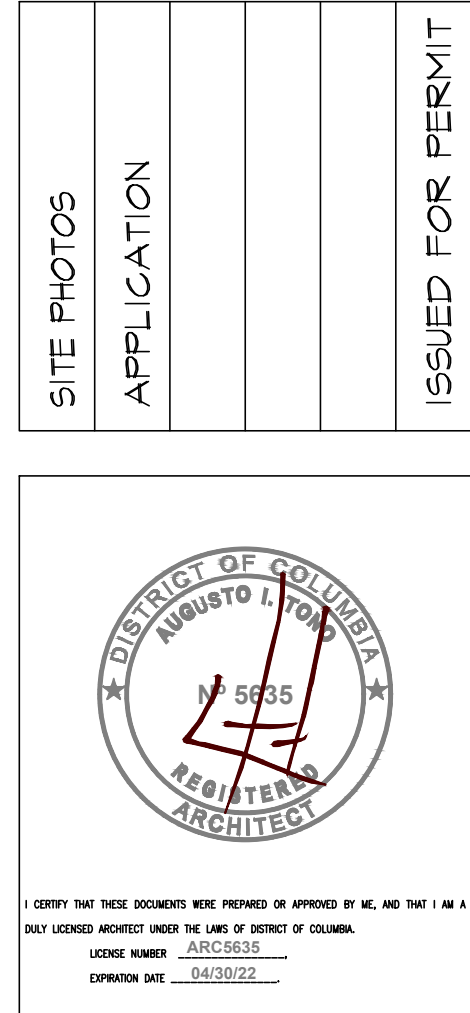
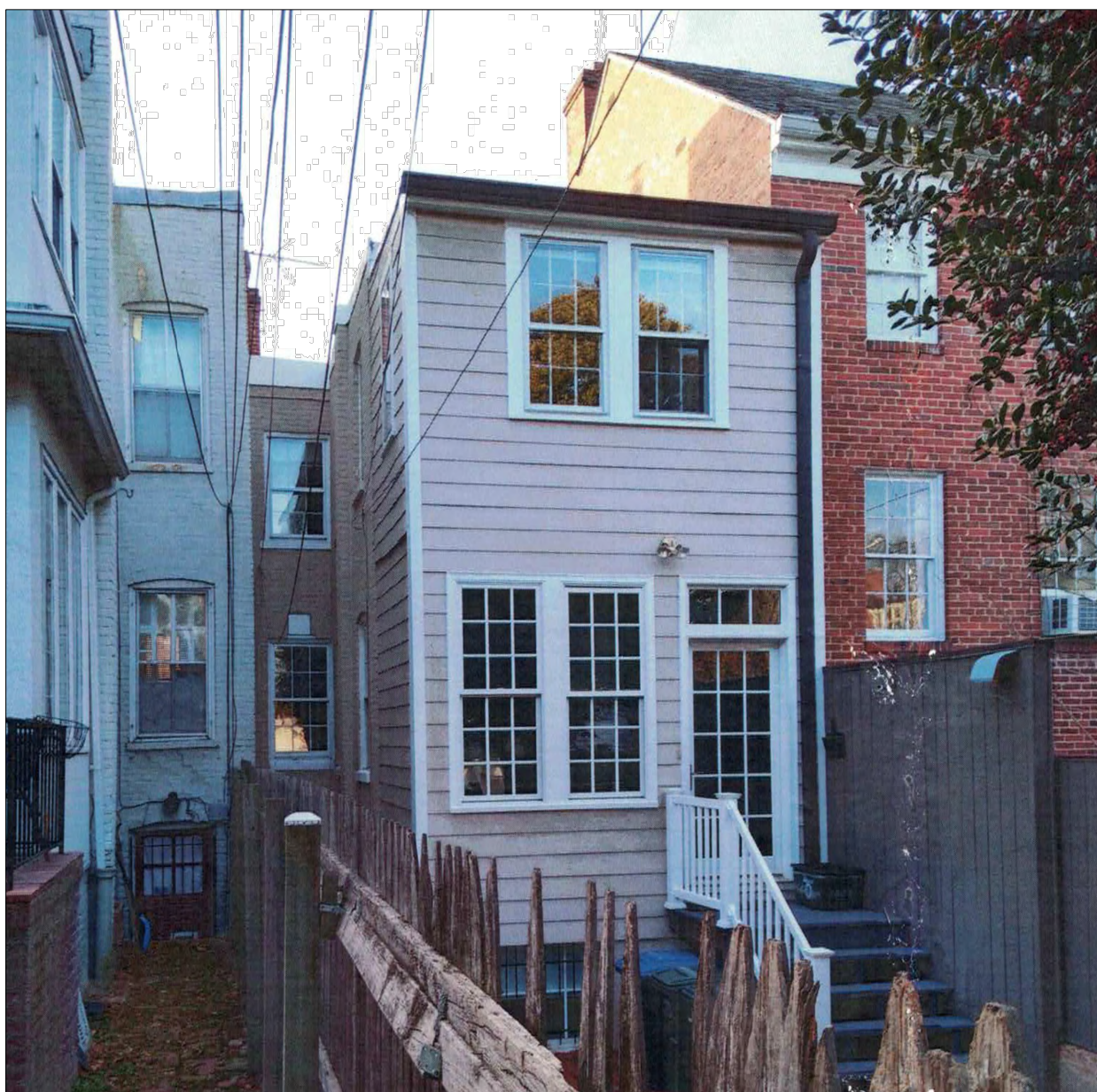
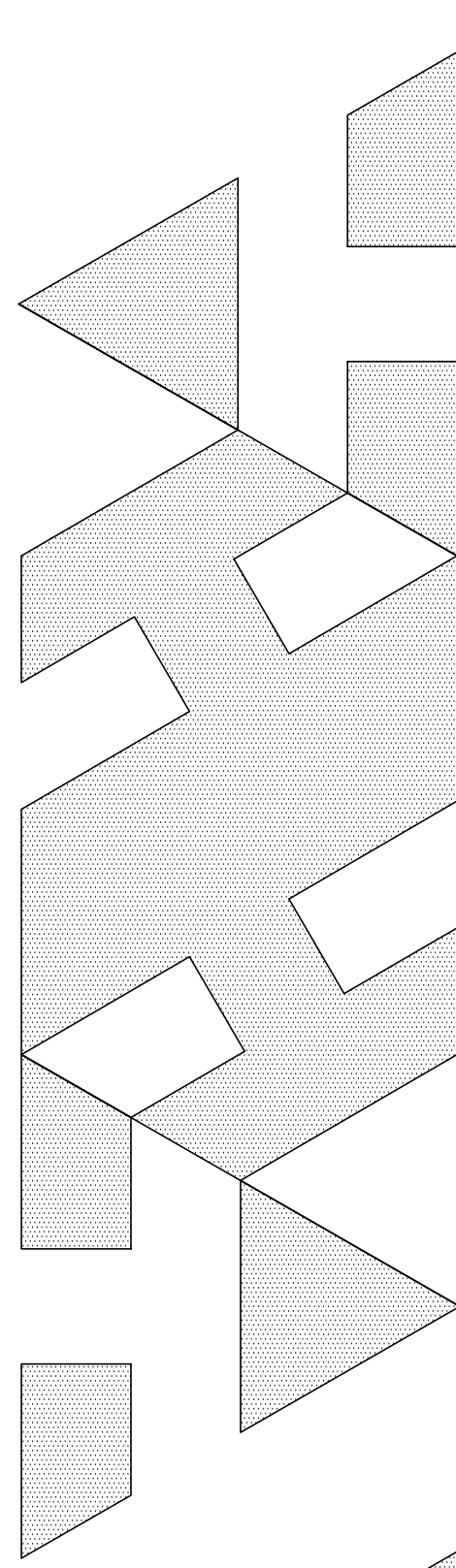
WINDOWS INFORMATION	DOOR INFORMATION	PARTIAL SECOND FL PLAN	ISSUED FOR PERMIT
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DATE: SEPTEMBER 20

APPROVAL: SHEET

HPB

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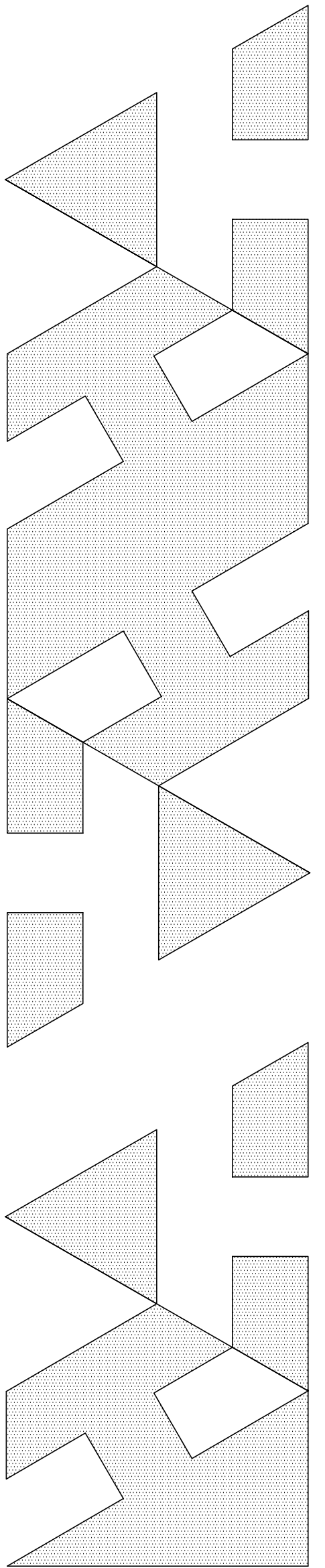
1
HP/O

REAR ELEVATION OPTION ONE
SCALE 1/2"=1'-0"



2
HP/O

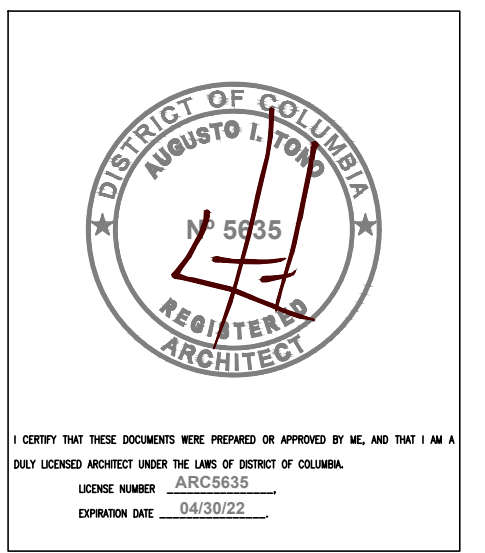
REAR ELEVATION OPTION ONE A
SCALE 1/2"=1'-0"



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ADDITION REMODELING
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1653 34TH STREET NW
WASHINGTON DC 20007

SIDE BY SIDE REAR	ELEVATIONS	OPTIONS 1 AND 1A	ISSUED FOR PERMIT
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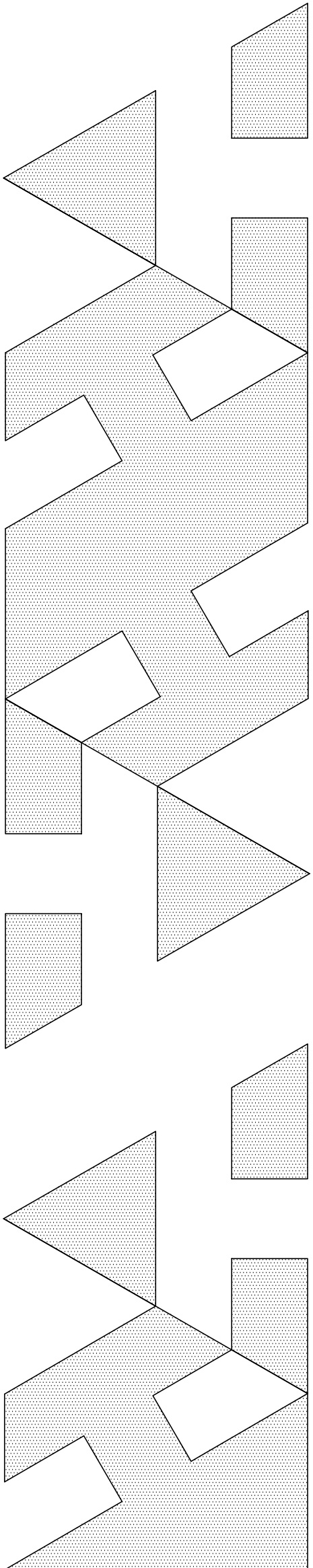


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ISSUING AGENCY: ADDC/20035
EXPIRATION DATE: 04/30/22

DATE:	SEPTEMBER 20
APPROVAL:	SHEET
	HP/O



..\..\..\Ted and Eric 34th st Previous Existing Conditions\Photos existing_DSC5430.JPG



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PHOTOS FROM ALLEY					ISSUED FOR PERMIT
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EXPIRATION DATE: 04/30/22

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	SEPTEMBER 20
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HP11	