

3100 DUMBARTON ST NW WASHINGTON, DC 20007	
1.1	SITE PLAN
DATE:	09/18/2020

BVA



① CORNER VIEW FROM STREET



② VIEW FROM DUMBARTON STREET



③ VIEW FROM DUMBARTON STREET



④ VIEW FROM 31ST STREET



⑤ VIEW FROM 31ST STREET



⑥ VIEW FROM 31ST STREET

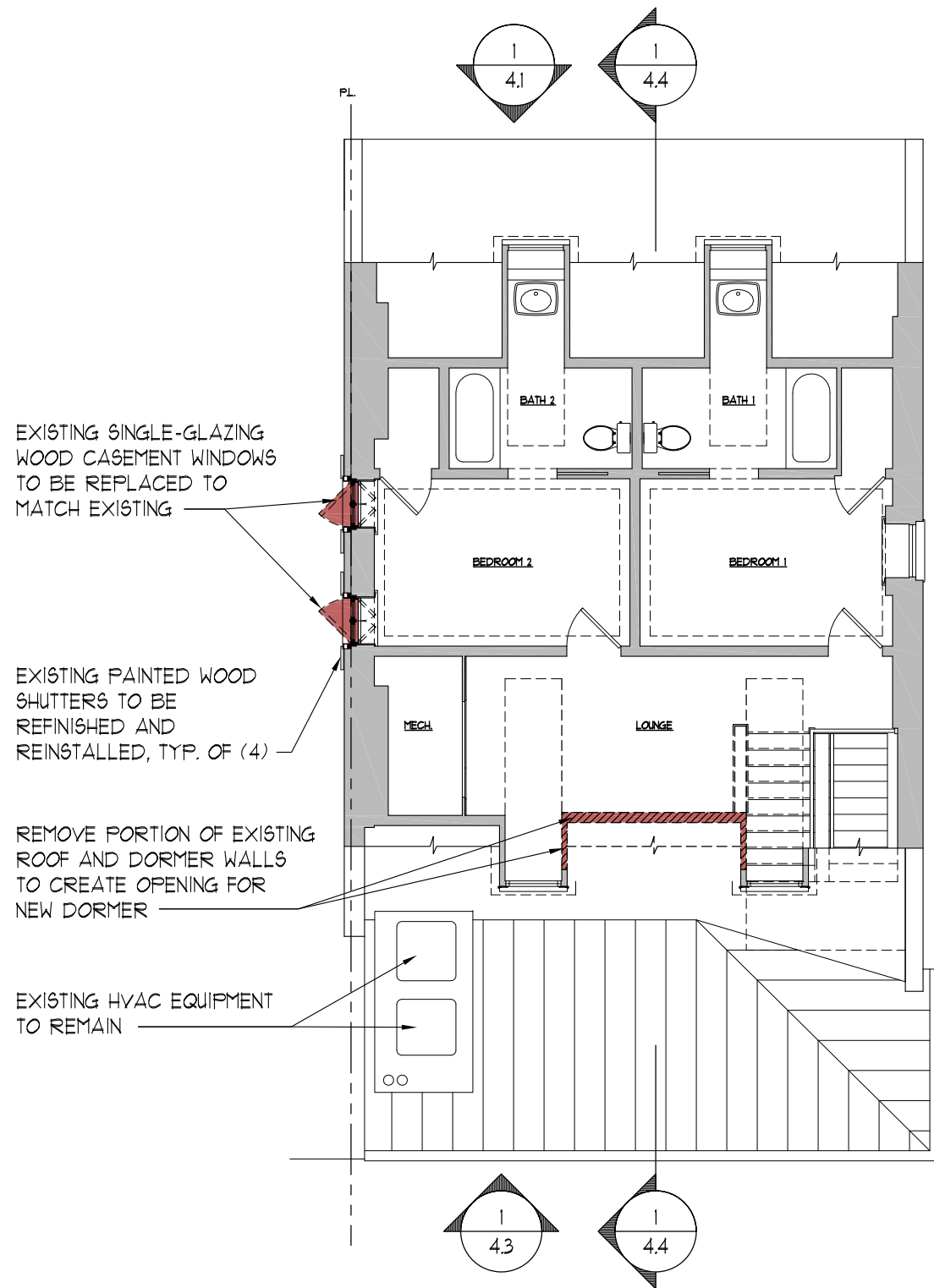
3100 DUMBARTON ST NW
WASHINGTON, DC 20007

1.2


SITE PHOTOS

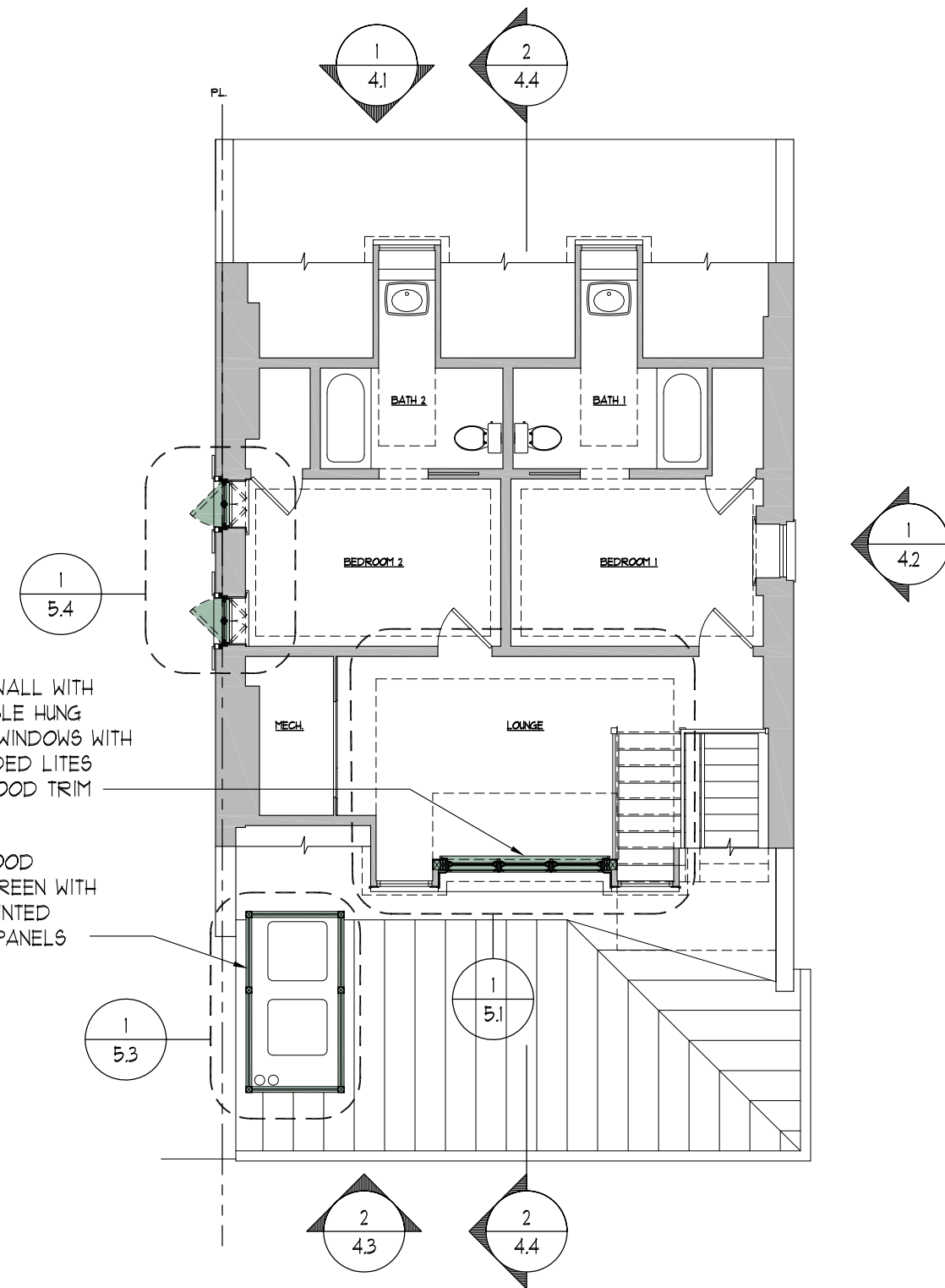
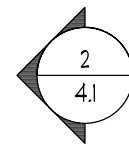
DATE: 09/18/2020

BVA




1 - THIRD FLOOR PLAN - EXISTING

SCALE: 1/8" = 1'-0" 



2 - THIRD FLOOR PLAN - PROPOSED

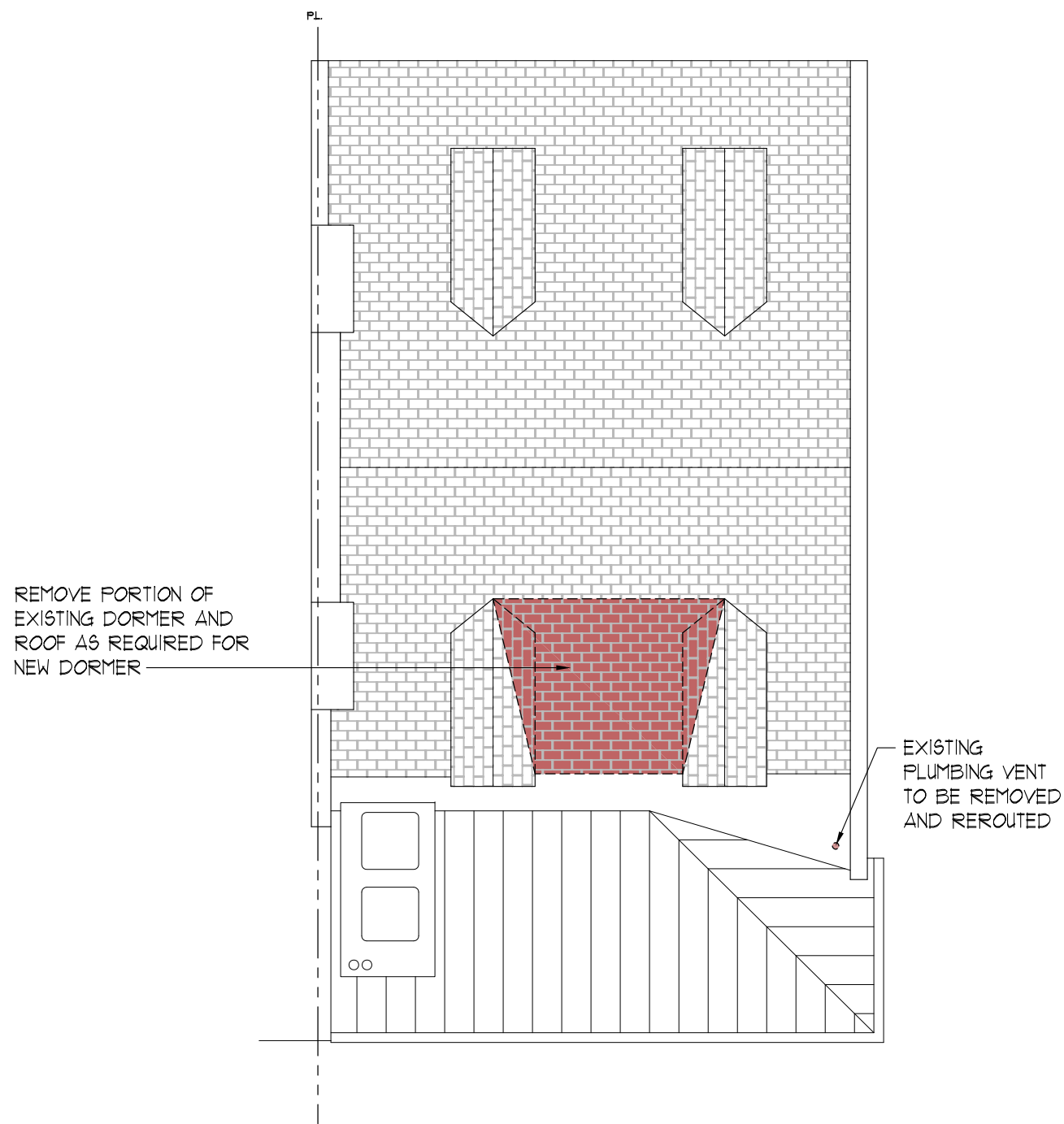
SCALE: 1/8" = 1'-0" 

3100 DUMBARTON ST NW
WASHINGTON, DC 20007


3.1

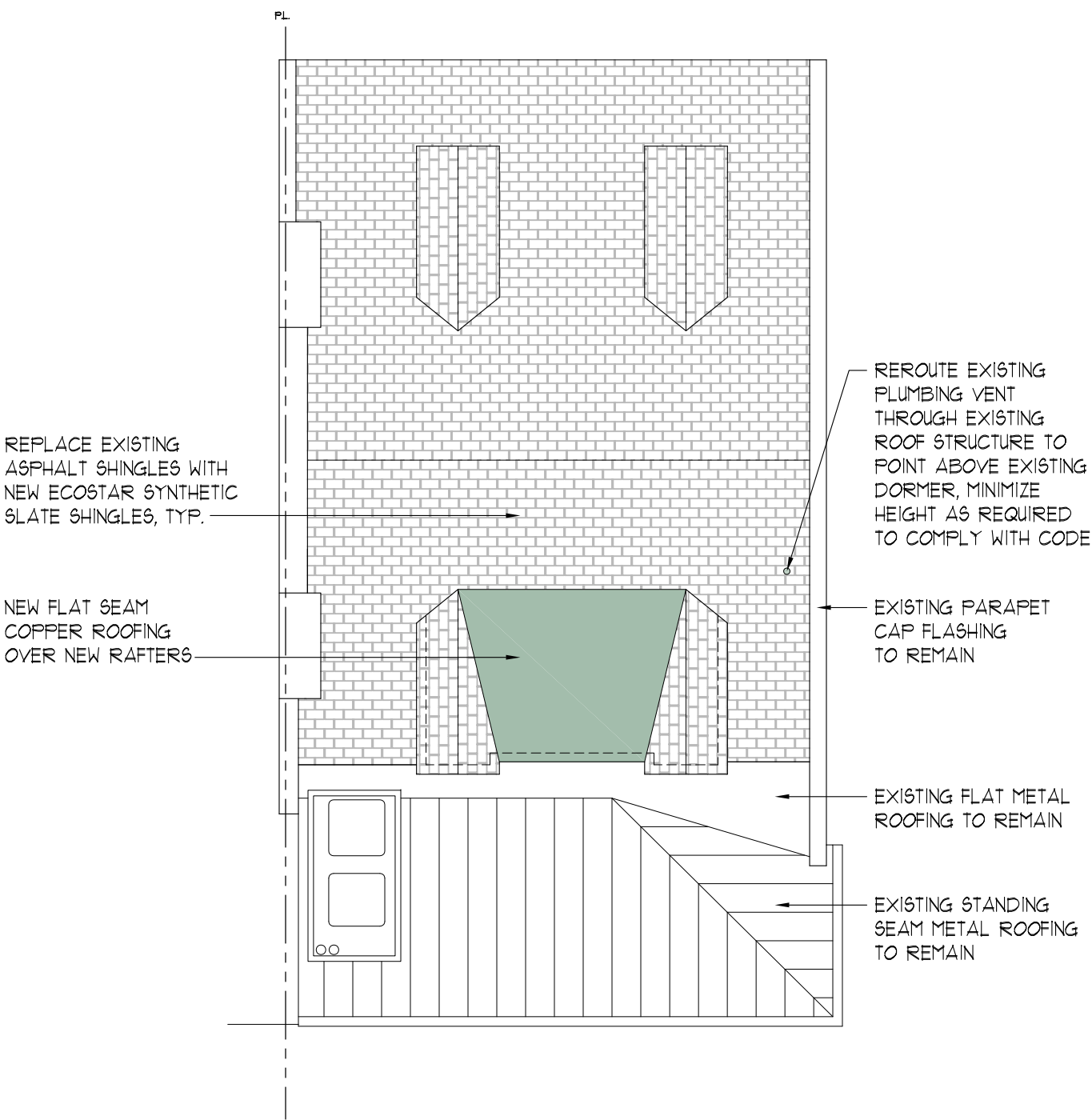
THIRD FLOOR PLANS
DATE: 09/18/2020

BVA




1 - ROOF PLAN - EXISTING

SCALE: 1/8" = 1'-0" 



2 - ROOF PLAN - PROPOSED

SCALE: 1/8" = 1'-0" 

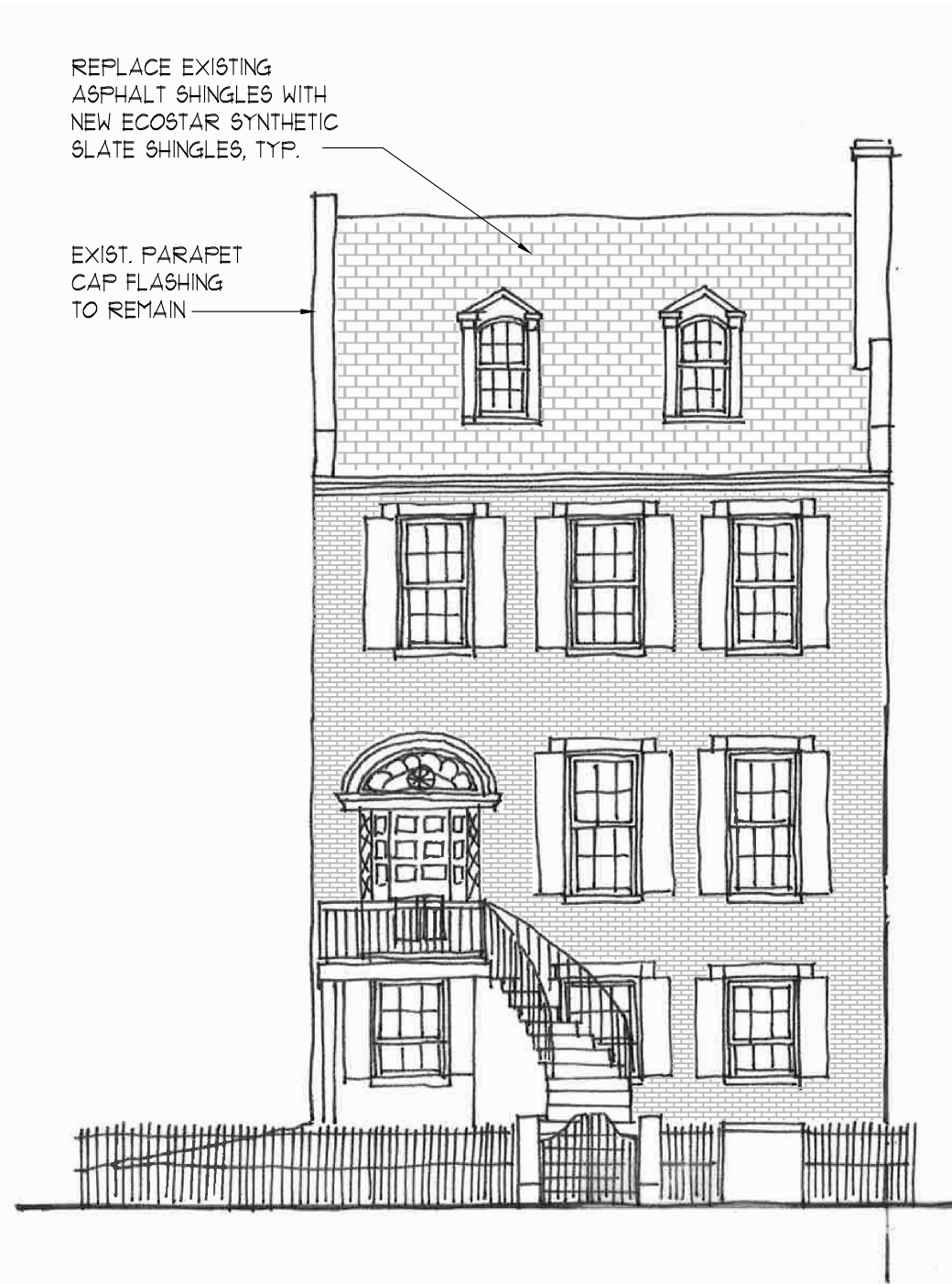
3100 DUMBARTON ST NW
WASHINGTON, DC 20007

3.2

ROOF PLANS

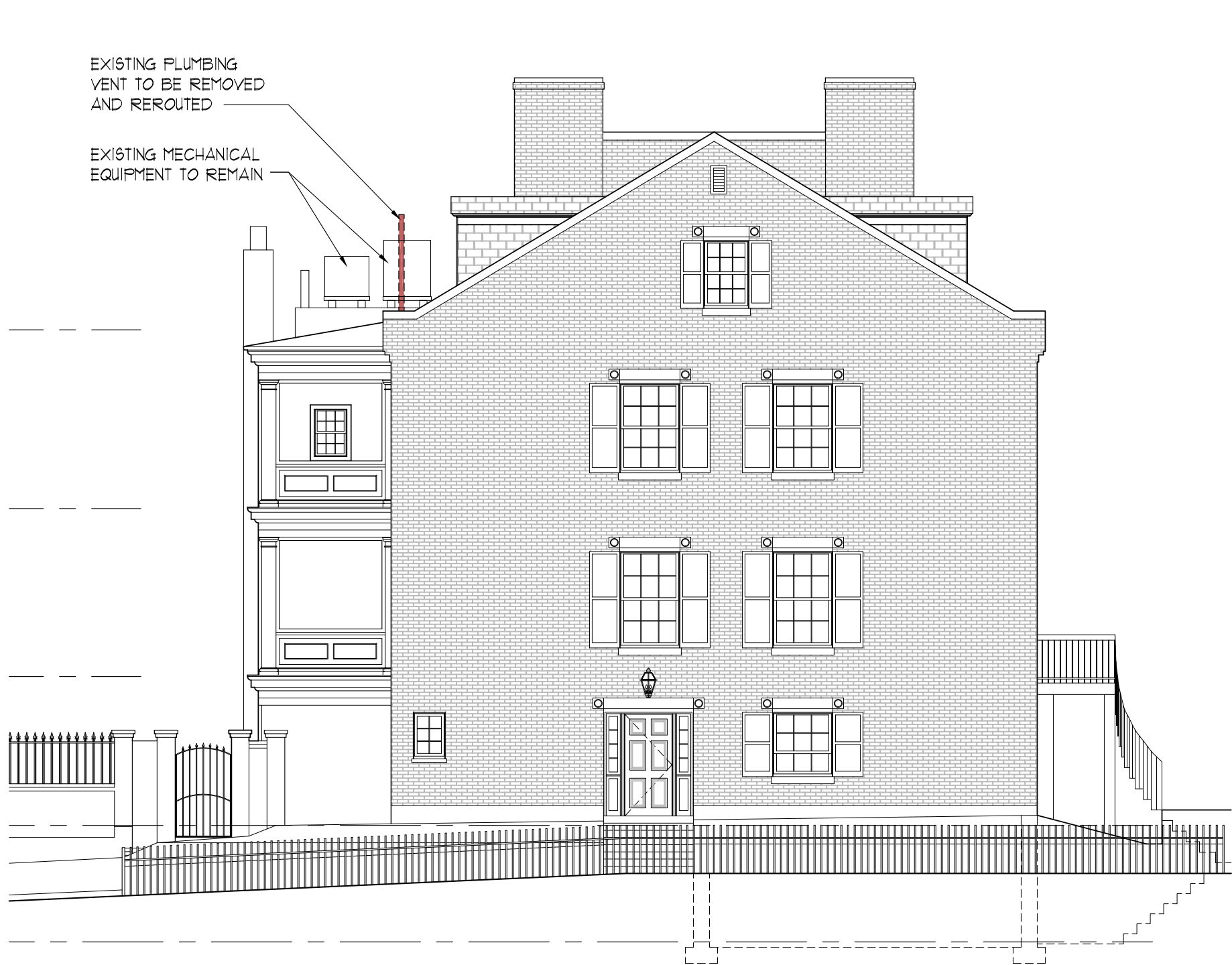
DATE: 09/18/2020

BVA



**1 - DUMBARTON STREET ELEVATION (NORTH)
EXISTING AND PROPOSED**

SCALE: 1/8" = 1'-0"



**2 - 31ST STREET ELEVATION (EAST)
EXISTING**

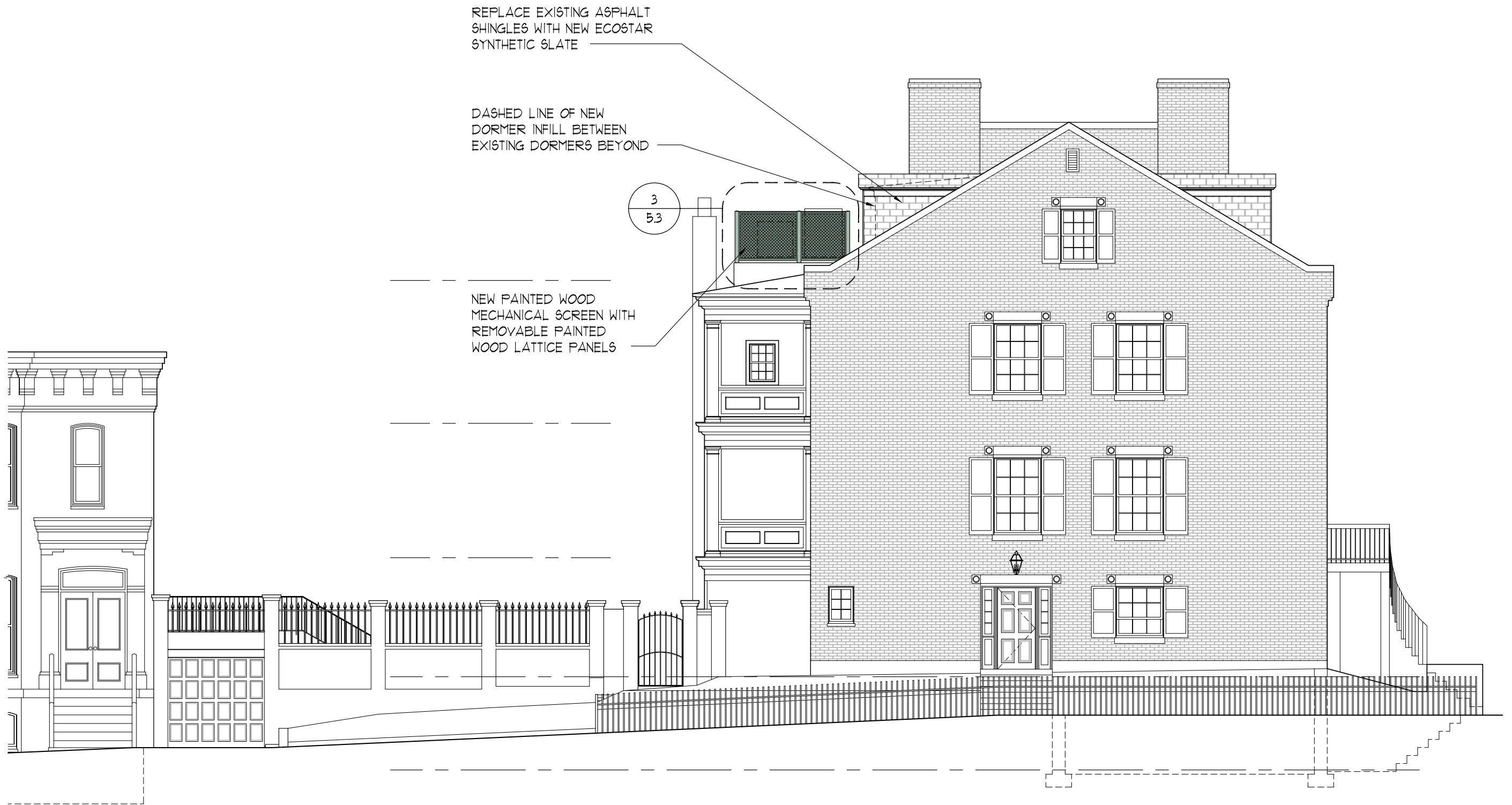
SCALE: 1/8" = 1'-0"

3100 DUMBARTON ST NW
WASHINGTON, DC 20007

4.1

EXTERIOR ELEVATIONS
DATE: 09/18/2020

BVA



1 - 31ST STREET ELEVATION (EAST)
PROPOSED

SCALE: 1/8" = 1'-0"

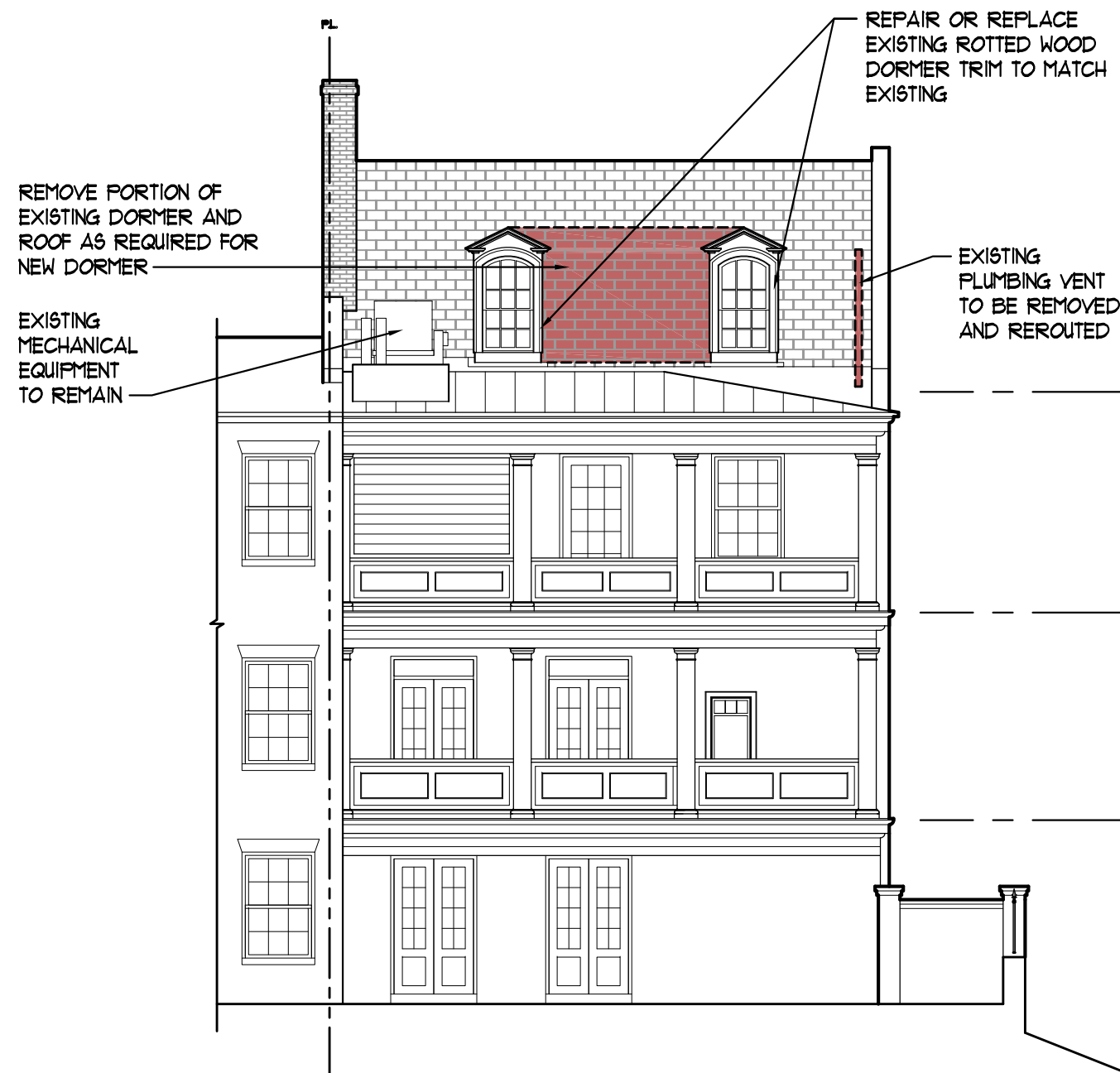
3100 DUMBARTON ST NW
WASHINGTON, DC 20007

4.2

31ST ST NW EXTERIOR ELEVATIONS

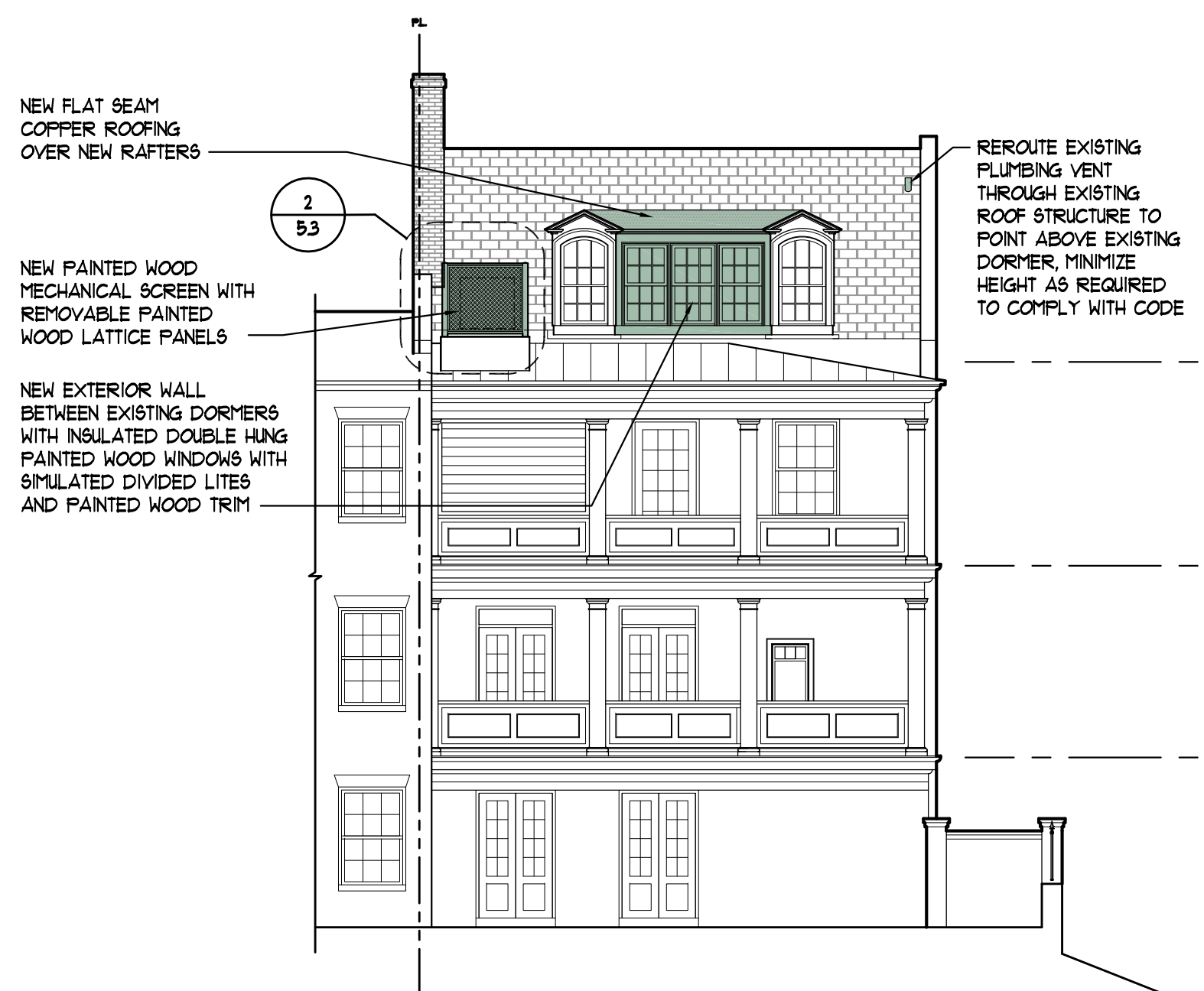
DATE: 09/18/2020

BVA



1 - REAR YARD ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"



2 - REAR YARD ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"

3100 DUMBARTON ST NW
WASHINGTON, DC 20007

BVA

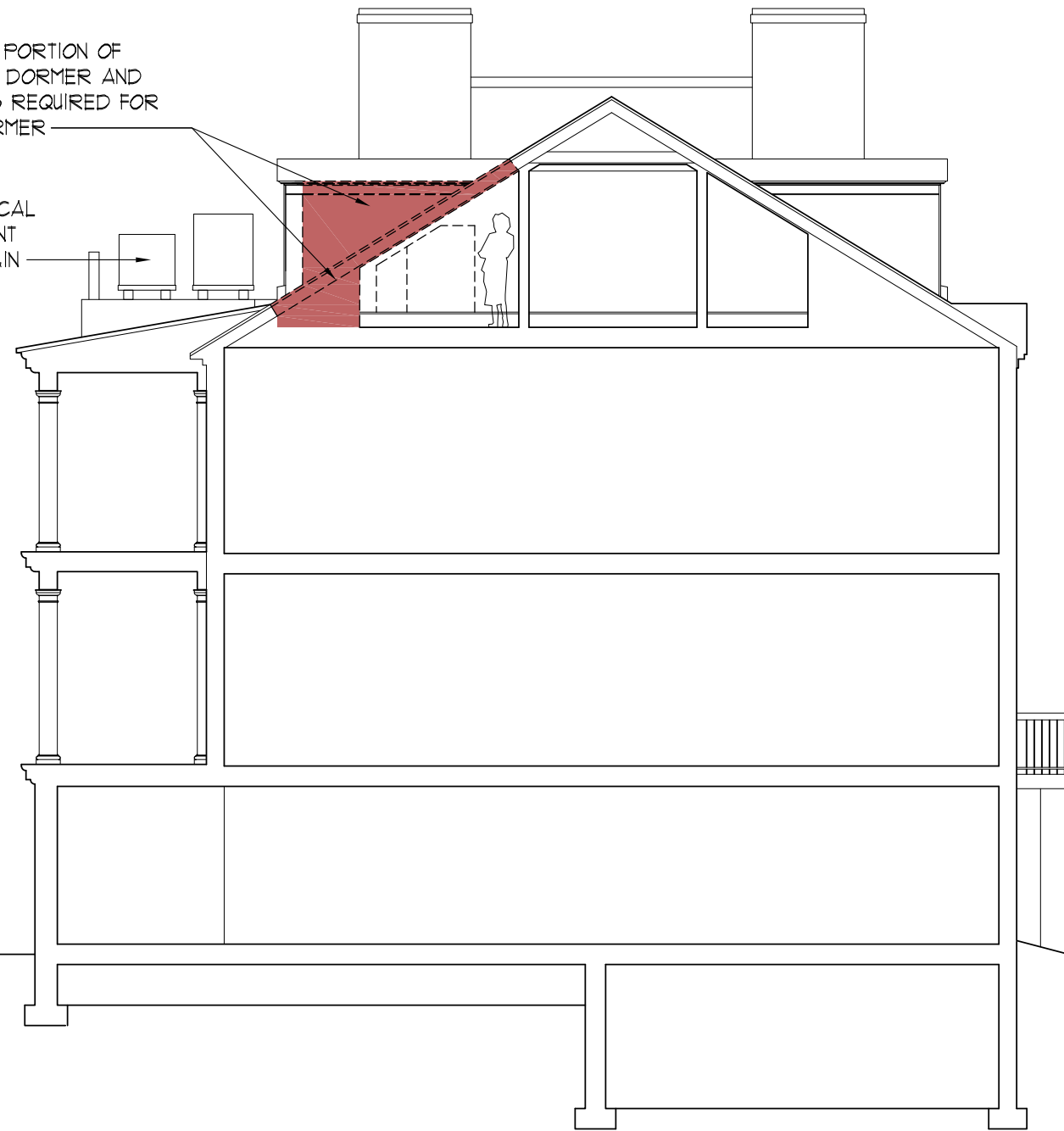
4.3

REAR YARD EXTERIOR ELEVATIONS

DATE: 09/18/2020

REMOVE PORTION OF
EXISTING DORMER AND
ROOF AS REQUIRED FOR
NEW DORMER

EXISTING
MECHANICAL
EQUIPMENT
TO REMAIN



1 - BUILDING SECTION - EXISTING

SCALE: 1/8" = 1'-0"

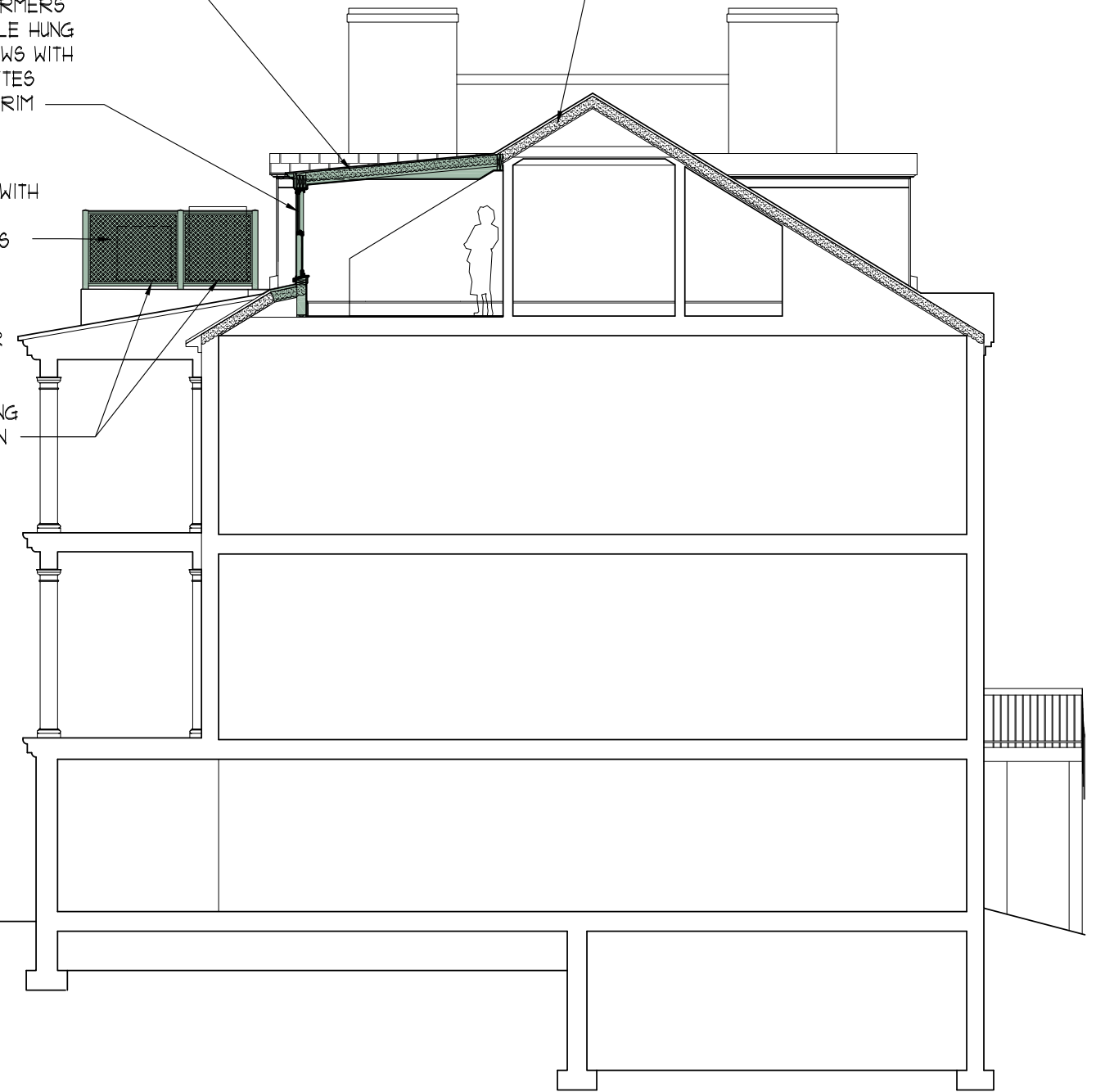
NEW FLAT SEAM COPPER
ROOFING OVER NEW RAFTERS

NEW EXTERIOR WALL
BETWEEN EXISTING DORMERS
WITH INSULATED DOUBLE HUNG
PAINTED WOOD WINDOWS WITH
SIMULATED DIVIDED LITES
AND PAINTED WOOD TRIM

NEW PAINTED WOOD
MECHANICAL SCREEN WITH
REMOVABLE PAINTED
WOOD LATTICE PANELS

COORDINATE WITH
ACOUSTICAL ENGINEER
TO PROVIDE
SOUND/VIBRATION
ISOLATION FOR EXISTING
HVAC UNITS TO REMAIN

PROVIDE ACCESS AS REQUIRED IN EXISTING
CEILING TO INSTALL CLOSED-CELL SPRAY
FOAM INSULATION AT UNDERSIDE OF
EXISTING ROOF DECK, MAXIMIZE INSULATION
THICKNESS WITHIN EXISTING ROOF STRUCTURE



2 - BUILDING SECTION - PROPOSED

SCALE: 1/8" = 1'-0"

3100 DUMBARTON ST NW
WASHINGTON, DC 20007

4.4

BUILDING SECTIONS

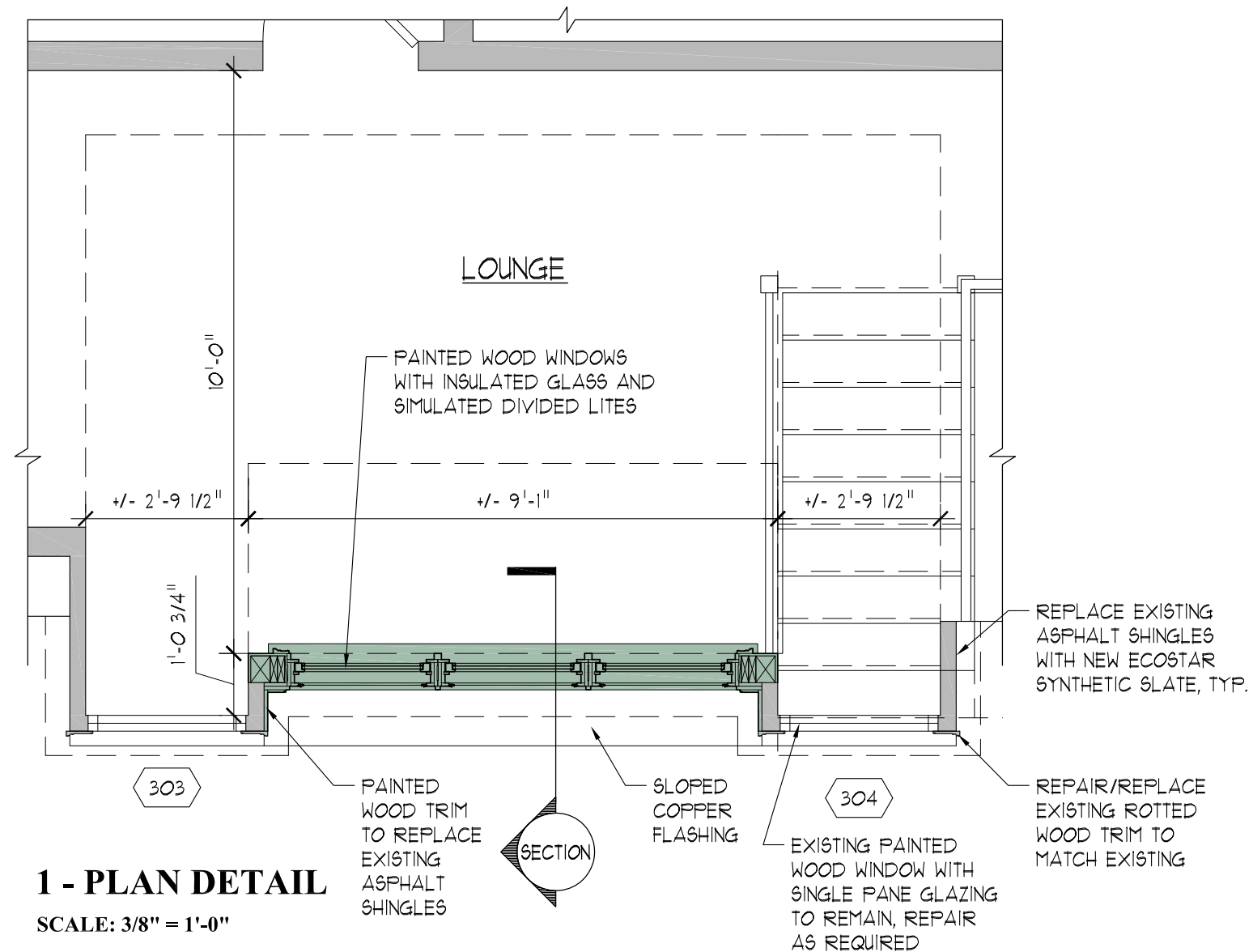
DATE: 09/01/2020

BVA



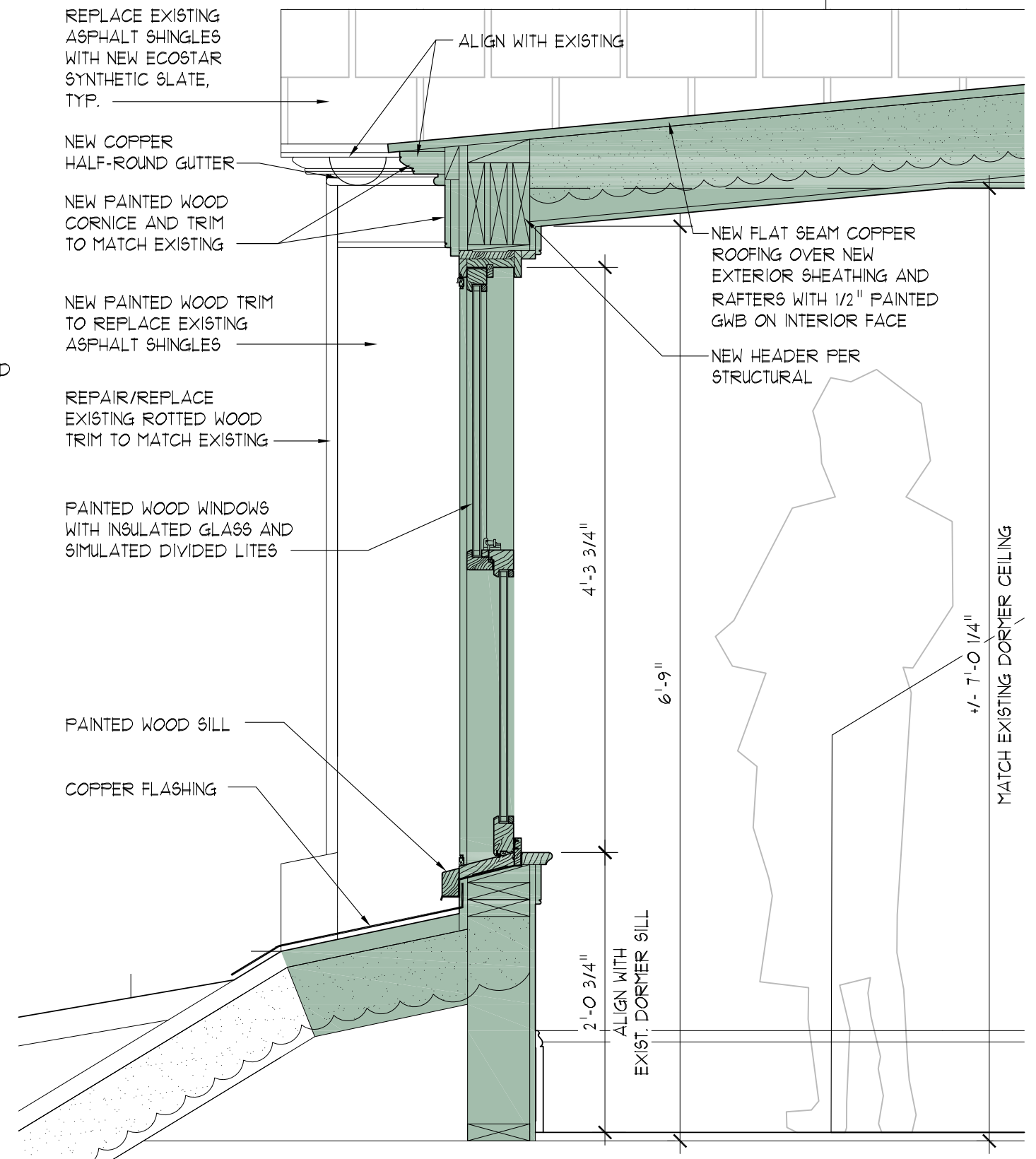
2 - ELEVATION DETAIL

SCALE: 3/8" = 1'-0"



1 - PLAN DETAIL

SCALE: 3/8" = 1'-0"



3 - SECTION DETAIL

SCALE: 1" = 1'-0"

3100 DUMBARTON ST NW
WASHINGTON, DC 20007

5.1

DORMER INFILL

DATE: 09/18/2020

BVA



WINDOW 303 - EXISTING CONDITIONS

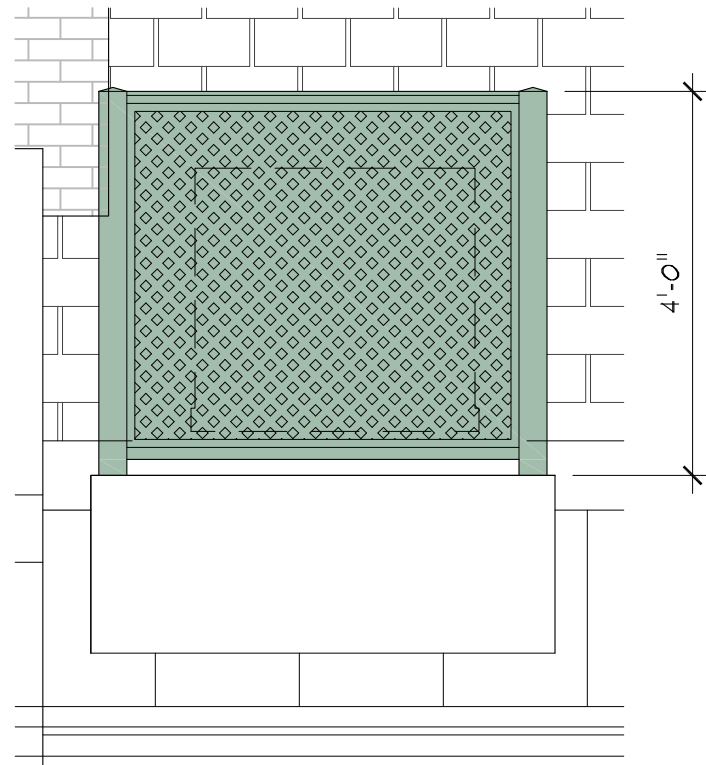
WINDOW 304 - EXISTING CONDITIONS

3100 DUMBARTON ST NW
WASHINGTON, DC 20007

5.2

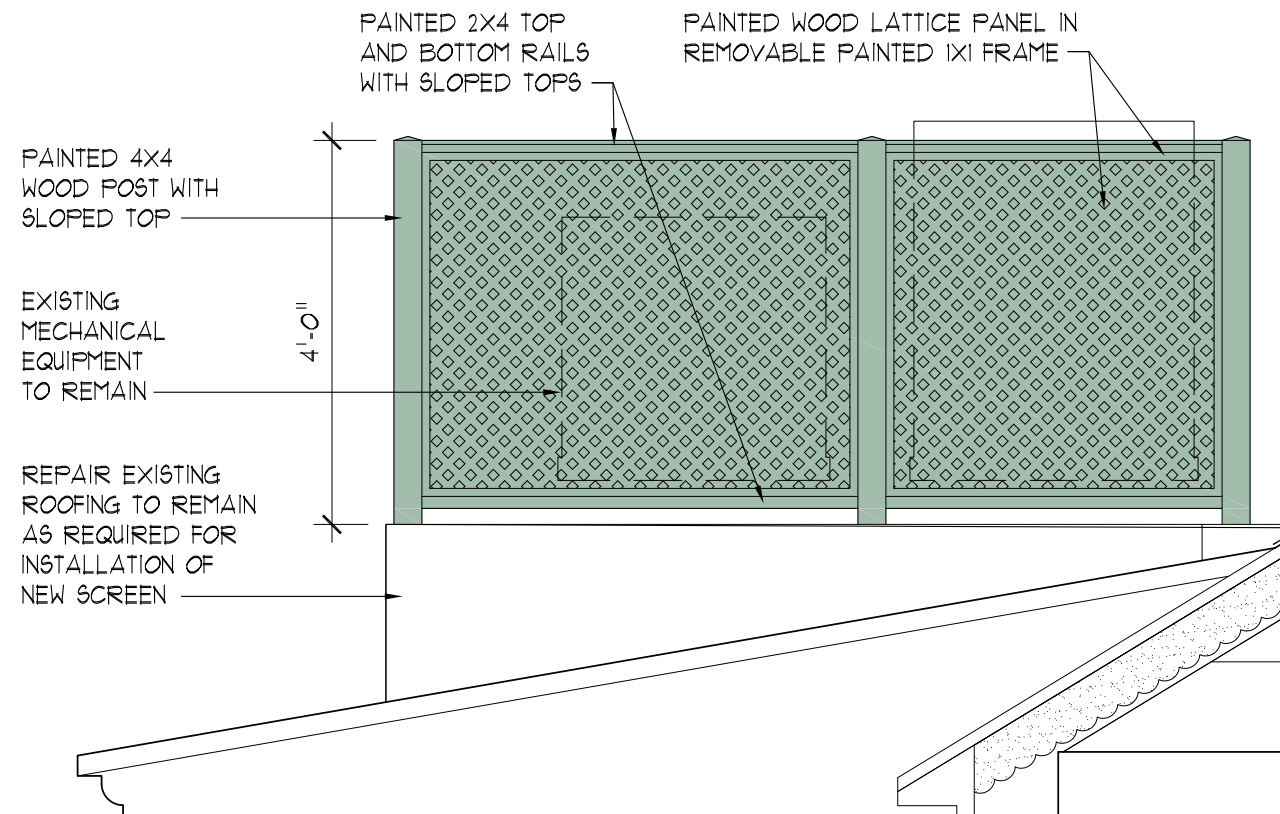
DORMER INFILL
DATE: 09/18/2020

BVA



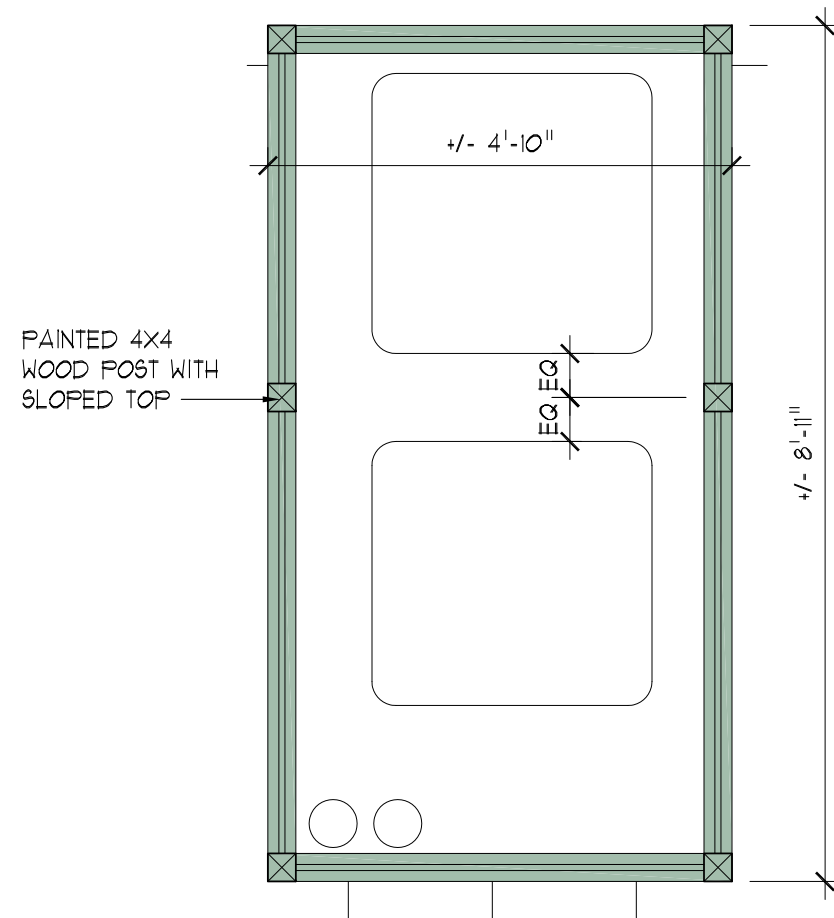
2 - ELEVATION DETAIL

SCALE: 1" = 1'-0"



3 - ELEVATION DETAIL

SCALE: 1" = 1'-0"



1 - PLAN DETAIL

SCALE: 1" = 1'-0"



4 - VIEW FROM 31ST ST NW



5 - DETAIL VIEW



6 - DETAIL VIEW

3100 DUMBARTON ST NW
WASHINGTON, DC 20007

5.3

MECHANICAL SCREEN
DATE: 09/18/2020

BVA

EXISTING BRICK TO REMAIN

EXISTING WOOD CASEMENT
WINDOW WITH SINGLE PANE
GLAZING TO BE REPLACED
TO MATCH EXISTING

EXISTING INTERIOR
LOUVERED SHUTTERS
TO REMAIN

EXISTING WOOD SASH
STOP TO BE REPLACED
TO MATCH EXISTING

EXISTING WOOD BRICK
MOULD TO BE REPLACED
TO MATCH EXISTING

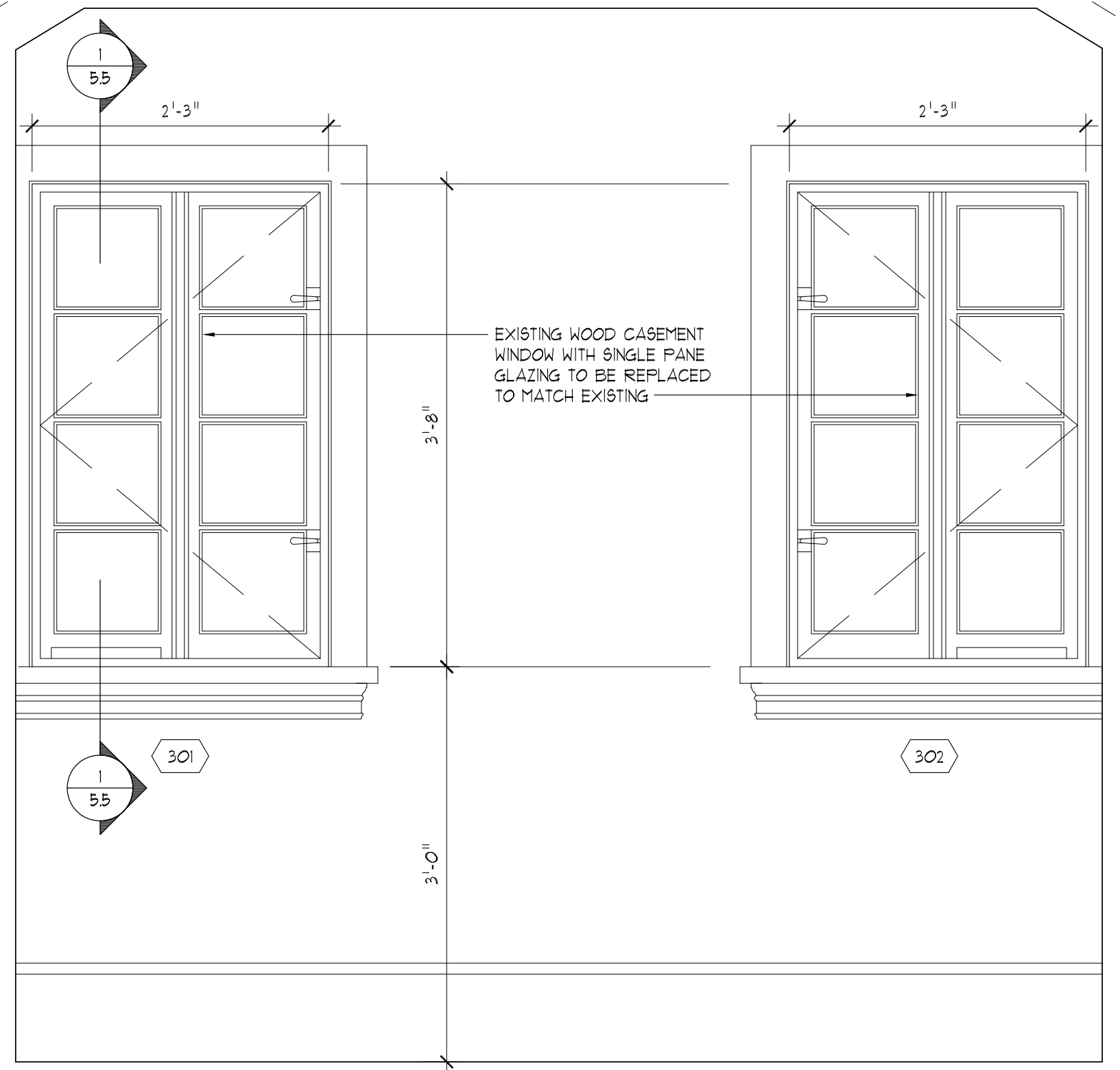
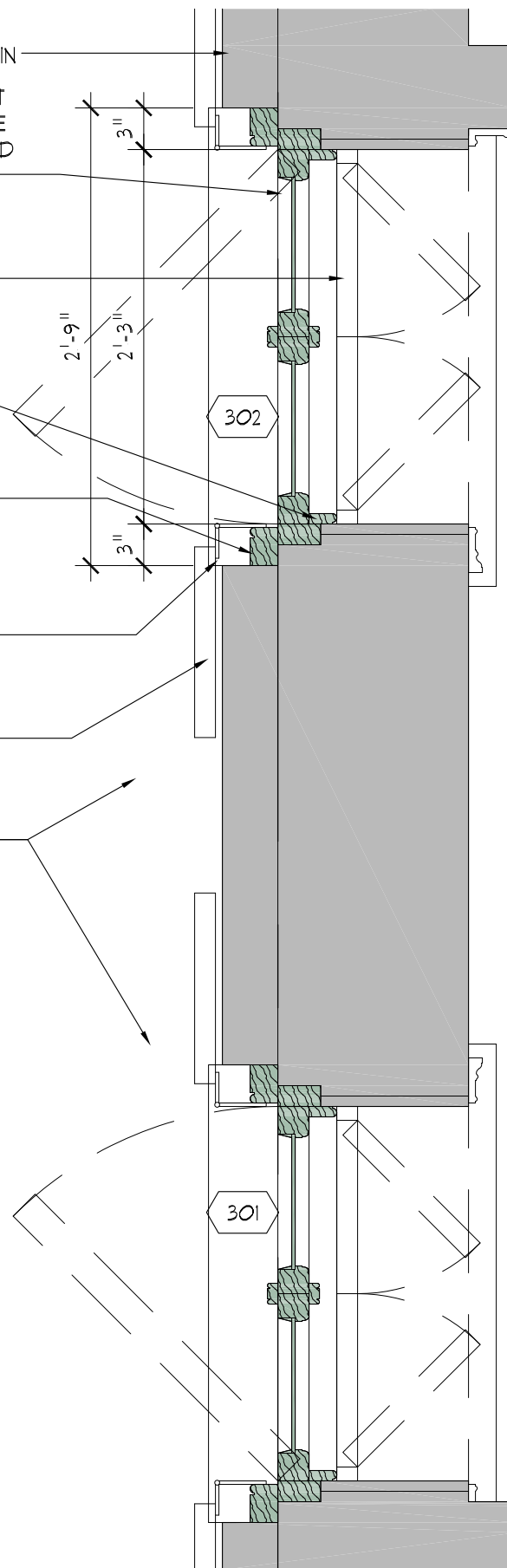
EXISTING SILL AND
FLASHING TO BE
REPLACED TO MATCH
EXISTING AS REQUIRED

REFINISH AND REINSTALL
EXISTING PAINTED WOOD
SHUTTERS, TYP.

NOTE:
TYPICAL BOTH WINDOWS

1 - PLAN DETAIL

SCALE: 1" = 1'-0"



2 - WINDOW ELEVATIONS

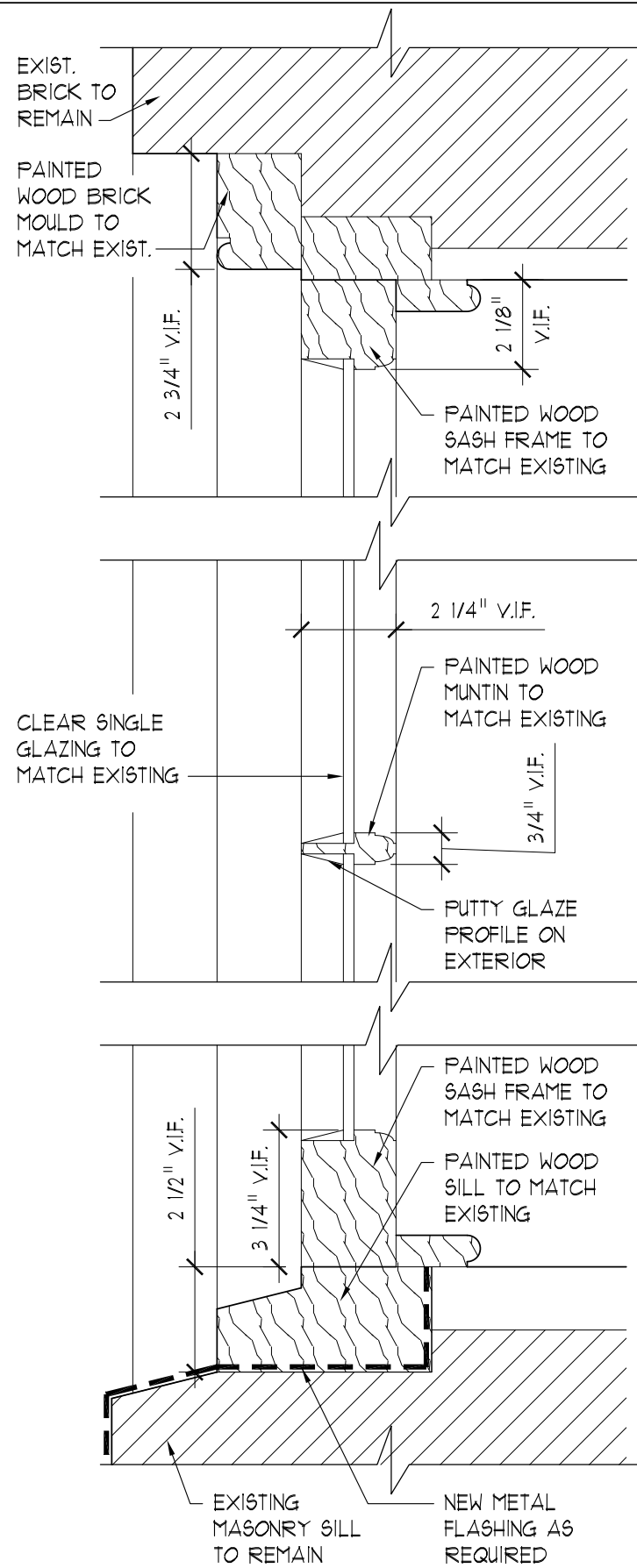
SCALE: 1" = 1'-0"

3100 DUMBARTON ST NW
WASHINGTON, DC 20007

5.4

WINDOW REPLACEMENT
DATE: 09/18/2020

BVA



1 - WINDOW SECTION DETAILS

SCALE: 3" = 1'-0"



WINDOW 301



WINDOW 301

EXISTING ROTTING WOOD SILL



WINDOW 302



WINDOW 302



WINDOWS 302 & 301
(EXTERIOR VIEW)

EXISTING ROTTING WOOD SILL

3100 DUMBARTON ST NW
WASHINGTON, DC 20007

5.5

WINDOW REPLACEMENT
DATE: 09/18/2020

BVA



DETAIL VIEW

WINDOWS 302
AND 301 BELOW

REMOVE EXISTING ROTTED WOOD
FRAME AND SCREEN

REPLACE EXISTING RUSTED LOUVER
WITH NEW CUSTOM COPPER LOUVER
TO MATCH EXISTING STYLE



EXAMPLE OF PROPOSED LOUVER



EXISTING LOUVER TO BE REPLACED

VIEW FROM DUMBARTON STREET

3100 DUMBARTON ST NW
WASHINGTON, DC 20007

5.6

MECHANICAL VENT

DATE: 09/18/2020

BVA