



shinberg.levinas +

ZPZ PARTNERS

DGS/DCPS SWS @Goding Elementary School CFA Concept Review

920 F St NE, Washington, DC 20002
October 1, 2020

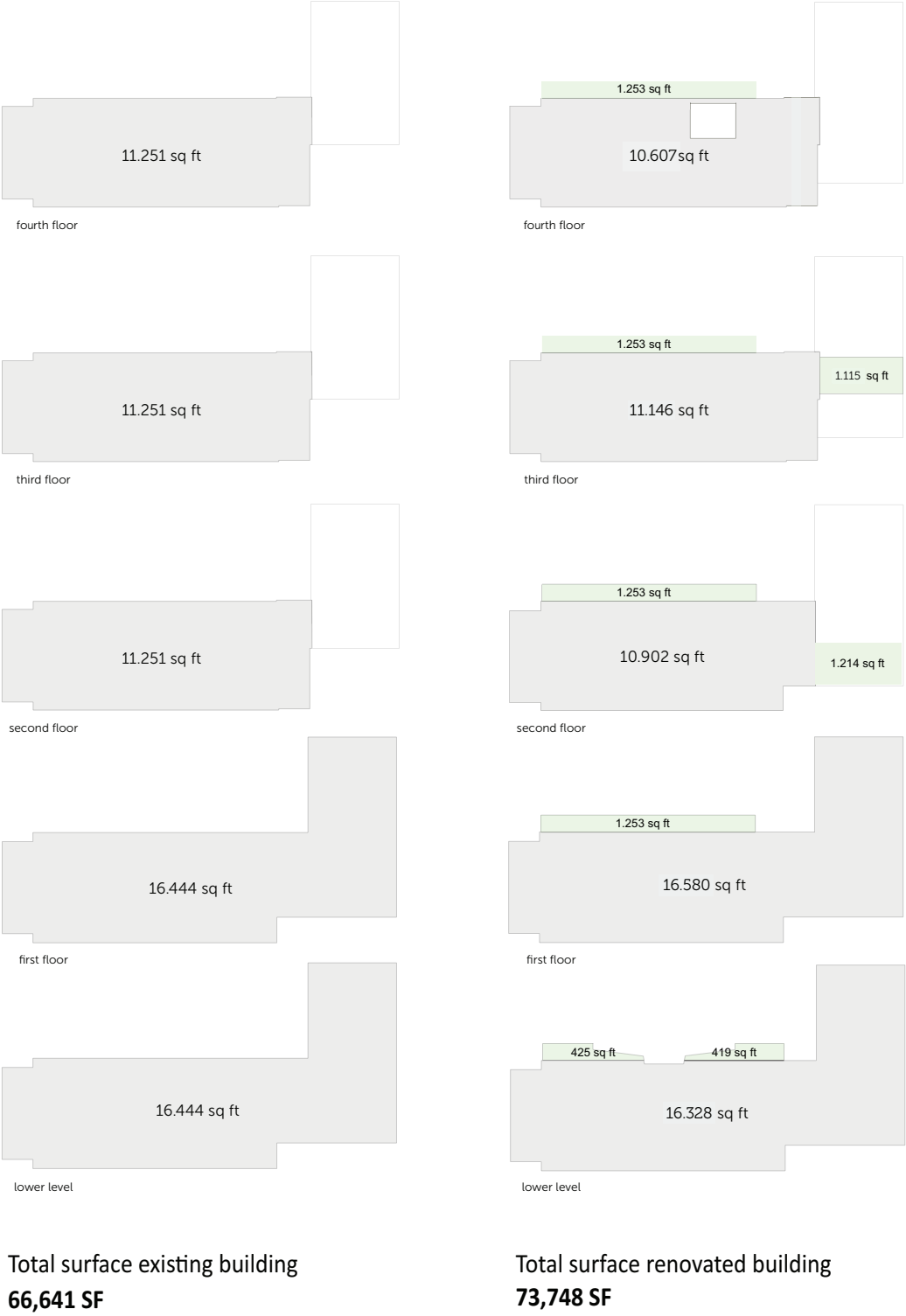
Project Overview

School Within School @Goding Elementary School is an existing DCPS building located at 920 F St NE., originally constructed in 1959. Since then, the building has undergone a series of improvements, the latest of which was in 2017 to implement HVAC and lighting upgrades. The building is not considered a historic resource, nor is it located in a historic district. The school's program serves all the wards within the District, and follows the Reggio Emilia approach.

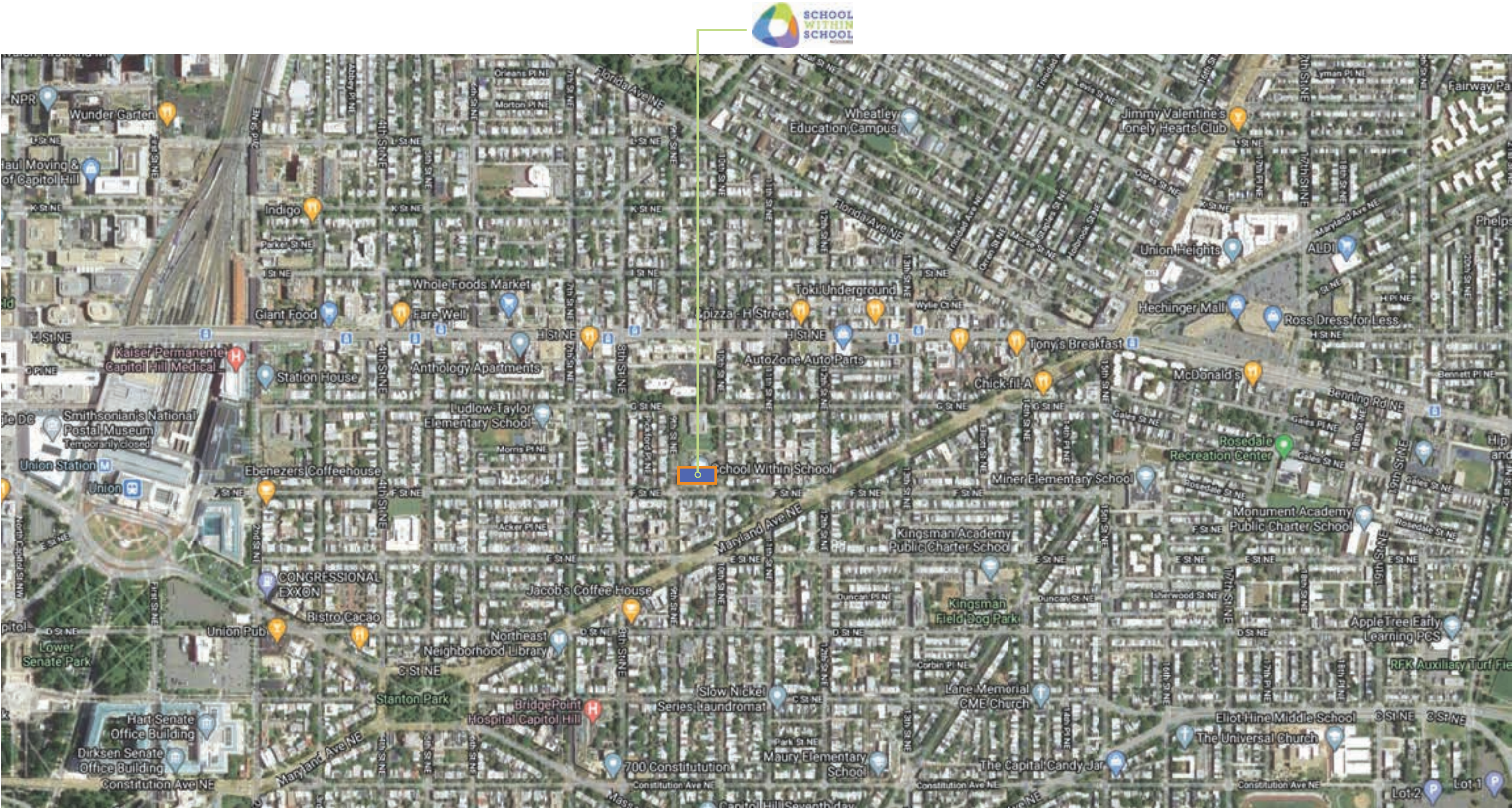
The existing building faces F St NE at the South; and 9th St and 10th St NE along the sides. The rear of the building, its North façade and parking area are located adjacent to DPR's Sherwood Recreation Center. The building occupies the full width of the site, with a very limited outdoor programmed area and minimal parking. There is no playground on site, and students use adjacent recreation center grounds for outdoor activity. The public space located between the school building and the sidewalk along 9th St. has been programmed to include some outdoor activities and food garden.

The existing structure consists of 4 stories and a basement. The lower level/ park level facing the North parking area is a full level lower than the ground floor along F St NE.

- The Goding Elementary School Modernization project includes the following scope:
- Addition of 7,107 SF to allow the building to meet current Education Specification requirements; added SF is located at the North façade, and on top of the existing gymnasium wing;
 - Level 3 modernization of existing spaces;
 - Improvements to outdoor spaces available to the school for students' use at grade level;
 - New exterior design including new glazing and façade refinishing;
 - New roof terrace and outdoor classroom on top of the gymnasium wing.



Site Overview



Aerial Map



Sherwood Recreation Center



SWS @Goding Elementary School

G ST NE

F ST NE

9TH ST NE

10TH ST NE



Site Photos - Street Views



01: Corner of F St and 10th St



02: Corner of F St and 10th St, main entrance



03: Corner of F St and 10th St, looking down 10th St.



04: 10th St looking South, at DPR access point



05: Corner of F St and 9th St, looking North



06: 9th St, looking South

Site Photos - Building Views



01: Corner of F St and 10th St, main entrance



02: Along the South façade, play space



03: Parking lot from 9th St NE



04: Waste management and service/loading



05: North façade



06: Looking North toward Sherwood Recreation Center

Location Map and Zoning Summary



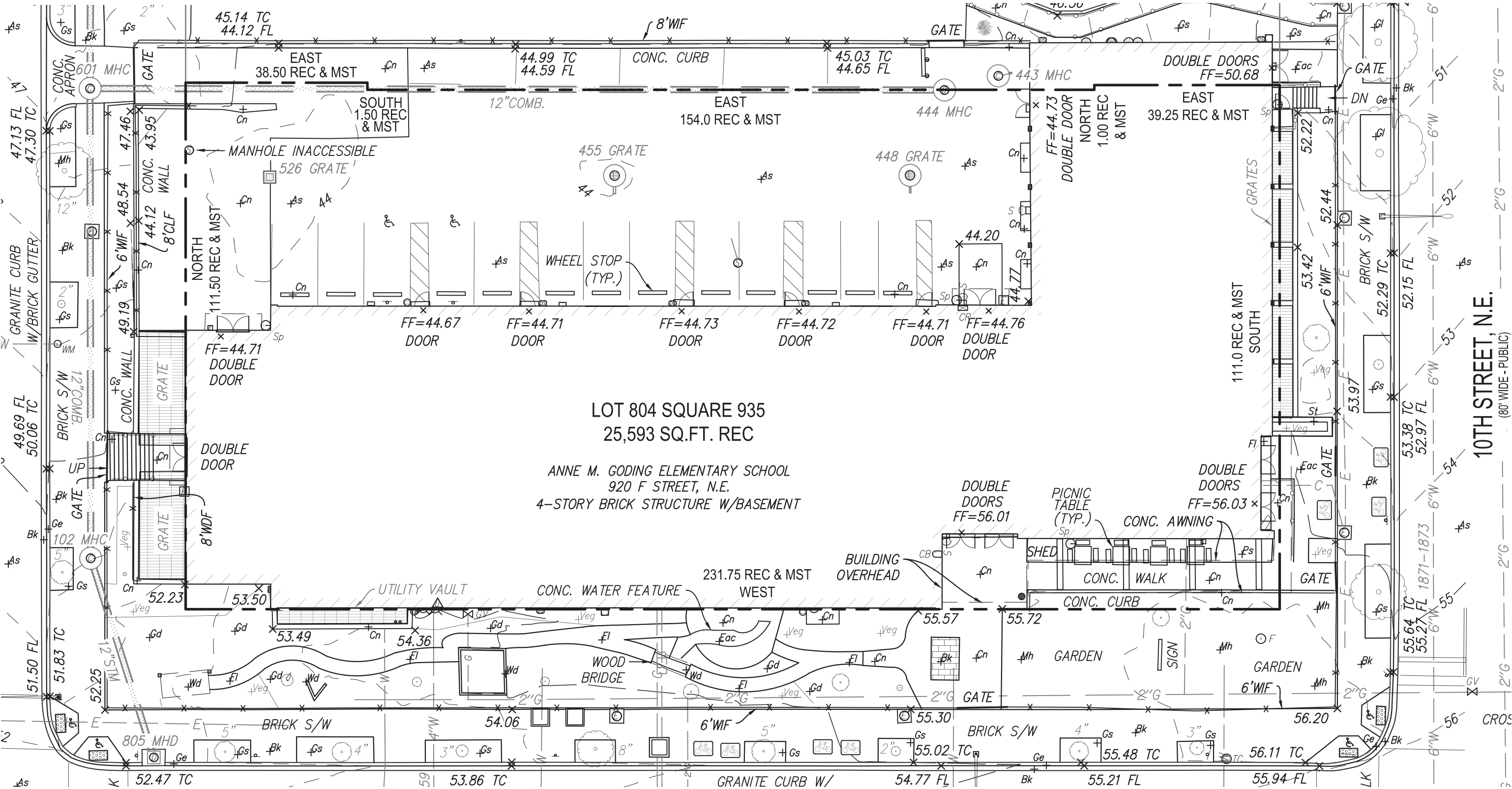
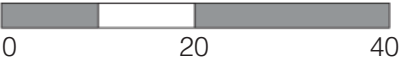
Address: 920 F St NE
Square No.: 0935
Lot No.: 0804
Land Area: 25,593 SF
Zoning District: RF-1
Historic District/Landmark: none
Current/Proposed Use: educational (no change)

Building Area:
Existing 66,641 SF
Addition 7,107 SF
Total Existing + Addition 73,748 SF



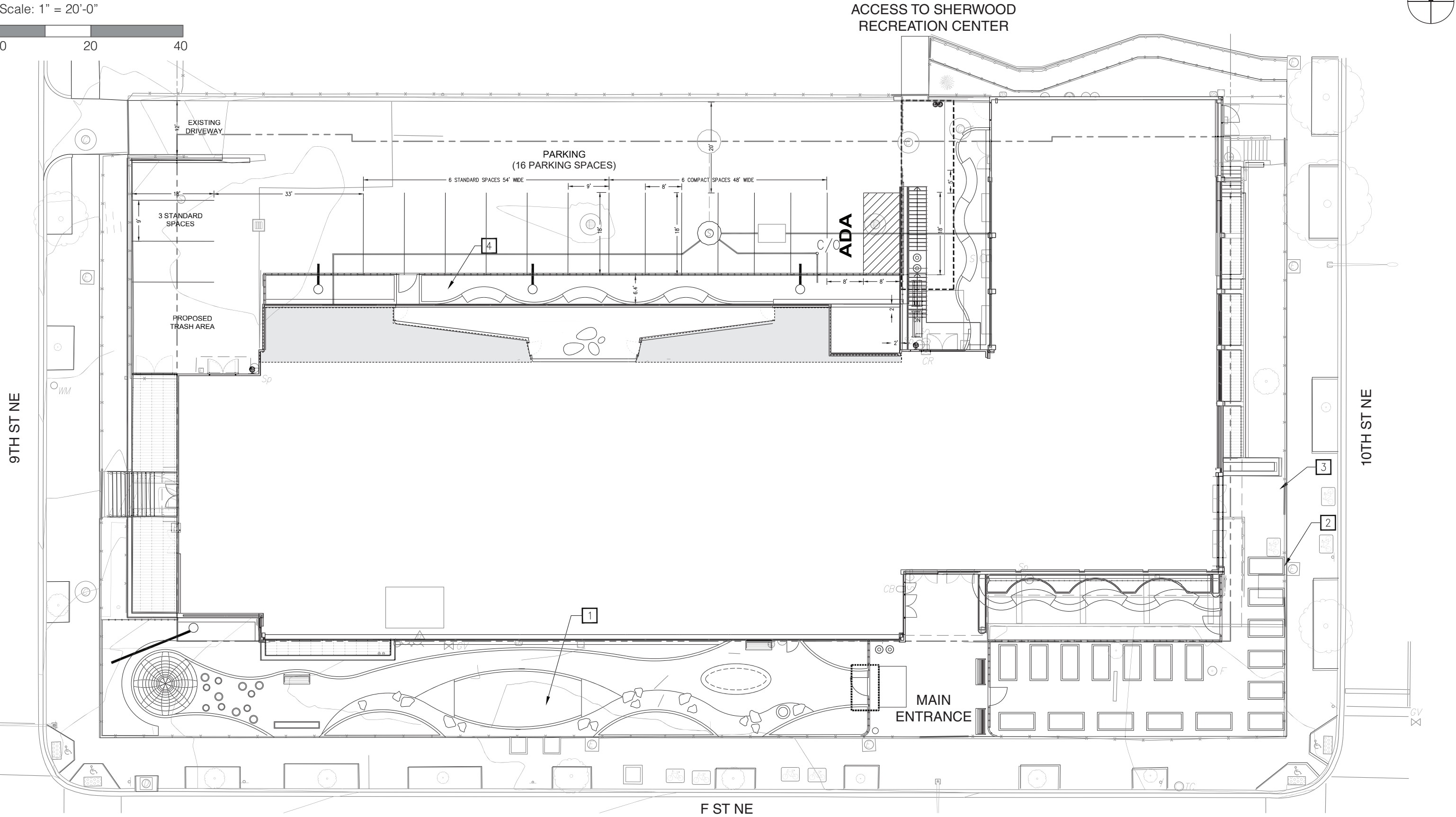
Survey, Existing Conditions

Scale: 1" = 20'-0"



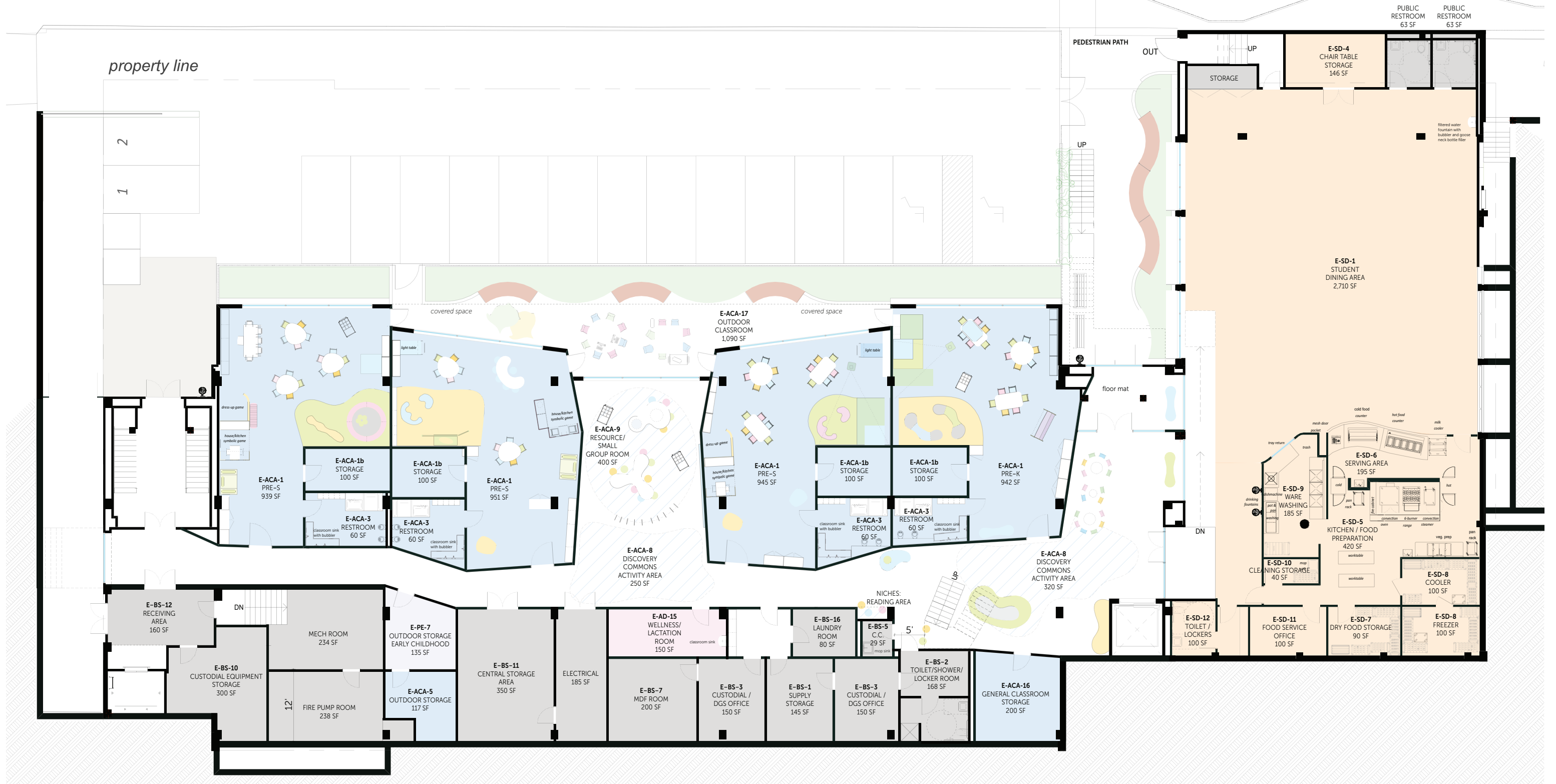
Proposed Site Plan

Scale: 1" = 20'-0"



Proposed Floor Plan - 00 Park Level

Scale: 1/16" = 1'-0"





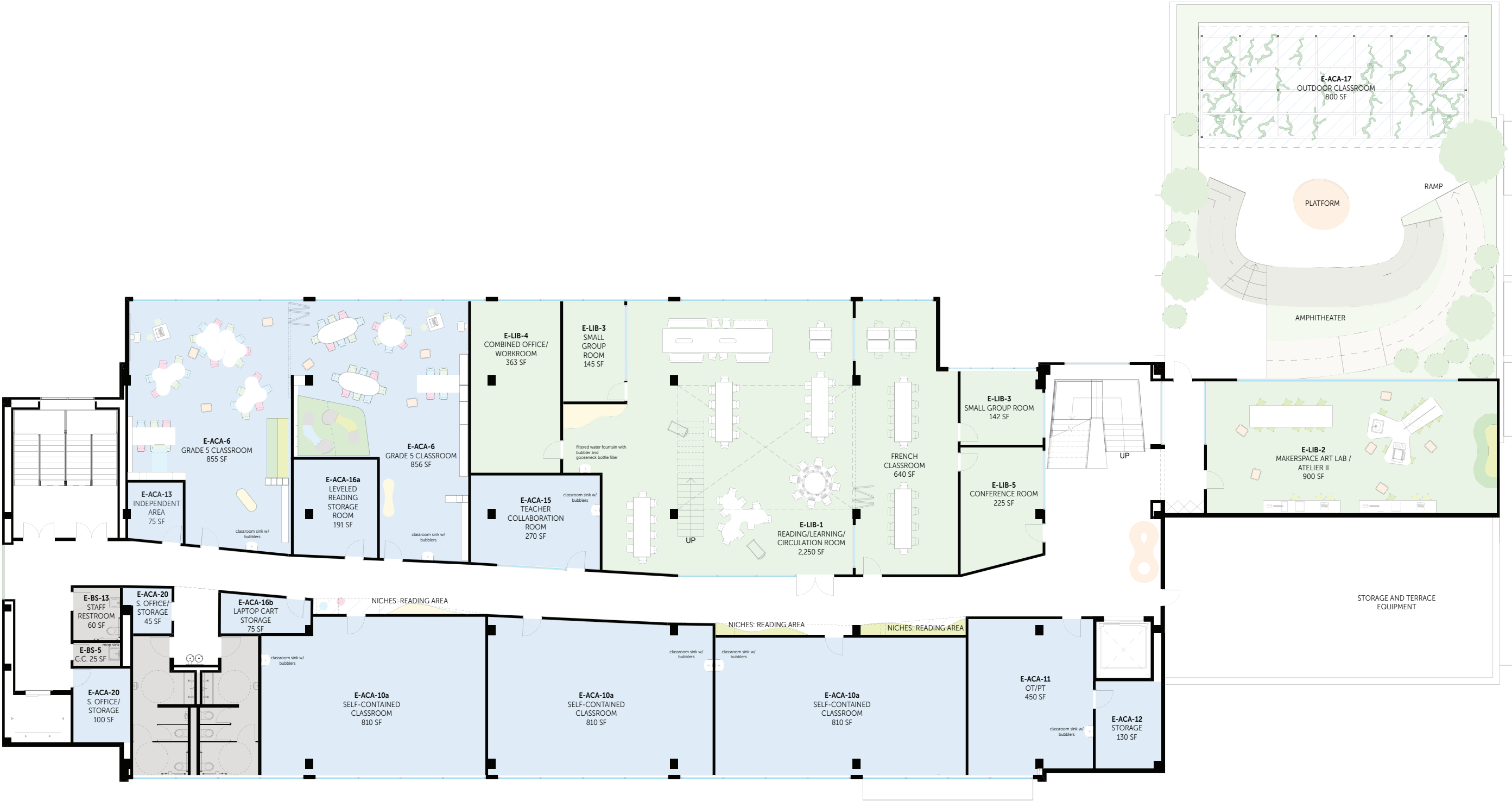
Proposed Floor Plan - 02 Second Level

Scale: 1/16" = 1'-0"



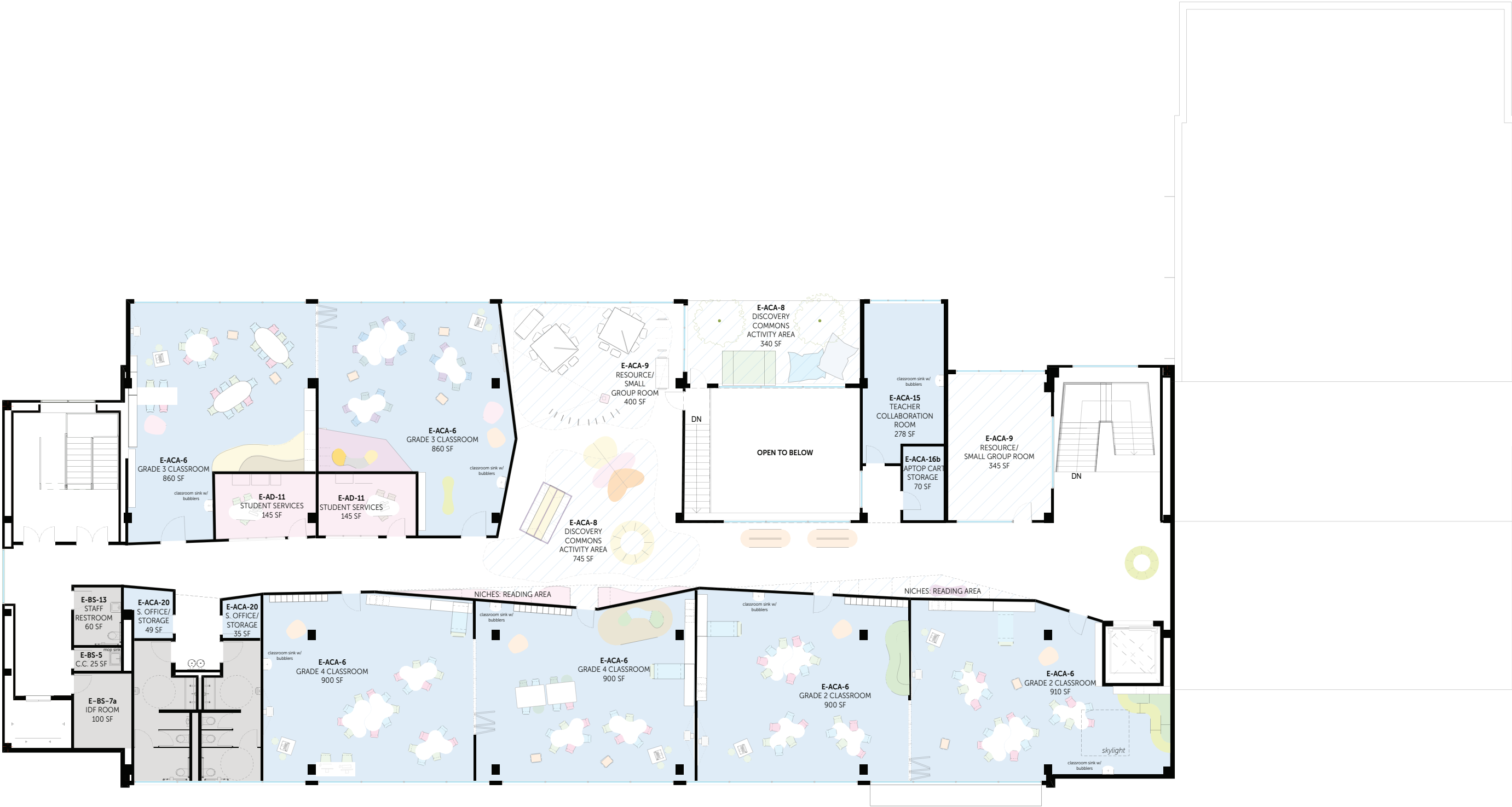
Proposed Floor Plan - 03 Third Level

Scale: 1/16" = 1'-0"



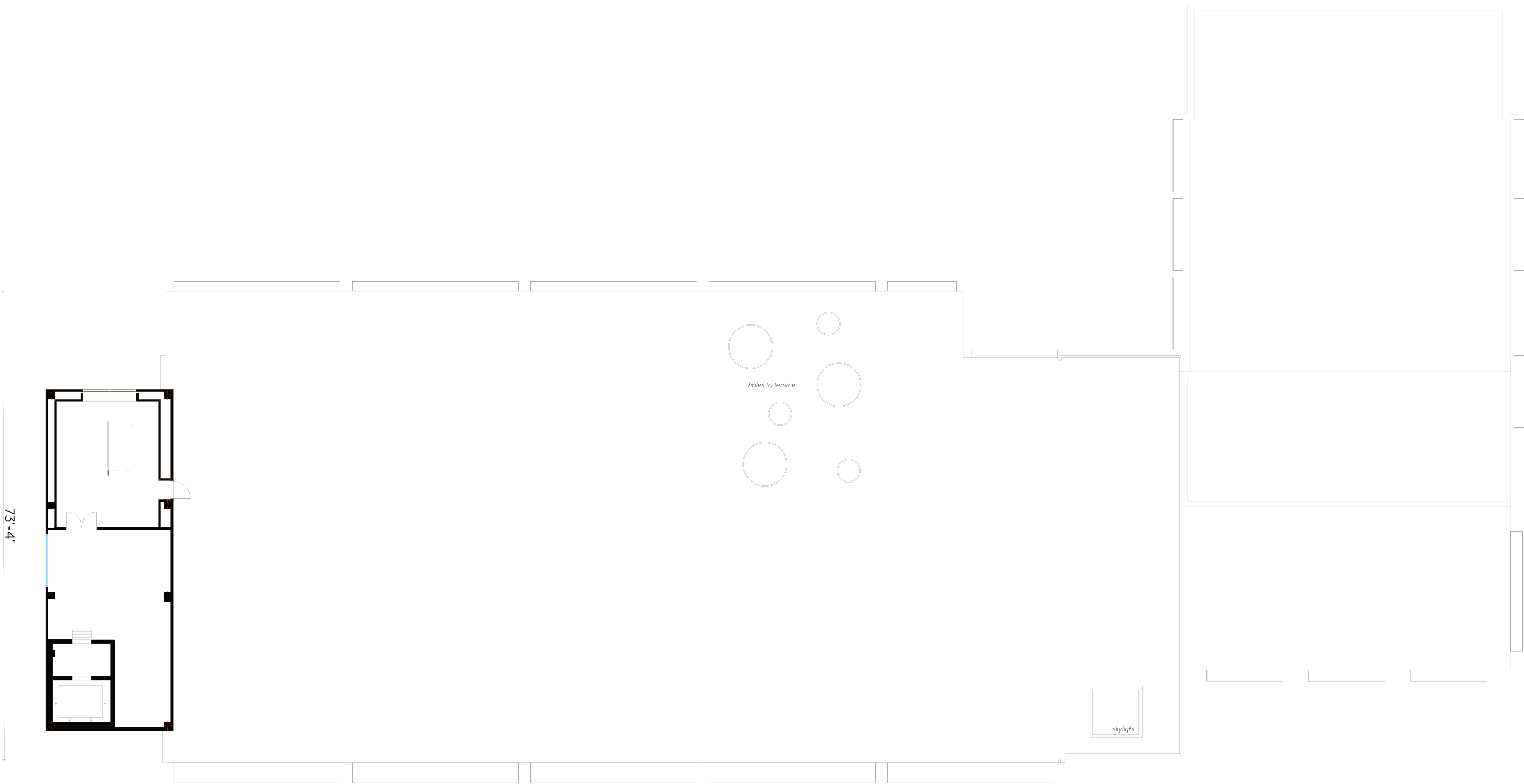
Proposed Floor Plan - 04 Fourth Level

Scale: 1/16" = 1'-0"



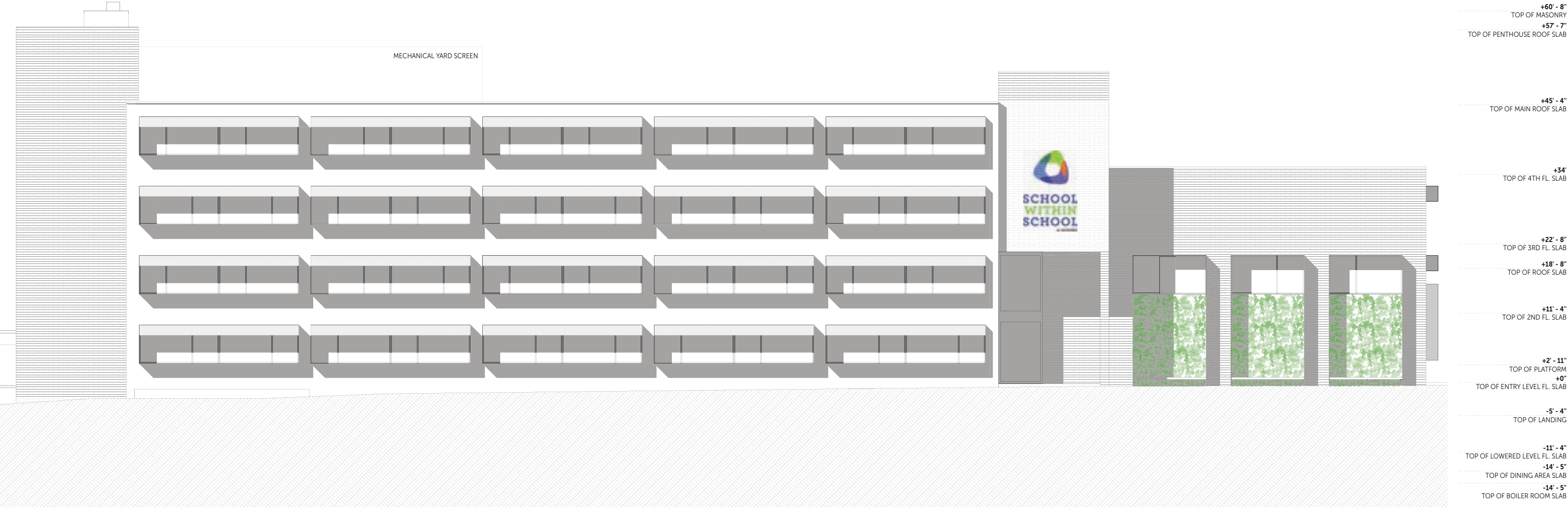
Proposed Floor Plan - 05 Roof Level

Scale: 1/16" = 1'-0"



Proposed Elevation - South

Scale: 1/16" = 1'-0"



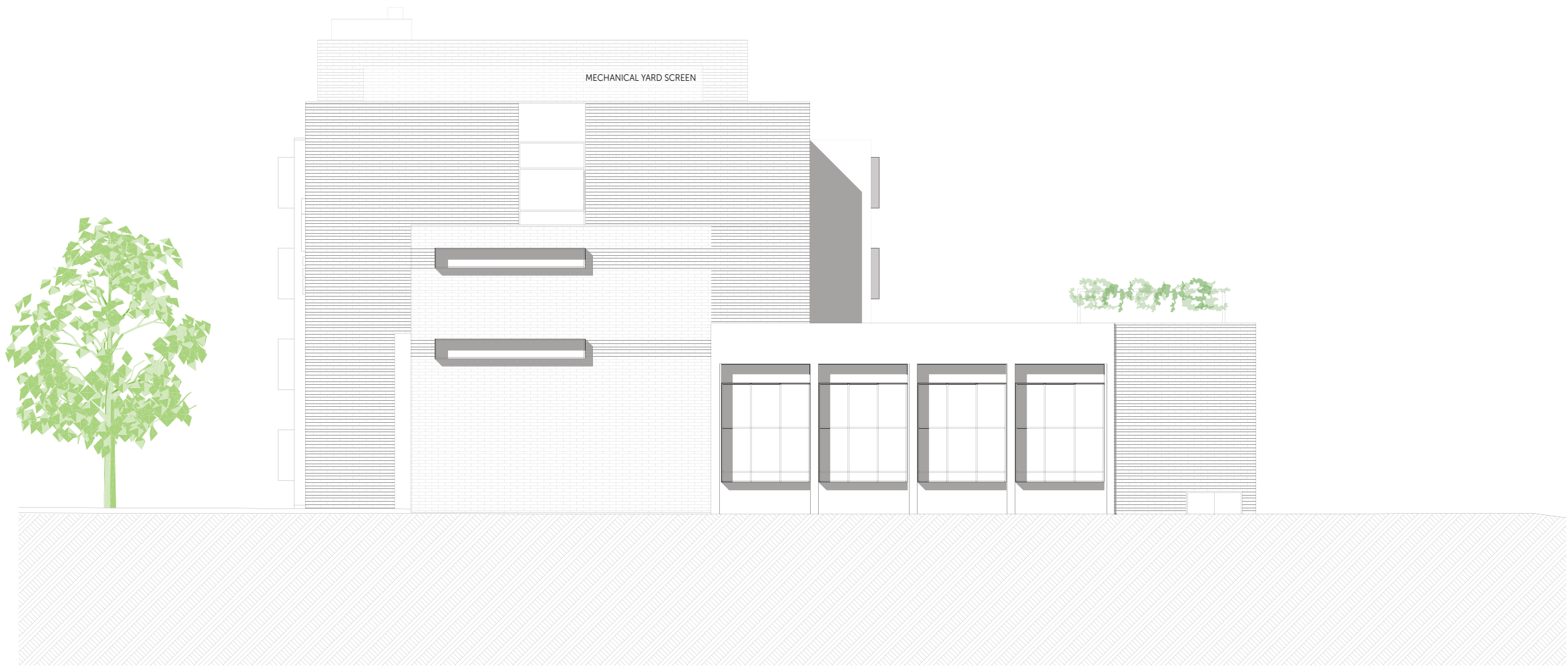
Proposed Elevation - North

Scale: 1/16" = 1'-0"



Proposed Elevation - East

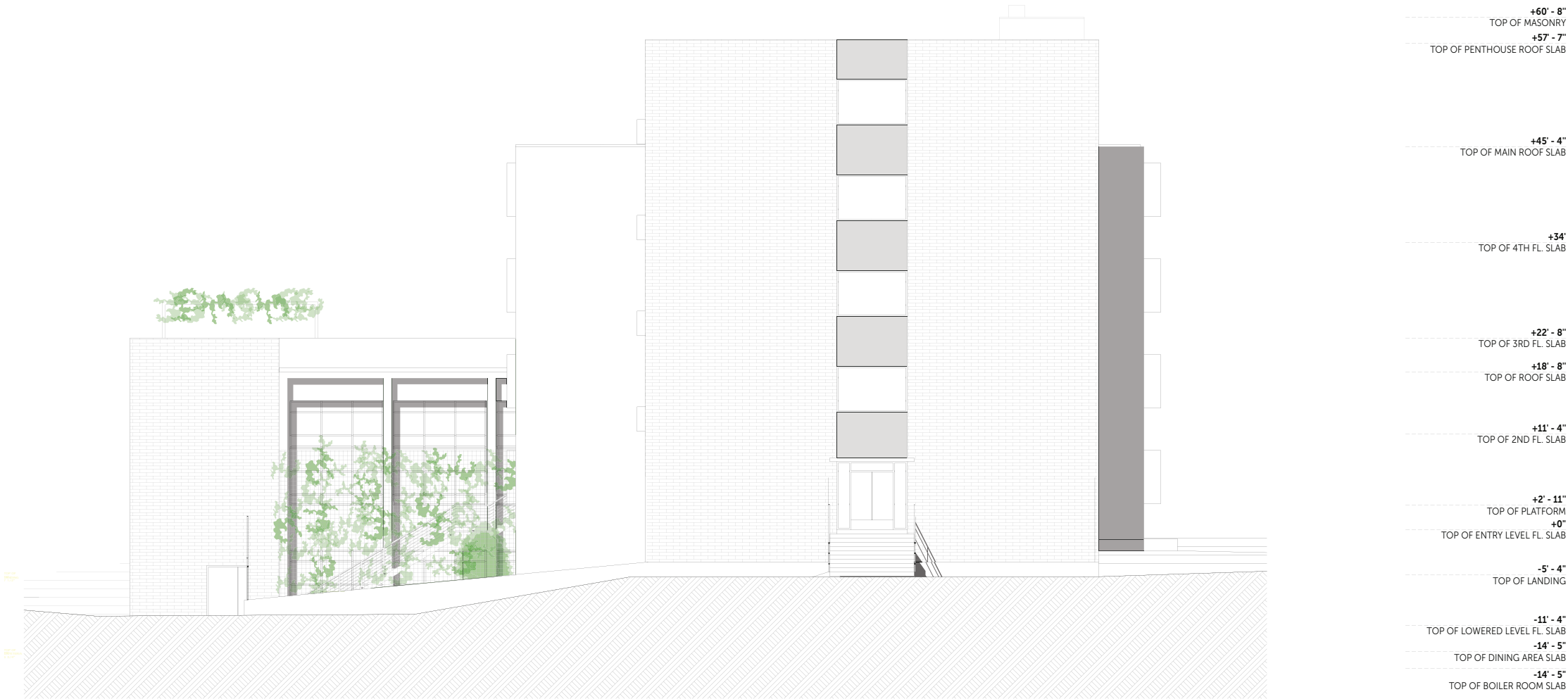
Scale: 1/16" = 1'-0"



- +60' - 8" TOP OF MASONRY
- +57' - 7" TOP OF PENTHOUSE ROOF SLAB
- +45' - 4" TOP OF MAIN ROOF SLAB
- +34' TOP OF 4TH FL. SLAB
- +22' - 8" TOP OF 3RD FL. SLAB
- +18' - 8" TOP OF ROOF SLAB
- +11' - 4" TOP OF 2ND FL. SLAB
- +2' - 11" TOP OF PLATFORM
- +0" TOP OF ENTRY LEVEL FL. SLAB
- 5' - 4" TOP OF LANDING
- 11' - 4" TOP OF LOWERED LEVEL FL. SLAB
- 14' - 5" TOP OF DINING AREA SLAB
- 14' - 5" TOP OF BOILER ROOM SLAB

Proposed Elevation - West

Scale: 1/16" = 1'-0"



- +60' - 8"
TOP OF MASONRY
- +57' - 7"
TOP OF PENTHOUSE ROOF SLAB
- +45' - 4"
TOP OF MAIN ROOF SLAB
- +34'
TOP OF 4TH FL. SLAB
- +22' - 8"
TOP OF 3RD FL. SLAB
- +18' - 8"
TOP OF ROOF SLAB
- +11' - 4"
TOP OF 2ND FL. SLAB
- +2' - 11"
TOP OF PLATFORM
- +0"
TOP OF ENTRY LEVEL FL. SLAB
- 5' - 4"
TOP OF LANDING
- 11' - 4"
TOP OF LOWERED LEVEL FL. SLAB
- 14' - 5"
TOP OF DINING AREA SLAB
- 14' - 5"
TOP OF BOILER ROOM SLAB

View 01 - South Elevation

View from F St NE, South Façade, Main Entrance



Existing



View 02 - North Elevation

View from Parking Lot, North Façade



Existing



View 03 - East Elevation

View from 10th St NE, Gym Façade



Existing



Façade Detail

SOLAR SCREEN PROTECTION (SOUTH)
COLOR: TO MATCH WINDOW FRAME
PATTERN: PERFORATED

ALUMINIUM FRAMES
COLOR: DARK GREY
FINISH: ANODIZED

SOLAR SCREEN PROTECTION (SOUTH)
COLOR: TO MATCH WINDOW FRAME
PATTERN: PERFORATED

THIN METAL FRAMES
INTERNAL SIDES: MULTICOLOR
EXTERNAL SIDES: WHITE



WHITE STUCCO

BRICK
WHITEWASH FINISH

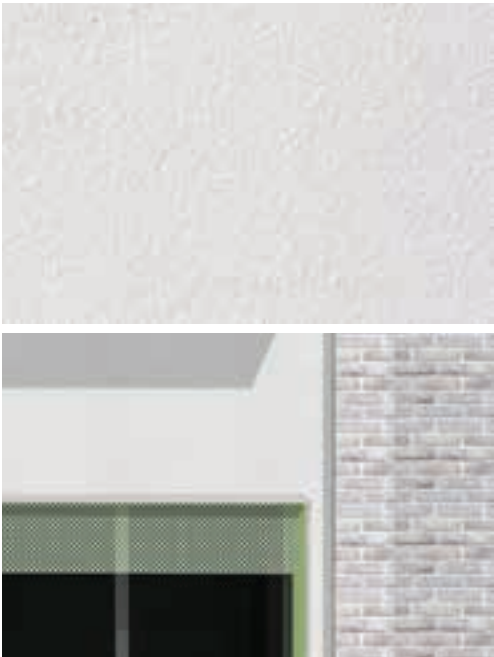
Proposed Materials - South Elevation

images are for reference only

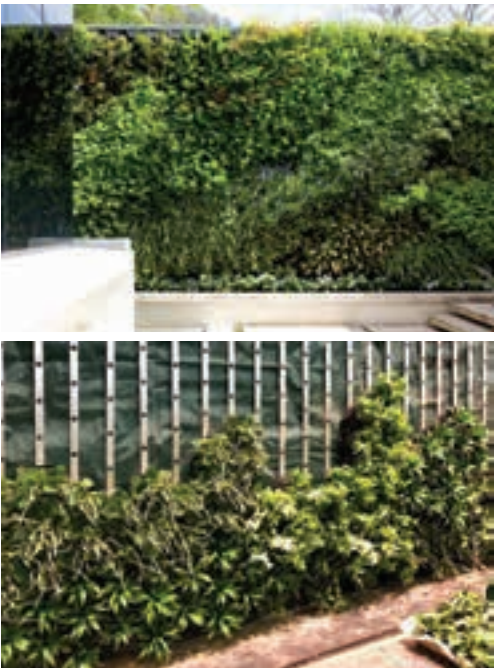
WHITEWASH BRICKS
This technique gives the brick a solid, opaque color, whitewashing mutes the brick's natural color with a translucent finish. The technique preserves the bricks' natural, random variations, depending on how much paint is applied and how each individual brick absorbs it. In this case, it uniforms the existing bricks with the new ones.



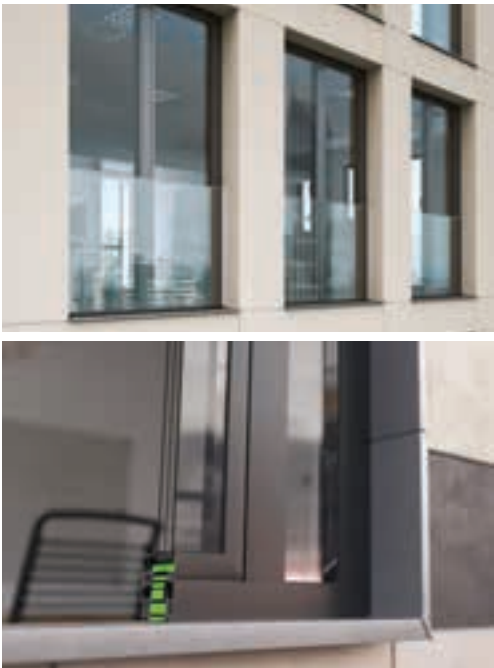
WHITE STUCCO
COLOR: WHITE
It is a traditional cement-type house finish that resists the elements well, considered one of the most cost effective types of siding. It can be be worked by hand, easy to maintain.



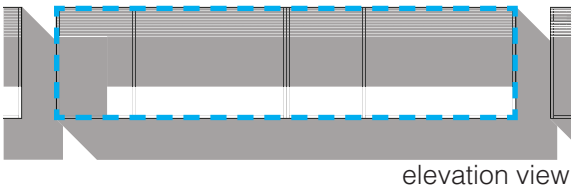
VERTICAL GARDEN
High thermal insulation system for aluminum windows with thermal break. This variant with glazing bead can be equipped with double or triple glazing without affecting the ultra-thin design.



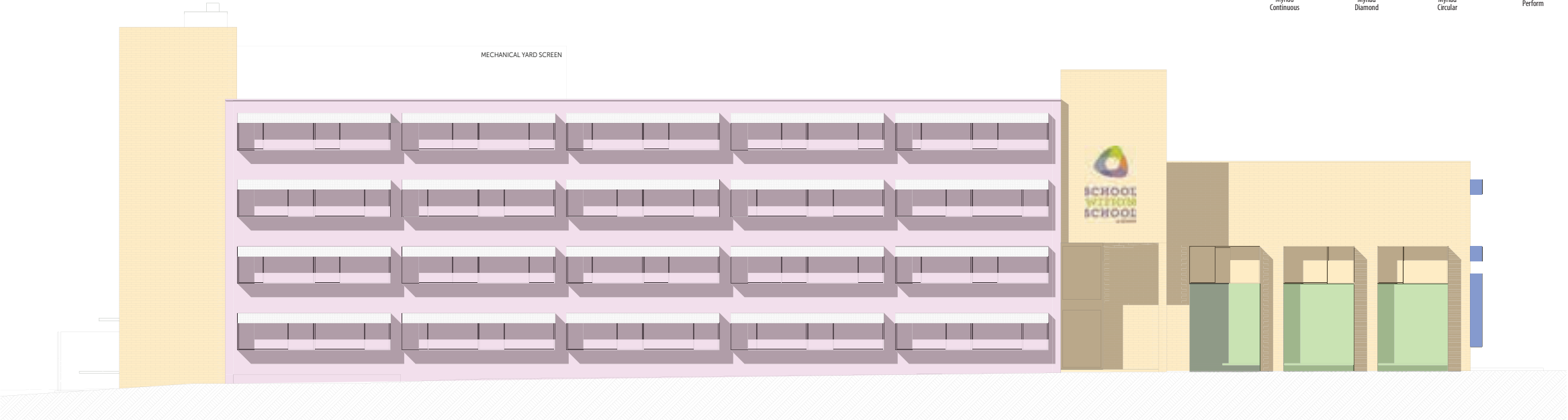
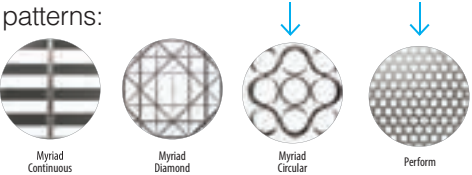
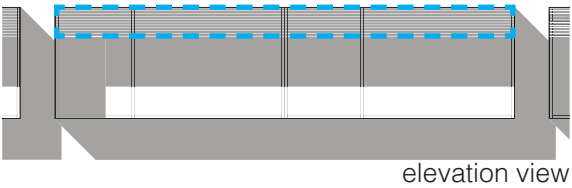
ALUMINIUM FRAMES
COLOR: DARK GREY
FINISH: ANODIZED
High thermal insulation system for aluminum windows with thermal break. It can be equipped with double or triple glazing without affecting the ultra-thin design.



THIN METAL FRAMES
INTERNAL SIDES: MULTICOLOR
EXTERNAL SIDES: WHITE



SOLAR SCREEN PROTECTION
COLOR: MULTICOLOR
Metal geometric grilles as decorative architectural accent and as functional solar / vision barrier. It is easy to install and it is an economic alternative to renovating building facades.



Proposed Materials - North Elevation

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WHITEWASH BRICKS
This technique gives the brick a solid, opaque color, whitewashing mutes the brick's natural color with a translucent finish. The technique preserves the bricks' natural, random variations, depending on how much paint is applied and how each individual brick absorbs it. In this case, it uniforms the existing bricks with the new ones.



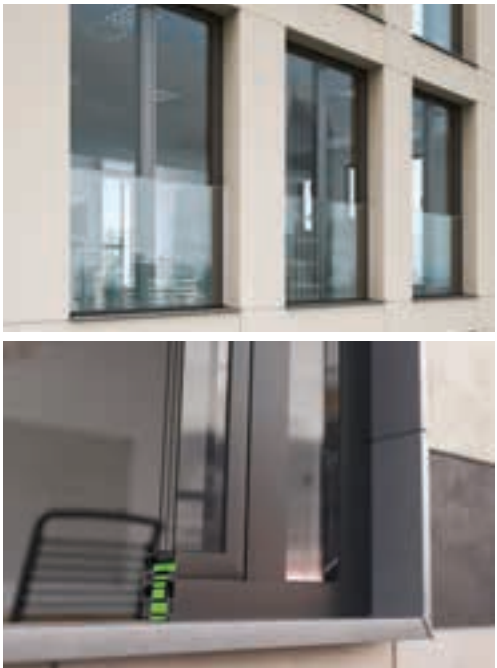
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COLOR: WHITE
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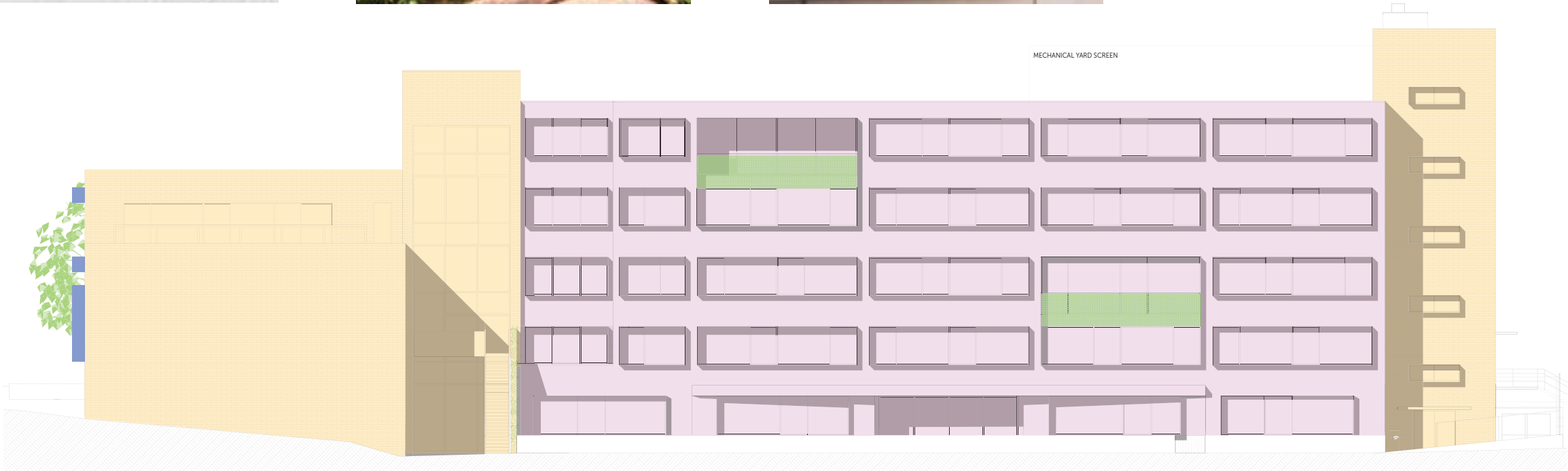
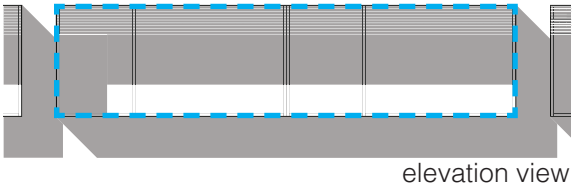
VERTICAL GARDEN
High thermal insulation system for aluminum windows with thermal break. This variant with glazing bead can be equipped with double or triple glazing without affecting the ultra-thin design.



ALUMINIUM FRAMES
COLOR: DARK GREY
FINISH: ANODIZED
High thermal insulation system for aluminum windows with thermal break. It can be equipped with double or triple glazing without affecting the ultra-thin design.



THIN METAL FRAMES
INTERNAL SIDES: MULTICOLOR
EXTERNAL SIDES: WHITE



Proposed Materials - East/West Elevations

images are for reference only

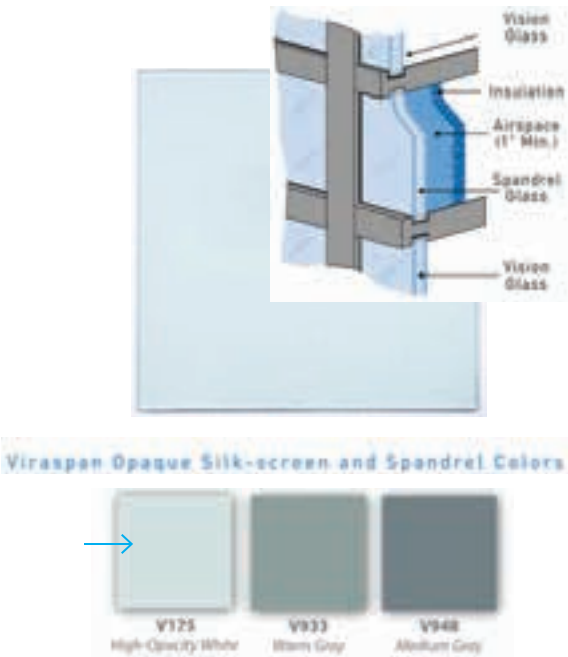
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WHITE STUCCO
COLOR: WHITE
It is a traditional cement-type house finish that resists the elements well, considered one of the most cost effective types of siding. It can be be worked by hand, easy to maintain.



SPANDREL GLASS
COLOR: WHITE
The proper application for ceramic fritted spandrel glass is to install it in an opening that has a uniformly colored insulation or back-pan that eliminates the possibility of read-through or viewing the glass in transmission.



ALUMINIUM FRAMES
COLOR: DARK GREY
FINISH: ANODIZED
High thermal insulation system for aluminum windows with thermal break. It can be equipped with double or triple glazing without affecting the ultra-thin design.



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INTERNAL SIDES: MULTICOLOR
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