

# Brent Elementary School CFA Submission

Wednesday June 18, 2025



# TABLE OF CONTENTS

<b>EXECUTIVE SUMMARY</b>	<b>pg 03</b>
PROJECT NARRATIVE	
<b>SITE ANALYSIS</b>	<b>pg 04</b>
SITE LOCATION	
ZONING	
WMATA	
EXISTING SITE	
<b>EXISTING CONDITIONS</b>	<b>pg 10</b>
PLANS	
ELEVATIONS	
<b>DESIGN DEVELOPMENT</b>	<b>pg 16</b>
CONCEPT NARRATIVE	
SITE PLAN	
GRADING PLAN	
MASSING	
MATERIALS	
FACADE CONCEPT	
SITE & SECTION	
SITE SECTIONS/ELEVATIONS	
PERSPECTIVES	
ELEVATIONS	
DETAILS	
PLAN PARTI	
PLANS	
SECTIONS	







The Design Development for Brent Elementary School, located in Ward 6 of Washington, DC, stands as a visionary solution to address the unique challenges posed by the site’s limited space. Designed to accommodate preK-5th-grade students, this schematic design offers innovative approaches while adhering to a consistent and forward-thinking educational program. The development of this design has been driven by an inclusive process that prioritizes engagement with stakeholders and the local community. Recognizing the importance of diverse perspectives, the design team has actively sought input from educators, parents, and community members. This collaborative effort ensures that the final design reflects the aspirations and needs of those directly impacted by the school’s transformation.

Despite the constraints imposed by the small site, this design showcases creative solutions that optimize spatial functionality. This design prioritizes flexible learning environments, acknowledging the evolving nature of education and the diverse needs of students spanning from PreK to 5th grade. The innovative program integrates modern pedagogical approaches, fostering a dynamic and adaptable educational experience. Crucially, ongoing conversations with the Department of General Services (DGS) and the District of Columbia Public Schools (DCPS) underscore a commitment to aligning the designs with evolving educational standards and community expectations. This iterative process ensures that the final design not only meets current needs but remains adaptable for future educational advancements.

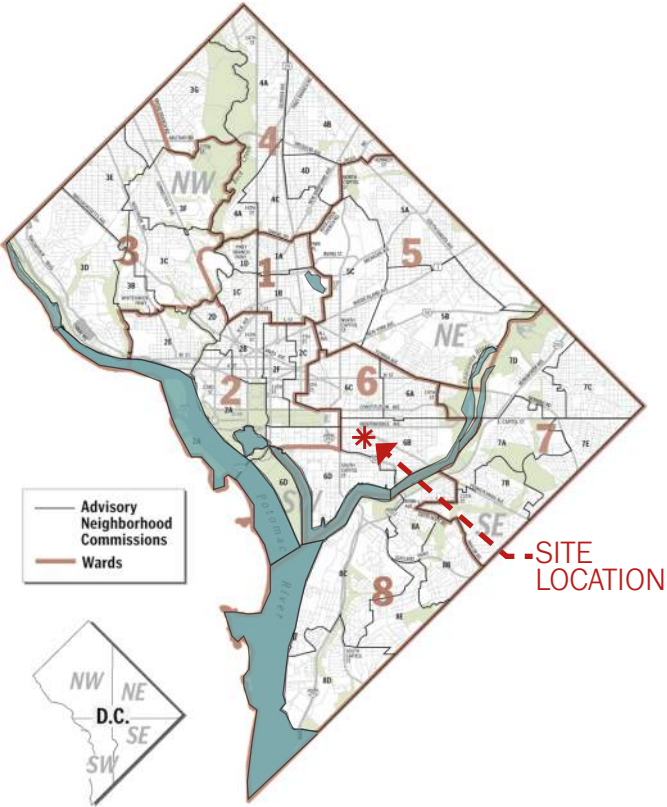
The design shows a commitment to sustainability and environmental consciousness. Green initiatives are woven into the fabric of the designs, reflecting a dedication to creating a learning environment that is both eco-friendly and supportive of the community’s broader values.

In conclusion, the design for Brent Elementary School exemplifies a collaborative, inclusive, and innovative approach to overcoming the challenges of a small site. The iterative engagement with stakeholders and ongoing dialogue with relevant authorities position this design as a transformative solution for Brent Elementary School, setting the stage for a model educational facility within Ward 6.





SITE ANALYSIS | SITE LOCATION



W:  
301 NORTH CAROLINA AVE SE  
SQUARE: 0792  
LOTS: 0033

ORIGINAL BUILDING  
CONSTRUCTION: 1968  
ADDITION CONSTRUCTION: 2009  
EXIST ENROLLMENT (2022-2023): 419 Students  
DESIGN CAPACITY: 577 Students  
CONSTRUCT. COMPLETION: July 2027







**Zoning / Land Use**

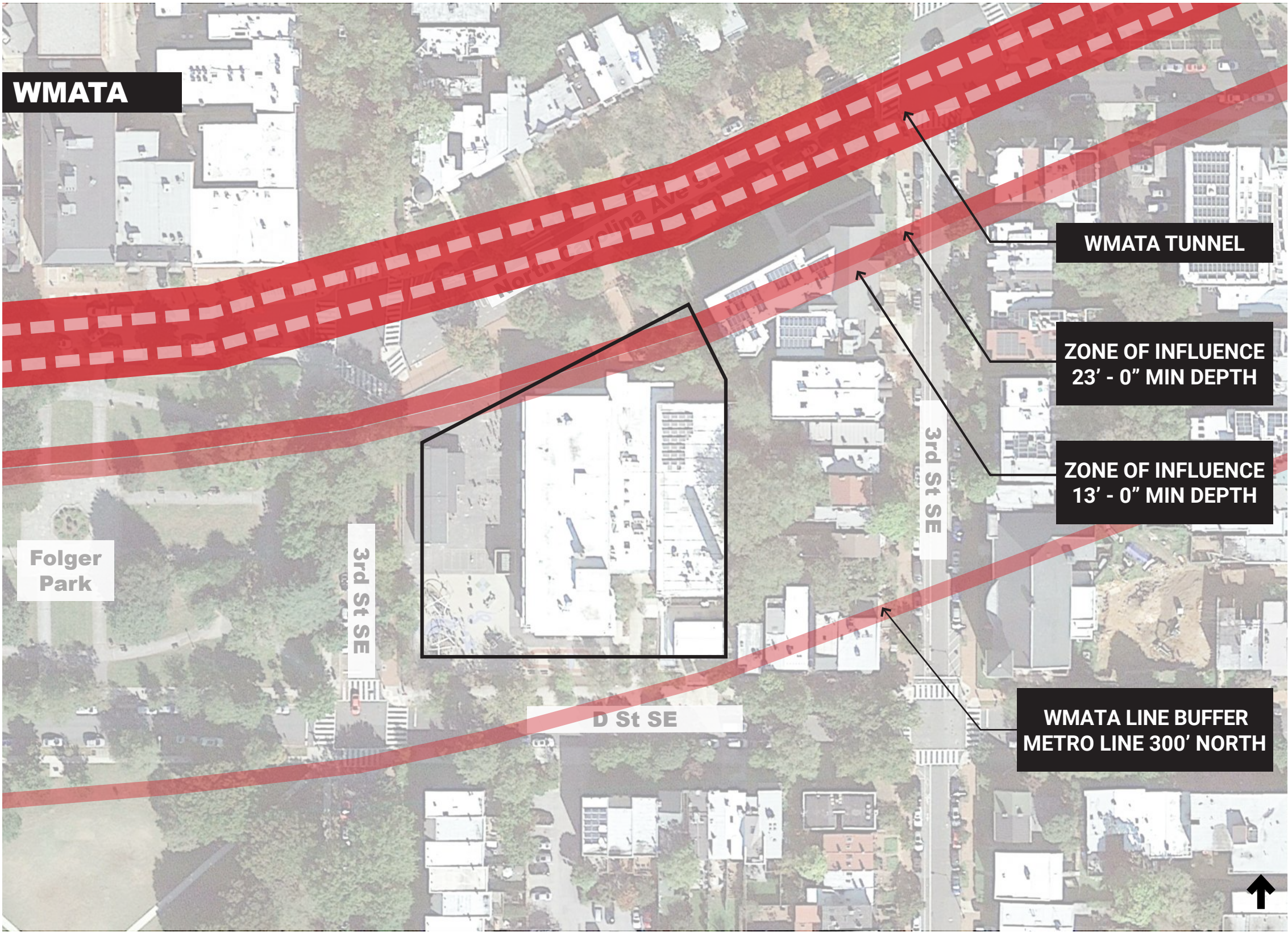
Zone District: RF-1/CAP  
Overlay Area: CAP (Capitol Interest)  
Historic District: Capitol Hill Historic District

**Zoning Regulation**

FAR: 1.8  
Max Height (Not Including Penthouse): 40'-0"  
Max Penthouse Height: 18'-6"  
Front Setback: Not Required  
Rear Yard: 20'-0" Min  
Side Yard: Not Required  
  
Lot Occupancy: 60% Max At Max Building Height, can increase to 70% provided that additional 10% not exceed 20'-0" in height or 2 stories  
  
Pervious Surface: 50% Min  
1 Parking Space Per 8,000 GSF  
1 Min Loading Berth  
1 Min Service/Delivery Space







WMATA tunnel is located to the north of the site approximately following North Carolina Ave SE. Zone of Influence (ZOI) of the WMATA tunnel overlaps the northeast corner of the property as shown. The depth of the ZOI decreases as the distance from the WMATA tunnel increases.

To avoid the Zone of Influence (ZOI), the building footings would have to be between the depth of 23'-0" to 13'-0" below grade in the darker red band shown in the diagram and between the depth of 13'-0" to 0'-0" in the lighter red band.





SITE ANALYSIS | EXISTING SITE



C INTERSECTION AT 3RD ST SE & N CAROLINA AVE SE



D ENTRANCE ON N CAROLINA AVE SE



E CHURCH AT N CAROLINA AVE SE & 4TH ST SE



B VIEW FROM 3RD ST SE



F ENTRANCE AT D ST SE



A INTERSECTION AT 3RD ST SE & D ST SE



G VIEW FROM D ST SE





SITE ANALYSIS | EXISTING SITE



C D ST SE ENTRANCE



D SCHOOL MURAL



E MECH AREAWAY



B N CAROLINA AVE SE ENTRANCE



F EAST PROPERTY LINE



A 3RD ST SE FACADE



G EAST PROPERTY LINE

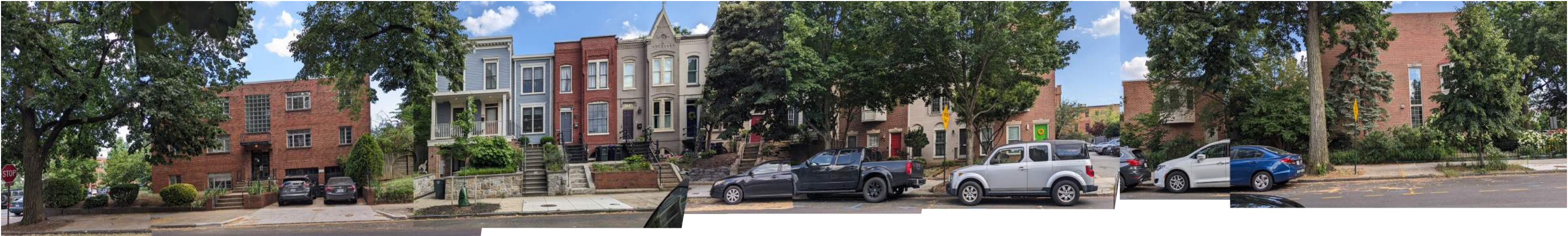




SITE ANALYSIS | EXISTING SITE



N CAROLINA AVE SE LOOKING NORTH

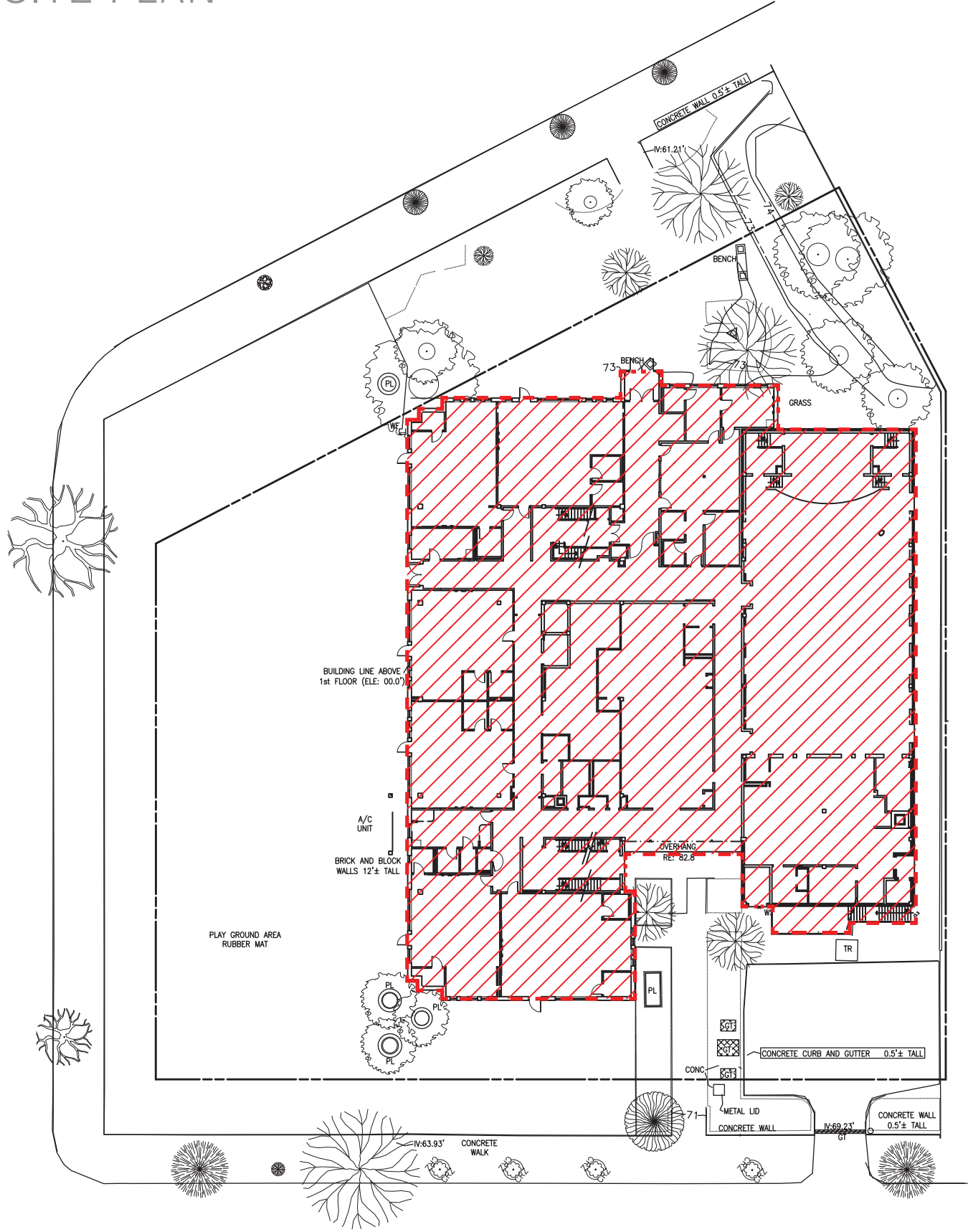


D ST SE LOOKING SOUTH






EXISTING CONDITIONS | SITE PLAN



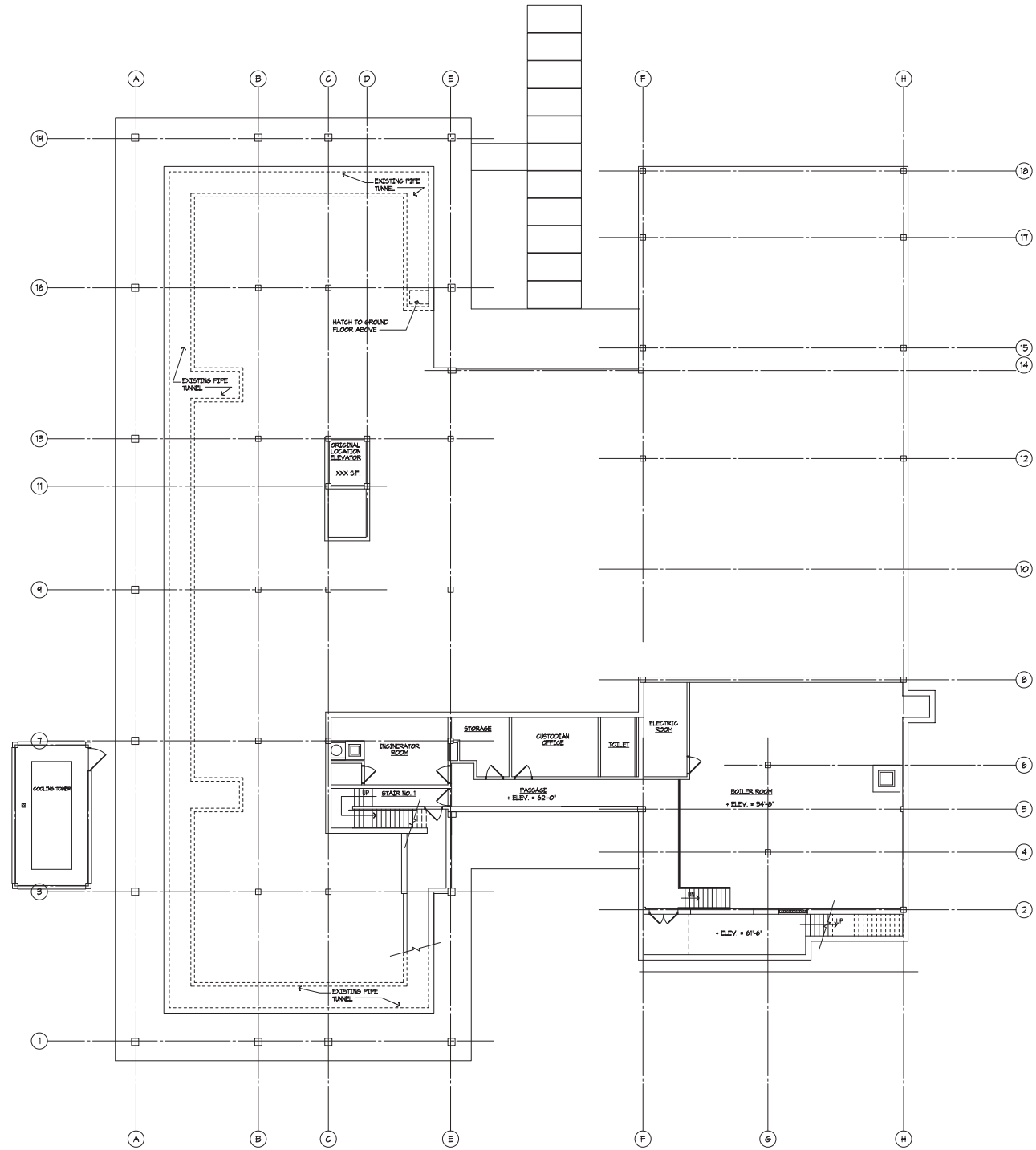
**LEGEND**

 EXISTING TO BE DEMOLISHED

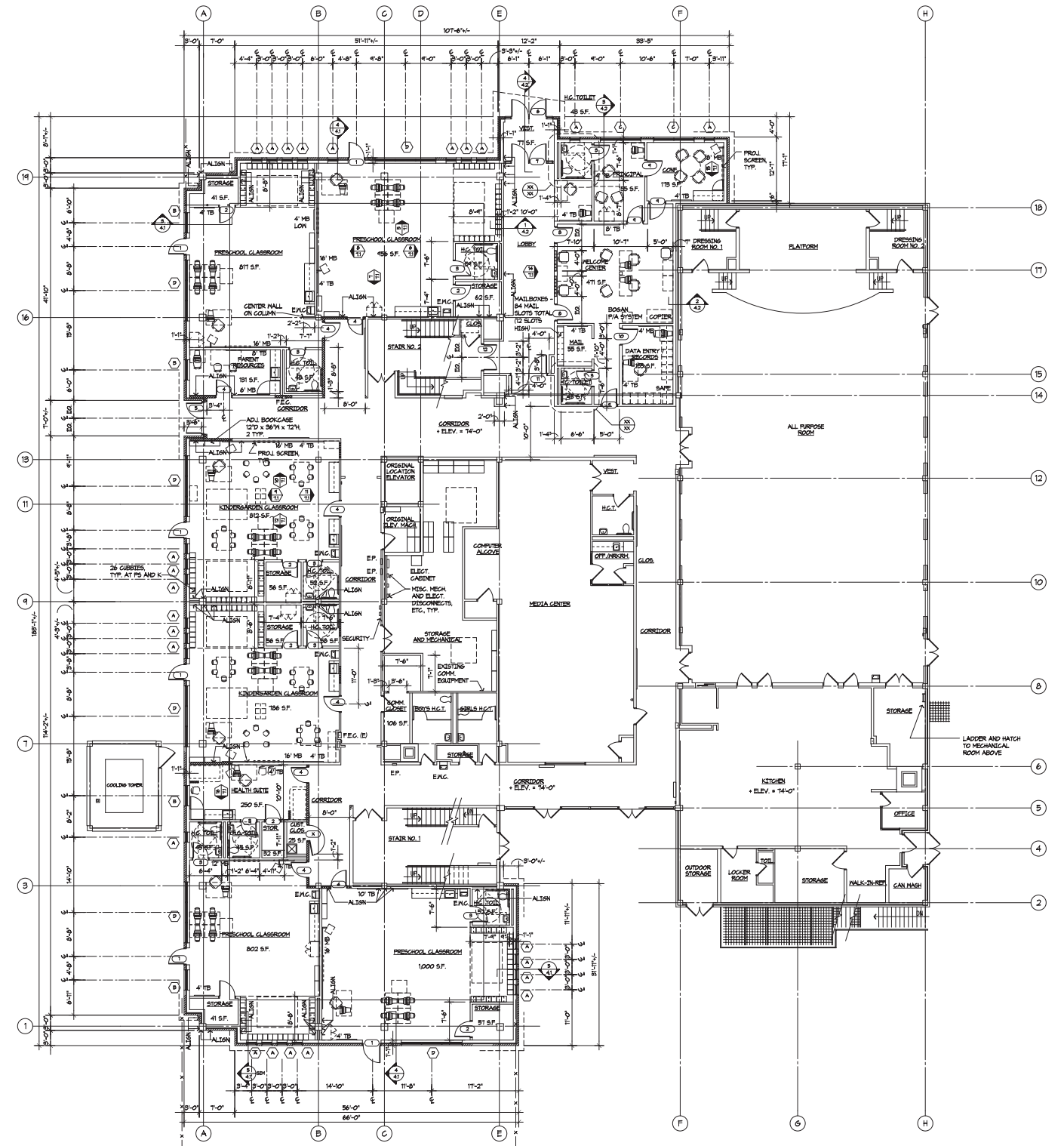




## EXISTING CONDITIONS | PLANS



BASEMENT

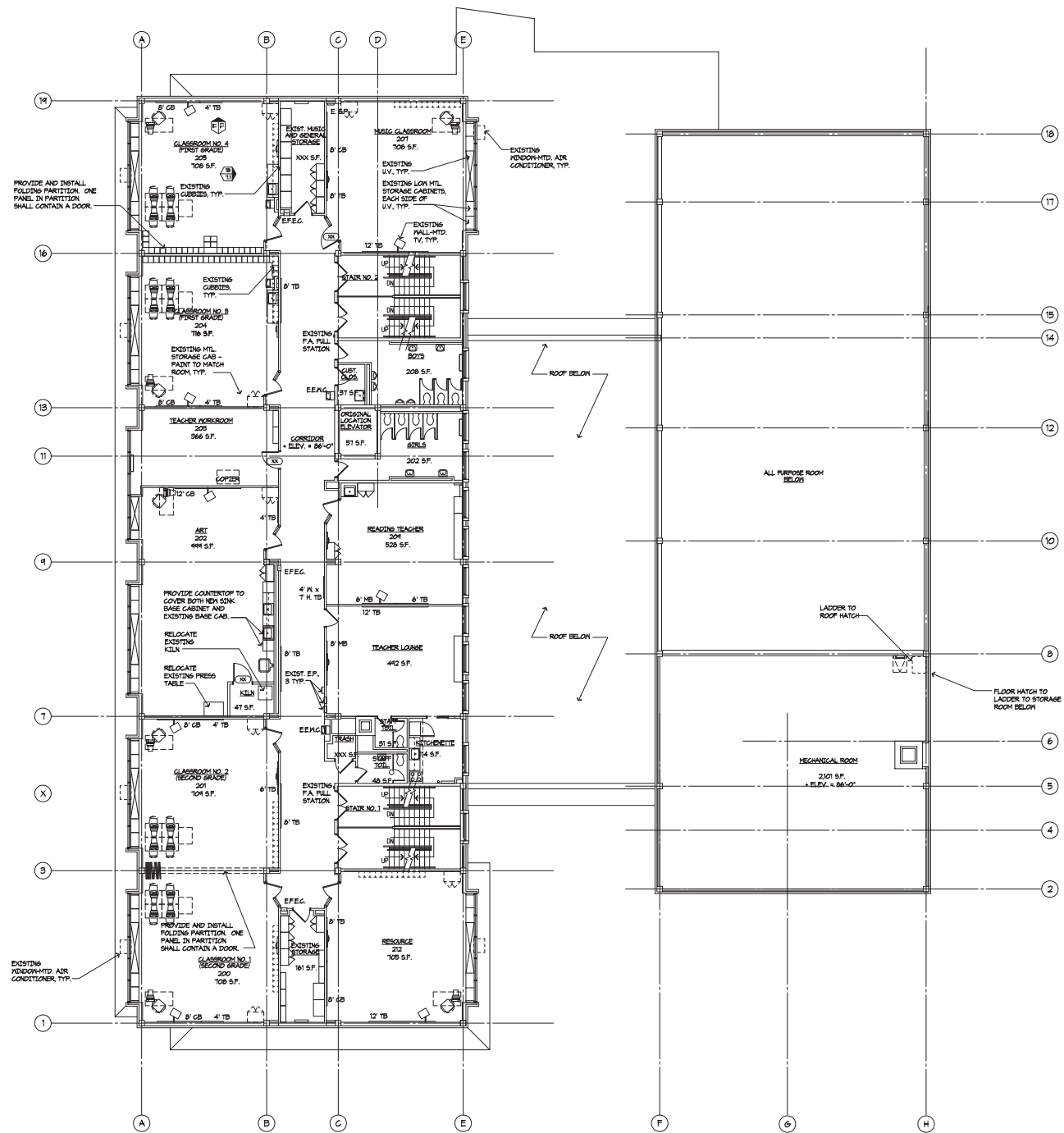


## LEVEL 1

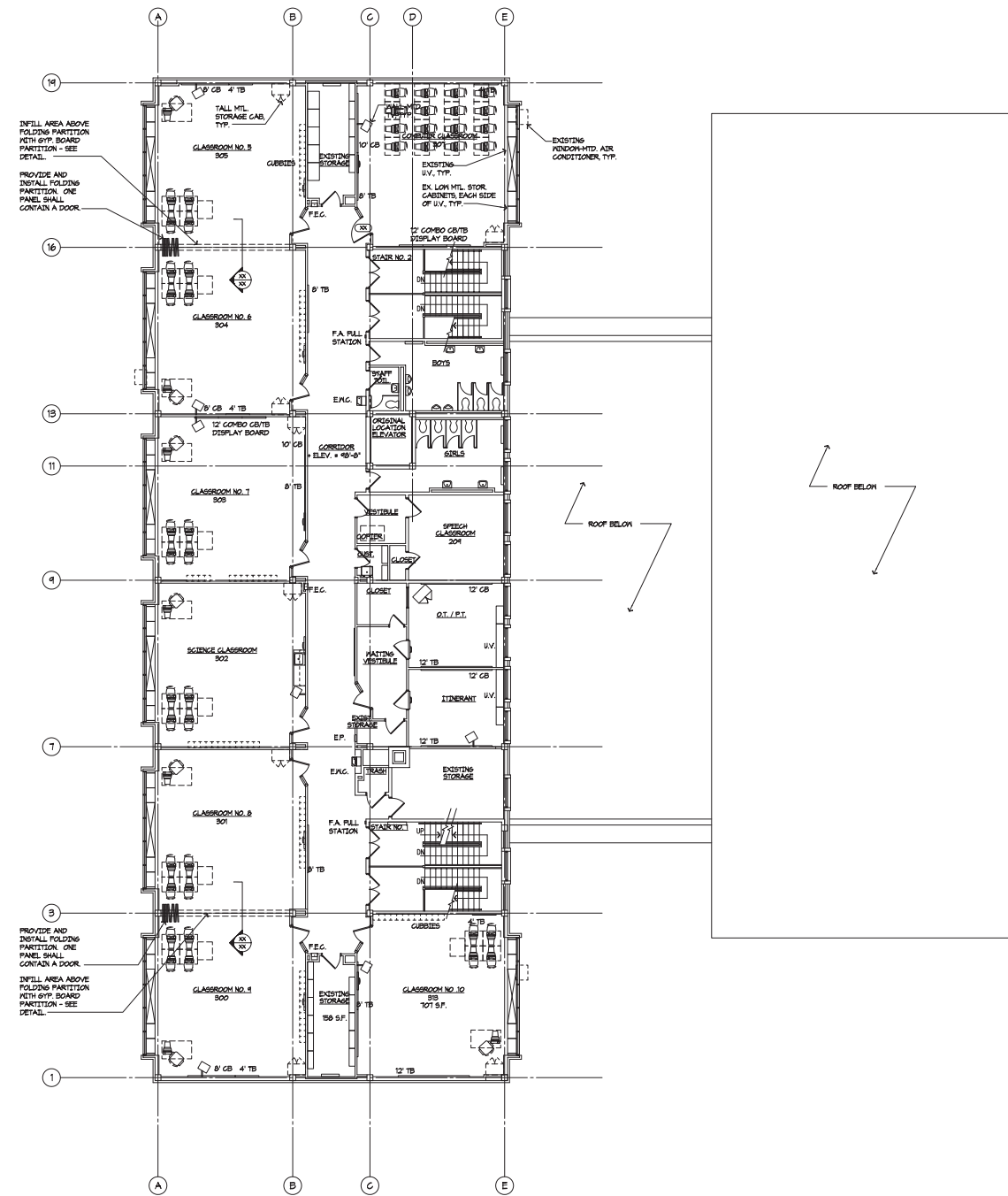




## EXISTING CONDITIONS | PLANS



LEVEL 2

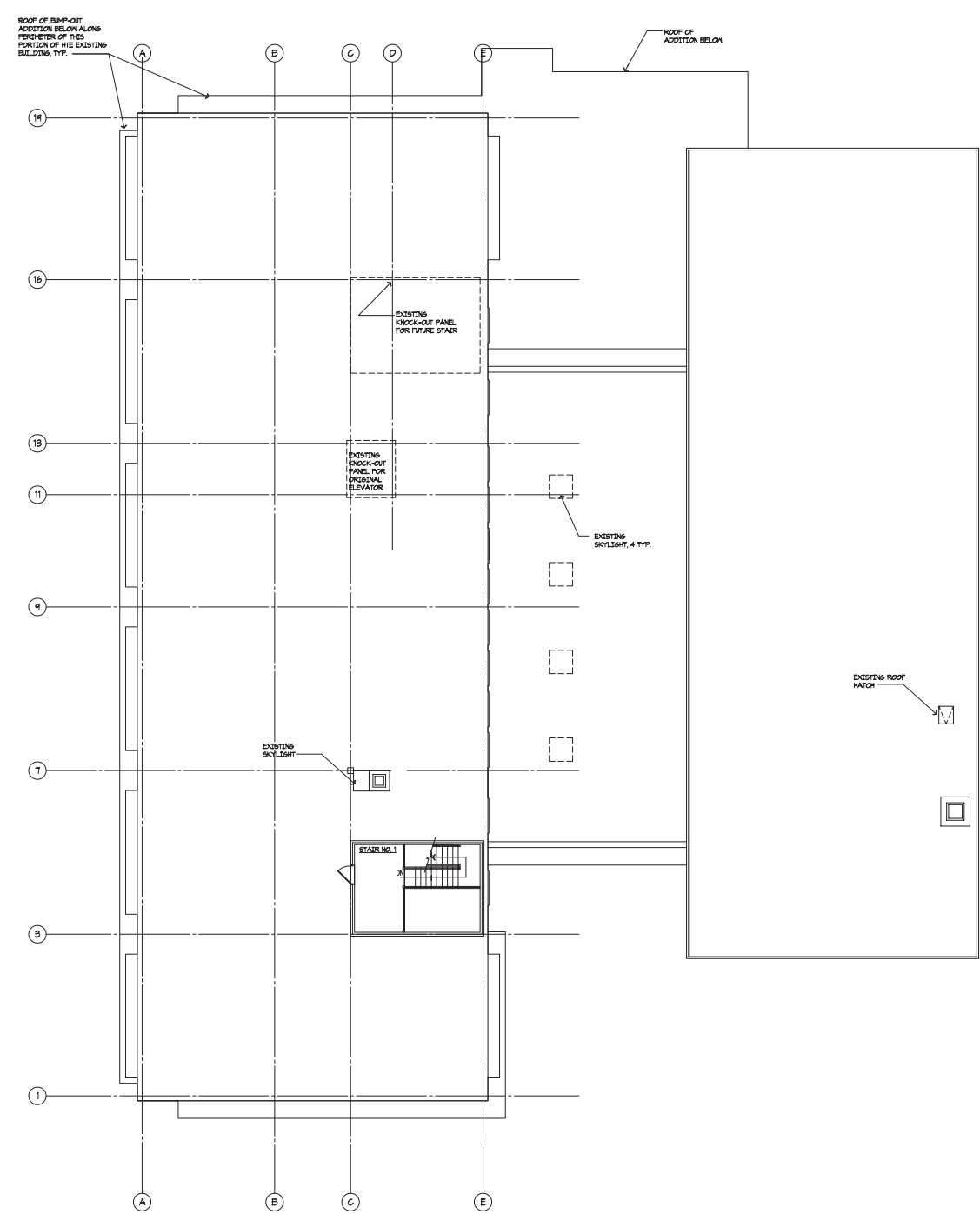


### LEVEL 3





# EXISTING CONDITIONS | PLANS

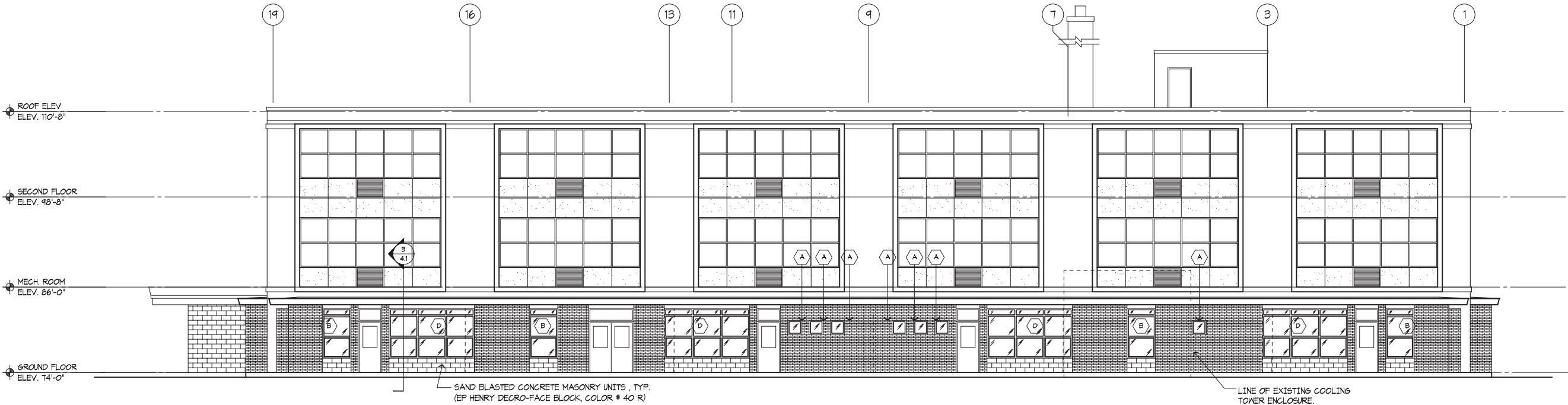


ROOF

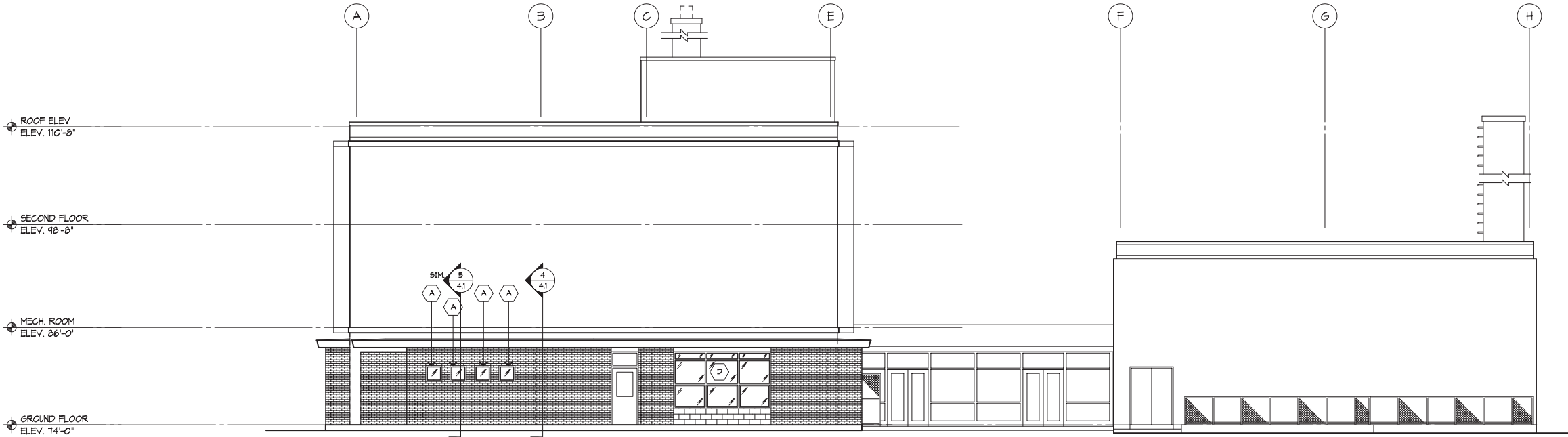




EXISTING CONDITIONS | ELEVATIONS



3RD ST ELEVATION

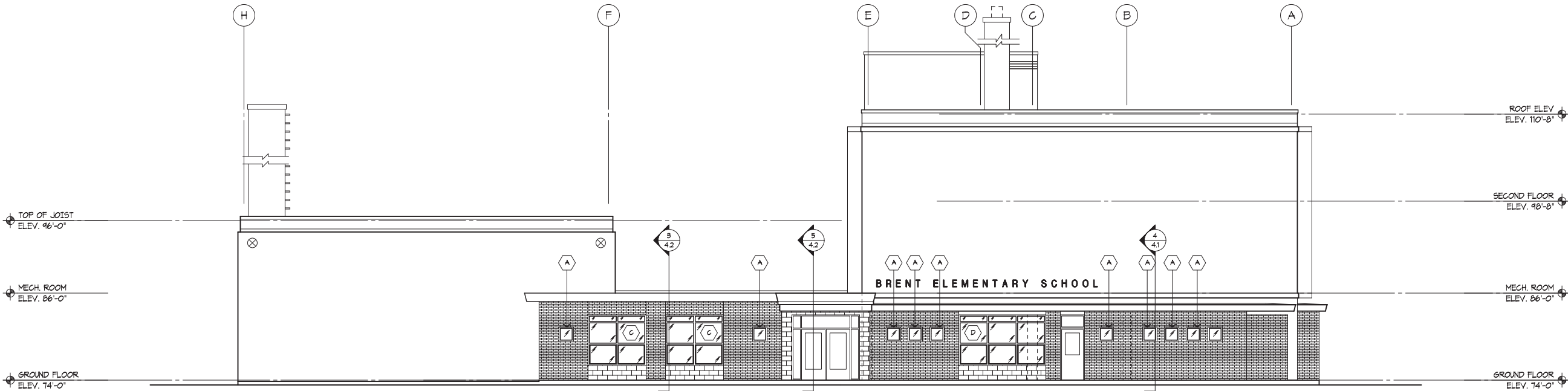


D ST ELEVATION

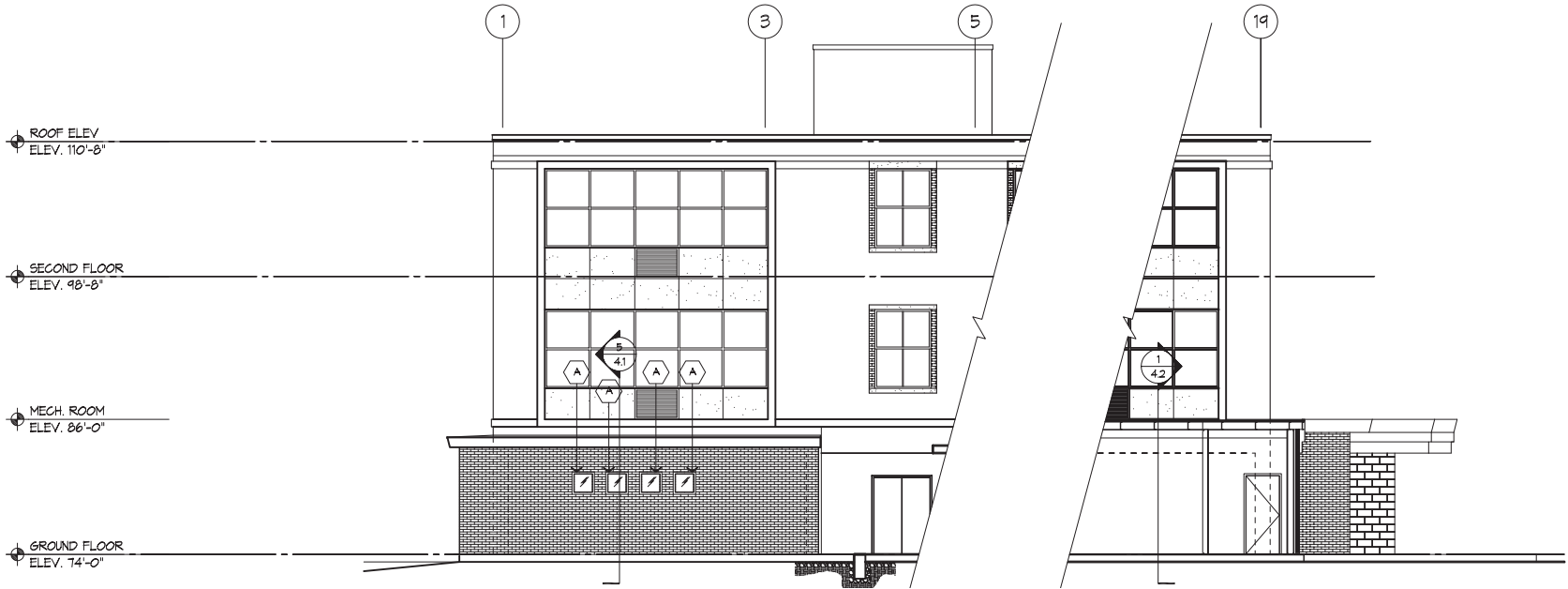




EXISTING CONDITIONS | ELEVATIONS



NORTH CAROLINA AVE ELEVATION



EAST ELEVATION





The following design incorporates feedback from DGS, DCPS, the SIT Committee and preliminary review from other agencies. The design incorporates 2 primary goals:

1. Creating a highly engaging elementary school per the DCPS Program, with an emphasis on Reggio Emilia instruction per the Brent School pedagogy.
2. Providing an urban response that celebrates the tree-lined and walkable Capitol Hill neighborhood, as envisioned per the original L'Enfant city plan featuring grand avenues and public parks.

The result is an appropriately scaled 'city school', which frames the street corner, overlooking both North Carolina Ave SE and Folger Park.

The design adheres to best practices in school design, like the following:

- CPTED principles for site and building layout
- Locations for Public Art
- High performing building envelope and mechanical systems
- The incorporation of daylighting and views for connections to nature
- Age-appropriate 'blocking and stacking' to ensure safe egress for all learners, and easy access to 'Specials' to minimize travel distance
- Distributed Administration for passive supervision throughout the building
- Grade level Small Learning Communities (SLCs) or "neighborhoods"
- Equitable access to toilets and accessible circulation for both students and staff
- Flexible break out and gathering spaces (Discovery Commons and Resource Rooms)
- Centralized location of gathering spaces for ease of school and potential community use.

The design site layout features the new building flanking 3rd St SE and North Carolina Ave SE. The entrance, on the first floor, and the "Specials" above, celebrate the corner and create a strong focal point for the architecture, the neighborhood, and for easy wayfinding. Front yards leverage public space to integrate outdoor learning and bike racks. A large play area is situated behind the building, in a sunny open yard which features play grounds, outdoor learning, a traffic garden, landscaping, and access from the Gymnasium and Dining. Parking and service zones are located at the south east corner of the site, with access from D Street, SE.

The building mass follows the property line which helps maximize play areas. The window configuration provides proper daylight and views, while the metal and brick opening "infill" components accommodate the alignment of interior columns and different size rooms on each floor. The vertical reveals at the brick "bays" break the scale of each classroom wing to relate to the smaller scale of the residential neighborhood. The main wall "peels away" at the corners revealing the special program spaces behind such as the Library, Arts & Science rooms, Discovery Commons and Main Entry.

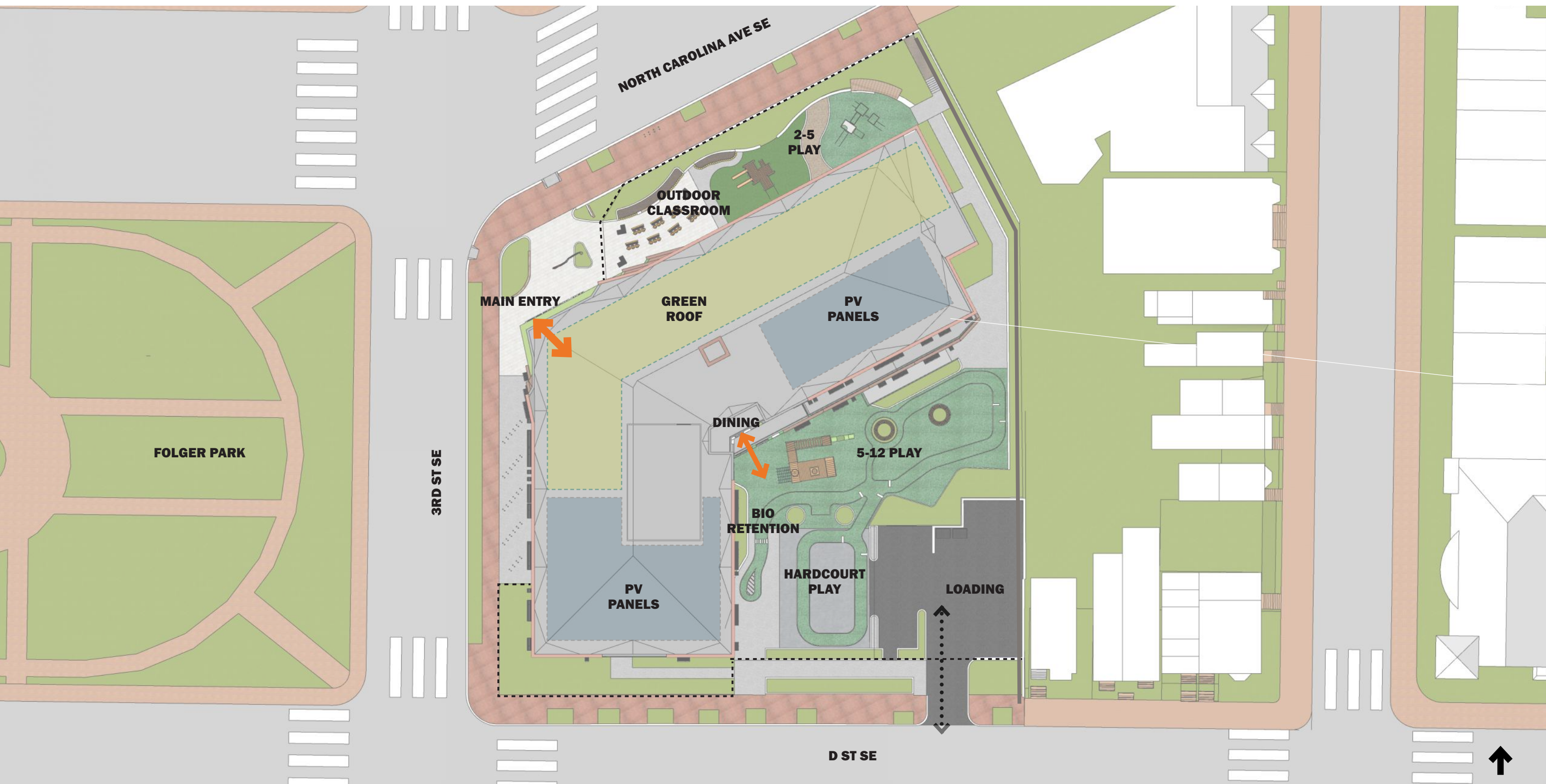
The design also includes the following strategies to create a high performing building:

- Roof area for future Photo Voltaic (PV) array to offset on-site energy usage
- Area for extensive green roof as part of the Storm Water Management (SWM) system
- Sun shades where needed to diffuse southern daylight and western glare.

Safety features of the site layout include:

- Easily identified single point of entry
- Administrative office windows facing the front gathering plaza
- Perimeter fencing securing student areas
- Main playground away from busy streets











DESIGN DEVELOPMENT | MATERIALS



MAIN BRICK - DARK  
Glen-Gery Middle Plantation Modular

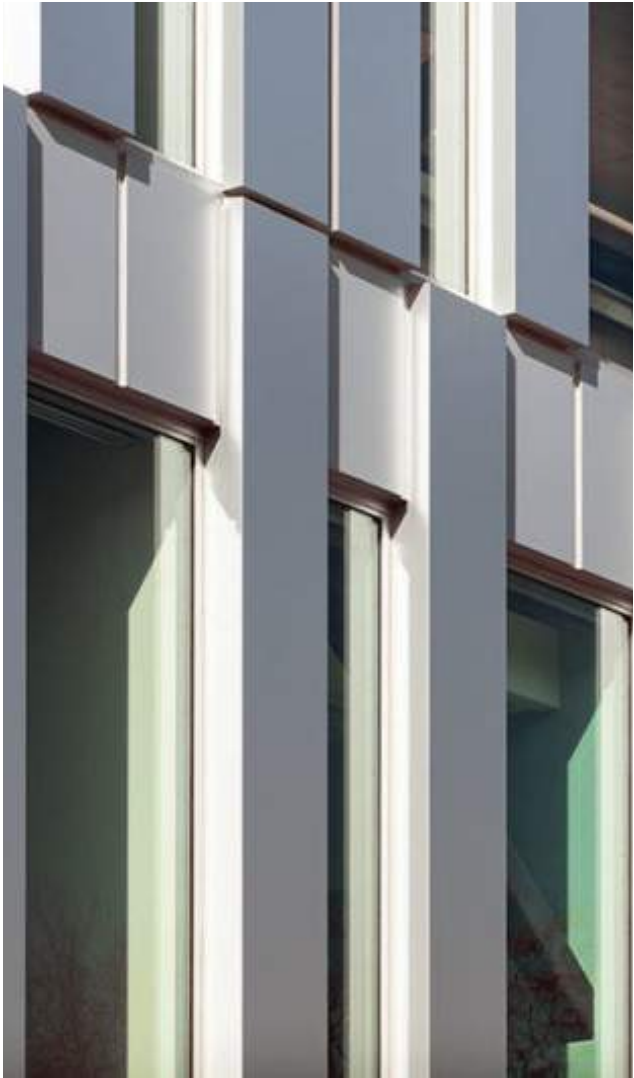


MAIN BRICK - LIGHT  
Glen-Gery Rose Red Range



ACCENT BRICK - VERTICAL SOLDIER COURSE  
Glen-Gery Midtown Ironspot Velour

Modular brick in a red for the main facade and accent brick in red and dark gray tones for horizontal and vertical accentuation.



Aluminum Composite Material panels will differentiate the corner material and be expressed in long vertical lines.

NEUTRAL PANEL COLOR OPTION



ACCENT PANEL COLOR OPTIONS

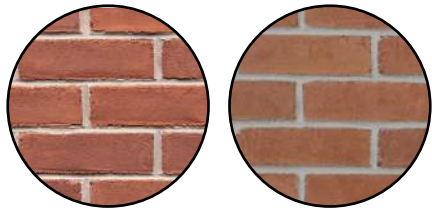


Intermittent use of colored Aluminum Composite Material Panels will enliven and celebrate the corner as both an entry focal point and an expression of the special programs inside.





DESIGN DEVELOPMENT | FACADE CONCEPT



PRIMARY FACADE OPTION  
RED TONE BRICK



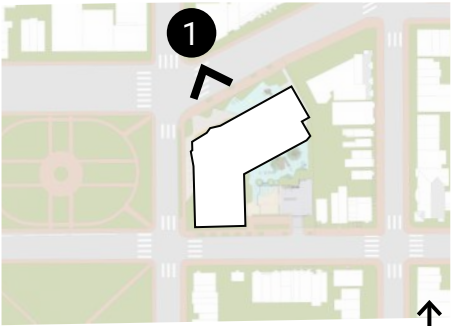
METAL MECHANICAL  
ROOF SCREENING



1 View from North Carolina Ave SE

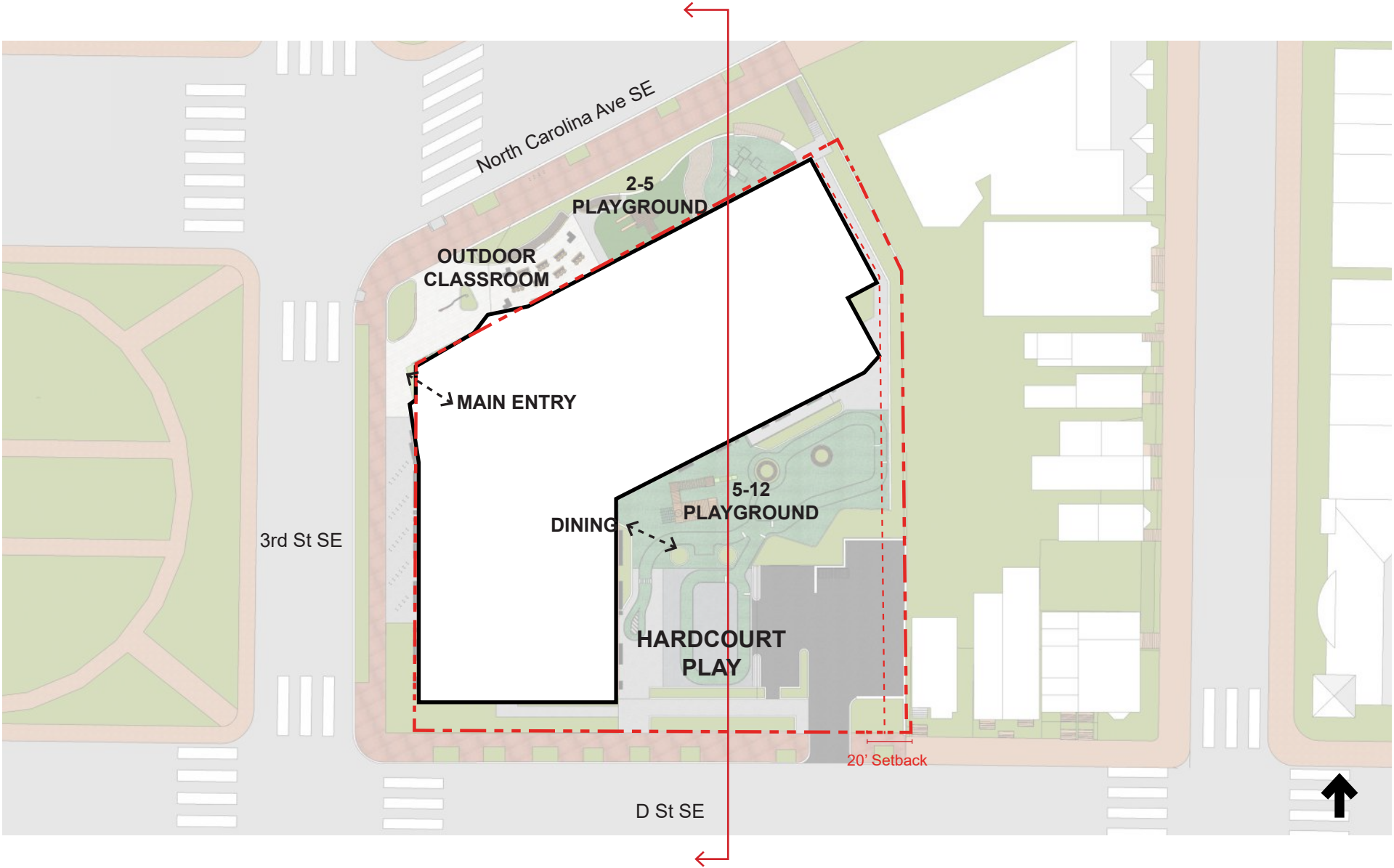
ACCENT - VERTICAL & HORIZONTAL  
RED TONE BRICK

PUBLIC PROGRAM/ENTRY  
ACM AND STOREFRONT





DESIGN DEVELOPMENT | SITE & SECTION



NOT TO SCALE

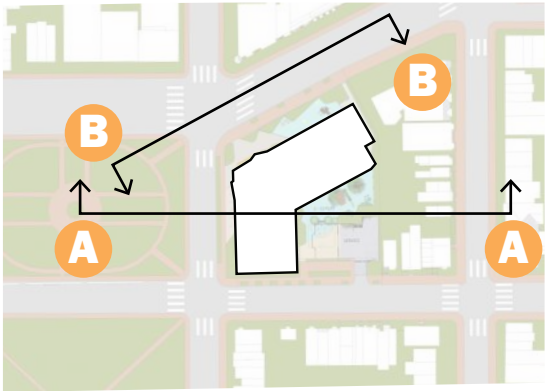


A N-S Section





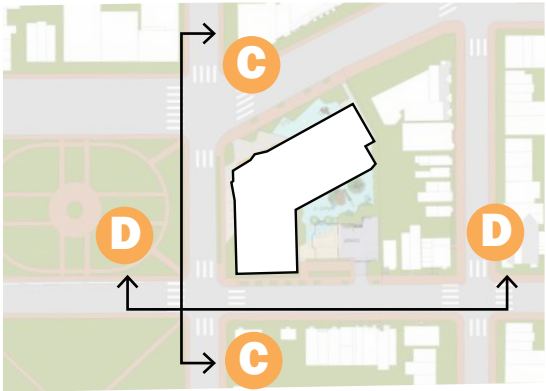
DESIGN DEVELOPMENT | SECTION & ELEVATION



**B** N Carolina Ave SE Elevation







**C** 3rd St SE Elevation

North Carolina  
Ave SE

D St SE



**D** D St SE Elevation

Folger Park

3rd St SE

4th St SE







view from D Street SE





view from corner of 3rd Street SE and D Street SE











view from North Carolina Ave SE  
playground equipment shown for scale only





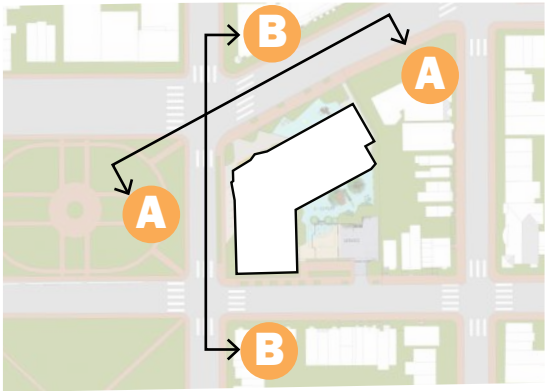


view from North Carolina Ave SE (East and North Facade)





DESIGN DEVELOPMENT | ELEVATIONS



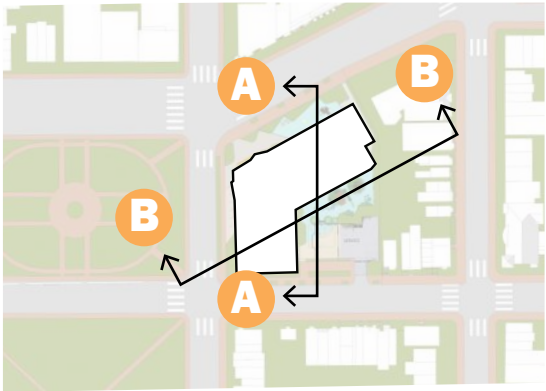
**A** N Carolina Ave SE Elevation



**B** 3rd St SE Elevation







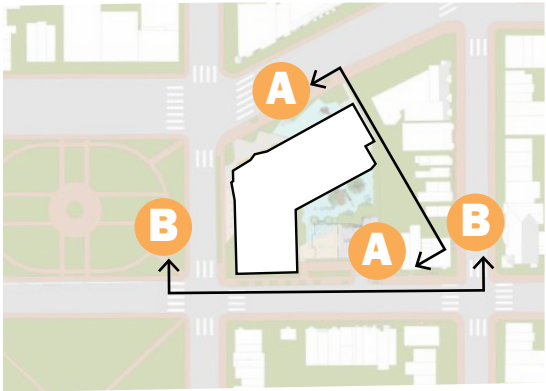
**A** Playground East Elevation



**B** Playground South Elevation







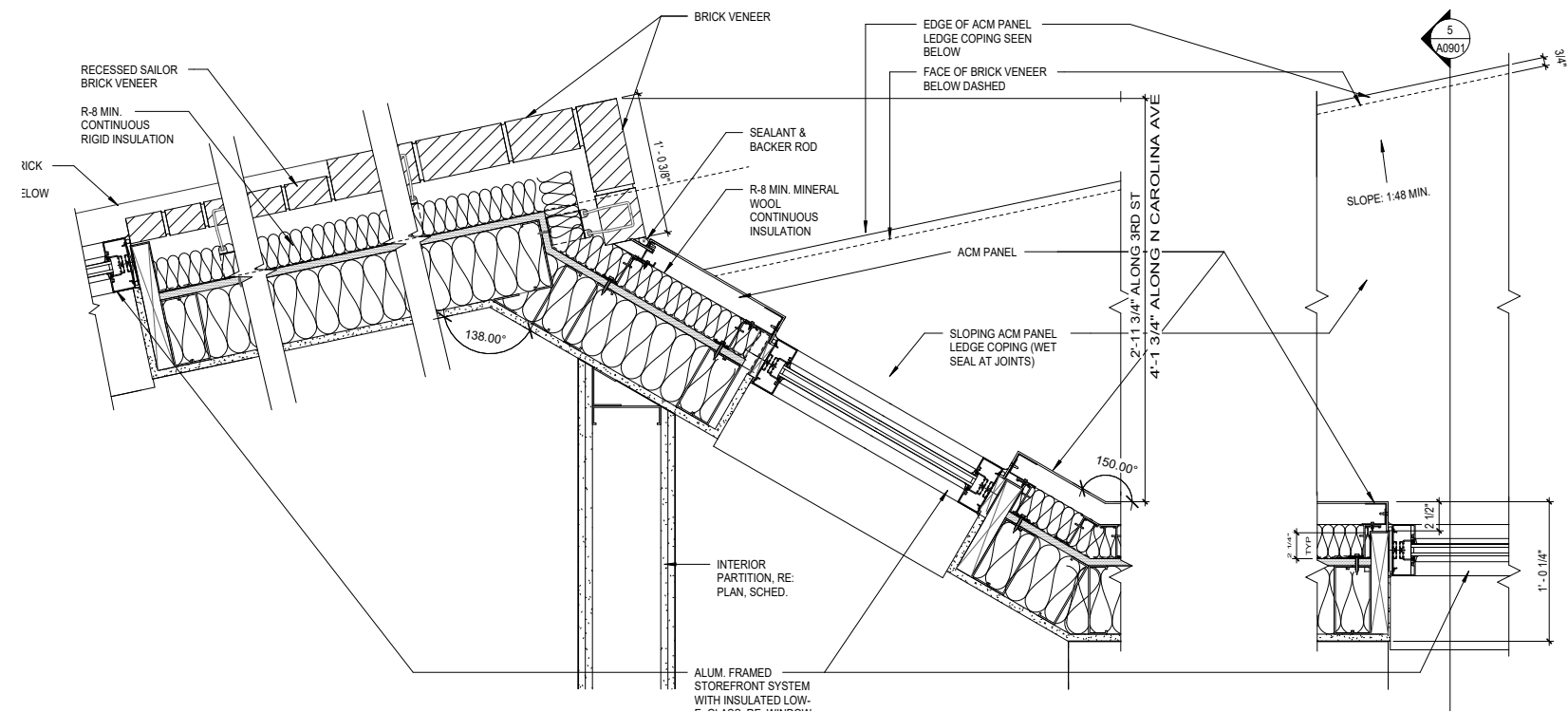
**A** East Elevation



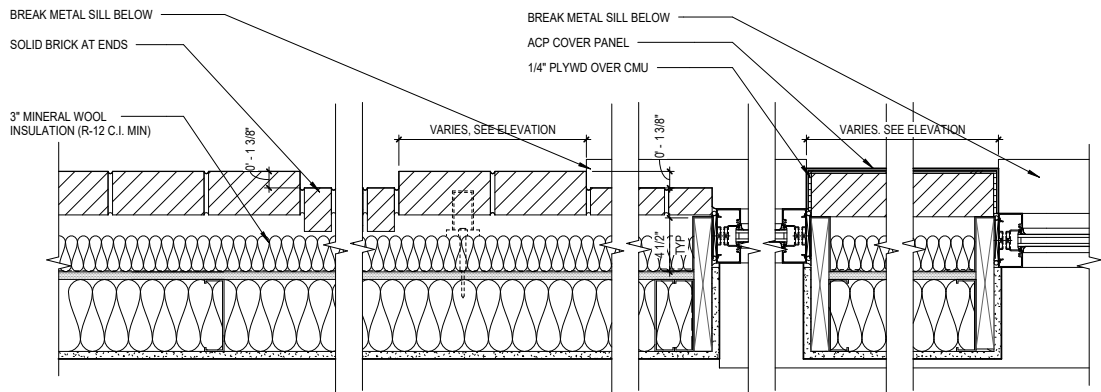
**B** D St SE Elevation







**A** Section through Pop-out

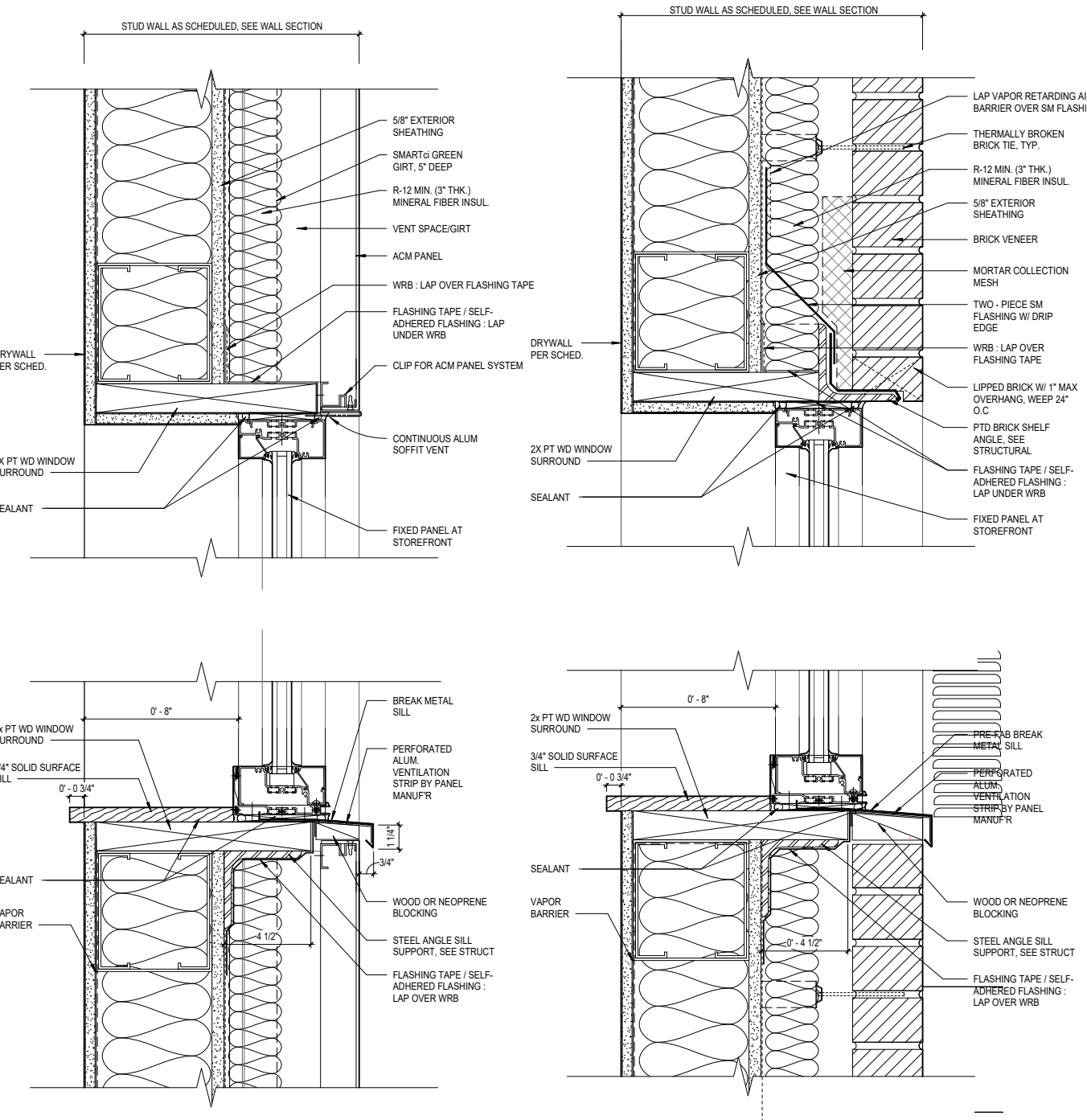


**B** Window Jamb Detail





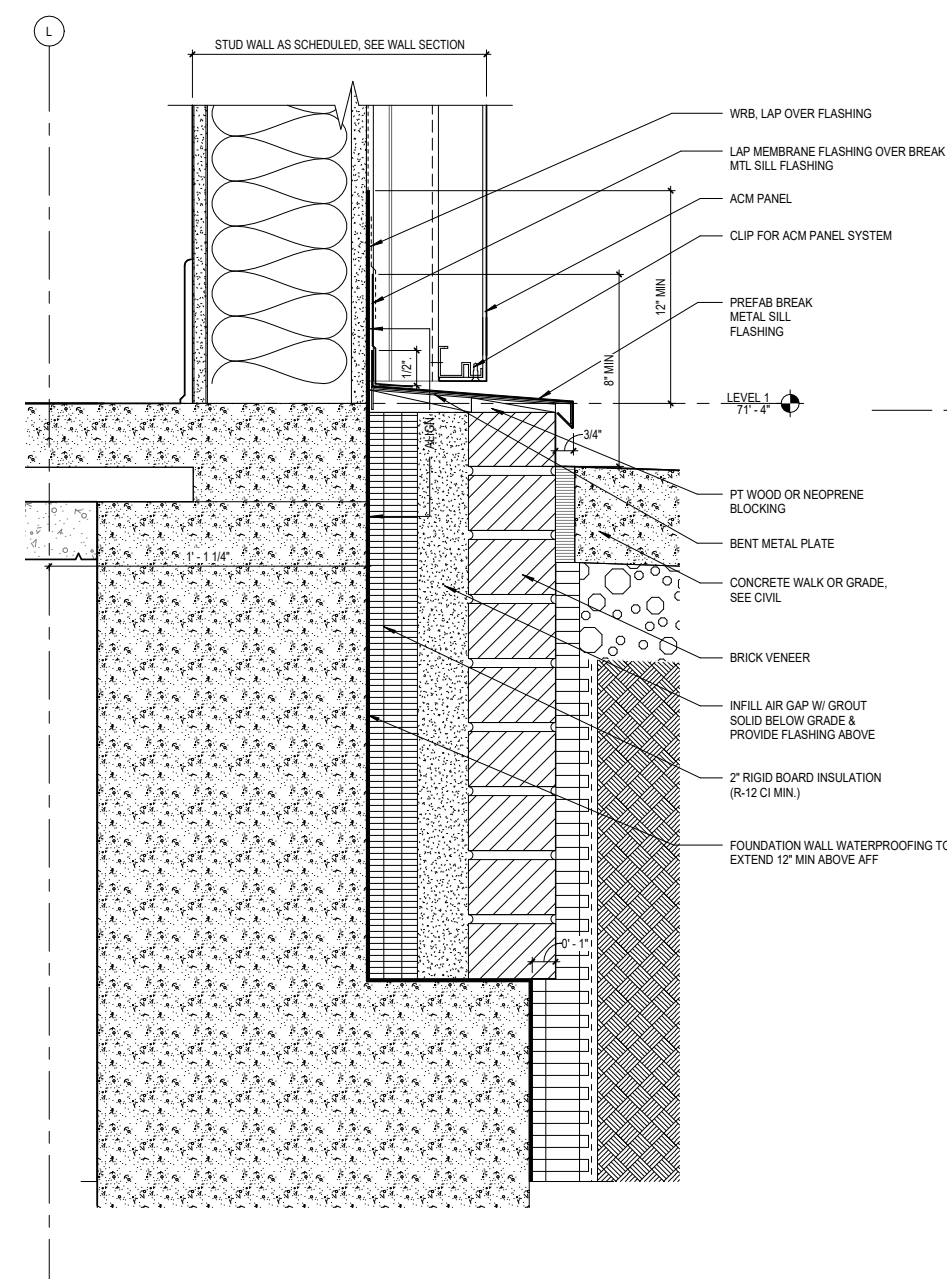
DESIGN DEVELOPMENT | DETAILS



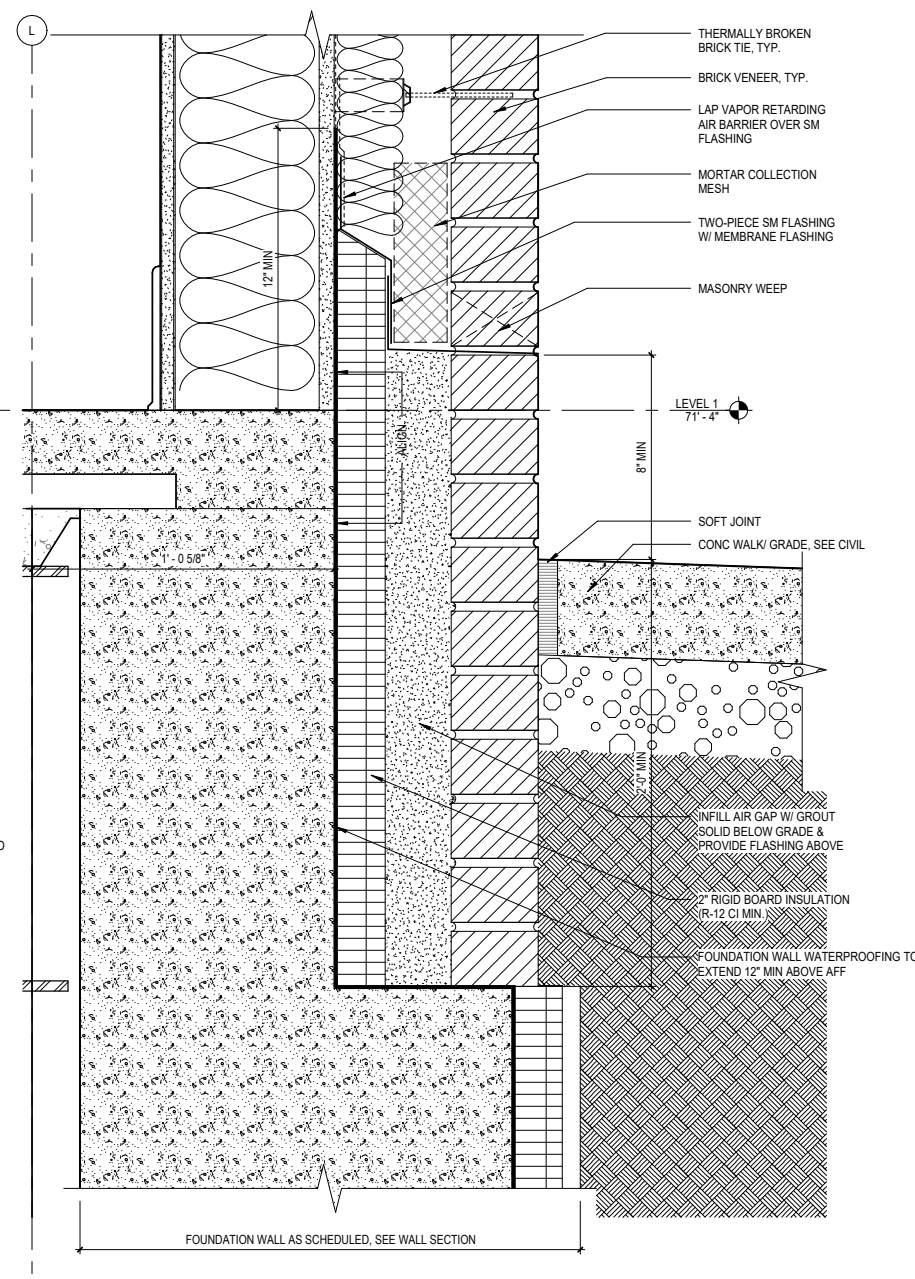
**A** Window Head and Sill @ ACM      **B** Window Head and Sill @ Brick







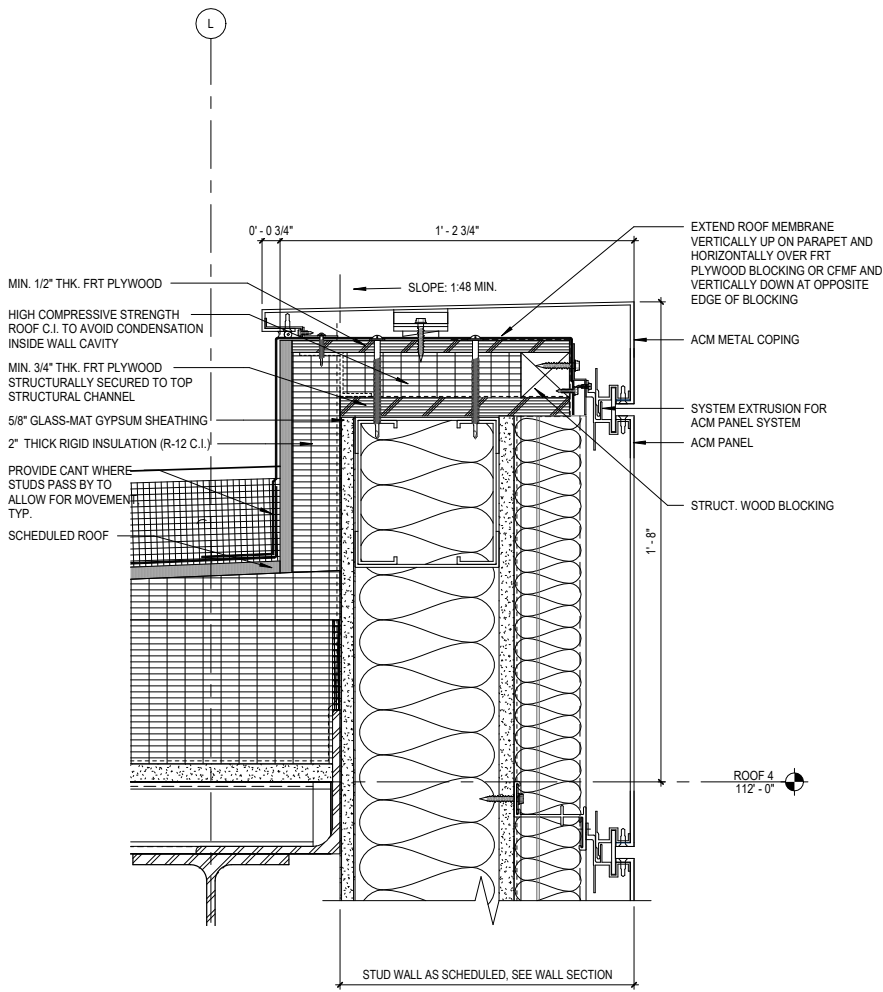
**A** Base Detail @ ACM



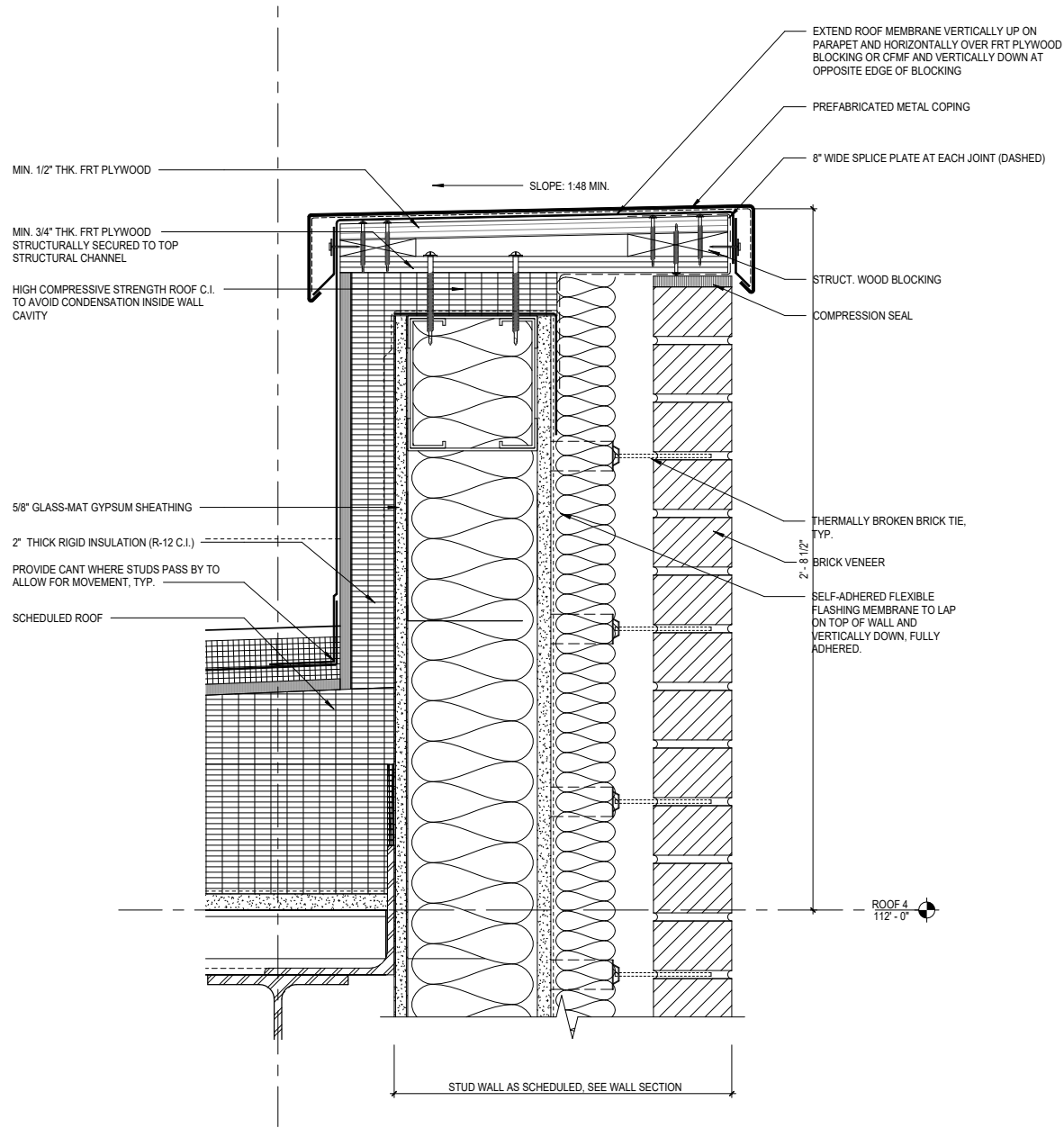
**B** Base Detail @ Brick



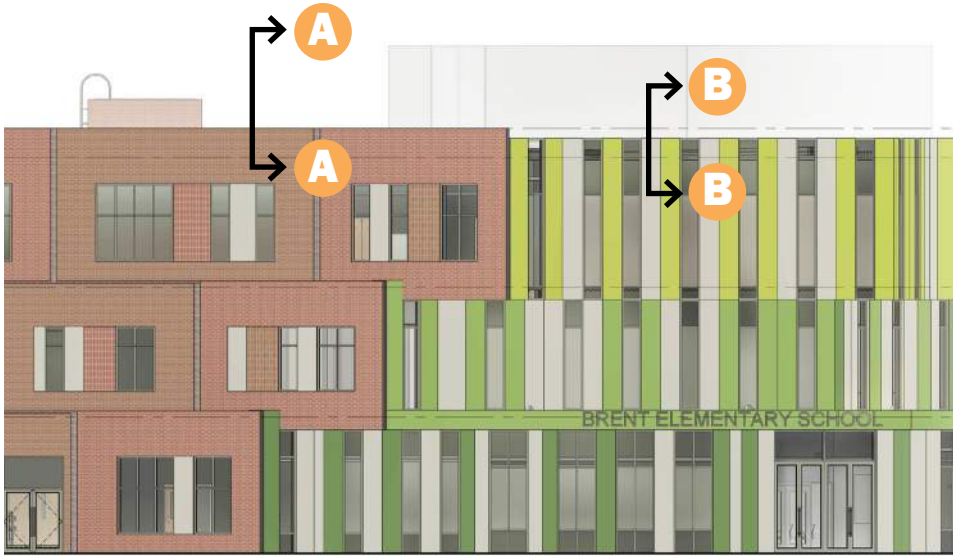




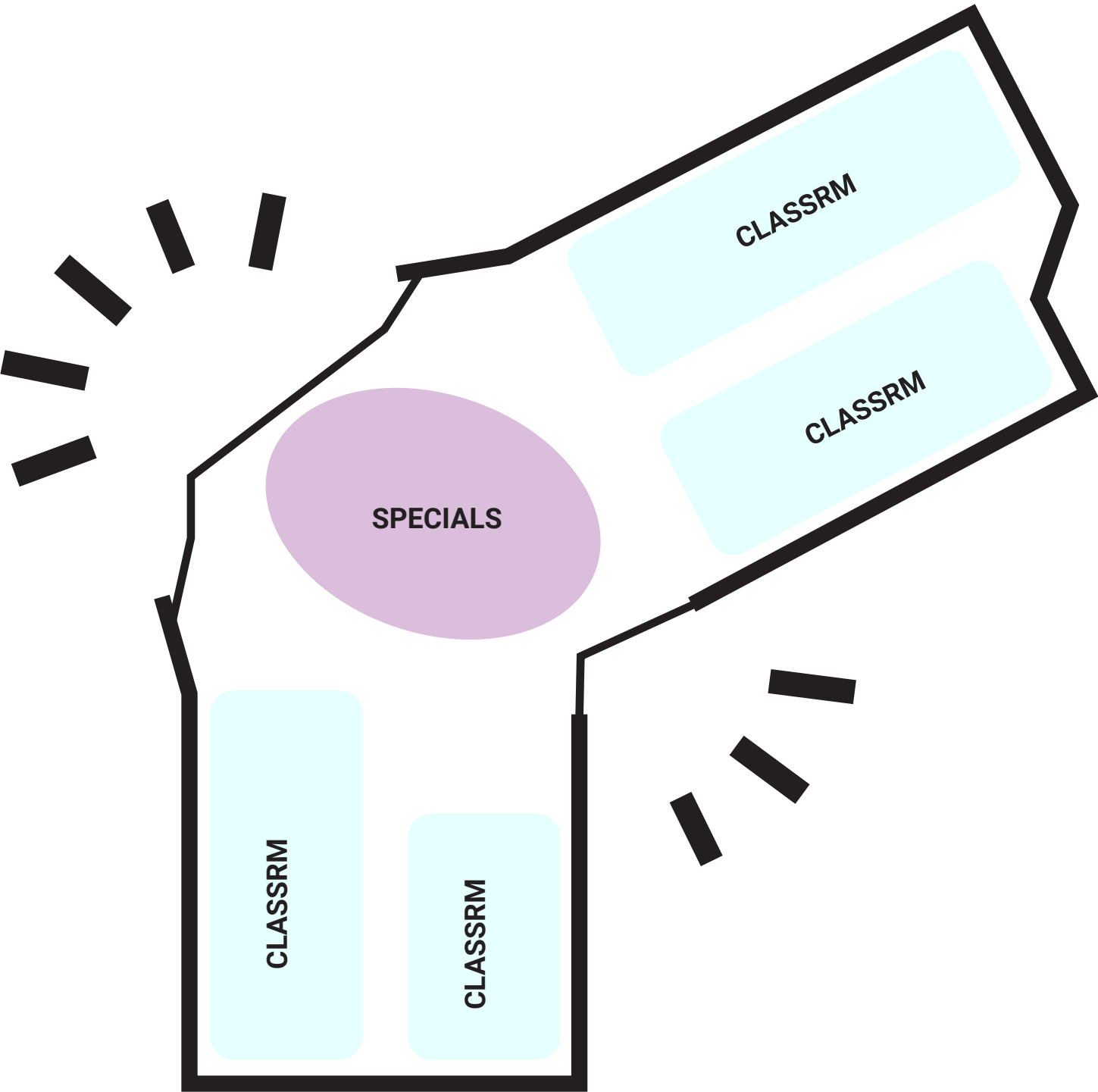
**A** Coping Detail @ ACM



**B** Coping Detail @ Brick











**LEGEND**

- ADMINISTRATIVE
- BUILDING SUPPORT
- SPECIALS
- CORE ACADEMICS
- COMMONS
- CAFETERIA
- HEALTH SUITE
- GYMNASIUM
- LIBRARY

↑





DESIGN DEVELOPMENT | PLAN - LVL 1


















## DESIGN DEVELOPMENT | PLAN - LVL 3

GO.3 SCALE: 1" = 20'-0"



## LEGEND

- |   |                    |
|---|--------------------|
|  | ADMINISTRATIVE     |
|  | BUILDING SUPPORT   |
|  | SPECIALS           |
|  | CORE ACADEMICS     |
|  | COMMONS SD Revised |
|  | CAFETERIA          |
|  | HEALTH SUITE       |
|  | GYMNASIUM          |
|  | LIBRARY            |

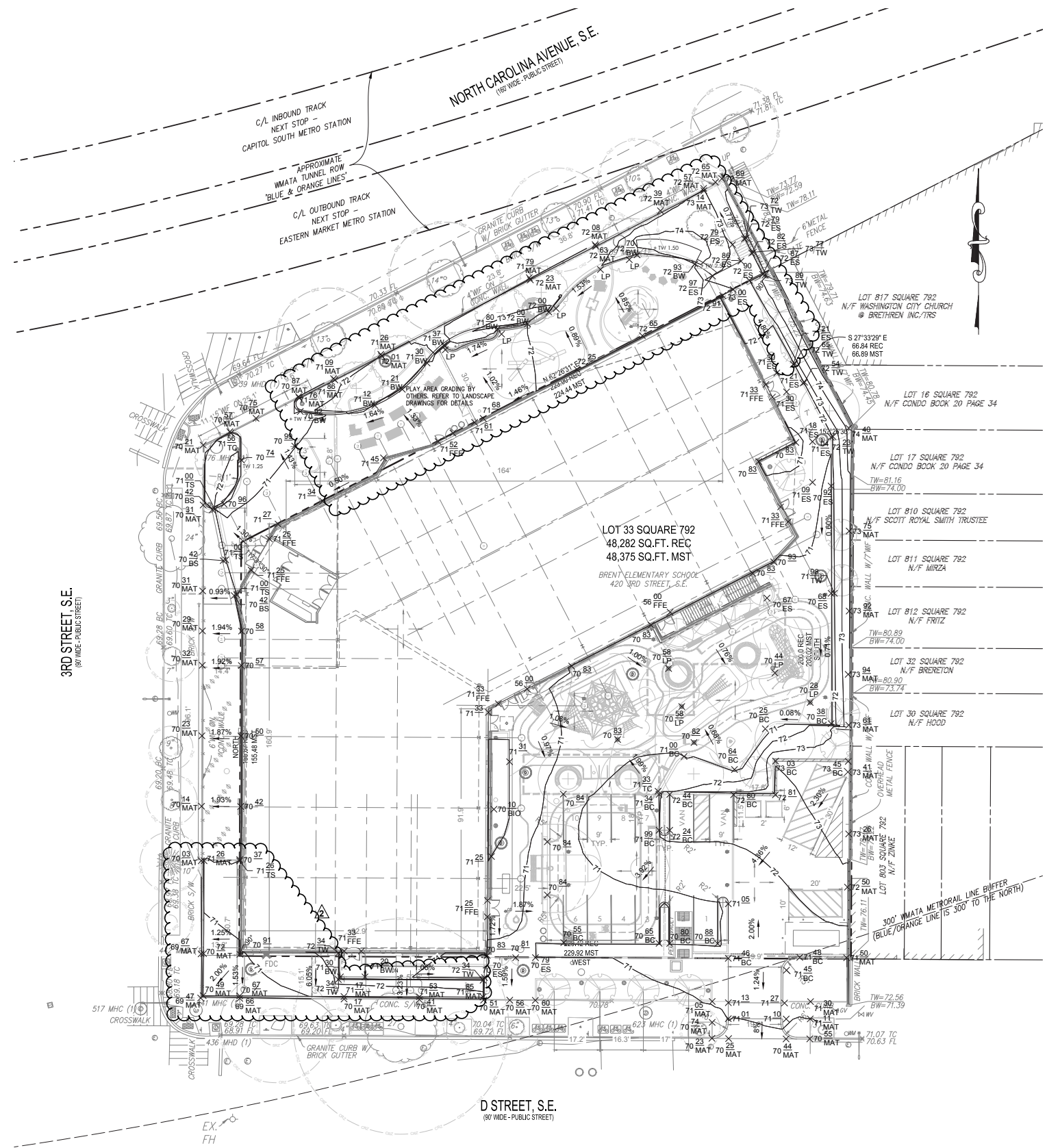
0 10 20 40  
SCALE: 0' = 20' 20' 40'  
Plan without Areas

# Brent Elementary School

500 North Carolina Ave SE  
Washington, DC 20003

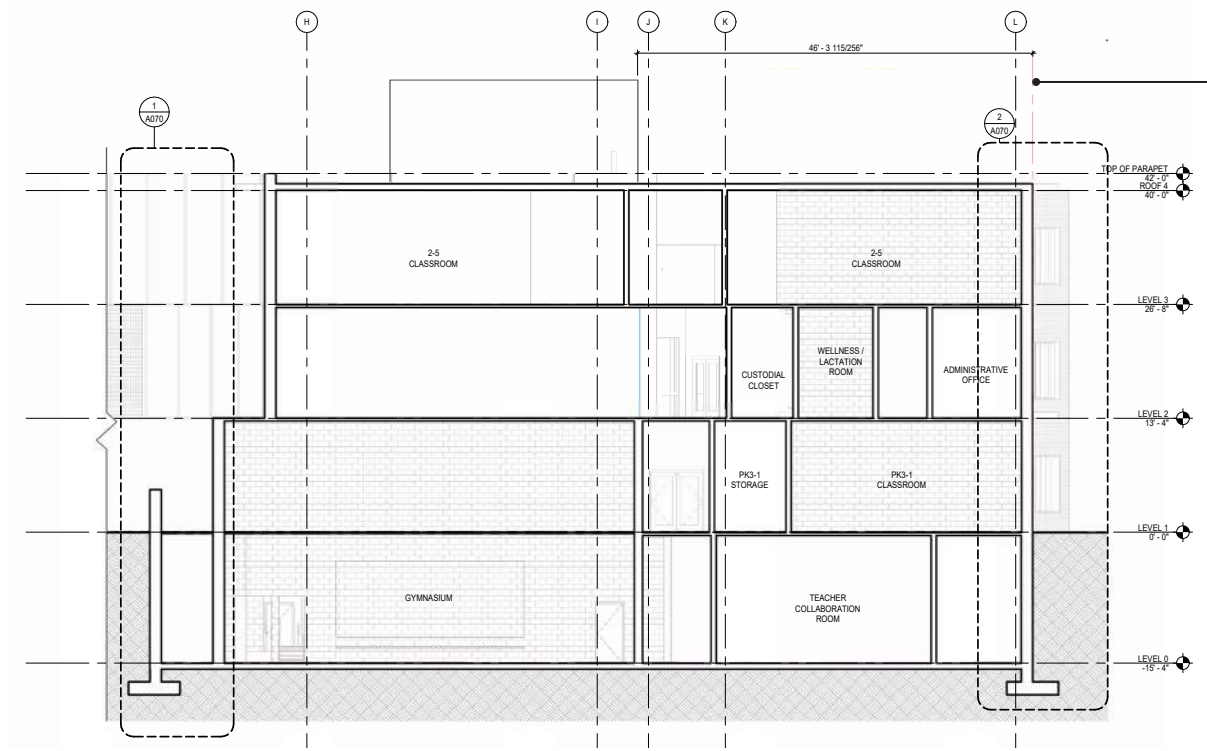


DESIGN DEVELOPMENT | GRADING PLAN

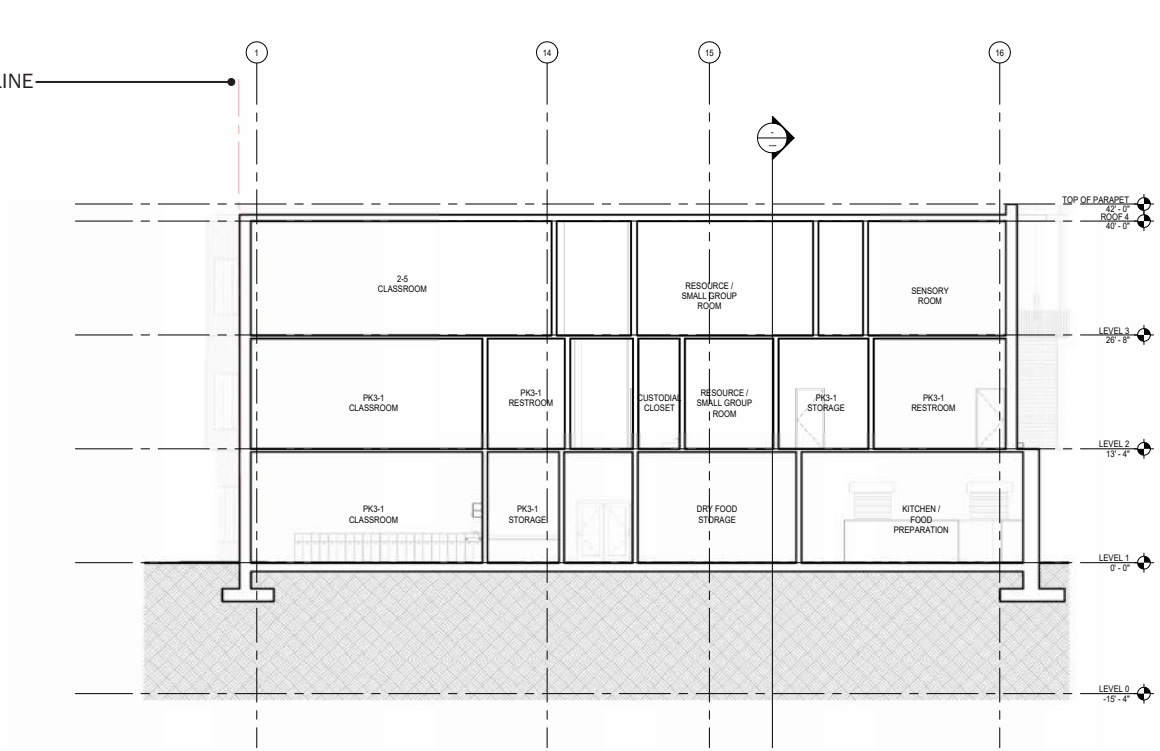




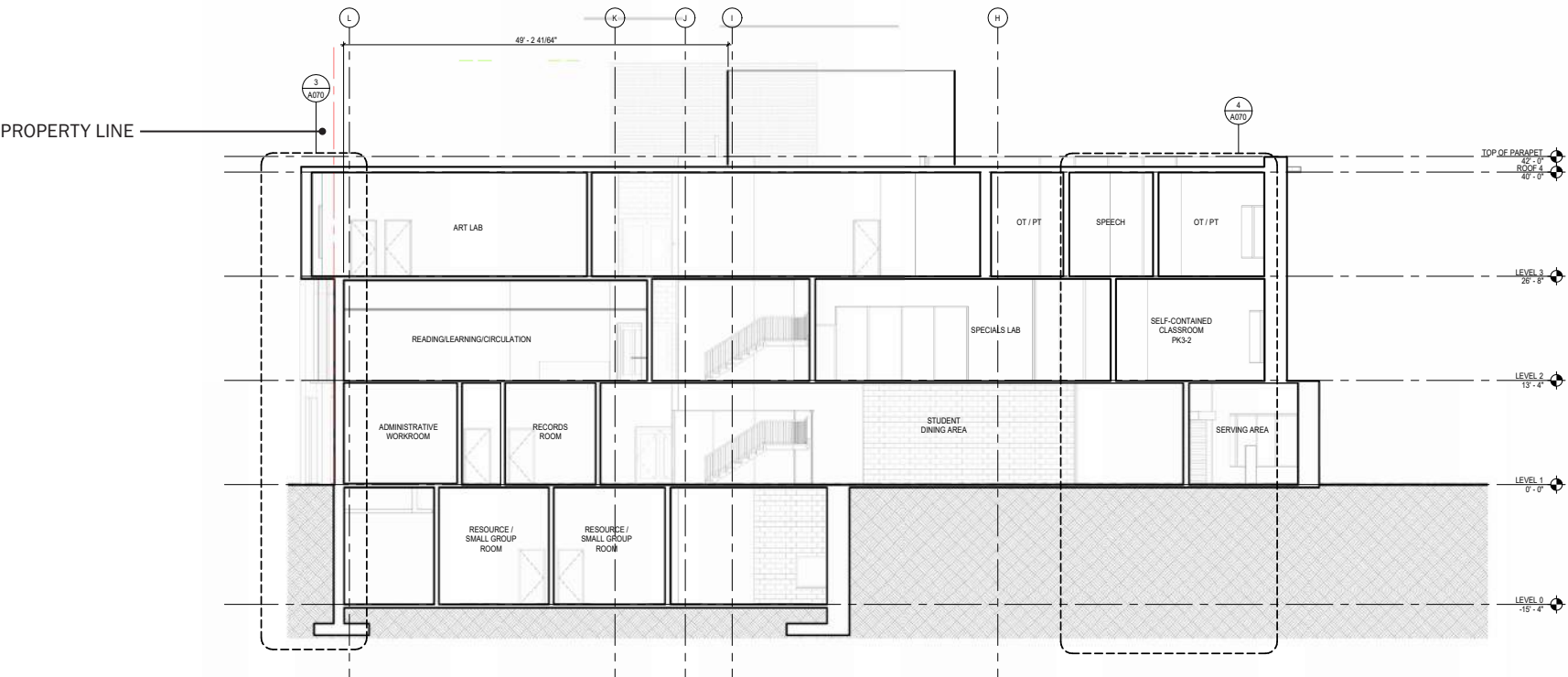
DESIGN DEVELOPMENT | SECTIONS



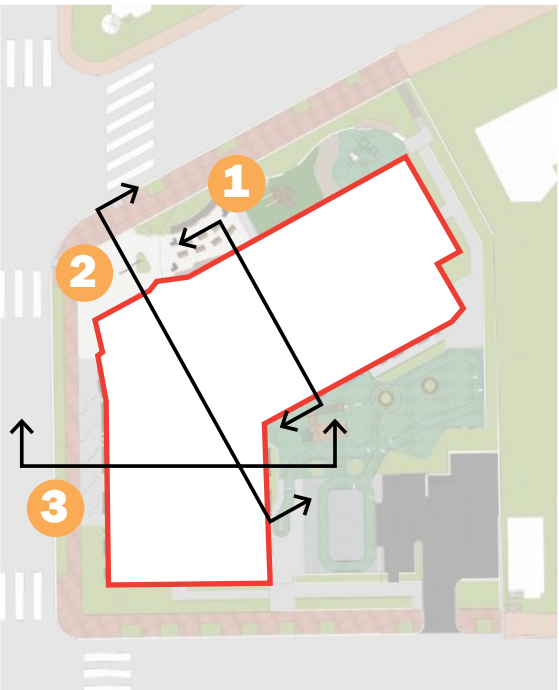
Section 1



Section 3



Section 2



NOT TO SCALE

