

ALTERATIONS AND REPAIRS AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

BBGM Project Number 1123.00

PERMIT SET

04.30.2020

PROJECT NAME:
2805 M ST, NW
Washington, D.C., 20009

SCOPE OF WORK:

2805 M STREET, NW IS AN EXISTING HISTORIC BUILDING WHICH WAS PREVIOUSLY SUBDIVIDED TO INCLUDE THE PRIOR ADDRESSES OF 2801, 2803, AND 2805 M STREET, NW. IT IS A 3-STORY ABOVE-GRADE STRUCTURE WITH ONE FULL LEVEL BELOW GRADE (IN ADDITION TO LIMITED BELOW-GRADE MECHANICAL AREAS). THE BUILDING IS IN DISREPAIR, IN PART DUE TO RECENT VEHICULAR DAMAGE, AND REQUIRES IMPROVEMENTS TO THE INTERIOR AND EXTERIOR TO ENHANCE HISTORIC APPEAL. ALTERATIONS INCLUDE: INSTALLATION OF NEW EGRESS STAIR (PER PRIOR CFA APPROVAL DATED 6/12/19); INSTALLATION NEW ENTRY DOOR, WINDOWS AND RAMP (PER PRIOR CFA APPROVAL, DATED 6/21/19); REPLACEMENT OF EXISTING PLUMBING FIXTURES AT RESTROOMS IN KIND; REPLACEMENT OF EXISTING LIGHTING AND DEVICES (RECEPTACLES, SWITCHES, ETC.) IN KIND; REPLACEMENT OF MECHANICAL EQUIPMENT IN KIND; PERFORMING STRUCTURAL MODIFICATIONS DUE TO PARTIAL CHANGE OF USE (OFFICE TO RETAIL); AND PROVIDING SECURITY ALARM UPGRADES.

BUILDING CODES - (Washington D.C.)

BUILDING- INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2012
INTERNATIONAL BUILDING CODE (IBC) 2012
DC BUILDING CODE (DCBC) 2013
DCMR 12A BUILDING CODE SUPPLEMENT 2013
DC EXISTING BUILDING CODE 2013
DCMA 12J EXISTING BUILDING CODE 2013

MECHANICAL- INTERNATIONAL MECHANICAL CODE (IMC) 2012
DC MECHANICAL CODE 2013
DCMR 12E 2013 MECHANICAL CODE SUPPLEMENT

PLUMBING- INTERNATIONAL PLUMBING CODE (IPC) 2012 [REF. 12 DCMR F]
DC PLUMBING CODE 2013
DCMR 12F 2013 PLUMBING CODE SUPPLEMENT

GAS- INTERNATIONAL FUEL GAS CODE (IFGC) 2012
DCMR 12D FUEL GAS CODE SUPPLEMENT

ELECTRICAL- NATIONAL ELECTRICAL CODE (NEC - NFPA 70, 2011 EDITION)
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72 2010 EDITION
DC ELECTRICAL CODE 1013
DCMR 12C 2013 ELECTRICAL CODE SUPPLEMENT

ENERGY- INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2012
GREEN CONSTRUCTION CODE SUPPLEMENT (IGCC) 2012
DC ENERGY CONSERVATION CODE 2013
DCMR 12 2013 ENERGY CONSERVATION CODE SUPPLEMENT

FIRE PREVENTION- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 2012

LIFE SAFETY- LIFE SAFETY CODE (LSC) 101 2012

ACCESSIBILITY-2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
INTERNATIONAL BUILDING CODE (IBC) 2012
2009 ANSI A117.1
DCMR 12A BUILDING CODE SUPPLEMENT

ELEVATOR CODE- INTERNATIONAL BUILDING CODE (IBC) 2012
ASME A17.1/CSA B44

OTHER CODES-DC GREEN BUILDING ACT OF 2008
DC GREEN CONSTRUCTION CODE 2013
INTERNATIONAL GREEN CONSTRUCTION CODE 2012
DCMR 12K 2013 GREEN CONSTRUCTION CODE SUPPLEMENT
DC PROPERTY MAINTENANCE CODE 2013
INTERNATIONAL PROPERTY MAINTENANCE CODE 2012
DCMR 12G 2013 PROPERTY MAINTENANCE CODE SUPPLEMENT

USE GROUP:

B - OFFICE/RETAIL

M - MERCANTILE

CONSTRUCTION TYPE:
BUILDING - TYPE III B, NOT SPRINKLERED

NUMBER OF STORIES: 3

HIGHRISE: NO

COVERED MALL: NO

FULLY SPRINKLERED & MONITORED: NO

FIRE ALARM SYSTEM: NO

ADA ACCESSIBILITY: NO

EMERGENCY POWER: NO

OCCUPANCY CALCULATION:
OCCUPANCY REMAINS UNCHANGED AS FLOOR AREAS AND OCCUPANCIES ARE UNCHANGED.

EGRESS LOADS:
THIS RENOVATION WILL NOT CHANGE THE EXISTING POPULATION LOADS AND EGRESS REQUIREMENTS OF THE BUILDING.

EXISTING BUILDING LEVEL OF ALTERATION:
LEVEL 2 ALTERATION - "LEVEL 2 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT." (IEBC2012 504.1)

ZONING

LOTS: 0201

SQUARE: 1212

ZONE: MU-4

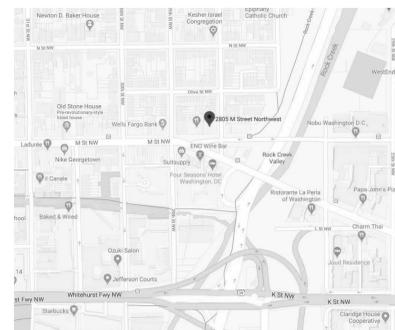
HEIGHT: 32' - 6"

STORIES: 3 ABOVE GRADE + BASEMENT

SITE AREA: 5,130 SQ.FT.

HISTORIC: GEORGETOWN

VICINITY MAP



WASHINGTON, DC

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OCCUPANCY INFORMATION

LEVEL	AREA	USE GROUP	SQ.FT PER PERSON	OCCUPANT LOAD
SUB-BASEMENT FLOOR	1,065	MECHANICAL	300 SQ.FT	3
BASEMENT FLOOR	2,640	BUSINESS	100 SQ.FT	26
FIRST FLOOR	2,664	MERCANTILE	30 SQ.FT	88
SECOND FLOOR	5,159	BUSINESS	100 SQ.FT	52
LOFT FLOOR	837	BUSINESS	100 SQ.FT	8
TOTAL				177

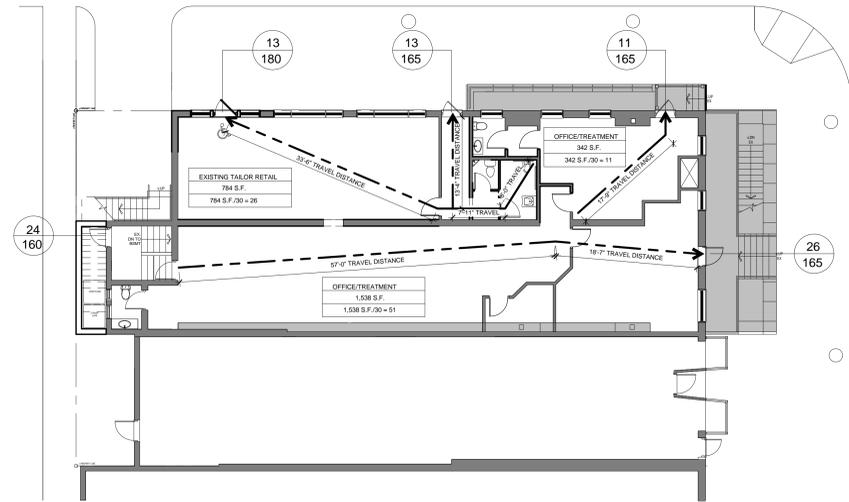
EGRESS INFORMATION

LIFE SAFETY DIAGRAM LEGEND

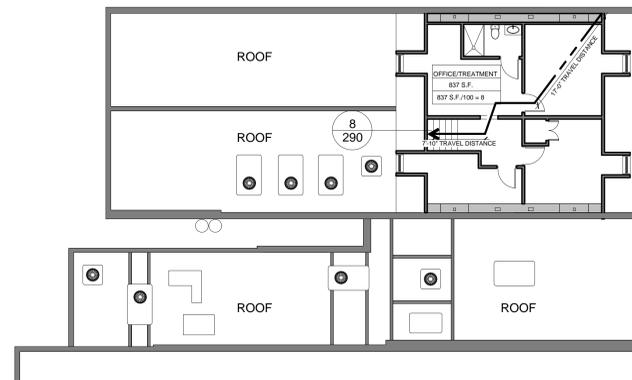
TRAVEL DISTANCE
 UNOCCUPIED AREA N.I.C.
 X = # OF OCCUPANTS
Y = EXIT CAPACITY
 SPACE NAME
S.F. = SQUARE FOOT
OC = OCCUPANCY PER PERSON

FIRE RESISTANCE REQUIREMENTS: TYPE III B

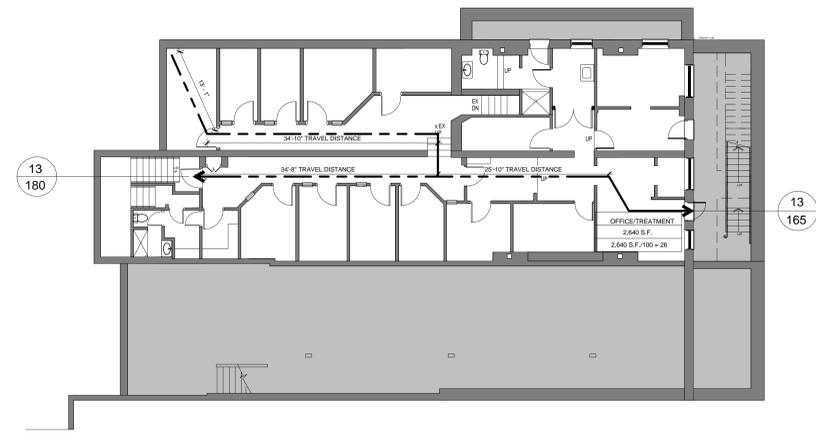
1. STRUCTURAL FRAME: 0 HOURS
2. BEARING WALLS - EXTERIOR: 2 HOURS
3. BEARING WALLS - INTERIORS: 0 HOURS
4. NON-BEARING WALLS: 0 HOURS
5. FLOOR CONSTRUCTION: 0 HOURS
6. ROOF CONSTRUCTION: 0 HOURS
7. DEMISING WALL: 0 HOURS



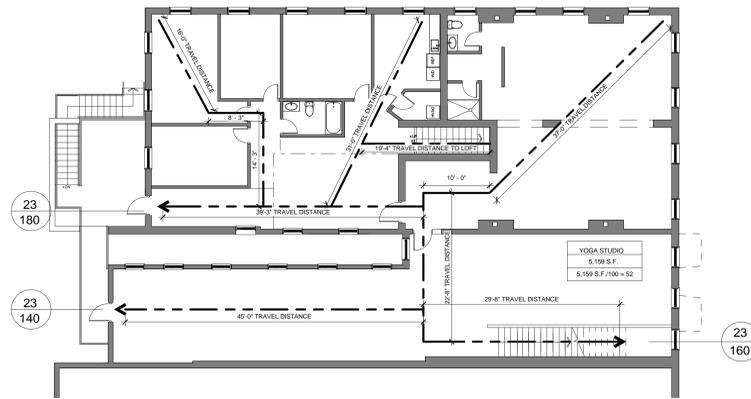
3 LIFE SAFETY PLAN - FIRST FLOOR
3/32" = 1'-0"



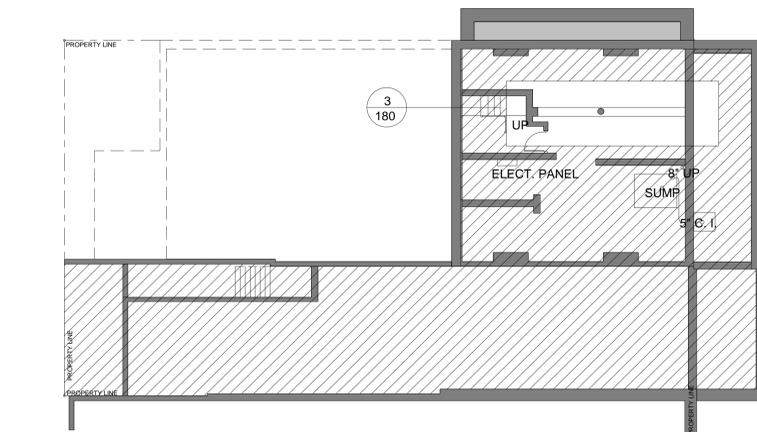
5 LIFE SAFETY PLAN - LOFT
3/32" = 1'-0"



2 LIFE SAFETY PLAN - BASEMENT
3/32" = 1'-0"



4 LIFE SAFETY PLAN - SECOND FLOOR
3/32" = 1'-0"



1 LIFE SAFETY PLAN - SUB-BASEMENT
3/32" = 1'-0"

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2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
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202-271-4200

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SUBMISSIONS

Date	Description
04.30.2020	PERMIT SET

BBGM

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WASHINGTON, DC 2007

LIFE SAFETY PLAN

SEAL & SIGNATURE
PROJECT No.: 1123.00
DWG No.:
A003

EXISTING BASEMENT FLOOR PLAN



1 EXISTING BASEMENT FLOOR PLAN
A005 1/4" = 1'-0"



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PROJECT
ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

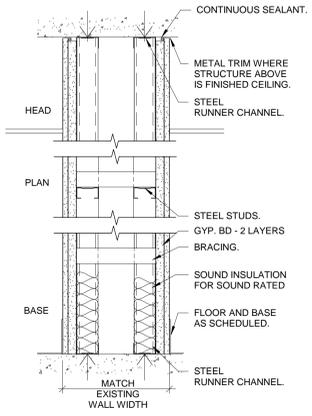
2805 M STREET, NW
WASHINGTON, DC 20007

EXISTING BASEMENT FLOOR PLAN

SEAL & SIGNATURE PROJECT No.: 1123.00
DWG No:

A005

PARTITION TYPES



2A NO RATING
1-5/8" STUDS, 1 LAYER OF GYP. BD, EACH SIDE, STEEL STUD OR GYP. BD BRACING.

DOOR SCHEDULE

DOOR NUMBER	LOCATION	DOOR SIZE	CONST. TYPE	FINISH TYPE	FRAME	HDWR GROUP
ND-1	1ST FLOOR	3'-0" X 7'-0"	WD	PT	WD	1
ND-2	2ND FLOOR	2'-8" X 7'-0"	HM	PT	HM	2
ND-3	2ND FLOOR	2'-8" X 7'-0"	HM	PT	HM	2
ND-4	1ST FLOOR	3'-0" X 7'-0"	WD	PT	WD	2

HARDWARE SCHEDULE

HARDWARE SET	HINGES	CLOSER	LEVER	NOTES
1	Harney Hardware Hinge, Standard Weight, Ball Bearing, 4 1/2" X 4 1/2" HHFB17910B	Harney Hardware Universal, UL 10C, ANSI Grade 1, Spring 1-4 DC8900DU	Harney Hardware Lock Lever, Entry, Reversible, SAT Style Handle, Schlage "SC 4", UL 10C, ANSI Grade 2 86525	
2	Harney Hardware Hinge, Standard Weight, Ball Bearing, 4 1/2" X 4 1/2" HHFB17910B	Harney Hardware Universal, UL 10C, ANSI Grade 1, Spring 1-4 DC8900DU	Harney Hardware Lock Lever, Privacy, Reversible, SAT Style Handle, UL 10C, ANSI Grade 2 86528	1 HOUR RATED

WINDOW SCHEDULE

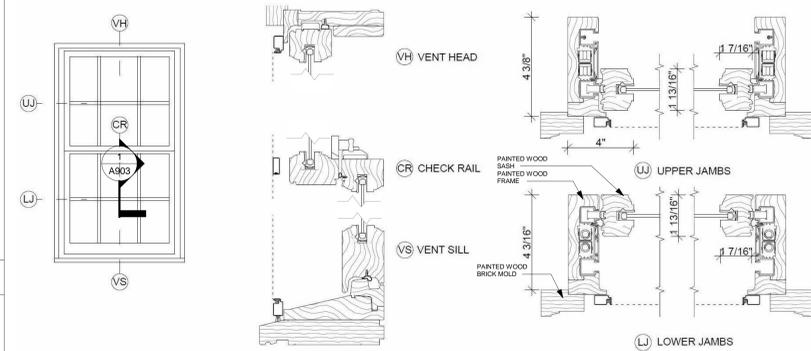
WINDOW NUMBER	LOCATION	WINDOW SIZE	MATERIAL	FINISH TYPE	GLASS TYPE	WINDOW TYPE
W0-1	BASEMENT	3'-1" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W0-2	BASEMENT	3'-10" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W0-3	BASEMENT	4'-9" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W0-4	BASEMENT	2'-10" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W1-2	1ST FLOOR	10'-3" X 7'-3"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W1-3	1ST FLOOR	3'-1" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W1-4	1ST FLOOR	2'-10" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W1-5	1ST FLOOR	4'-9" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W1-6	1ST FLOOR	2'-0" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W1-1	1ST FLOOR	2'-0" X 4'-8"	WD	PT	SINGLE GLAZED DBL HUNG	SEE ELEVATION ON 4/A903
W2-1	2ND FLOOR	3'-1" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W2-2	2ND FLOOR	2'-10" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W2-3	2ND FLOOR	2'-9" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W3-1	LOFT FLOOR	2'-7" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG

NOTE: GC TO FIELD VERIFY THE NEW WINDOW OPENINGS BEFORE PURCHASING ANY MATERIALS.

GENERAL NOTES - DOOR & HDWR

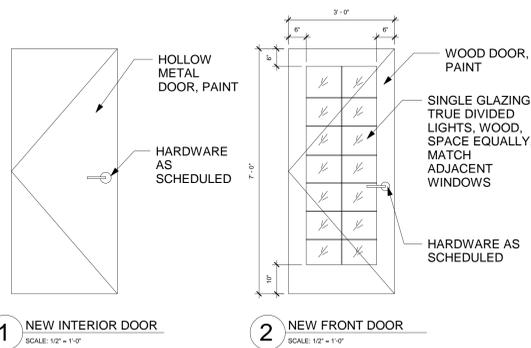
- DOORS THAT ARE NOT LABELED ARE EXISTING TO REMAIN. FIELD VERIFY ALL OPENINGS, DIMENSIONS AND CONDITIONS AFFECTING WORK PRIOR TO ORDERING AND/OR INSTALLING
- ALL WINDOWS SHALL BE CAULKED (ALL EDGES) W/ SILICONE SEALANT TO MATCH WINDOW COLOR.
- UNLATCHING FORCE SHALL NOT EXCEED 15 LBS. IN THE DIRECTION OF TRAVEL.
- THRESHOLDS SHALL NOT EXCEED 1/2" IN HGT. AND SHALL HAVE BEVELED SIDES THAT SLOPE 1:2 MAXIMUM.
- ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- ALL DOORS TO BE SELF CLOSING U.N.O.

WINDOW DETAILS

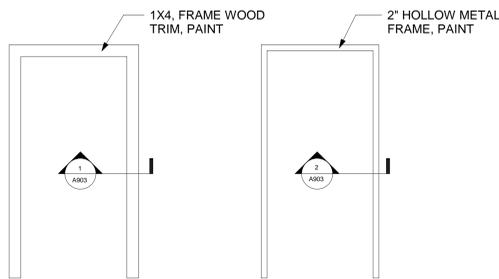


1 SINGLE GLAZED MULLION SECTION
A903 1 1/2" = 1'-0"

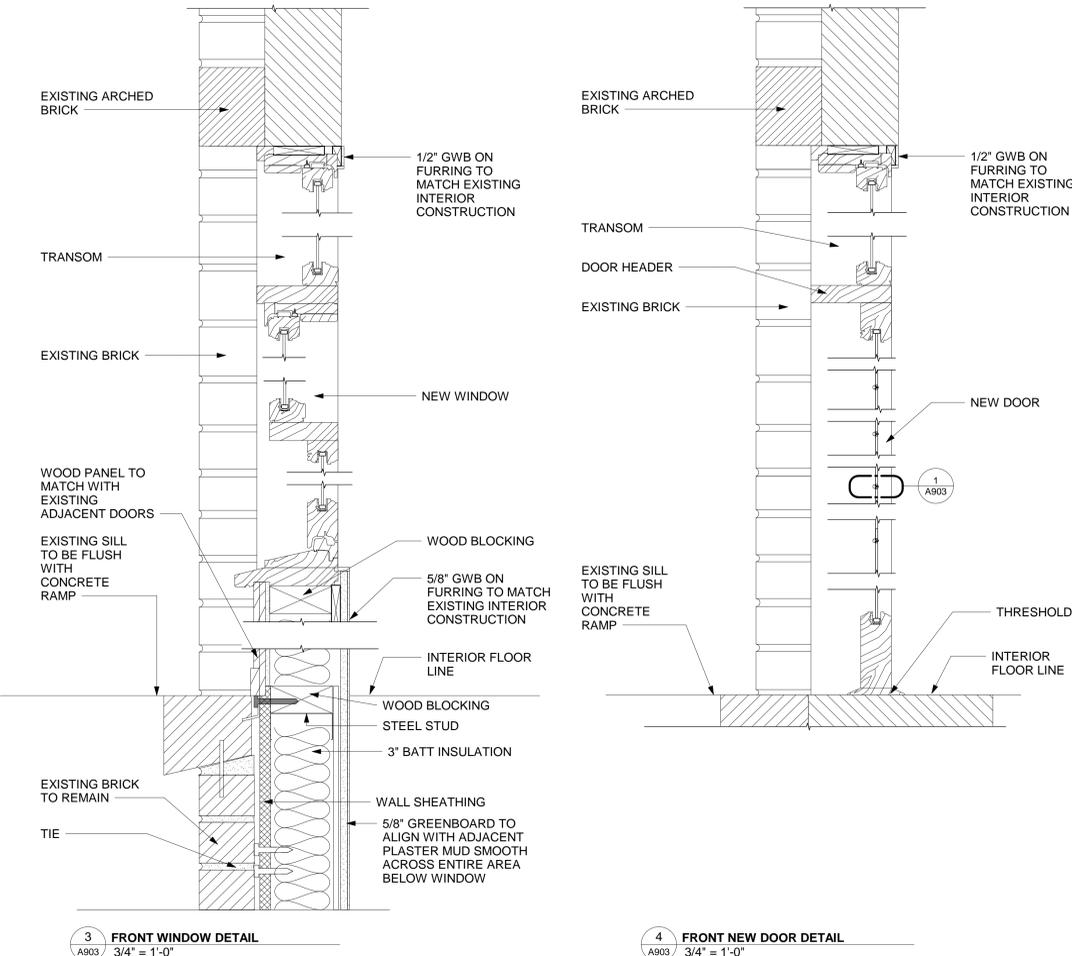
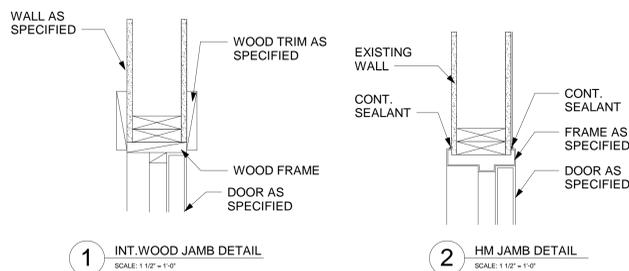
DOOR TYPES



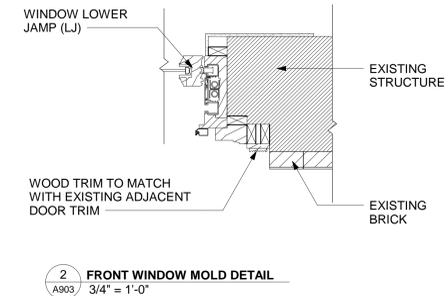
DOOR FRAMES



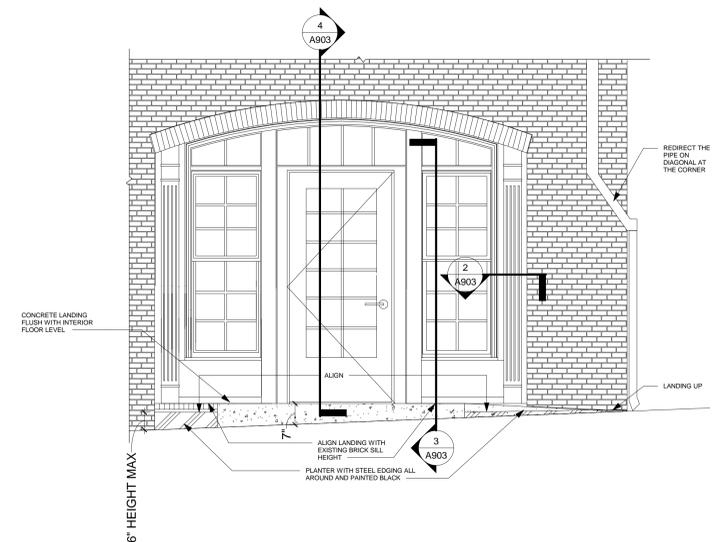
DOOR DETAILS



WINDOW SECTIONS



EXTERIOR DOOR ELEVATION



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WASHINGTON, DC 2007

WALL PARTITION SCHEDULE, HARDWARE SCHEDULE AND DETAILS

SEAL & SIGNATURE
PROJECT No.: 1123.00
DWG No.:
A903

REGISTERED ARCHITECT