

ALTERATIONS AND REPAIRS AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

BBGM Project Number 1123.00

PERMIT SET

04.30.2020

PROJECT NAME:
2805 M ST, NW
Washington, D.C., 20009

SCOPE OF WORK:

2805 M STREET, NW IS AN EXISTING HISTORIC BUILDING WHICH WAS PREVIOUSLY SUBDIVIDED TO INCLUDE THE PRIOR ADDRESSES OF 2801, 2803, AND 2805 M STREET, NW. IT IS A 3-STORY ABOVE-GRADE STRUCTURE WITH ONE FULL LEVEL BELOW GRADE (IN ADDITION TO LIMITED BELOW-GRADE MECHANICAL AREAS). THE BUILDING IS IN DISREPAIR, IN PART DUE TO RECENT VEHICULAR DAMAGE, AND REQUIRES IMPROVEMENTS TO THE INTERIOR AND EXTERIOR TO ENHANCE HISTORIC APPEAL. ALTERATIONS INCLUDE: INSTALLATION OF NEW EGRESS STAIR (PER PRIOR CFA APPROVAL DATED 6/12/19); INSTALLATION NEW ENTRY DOOR, WINDOWS AND RAMP (PER PRIOR CFA APPROVAL, DATED 8/21/19); REPLACEMENT OF EXISTING PLUMBING FIXTURES AT RESTROOMS IN KIND; REPLACEMENT OF EXISTING LIGHTING AND DEVICES (RECEPTACLES, SWITCHES, ETC.) IN KIND; REPLACEMENT OF MECHANICAL EQUIPMENT IN KIND; PERFORMING STRUCTURAL MODIFICATIONS DUE TO PARTIAL CHANGE OF USE (OFFICE TO RETAIL); AND PROVIDING SECURITY ALARM UPGRADES.

BUILDING CODES - (Washington D.C.)

BUILDING- INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2012
INTERNATIONAL BUILDING CODE (IBC) 2012
DC BUILDING CODE (DCBC) 2013
DCMR 12A BUILDING CODE SUPPLEMENT 2013
DC EXISTING BUILDING CODE 2013
DCMA 12J EXISTING BUILDING CODE 2013

MECHANICAL- INTERNATIONAL MECHANICAL CODE (IMC) 2012
DC MECHANICAL CODE 2013
DCMR 12E 2013 MECHANICAL CODE SUPPLEMENT

PLUMBING- INTERNATIONAL PLUMBING CODE (IPC) 2012 [REF. 12 DCMR F
DC PLUMBING CODE 2013
DCMR 12F 2013 PLUMBING CODE SUPPLEMENT

GAS- INTERNATIONAL FUEL GAS CODE (IFGC) 2012
DCMR 12D FUEL GAS CODE SUPPLEMENT

ELECTRICAL- NATIONAL ELECTRICAL CODE (NEC - NFPA 70, 2011 EDITION)
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72 2010 EDITION
DC ELECTRICAL CODE 1013
DCMR 12C 2013 ELECTRICAL CODE SUPPLEMENT

ENERGY- INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2012
GREEN CONSTRUCTION CODE SUPPLEMENT (IGCC) 2012
DC ENERGY CONSERVATION CODE 2013
DCMR 12 2013 ENERGY CONSERVATION CODE SUPPLEMENT

FIRE PREVENTION- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 2012

LIFE SAFETY- LIFE SAFETY CODE (LSC) 101 2012

ACCESSIBILITY- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
INTERNATIONAL BUILDING CODE (IBC) 2012
2009 ANSI A117.1
DCMR 12A BUILDING CODE SUPPLEMENT

ELEVATOR CODE- INTERNATIONAL BUILDING CODE (IBC) 2012
ASME A17.1/CSA B44

OTHER CODES- DC GREEN BUILDING ACT OF 2008
DC GREEN CONSTRUCTION CODE 2013
INTERNATIONAL GREEN CONSTRUCTION CODE 2012
DCMR 12K 2013 GREEN CONSTRUCTION CODE SUPPLEMENT
DC PROPERTY MAINTENANCE CODE 2013
INTERNATIONAL PROPERTY MAINTENANCE CODE 2012
DCMR 12G 2013 PROPERTY MAINTENANCE CODE SUPPLEMENT

ZONING

LOTS: 0201

SQUARE: 1212

ZONE: MU-4

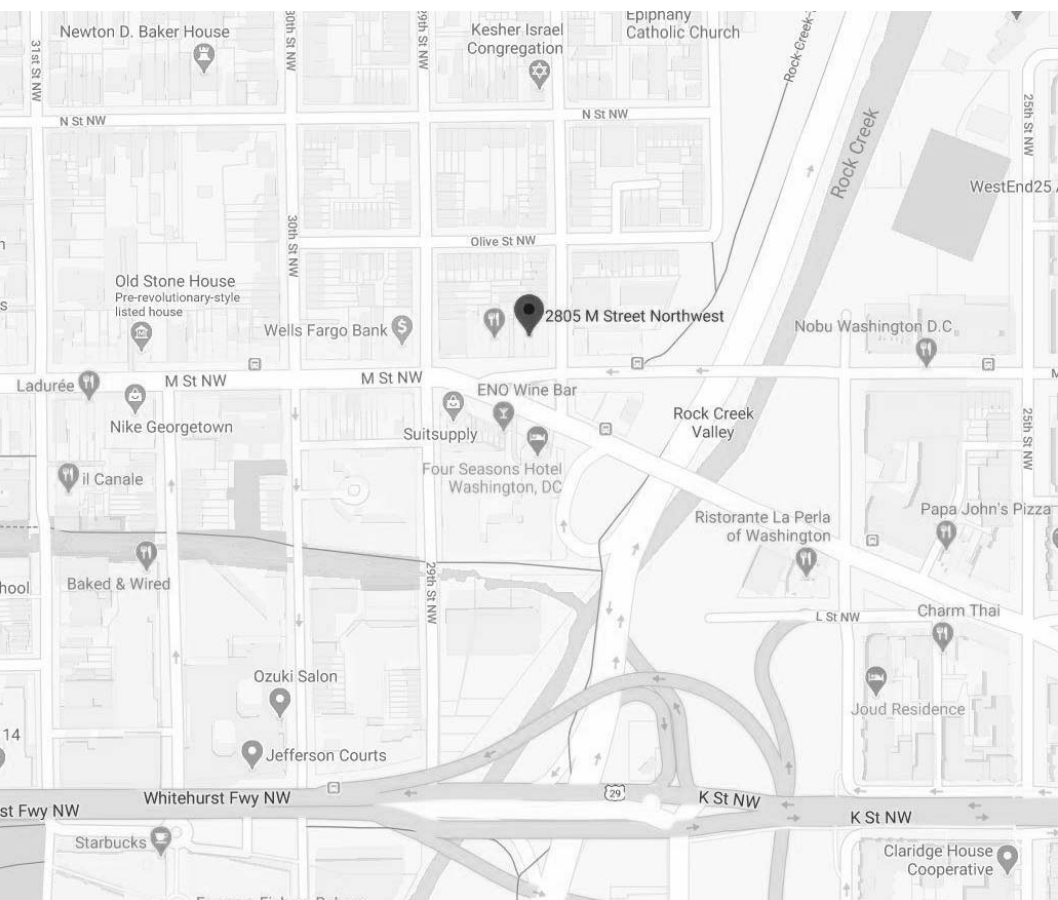
HEIGHT: 32' - 6"

STORIES: 3 ABOVE GRADE + BASEMENT

SITE AREA: 5,130 SQ.FT.

HISTORIC: GEORGETOWN

VICINITY MAP



USE GROUP:

B - OFFICE/RETAIL

M - MERCANTILE

CONSTRUCTION TYPE:
BUILDING - TYPE IIB, NOT SPRINKLED

NUMBER OF STORIES: 3

HIGHRISE: NO

COVERED MALL: NO

FULLY SPRINKLERED & MONITORED: NO

FIRE ALARM SYSTEM: NO

ADA ACCESSIBILITY: NO

EMERGENCY POWER: NO

OCCUPANCY CALCULATION:
OCCUPANCY REMAINS UNCHANGED AS FLOOR AREAS AND OCCUPANCIES ARE UNCHANGED.

EGRESS LOADS:
THIS RENOVATION WILL NOT CHANGE THE EXISTING POPULATION LOADS AND EGRESS REQUIREMENTS OF THE BUILDING.

EXISTING BUILDING LEVEL OF ALTERATION:
LEVEL 2 ALTERATION - "LEVEL 2 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT." (IEBC2012 504.1)



BBGM
1825 K Street, NW
suite 300
Washington, DC 20006

Tel. 202.452.1644
Fax. 202.452.1647

CONSULTANT:
CHRISTIE DESIGN GROUP

912 THAYER AVE, STE 300
SILVER SPRING, MD 20910

OFFICE:
(301)608-0005

STRUCTURAL:
STRUCTURA INC.

12358 Parklawn Drive, Suite #140
North Bethesda, MD, 20852

(301) 987-9234

Caitlin Mueller, PE
cmueller@structura-inc.com
240.477.1882

ABBREVIATIONS

@	ANGLE	DBL	DOUBLE	G	GAS	M	METER(S)	R	RISER	UC	UNDERCUT
AB	AT	DEMO	DEMOLISH, DEMOLITION	GA	MACHINE	MACH	MACHINE	RA	RETURN AIR	UG	UNDERGROUND
ABV	ANCHOR BOLT	DEPT	DEPARTMENT	GAL	GALLON	MAS	MASONRY	RAD	RADIUS	UH	UNIT HEATER
AC	ABOVE	DF	DRINKING FOUNTAIN	GALV	GALVANIZED	MATL	MATERIAL	RB	RUBBER BASE	UNFIN	UNFINISHED
ACV	AIR CONDITIONING	DG	DOOR GRILLE	GB	GRAB BAR	MAX	MAXIMUM	RD	ROOF DRAIN	UNO	UNLESS NOTED OTHERWISE
ACP	ACOUSTICAL CEILING	DI	DROP IN INLET	GC	GENERAL CONTRACTOR	MB	MARKERBOARD	REC	RECEPTACLE		
ACT	PANEL	DIAG	DIAGONAL	CGMU	GLAZED CONC. MASONRY UNIT	MECH	MECHANICAL	REF	REFERENCE	V	VINYL
ADJ	ACOUSTICAL CEILING TILE		DIAMETER	GEN	GENERAL	MED	MEDIUM	REFG	REFRIGERATOR	VAC	VACUUM
AFF	ADJUSTABLE	DIM	DIMENSION	GFCI	GROUND FAULT CIRC. INTERUP.	MEMB	MEMBRANE	REINF	REINFORCE(D)(ING)	VB	VINYL BASE
AHU	ABOVE FINISHED FLOOR	DIV	DIVISION	GFRC	GLASS FIBER REIN. CONC.	MFR	MANUFACTURER	REQD	REQUIRED	VBC	HORIZONTAL BRICK COURSE(S)
ALT	AIR HANDLING UNIT	DMT	DEMOUNTABLE	GL	GLASS	MH	MANHOLE	REQMT	REQUIREMENT	VCT	VINYL COMPOSITION TILE
ALUM	ALTERNATE	DN	DOWN	GPM	GALLONS PER MINUTE	MIN	MINIMUM	RES	RESILIENT	VERT	VERTICAL
AP	APPLUM	GR	DAMP-PROOFING	GR	GRADE	MIR	MISCELLANEOUS	RET	RETURN	VEST	VESTIBULE
APC	ACCESS PANEL	DR	DOOR	GS	GALVANIZED STEEL	MISC	MISCELLANEOUS	RFG	RADIO FREQUENCY	VIF	VERIFY IN FIELD
APPR	ARCH. PRECAST CONCRETE	DS	DOWN SPOUT	GSU	GLAZED STRUCTURAL UNIT	MLDG	MOLDING	RFG	ROOFING	VR	VAPOR RETARDER
ARCH	APPROXIMATE	DT	DRAIN TILE	GW	GLAZED WALL TILE	MO	MASONRY OPENING	RH	RIGHT HAND	VT	VINYL TILE
ASB	ARCHITECT(URAL)	DTL	DETAIL	GYP	GYPSUM	MR	MAP RAIL	RL	RAIN LEADER	VWB	VINYL WALL BASE
ATTEN	ASBESTOS	DW	DRYWALL	HB	HOSE BIBB	MT	MOUNT	RM	ROOM	VWC	VINYL WALL COVERING
AUTO	ATTENUATION	DWG	DRAWING	HBD	HARDBOARD	MTD	MOUNTING	RO	ROUGH OPENING		
AVG	AUTOMATIC	DWR	DRAWER	HBC	HORIZONTAL BRICK COURSE(S)	MTL	METAL	RT	RUBBER TILE	W	WEST
AWP	AVERAGE			HCD	HORIZONTAL COURSE(S) (CMU)	MUL	MULLION	RTU	ROOFTOP UNIT	W/	WITH
	ACOUSTICAL WALL PANEL	E	EAST	HDR	HEADER	MWP	MEMBRANE WATERPROOFING	R/W	RIGHT OF WAY	WB	WOOD BASE
BC	BOTTOM OF CURB	EA	EACH	HDNR	HARDENER	N	NORTH	S	SOUTH	WC	WATER CLOSET
BBD	BULLETIN BOARD	EF	EXHAUST FAN	HDWR	HARDWOOD	NIC	NORTH	SAN	SANITARY	WD	WOOD BASE
BD	BOARD	EIFS	EXTERIOR INSULATION & FINISH SYSTEM	HDWR	HARDWARE	N	NOT IN CONTRACT	SAB	SOUND ATTENUATION BLANKET	WGL	WIRE GLASS
BLDG	BUILDING	EJ	EXPANSION JOINT	HGT	HEIGHT	NO	NUMBER	SC	SOLID CORE	WH	WATER HEATER
BLK	BLOCK	EL	ELEVATION	HM	HOLLOW METAL	NOM	NOMINAL	SCCH	SCHEDULE	W/O	WITHOUT
BLKG	BLOCKING	ELEC	ELECTRICAL	HORIZ	HORIZONTAL	NRC	NOISE REDUCTION COEFFICIENT	SCWD	SOLID CORE WOOD DOOR	WP	WATERPROOFING
BM	BENCH MARK	ELEV	ELEVATOR	HP	HORSEPOWER	NTS	NOT TO SCALE	SD	STORM DRAIN	WPT	WORKING POINT
BOT	BOTTOM OF CURB	EMER	EMERGENCY	HR	HOSE </td <td></td> <td></td> <td>SHLVG</td> <td>SHELVING</td> <td>WR</td> <td>WATER RESISTANT</td>			SHLVG	SHELVING	WR	WATER RESISTANT
BRG	BEARING	EPBD	ELECTRICAL PANELBOARD	HS	HIGH STRENGTH	OC	ON CENTER	SHT	SHEET	WSCT	WAINSCOT
BRK	BRICK	EPS	EXPANDED POLYSTYRENE	HT	HEIGHT	OD	OUTSIDE DIAMETER	SHTH	SHEATHING	WT	WEIGHT
BSMT	BASEMENT	EQ	EQUAL	HTG	HEATING	OH	OVERHEAD	SOF	SPRAY FIREPROOFING		
BTWN	BETWEEN	EQ	EQUAL	HTR	HEATER	OPNG	OPENING	SPEC	SPECIFICATION		
		EQUIP	EQUIPMENT	HVAC	HEATING, VENTILATING AIR CONDITIONING	OPP	OPPOSITE	SPR	SPRINKLER		
		EST	ESTIMATE	HW	HOT WATER			SQ	SQUARE		
		EW	EACH WAY	ID	INSIDE DIAMETER	PRKG	PARKING	SS	STAINLESS STEEL		
C	CARPET	EW	ELECTRIC WATER COOLER	INCH	INCH	PC	PRECAST	ST	STREET		
CAB	CABINET	EXH	EXHAUST	INCL	INCLUDE	PERF	PERFORATE(D)	STA	STATION		
CBD	CHALKBOARD	EXIST	EXISTING	INFO	INFORMATION	PERM	PERIMETER	STC	SOUND TRANSMISSION COEF.		
CCTV	CLOSED CIRCUIT TELEVISION	EXP	EXPANSION	INST	INSTALL(ATION)	PIP	POURED IN PLACE	STD	STANDARD		
CFM	CUBIC FEET PER MINUTE	EXP C	EXPPOSED CONSTRUCTION	INS	INSULATION	P	PROPERTY LINE	STL	STEEL		
CG	CORNER GUARD	EXT	EXTERIOR	INSUL	INSULATION(ION)	PL	PLATE	STOR	STORAGE		
CI	CAST IRON	FB	FACE BRICK	INT	INTERIOR	PLAM	PLASTIC LAMINATE	STRUCT	STRUCTURAL		
CIP	CAST-IN-PLACE CONCRETE	FD	FLOOR DRAIN	INV	INVERT	PLAS	PLASTER	SUBFLR	SUBFLOOR		
CJ	CONTROL JOINT	FE	FIRE EXTINGUISHER	JAN	JANITOR	PLYWD	PLYWOOD	SUSP	SUSPENSION		
CL	CENTERLINE	FEC	FIRE EXTINGUISHER CABINET	JB	JUNCTION BOX	PNT	PANEL	SYM	SYMMETRY(RICAL)		
CLG	CEILING	FFE	FINISHED FLOOR	JCT	JUNCTION	POL	POLY	T	TREAD		
CLOS	CLOSET	FGL	FIBERGLASS	JOIST	JOIST	POLY	POLYETHYLENE	TB	TACKBOARD		
CLR	CLEAR	FH	FIRE HYDRANT	JT	JOINT	PR	PAIR	TBD	TO BE DETERMINE		
CM	CENTIMETER	FHC	FIRE HOSE CABINET	KIT	KITCHEN	PREFAB	PREFABRICATE(D)	T&B	TOP & BOTTOM		
CMU	CONCRETE MASONRY UNIT	FHV	FIRE HOSE VALVE CABINET	K-O	KNOCK-OUT	PREFIN	PREFINISHED	TOC	TOP OF CURB		
CNTR	COUNTER	FIN	FINISH(ED)	LAM	LABORATORY	PREP	PREPARE	TEL	TELEPHONE		
CO	CLEAN OUT	FLSHG	FLASHING	LAV	LAVATORY	PROJ	PROJECT	T&G	TONGUE & GROOVE		
COL	COLUMN	FLR	FLOOR	LBS	POUNDS	PSF	POUNDS PER SQUARE FOOT	THHD	THRESHOLD		
CONC	CONCRETE	FLU	FLUORESCENT	LF	LINEAR FEET (FOOT)	PSI	POUNDS PER SQUARE INCH	THK	THICKNESS		
CONST	CONSTRUCT(ION)	FND	FOUNDATION	LH	LEFT HAND	PTN	PARTITION	THRU	THROUGH		
CONTR	CONTRACT(OR)	FOM	FACE OF CONCRETE	LK	LOCKER	PVC	POLYVINYL CHLORIDE	TOS	TOP OF STEEL		
CORR	CORRIDOR	FR	FIRE RATED	LK	LOCKER	PVMT	PAVEMENT	TOW	TOP OF WALL		
CR	CLASSROOM	FRMG	FRAMING	LKR	LOCKER	QT	QUARRY TILE	TPT	TEXTURES PAINT		
CRS	COURSE	FRP	FIBERGLASS REINF PLASTIC	LT	LIGHT	QTY	QUANTITY	TRT	TREATED(
CTL	CARPET TILES	FRT	FIBER RETARDANT TREATED	LVR	LOUVER			TOS	TOP OF SLAB		
CTSK	COUNTERSINK	FT	FOOT, FEET	LW	LIGHTWEIGHT			TV	TELEVISION		
CT	CERAMIC TILE	FTG	FOOTING					TYP	TYPICAL		
CUH	CABINET UNIT HEATER	FURN	FURNITURE								
CU YD	CUBIC YARD	FURR	FURRING								
CW	COLD WATER	FVC	FIRE VALVE CABINET								

INDEX OF DRAWINGS

INDEX OF DRAWINGS		
Sheet Number	Sheet Name	PERMIT SUBMISSION
A001	COVER SHEET	X
A002	INDEX AND ABBREVIATION, SYMBOLS AND LEGENDS	X
A003	LIFE SAFETY PLAN	X
A004	EXISTING EXTERIOR IMAGES	X
A005	EXISTING BASEMENT FLOOR PLAN	X
A006	EXISTING FIRST FLOOR PLAN	X
A007	EXISTING SECOND FLOOR PLAN	X
A008	EXISTING LOFT FLOOR PLAN	X
A009	EXISTING BUILDING SECTION	X
A010	EXISTING EXTERIOR ELEVATIONS	X
A011	EXISTING EXTERIOR ELEVATIONS	X
A101	SUB-BASEMENT FLOOR	X
A102	BASEMENT PLAN	X
A103	FIRST FLOOR PLAN	X
A104	SECOND FLOOR PLAN	X
A105	LOFT PLAN	X
A201	EXTERIOR ELEVATIONS	X
A301	EXTERIOR ELEVATIONS AND SECTIONS	X
A302	EXTERIOR ELEVATIONS AND SECTIONS	X
A903	WALL PARTITION SCHEDULE, HARDWARE SCHEDULE AND DETAILS	X
M000	MECHANICAL NOTES	X
M001	EXISTING MECHANICAL LAYOUT SUB BASEMENT FLOOR PLAN	X
M002	EXISTING MECHANICAL LAYOUT BASEMENT FLOOR PLAN	X
M003	EXISTING MECHANICAL LAYOUT 1ST. FLOOR PLAN	X
M004	NEW MECHANICAL LAYOUT 2ND. FLOOR PLAN	X
M005	NEW MECHANICAL LAYOUT LOFT FLOOR PLAN	X
M006	VENTILATION SYSTEM, SCHEDULE AND RISER DIAGRAM	X
E000	NOTES, EXISTING POWER RISER	X
E001	EXISTING ELECTRICAL LAYOUT SUB BASEMENT FLOOR PLAN	X
E002	EXISTING ELECTRICAL LAYOUT BASEMENT FLOOR PLAN	X
E003	EXISTING ELECTRICAL LAYOUT 1ST. FLOOR PLAN	X
E004	NEW ELECTRICAL LAYOUT 2ND. FLOOR PLAN	X
E005	NEW ELECTRICAL LAYOUT LOFT FLOOR PLAN	X
E006	EXISTING 800 AMPS PANEL PANELS C & B	X
EE01	ENERGY EFFICIENCY SCHEDULE	X
P000	PLUMBING NOTES	X
P001	EXISTING PLUMBING LAYOUT SUB BASEMENT FLOOR PLAN	X
P002	EXISTING PLUMBING LAYOUT BASEMENT FLOOR PLAN	X
P003	EXISTING PLUMBING LAYOUT 1ST. FLOOR PLAN	X
P004	EXISTING PLUMBING LAYOUT 2ND. FLOOR PLAN	X
P005	NEW PLUMBING LAYOUT LOFT FLOOR PLAN	X
S001	STRUCTURAL NOTES	X
S101	SUB-BASEMENT/FOUNDATION PLAN	X
S102	PARTIAL BASEMENT FRAMING PLAN	X
S103	PARTIAL FIRST FLOOR FRAMING PLAN	X
S104	PARTIAL 2ND FLOOR/EXTERIOR EGRESS STAIR FRAMING PLAN	X
S201	STRUCTURAL SECTIONS	X
S202	STRUCTURAL SECTIONS	X

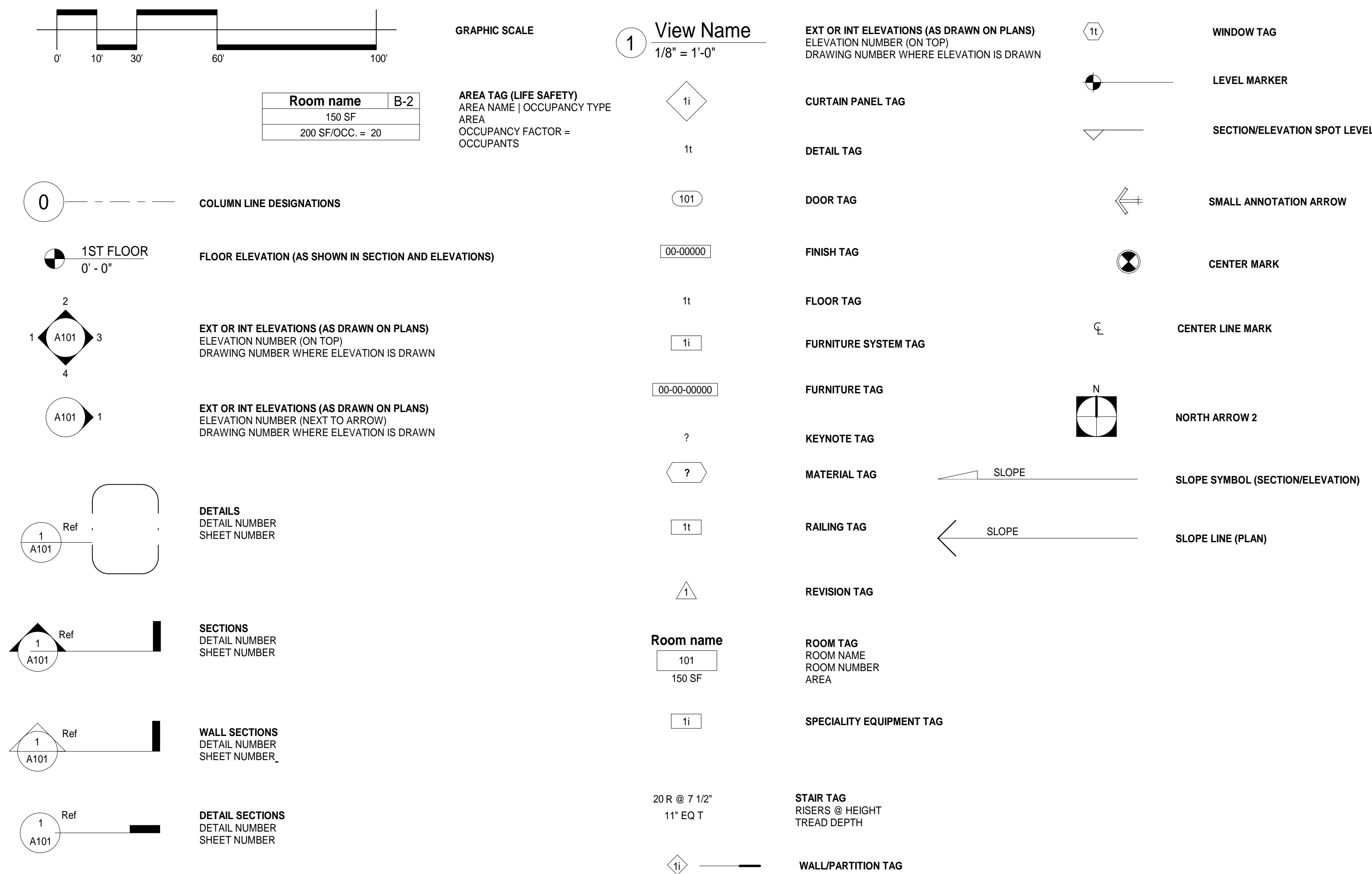
OWNER
2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

CONSULTANTS

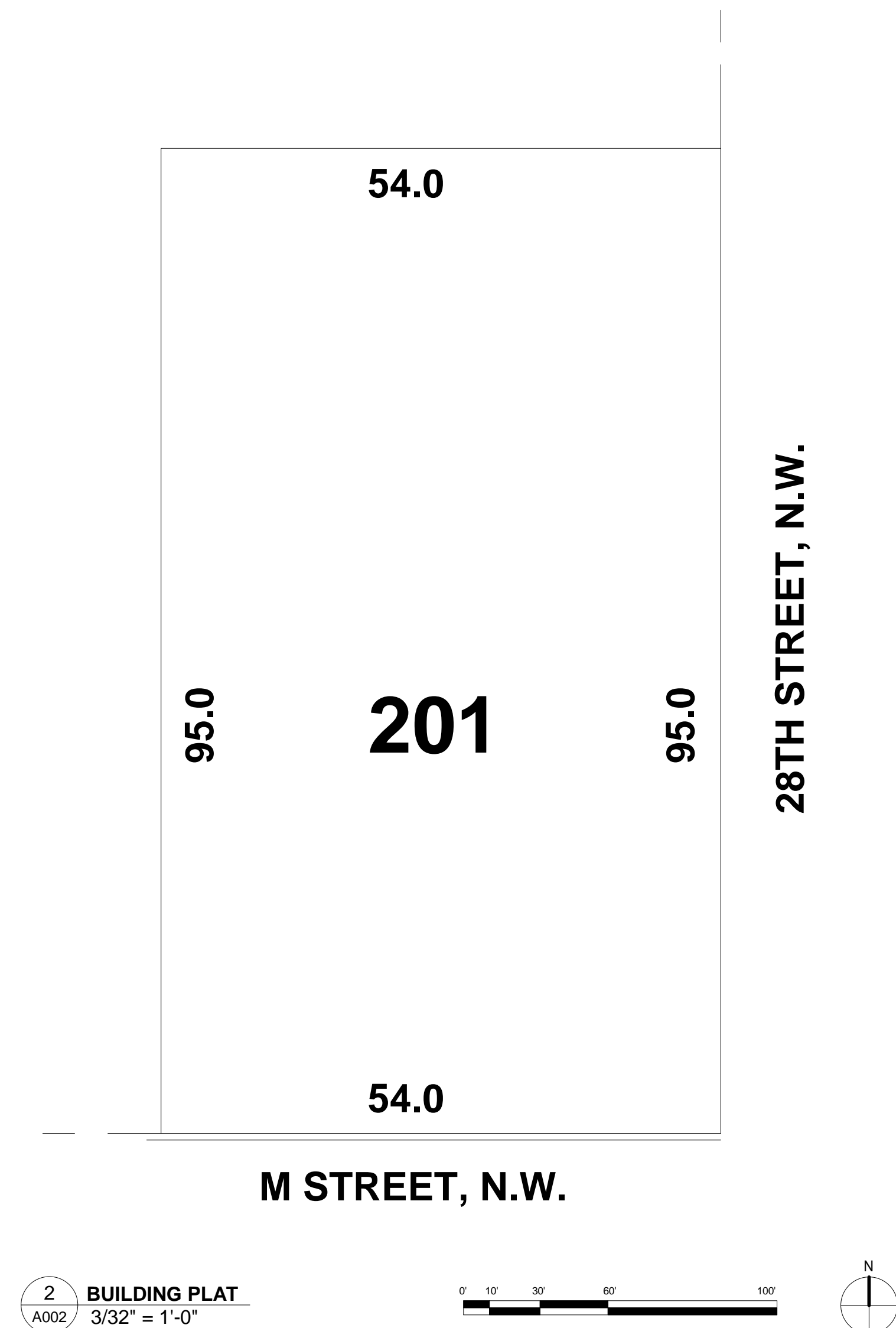
MEP:
CHRISTIE DESIGN GROUP
912 THAYER AVE, STE 300,
SILVER SPRING, MD 20910
OFFICE: (301)608-0005

STRUCTURAL:
STRUCTURA INC.
12358 Parklawn Drive, Suite #140
North Bethesda, MD, 20852
(301) 987-9234
Caitlin Mueller, PE
cmueller@structura-inc.com
240.477.1882

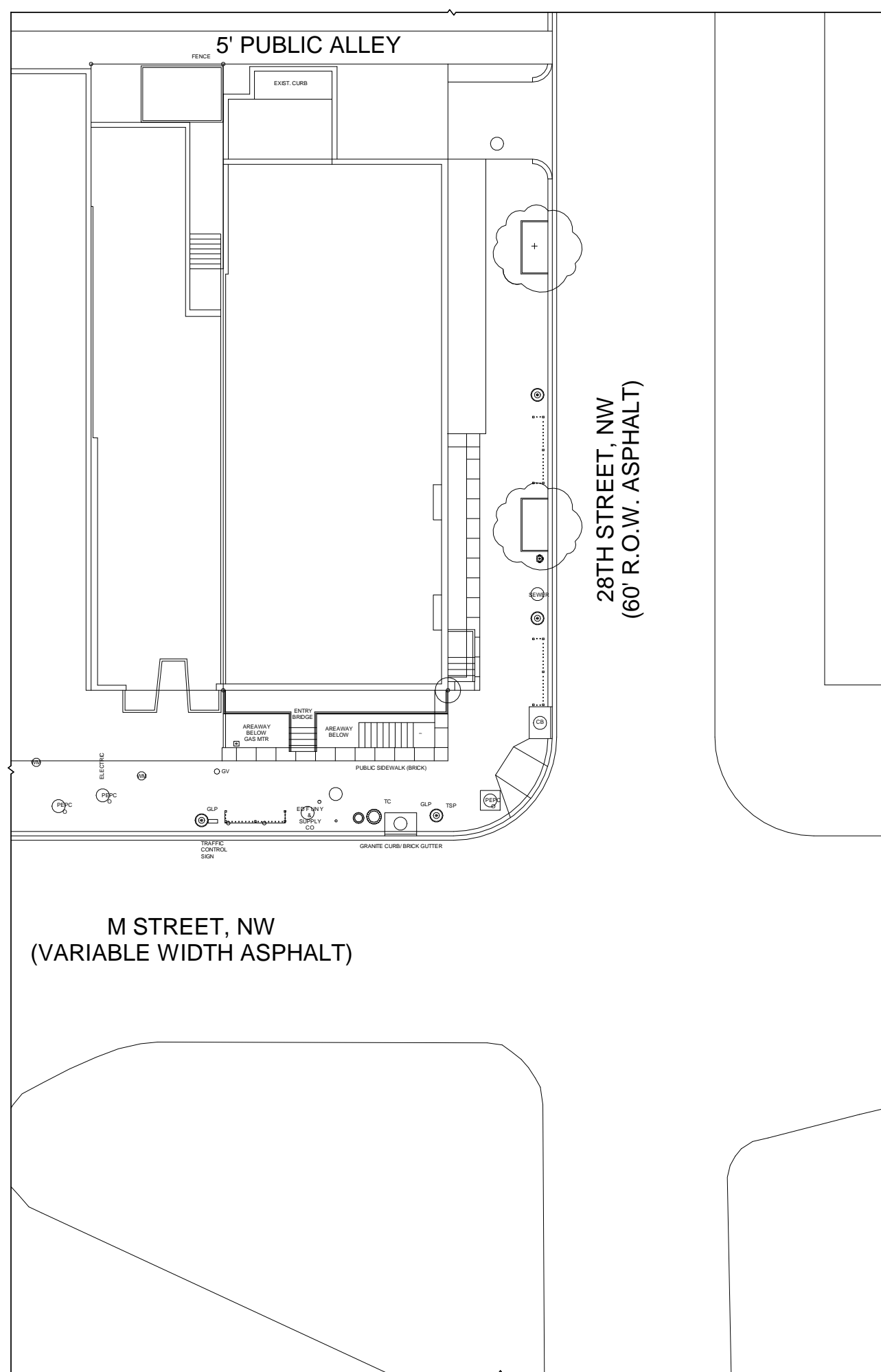
SYMBOLS



BUILDING PLAT



SITE PLAN



SUBMISSIONS

[illegible]

This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc.

PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 20007

INDEX AND ABBREVIATION
SYMBOLS AND LEGENDS

SEAL & SIGNATURE

PROJECT No.: 1123.00
DWG No:



A002

LEVEL	AREA	USE GROUP	SQ.FT PER PERSON	OCCUPANT LOAD
SUB- BASEMENT FLOOR	1,065	MECHANICAL	300 SQ.FT	3
BASEMENT FLOOR	2,640	BUSINESS	100 SQ.FT	26
FIRST FLOOR	2,664	MERCANTILE	30 SQ.FT	88
SECOND FLOOR	5,159	BUSINESS	100 SQ.FT	52
LOFT FLOOR	837	BUSINESS	100 SQ.FT	8
TOTAL				177

LIFE SAFETY DIAGRAM LEGEND

SPACE NAME
S.F.
S.F./OC = XXX

TRAVEL DISTANCE

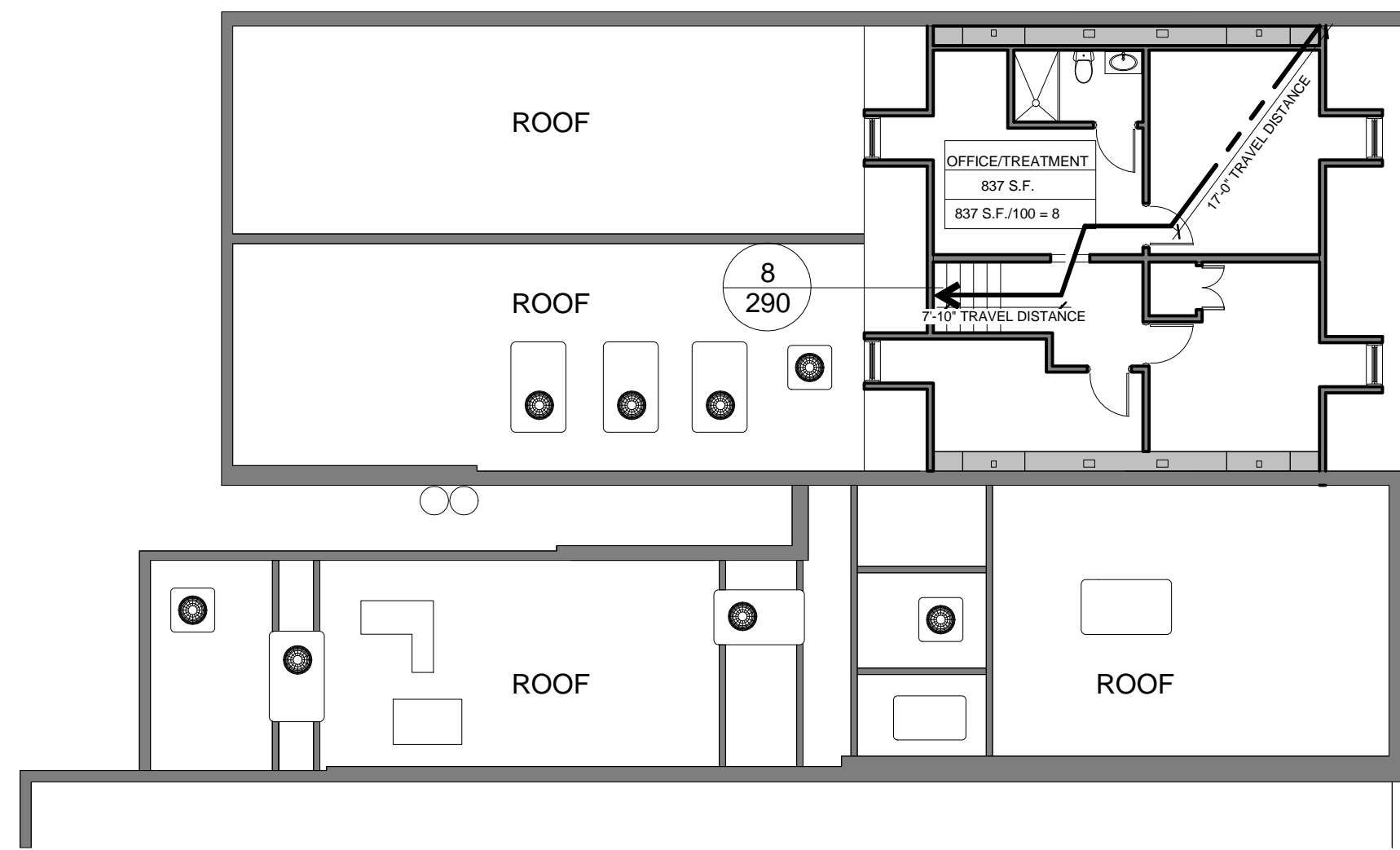
UNOCCUPIED AREA N.I.C.

X = # OF OCCUPANTS

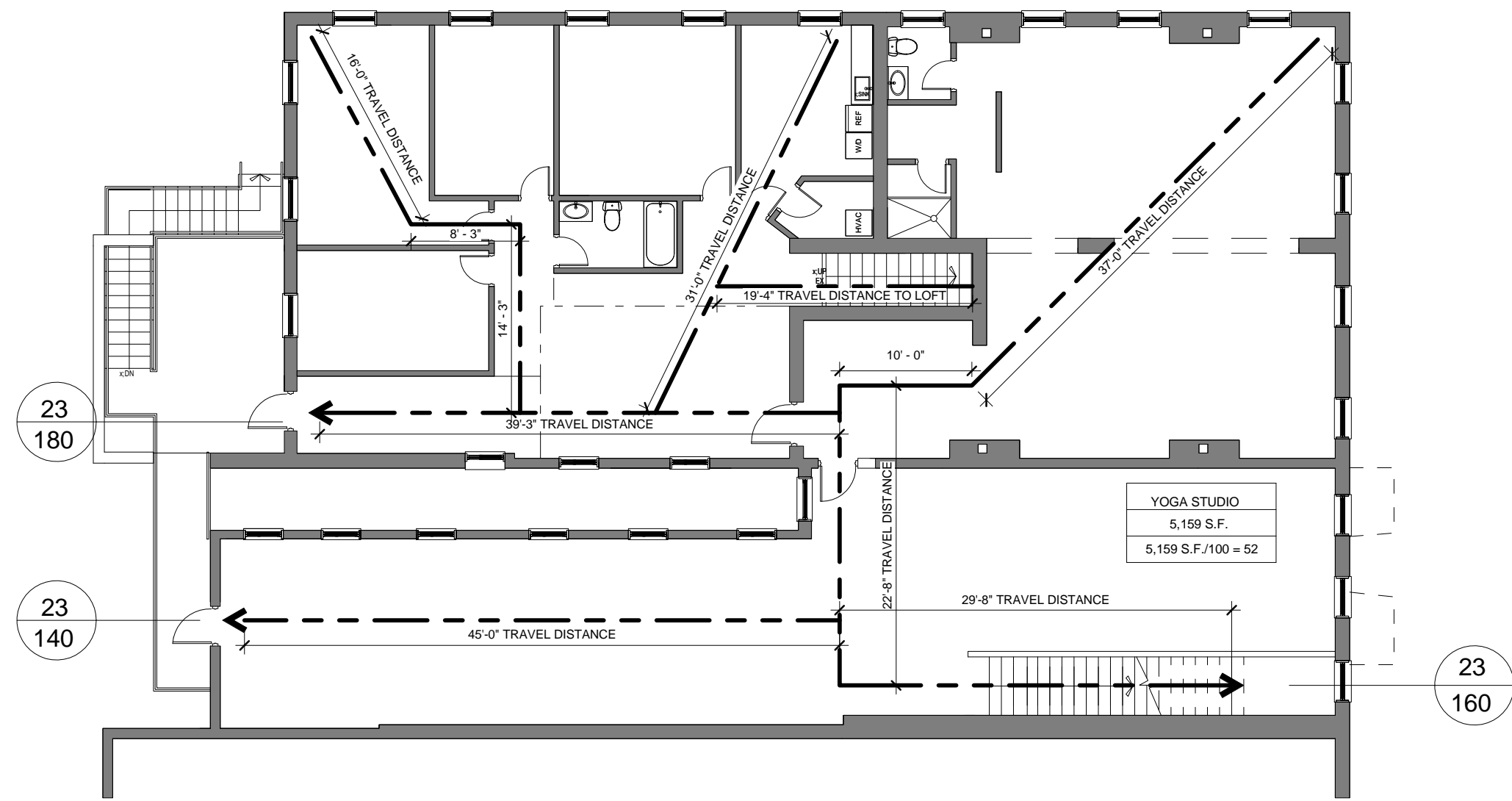
Y = EXIT CAPACITY

S.F. = SQUARE FOOT

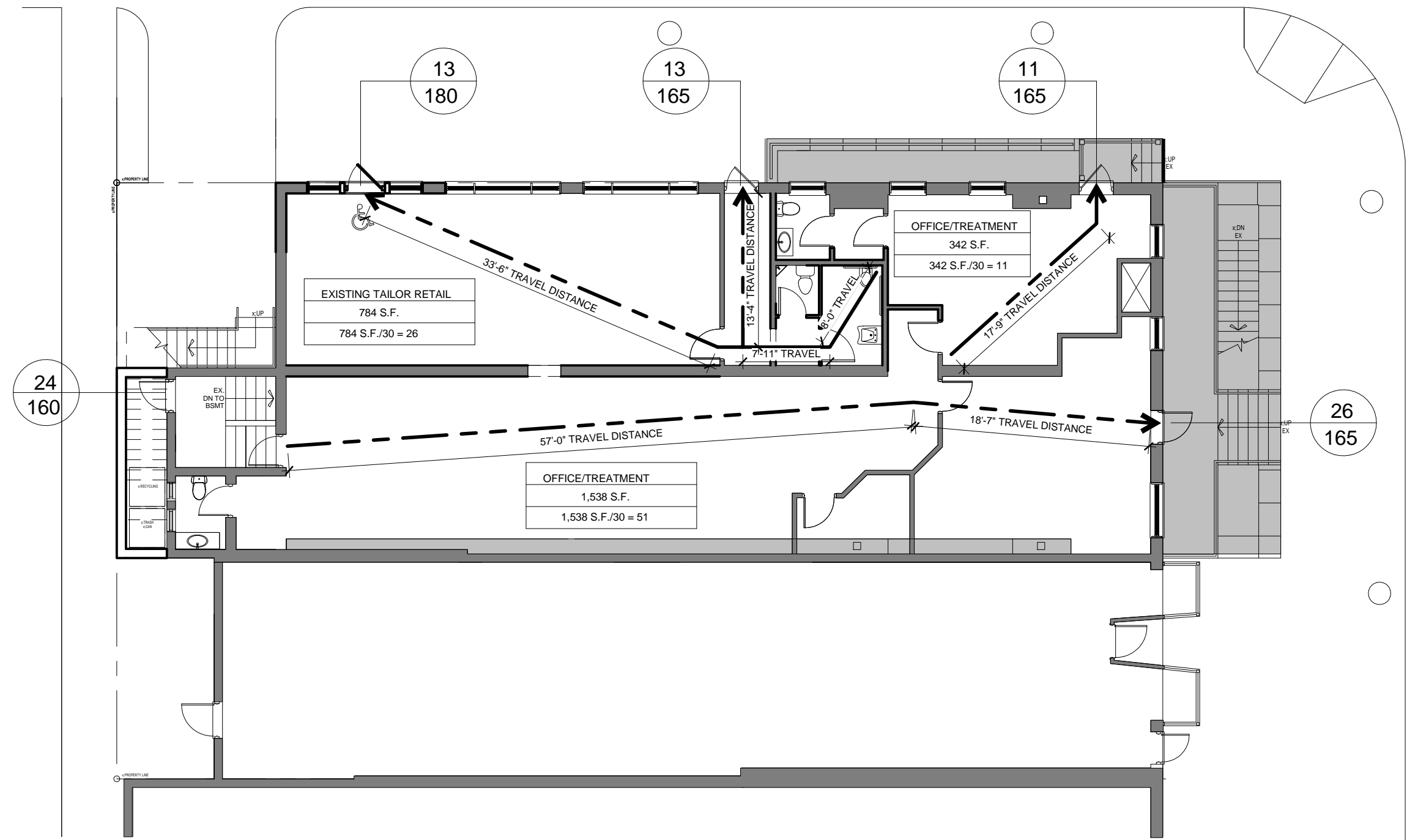
OC = OCCUPANCY PER PERSON



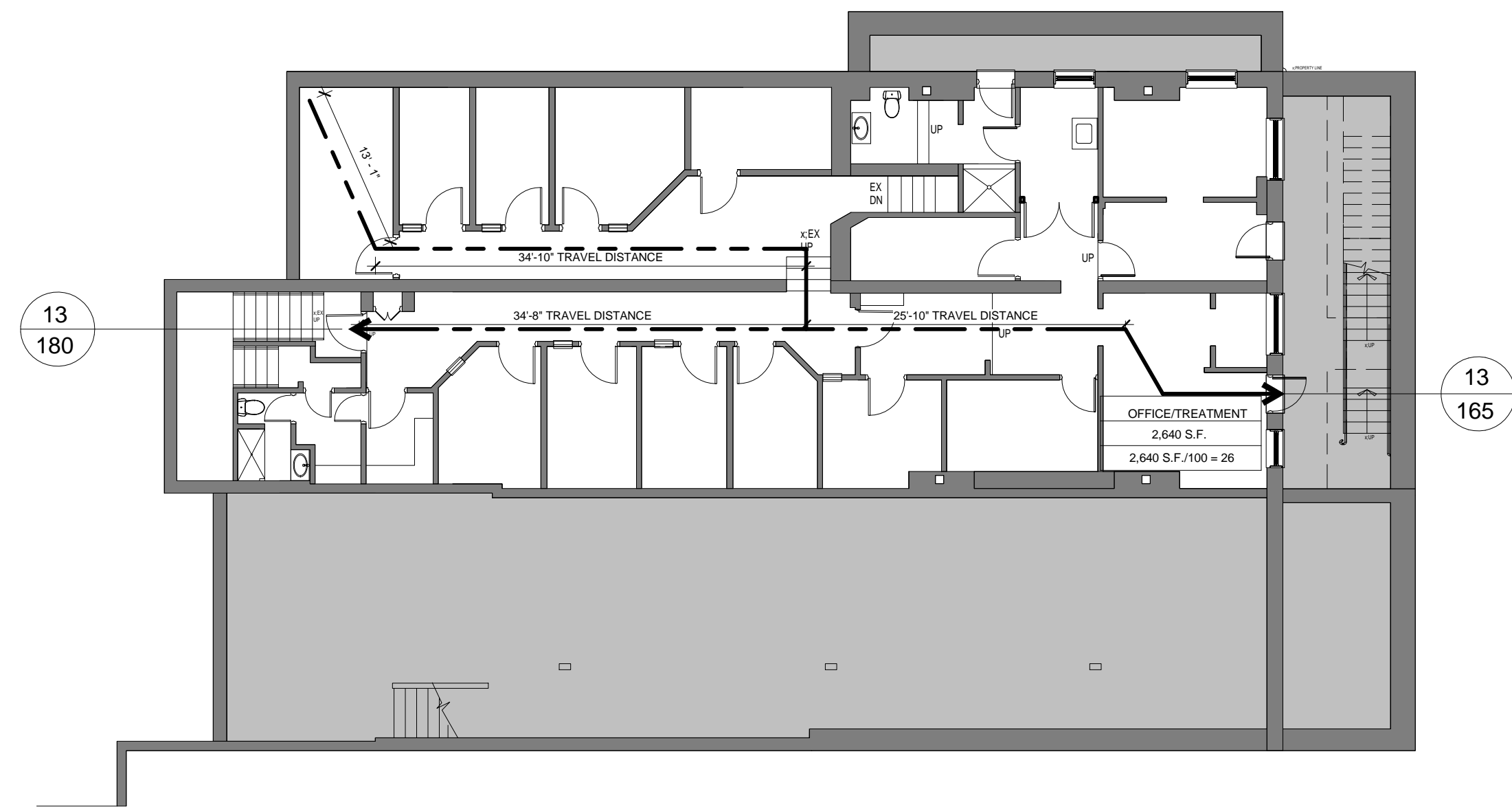
5 LIFE SAFETY PLAN - LOFT
A003 3/32" = 1'-0"



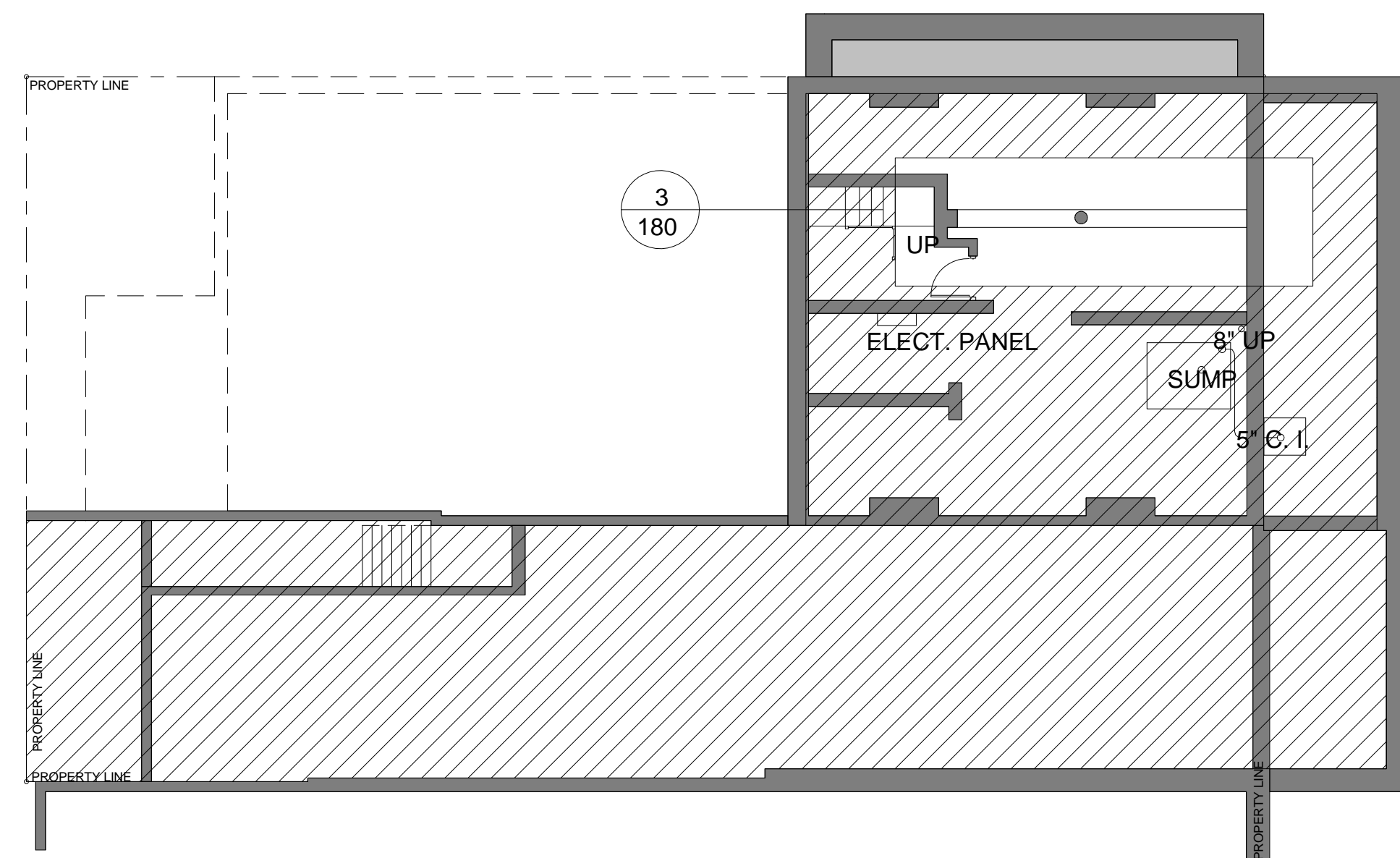
4 LIFE SAFETY PLAN - SECOND FLOOR
A003 3/32" = 1'-0"



3 LIFE SAFETY PLAN - FIRST FLOOR
A003 3/32" = 1'-0"



2 LIFE SAFETY PLAN - BASEMENT
A003 $3/32" = 1'-0"$



1 LIFE SAFETY PLAN- SUB-BASEMENT
A003 3/32" = 1'-0"

OWNER
2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

CONSULTANTS

MEP:
CHRISTIE DESIGN GROUP
912 THAYER AVE, STE 300,
SILVER SPRING, MD 20910
OFFICE: (301)608-0005

STRUCTURAL:
STRUCTURA INC.
12358 Parklawn Drive, Suite #140
North Bethesda, MD, 20852
(301) 987-9234
Caitlin Mueller, PE
cmueller@structura-inc.com
240.477.1882

SUBMISSIONS

[illegible]

1825 K Street NW Suite 300 Washington DC 20006
Tel 202 452 1644 Fax 202 452 1647 www.bbgm.com

This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc.

PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 20007

LIFE SAFETY PLAN

SEAL & SIGNATURE



PROJECT No.: 1123.00
DWG No:

A003



New door for rear
tenant ADA access

Concrete ramp at side to maintain level at start point.

Existing Side 2801 M St.



- New door for rear tenant ADA access

Existing Side/Rear 2801 M St.



- Existing side stair to remain, replace broken pickets to match existing

- Basement window well area to remain as is

Existing Side 2801 M St.



Existing Side/Rear 2805 M St.



The banner and marketing signs removed

- Remove bracket sign at the corner

Existing Front/Rear 2805 M St.

■ *OWNER*

2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

■ CONSULTANTS

MEP:
CHRISTIE DESIGN GROUP
912 THAYER AVE, STE 300,
SILVER SPRING, MD 20910
OFFICE: (301)608-0005

STRUCTURAL:
STRUCTURA INC.
12358 Parklawn Drive, Suite #140
North Bethesda, MD, 20852
(301) 987-9234
Caitlin Mueller, PE
cmueller@structura-inc.com
240.477.1882

SUBMISSIONS

[illegible]

1825 K Street NW Suite 300 Washington DC 20006
Tel 202 452 1644 Fax 202 452 1647 www.bbgm.com

This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc.

PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 20007

EXISTING EXTERIOR IMAGES

SEAL & SIGNATURE



PROJECT No.: 1123.00
DWG No:

A004

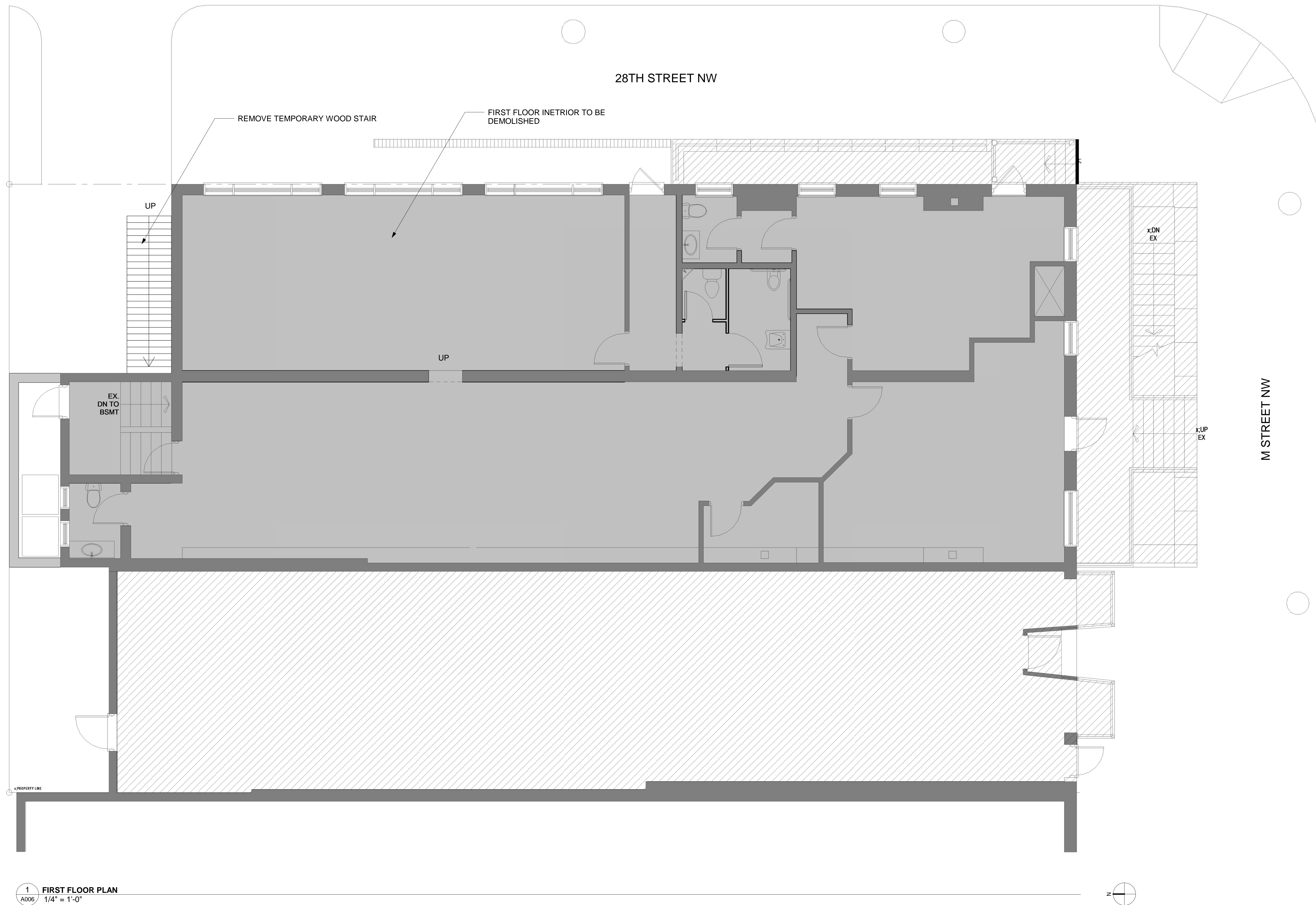
Architectural floor plan of the basement level. The plan shows a central corridor labeled "NO CHANGES AT BASEMENT LEVEL". To the left of the corridor is a staircase labeled "x:EX UP" and "EX DN". To the right of the corridor is a large room labeled "UP". Further right is a bathroom labeled "UP". At the bottom right is a room labeled "x:EX UP". The plan also shows a "PROPERTY LINE" on the right side and a "STAIR" area on the left. The drawing is a technical architectural plan with hatching for walls and stairs.

A circle with a horizontal radius line drawn from the center to the left edge. The radius is labeled with the letter 'r'.



A005

EXISTING FIRST FLOOR PLAN



OWNER
2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

CONSULTANTS

MEP:
CHRISTIE DESIGN GROUP
912 THAYER AVE, STE 300,
SILVER SPRING, MD 20910
OFFICE: (301)608-0005

STRUCTURAL:
STRUCTURA INC.
12358 Parklawn Drive, Suite #140
North Bethesda, MD 20852
(301) 987-9234
Caitlin Mueller, PE
cmueller@structura-inc.com
240.477.1882

SUBMISSIONS

[illegible]

1825 K Street NW Suite 300 Washington DC 20006
Tel 202 452 1644 Fax 202 452 1647 www.bbgm.com

This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc.

PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

EXISTING FIRST FLOOR PLAN

SEAL & SIGNATURE



PROJECT No.: 1123.00

A006

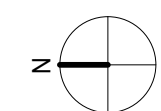
EXISTING SECOND FLOOR PLAN



1
A007

EXISTING SECOND FLOOR PLAN

1/4" = 1'-0"



SUBMISSIONS

[illegible]

1825 K Street NW Suite 300 Washington DC 20006
Tel 202 452 1644 Fax 202 452 1647 www.bbgm.com

This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc.

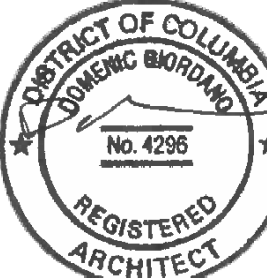
PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

EXISTING SECOND FLOOR PLAN

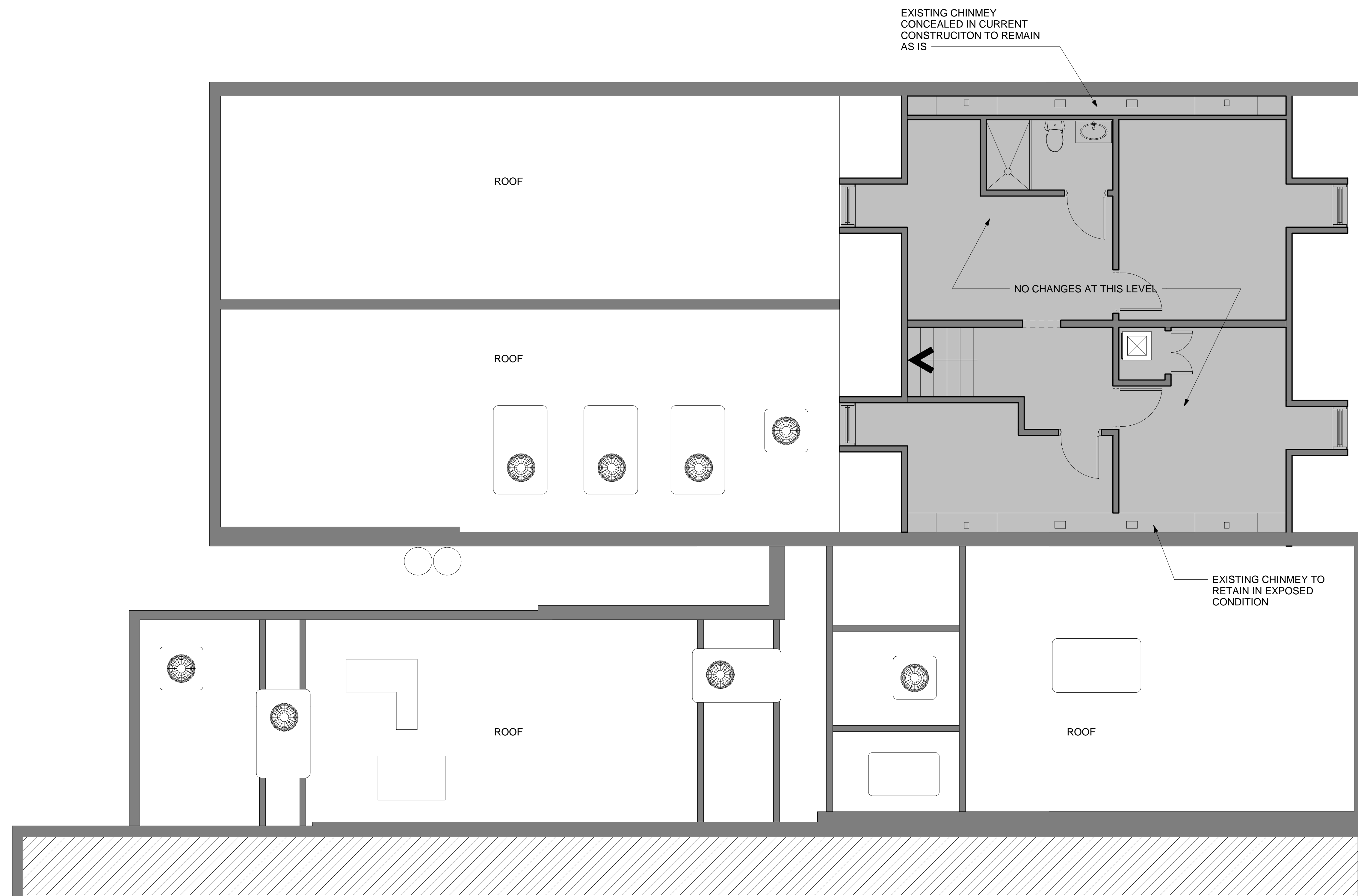
SEAL & SIGNATURE



PROJECT No.: 1123.00
DWG No:

A007

EXISTING LOFT FLOOR PLAN



EXISTING CHINMEY
CONCEALED IN CURRENT
CONSTRUCITON TO REMAIN
AS IS _____

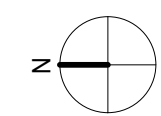
— NO CHANGES AT THIS LEVEL

— EXISTING CHINMEY TO
RETAIN IN EXPOSED
CONDITION

1
A008

EXISTING LOFT FLOOR PLAN

1/4" = 1'-0"



SUBMISSIONS

[illegible]

1825 K Street NW Suite 300 Washington DC 20006
Tel 202 452 1644 Fax 202 452 1647 www.bbgm.com

This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc.

PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

EXISTING LOFT FLOOR PLAN

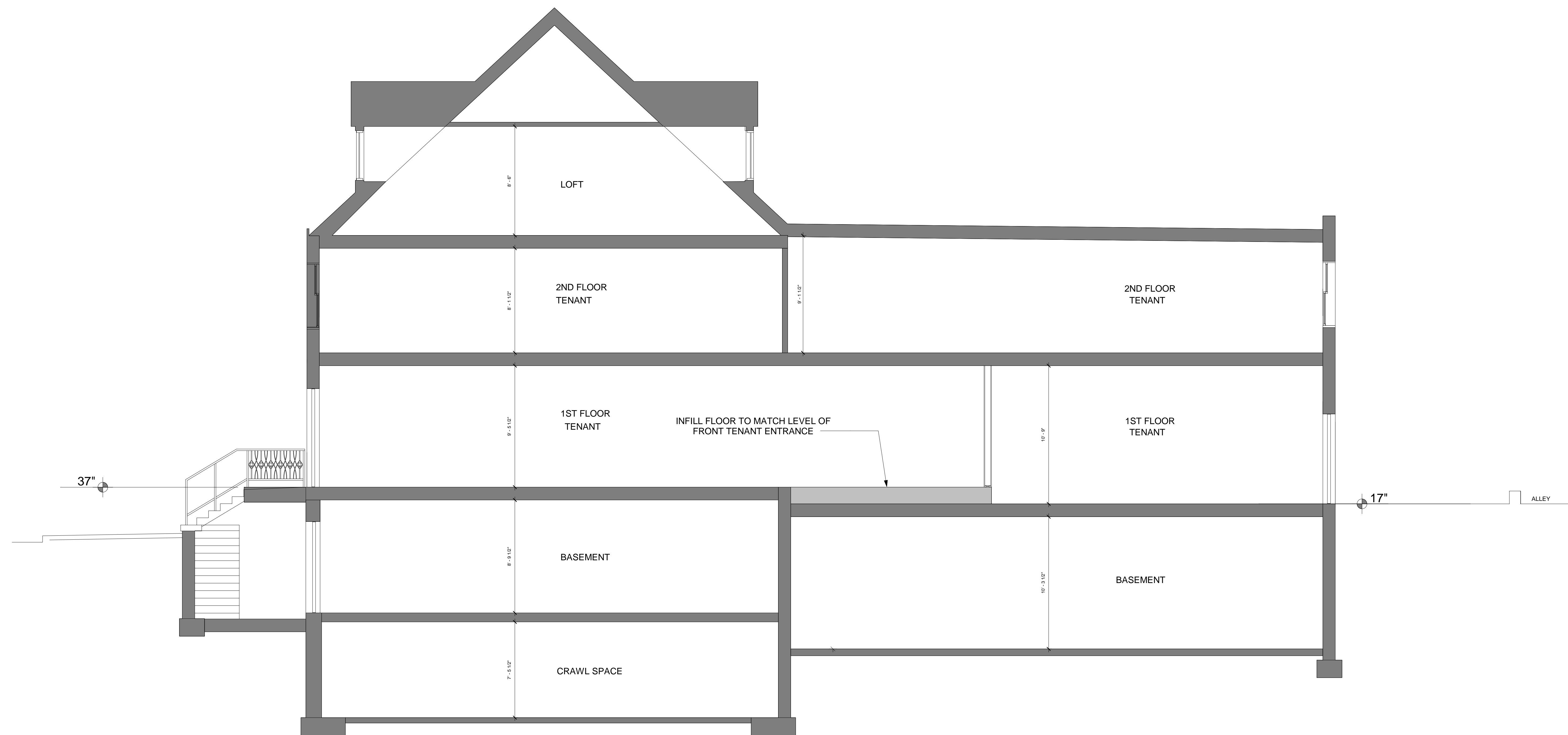
SEAL & SIGNATURE



PROJECT No.: 1123.00
DWG No:

A008

EXISTING BUILDING SECTION



1
A009

EXISTING EXTERIOR SECTION VIEW

1/4" = 1'-0"

OWNER
2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

CONSULTANTS

MEP:
CHRISTIE DESIGN GROUP
912 THAYER AVE, STE 300,
SILVER SPRING, MD 20910
OFFICE: (301)608-0005

STRUCTURAL:
STRUCTURA INC.
12358 Parklawn Drive, Suite #140
North Bethesda, MD, 20852
(301) 987-9234
Caitlin Mueller, PE
cmueller@structura-inc.com
240.477.1882

SUBMISSIONS

[illegible]

1825 K Street NW Suite 300 Washington DC 20006
Tel 202 452 1644 Fax 202 452 1647 www.bbqm.com

This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc.

PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

EXISTING BUILDING SECTION

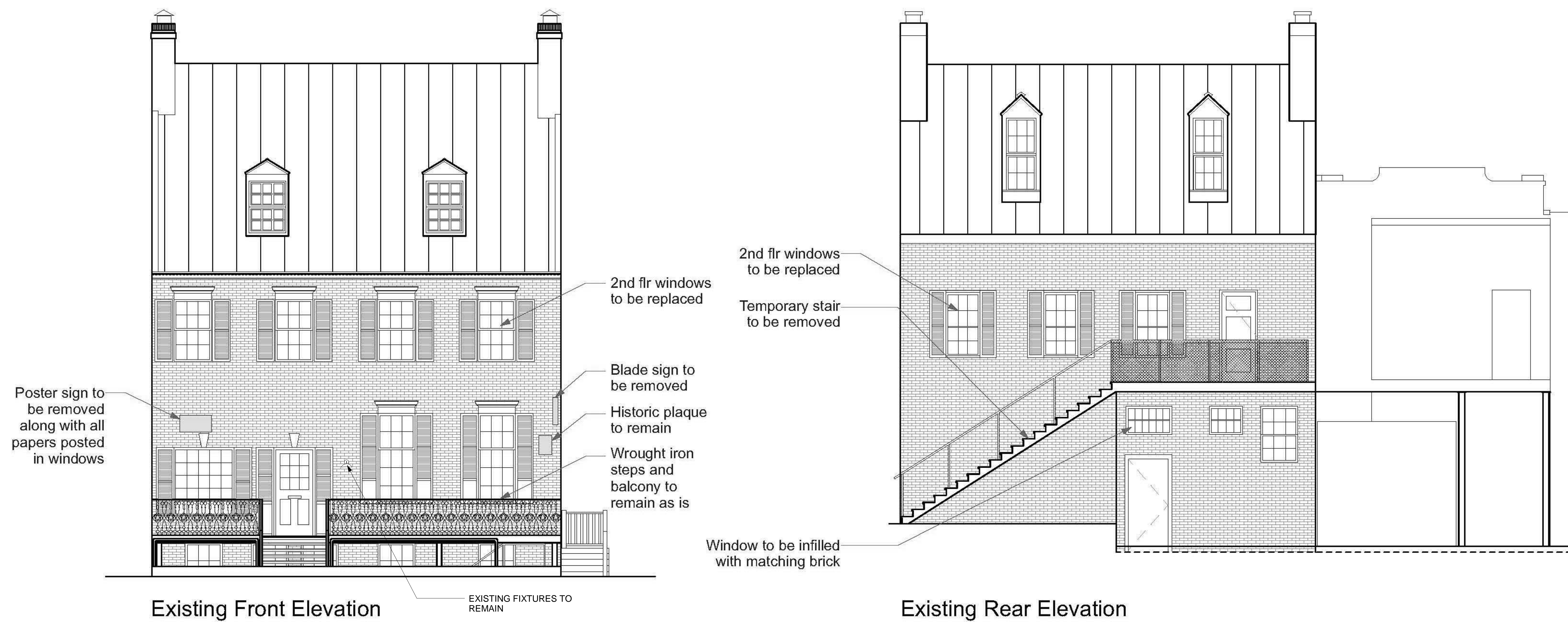
SEAL & SIGNATURE

PROJECT No.: 1123.00
DWG No:



A009

EXISTING EXTERIOR ELEAVTIONS



1
A010

EXISTING FRONT ELEVATIONS

1/4" = 1'-0"

OWNER
2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

CONSULTANTS

MEP:
CHRISTIE DESIGN GROUP
912 THAYER AVE., STE 300,
SILVER SPRING, MD 20910
OFFICE: (301)608-0005

STRUCTURAL:
STRUCTURA INC.
12358 Parklawn Drive, Suite #140
North Bethesda, MD, 20852
(301) 987-9234
Caitlin Mueller, PE
cmueller@structura-inc.com
240.477.1882

SUBMISSIONS

[illegible]

This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc.

PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 20007

EXISTING EXTERIOR ELEVATIONS

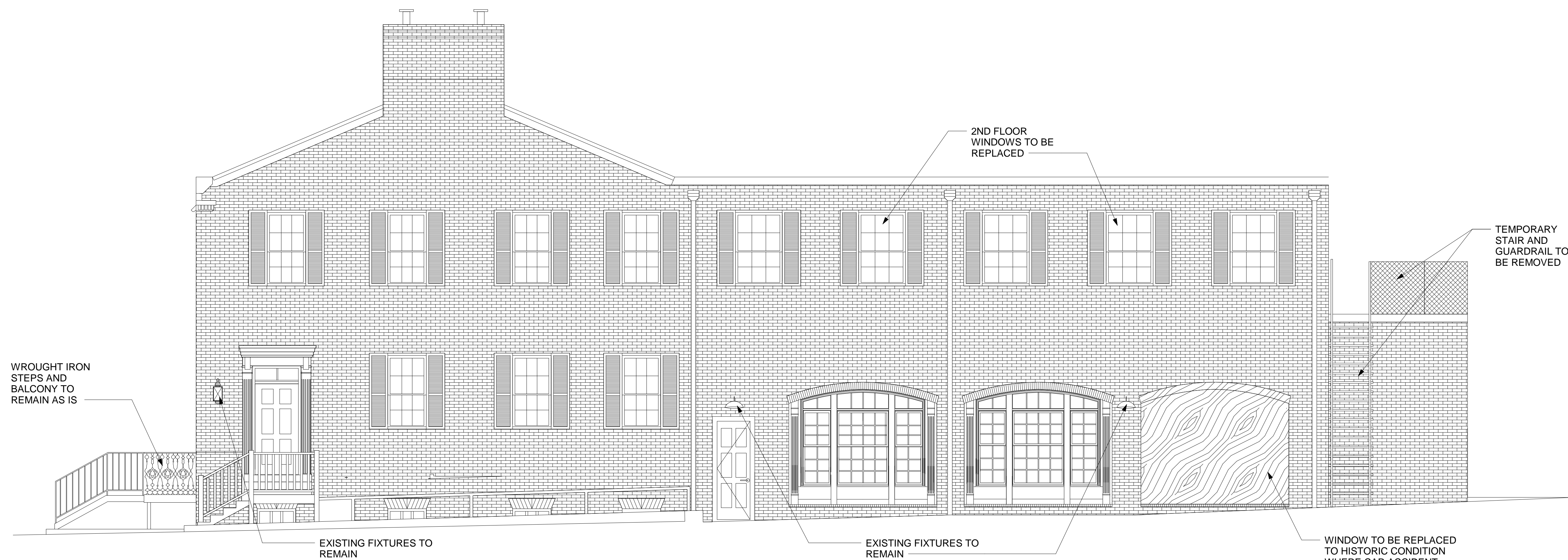
SEAL & SIGNATURE

PROJECT No.: 1123.00



A010

EXISTING EXTERIOR ELEAVTIONS



1
A011

EXISTING EXTERIOR ELEVATION - 28TH ST
1/4" = 1'-0"

OWNER
2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

CONSULTANTS

MEP:
CHRISTIE DESIGN GROUP
912 THAYER AVE, STE 300,
SILVER SPRING, MD 20910
OFFICE: (301)608-0005

STRUCTURAL:
STRUCTURA INC.
12358 Parklawn Drive, Suite #140
North Bethesda, MD, 20852
(301) 987-9234
Caitlin Mueller, PE
cmueller@structura-inc.com
240.477.1882

SUBMISSIONS

[illegible]

This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc.

PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 20007

EXISTING EXTERIOR ELEVATIONS

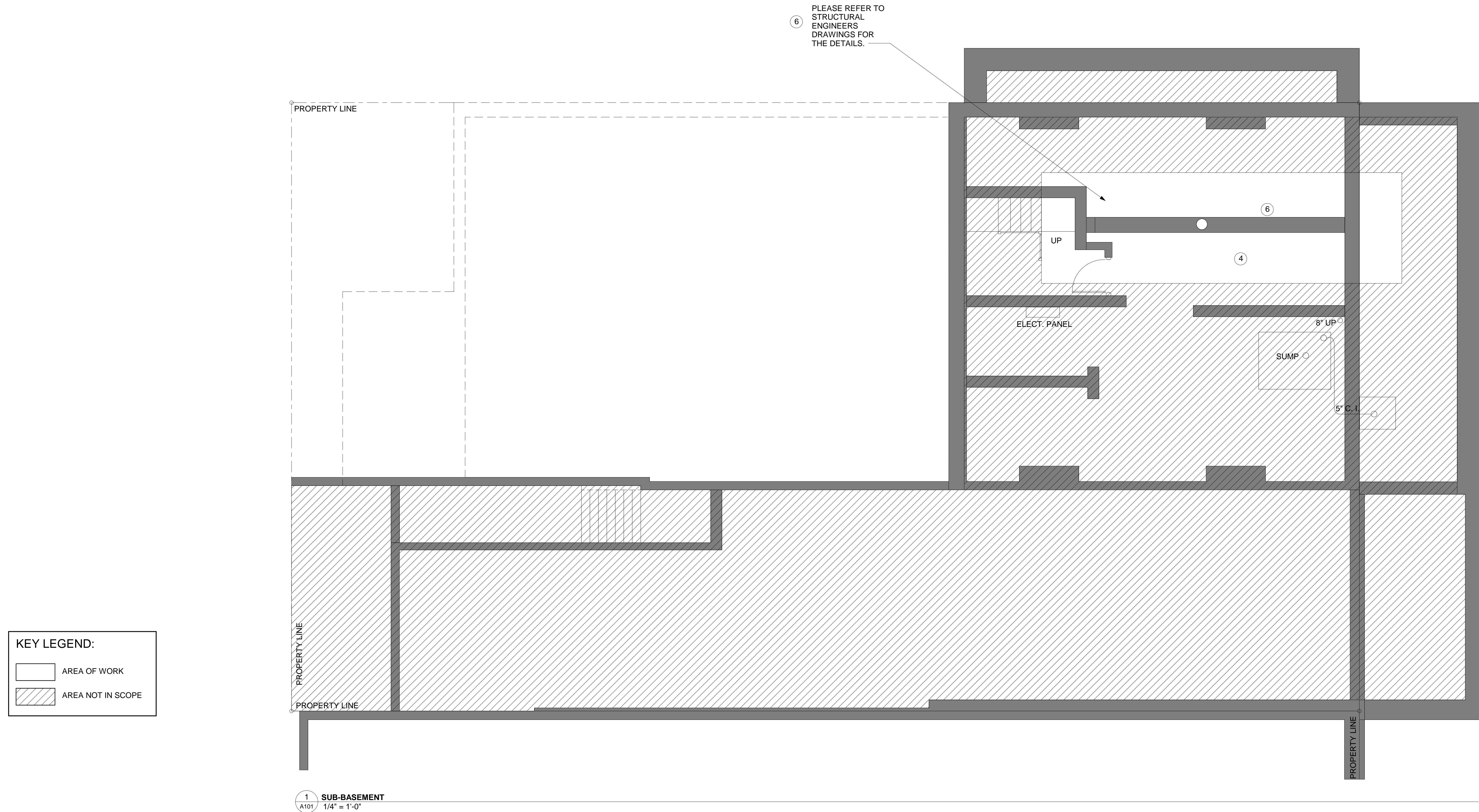
SEAL & SIGNATURE

PROJECT No.: 1123.00



A011

SUB-BASEMENT PLAN



OWNER
2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

CONSULTANTS

MEP:
CHRISTIE DESIGN GROUP
912 THAYER AVE, STE 300,
SILVER SPRING, MD 20910
OFFICE: (301)608-0005

STRUCTURAL:
STRUCTURA INC.
12358 Parklawn Drive, Suite #140
North Bethesda, MD, 20852
(301) 987-9234
Caitlin Mueller, PE
cmueller@structura-inc.com
240.477.1882

CONSTRUCTION - GENERAL NOTES

1. ALL DOORS THAT ARE NOT LABELED ARE EXISTING TO REMAIN.
2. G.C. TO PATCH, SPACKLE AND SAND, REPAIR AND PREP ALL EXISTING WALLS AND FLOORS AND PREPARE SURFACE TO RECEIVE NEW FINISHES.
3. G.C. TO COMPLY WITH ALL BUILDING RULES AND REGULATIONS FOR NEW CONSTRUCTION.
4. G.C. TO VERIFY ALL EXISTING CONDITIONS AND CONFIRM WITH ARCHITECT LOCATIONS OF ALL CHALK LINES PRIOR TO ANY CONSTRUCTION.
5. G.C. TO CONSULT WITH ARCHITECT PRIOR TO INSTALLATION OF FIRE SIGNALING DEVICES.
6. MAINTAIN A MIN. OF 44" CLEARANCE AT EGRESS CORRIDORS.
7. DIMENSIONS AND ALIGNMENTS ARE FROM FACE TO FINISH TO FACE OF FINISH. PROVIDE FURRING AS REQUIRED TO ACHIEVE ALIGNMENTS SHOWN.
8. LOCATE DOORS 4" FROM FACE TO INSIDE CORNER OF PARTITION TO DOOR AND 8" FROM OUTSIDE CORNER OF PARTITION TO DOOR, U.O.N. LOCATED DOORS WITH CLOSERS NO LESS THAN 1'-6" TO EDGE OF DOOR AT PULL SIDE AND 1'-0" TO EDGE OF DOOR AT PUSH-SIDE.
9. VERIFY DIMENSIONS NOTED "CLEAR", "HOLD", "MIN", OR "V.I.F." NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
10. FIRESAFE ALL FLOOR OPENINGS AS REQUIRED. WHERE PENETRATIONS OCCUR AT RATED ENCLOSURES MAINTAIN CONTINUITY OF RATING AS REQUIRED.
11. REFER TO MEP DRAWINGS FOR ALL POWER/COMMUNICATION, HVAC AND LIGHTING SPECS.
12. G.C. TO THOROUGHLY CLEAN EXISTING AREAS, AND FILL AND REPAIR ALL DAMAGED AREAS AS REQUIRED.

CONSTRUCTION PLAN NOTES

- ① INSTALL NEW EGRESS STAIR (PER PRIOR CFA APPROVAL, DATED 06/21/19). (REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS).
- ② INSTALL NEW ENTRY DOOR, WINDOWS, AND RAMP. (PER PRIOR CFA APPROVAL, DATED 06/21/19).
- ③ REPLACE PLUMBING FIXTURES AT RESTROOMS IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ④ REPLACE EXISTING LIGHTING AND DEVICES (RECEPTACLES, SWITCHES, ETC.) IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ⑤ REPLACE MECHANICAL EQUIPMENT IN EXISTING LOCATIONS. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ⑥ PERFORM STRUCTURAL MODIFICATIONS DUE TO PARTIAL CHANGE OF USE (OFFICE TO RETAIL). (REFER TO STRUCTURAL DRAWINGS).
- ⑦ PROVIDE SECURITY ALARM UPGRADES. (REFER TO MEP DRAWINGS).
- ⑧ REINSTALL DRYWALL AND INSULATION AT EXISTING FRAMING DUE TO PRIOR REPAIRS AND MOLD ABATEMENT.

[illegible]

825 K Street NW Suite 300 Washington DC 20006
Tel 202 452 1644 Fax 202 452 1647 www.bbgm.com

This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc.

PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 20007

SUB-BASEMENT FLOOR

REAL & SIGNATURE PROJECT No.: 1123.00
DWG No:



A101

BASEMENT PLAN



PLEASE REFER TO
STRUCTURAL
ENGINEERS
DRAWINGS FOR
THE DETAILS. _____

KEY LEGEND:

AREA OF WORK

 AREA NOT IN SCOPE

1 CONSTRUCTION - BASEMENT FLOOR PLAN
A102 1/4" = 1'-0"



CONSTRUCTION - GENERAL NOTES

1. ALL DOORS THAT ARE NOT LABELED ARE EXISTING TO REMAIN.
2. G.C. TO PATCH, SPACKLE AND SAND, REPAIR AND PREP ALL EXISTING WALLS AND FLOORS AND PREPARE SURFACE TO RECEIVE NEW FINISHES.
3. G.C. TO COMPLY WITH ALL BUILDING RULES AND REGULATIONS FOR NEW CONSTRUCTION.
4. G.C. TO VERIFY ALL EXISTING CONDITIONS AND CONFIRM WITH ARCHITECT LOCATIONS OF ALL CHALK LINES PRIOR TO ANY CONSTRUCTION.
5. G.C. TO CONSULT WITH ARCHITECT PRIOR TO INSTALLATION OF FIRE SIGNALING DEVICES.
6. MAINTAIN A MIN. OF 44" CLEARANCE AT EGRESS CORRIDORS.
7. DIMENSIONS AND ALIGNMENTS ARE FROM FACE TO FINISH TO FACE OF FINISH. PROVIDE FURRING AS REQUIRED TO ACHIEVE ALIGNMENTS SHOWN.
8. LOCATE DOORS 4" FROM FACE TO INSIDE CORNER OF PARTITION TO DOOR AND 8" FROM OUTSIDE CORNER OF PARTITION TO DOOR, U.O.N. LOCATED DOORS WITH CLOSERS NO LESS THAN 1'-6" TO EDGE OF DOOR AT PULL SIDE AND 1'-0" TO EDGE OF DOOR AT PUSH-SIDE.
9. VERIFY DIMENSIONS NOTED "CLEAR", "HOLD", "MIN", OR "V.I.F." NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
10. FIRESAFE ALL FLOOR OPENINGS AS REQUIRED. WHERE PENETRATIONS OCCUR AT RATED ENCLOSURES MAINTAIN CONTINUITY OF RATING AS REQUIRED.
11. REFER TO MEP DRAWINGS FOR ALL POWER/COMMUNICATION, HVAC AND LIGHTING SPECS.
12. G.C. TO THOROUGHLY CLEAN EXISTING AREAS, AND FILL AND REPAIR ALL DAMAGED AREAS AS REQUIRED.

CONSTRUCTION PLAN NOTES

- ① INSTALL NEW EGRESS STAIR (PER PRIOR CFA APPROVAL, DATED 06/21/19). (REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS).
- ② INSTALL NEW ENTRY DOOR, WINDOWS, AND RAMP. (PER PRIOR CFA APPROVAL, DATED 06/21/19).
- ③ REPLACE PLUMBING FIXTURES AT RESTROOMS IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ④ REPLACE EXISTING LIGHTING AND DEVICES (RECEPTACLES, SWITCHES, ETC.) IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ⑤ REPLACE MECHANICAL EQUIPMENT IN EXISTING LOCATIONS. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ⑥ PERFORM STRUCTURAL MODIFICATIONS DUE TO PARTIAL CHANGE OF USE (OFFICE TO RETAIL). (REFER TO STRUCTURAL DRAWINGS).
- ⑦ PROVIDE SECURITY ALARM UPGRADES. (REFER TO MEP DRAWINGS).
- ⑧ REINSTALL DRYWALL AND INSULATION AT EXISTING FRAMING DUE TO PRIOR REPAIRS AND MOLD ABATEMENT.

OWNER
2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

CONSULTANTS

MEP:
CHRISTIE DESIGN GROUP
912 THAYER AVE, STE 300,
SILVER SPRING, MD 20910
OFFICE: (301)608-0005

STRUCTURAL:
STRUCTURA INC.
12358 Parklawn Drive, Suite #1
North Bethesda, MD, 20852
(301) 987-9234
Caitlin Mueller, PE
cmueller@structura-inc.com
240.477.1882

SUBMISSIONS

[illegible]

1825 K Street NW Suite 300 Washington DC 20006
Tel 202 452 1644 Fax 202 452 1647 www.bbgm.com

This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc.

PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 20007

BASEMENT PLAN

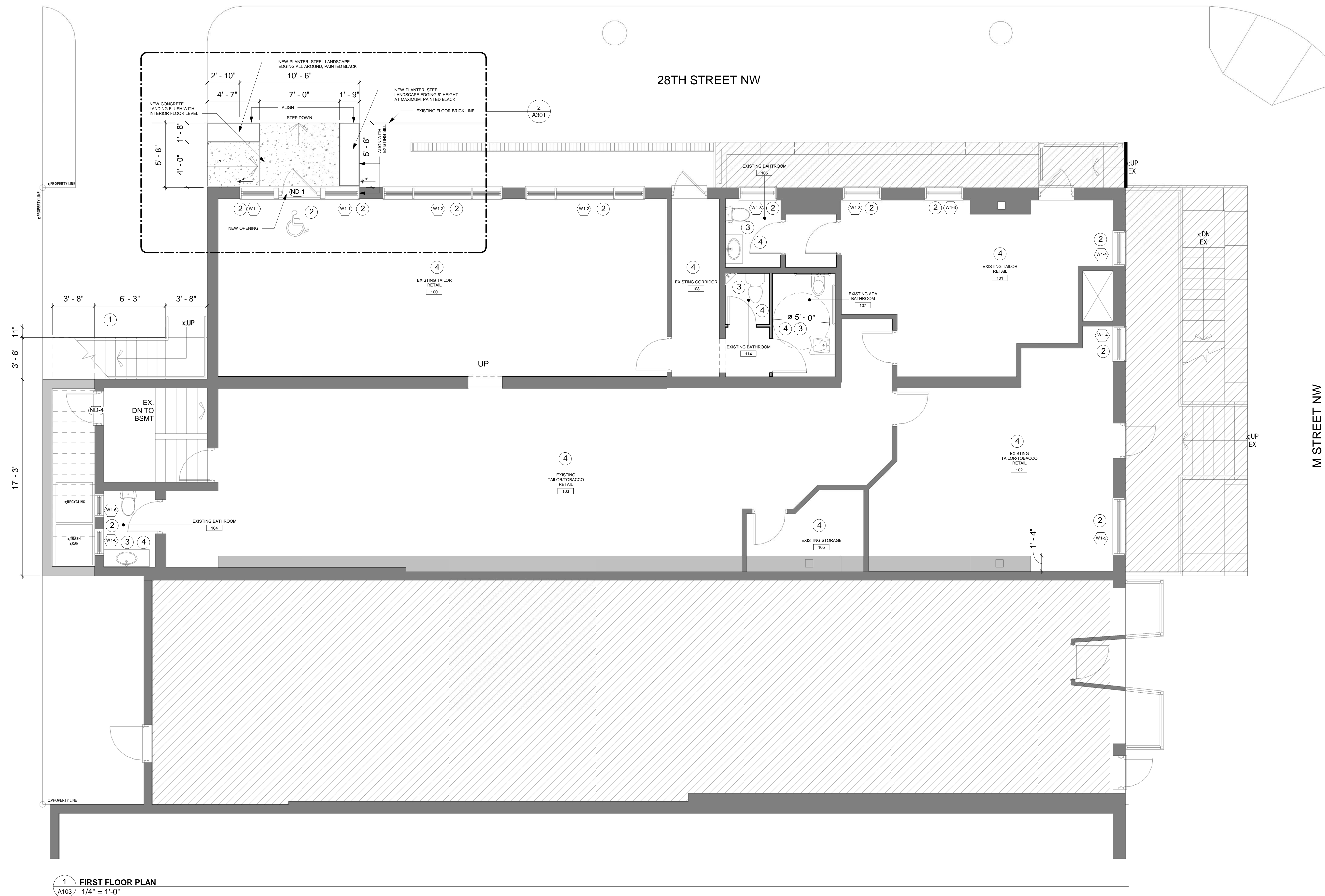
SEAL & SIGNATURE



PROJECT No.: 1123.00
DWG No:

A102

FIRST FLOOR PLAN



CONSTRUCTION - GENERAL NOTES

1. ALL DOORS THAT ARE NOT LABELED ARE EXISTING TO REMAIN.
2. G.C. TO PATCH, SPACKLE AND SAND, REPAIR AND PREP ALL EXISTING WALLS AND FLOORS AND PREPARE SURFACE TO RECEIVE NEW FINISHES.
3. G.C. TO COMPLY WITH ALL BUILDING RULES AND REGULATIONS FOR NEW CONSTRUCTION.
4. G.C. TO VERIFY ALL EXISTING CONDITIONS AND CONFIRM WITH ARCHITECT LOCATIONS OF ALL CHALK LINES PRIOR TO ANY CONSTRUCTION.
5. G.C. TO CONSULT WITH ARCHITECT PRIOR TO INSTALLATION OF FIRE SIGNALING DEVICES.
6. MAINTAIN A MIN. OF 44" CLEARANCE AT EGRESS CORRIDORS.
7. DIMENSIONS AND ALIGNMENTS ARE FROM FACE TO FINISH TO FACE OF FINISH. PROVIDE FURRING AS REQUIRED TO ACHIEVE ALIGNMENTS SHOWN.
8. LOCATE DOORS 4" FROM FACE TO INSIDE CORNER OF PARTITION TO DOOR AND 8" FROM OUTSIDE CORNER OF PARTITION TO DOOR, U.O.N. LOCATED DOORS WITH CLOSERS NO LESS THAN 1'-6" TO EDGE OF DOOR AT PULL SIDE AND 1'-0" TO EDGE OF DOOR AT PUSH-SIDE.
9. VERIFY DIMENSIONS NOTED "CLEAR", "HOLD", "MIN", OR "V.I.F." NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
10. FIRESAFE ALL FLOOR OPENINGS AS REQUIRED. WHERE PENETRATIONS OCCUR AT RATED ENCLOSURES MAINTAIN CONTINUITY OF RATING AS REQUIRED.
11. REFER TO MEP DRAWINGS FOR ALL POWER/COMMUNICATION, HVAC AND LIGHTING SPECS.
12. G.C. TO THOROUGHLY CLEAN EXISTING AREAS, AND FILL AND REPAIR ALL DAMAGED AREAS AS REQUIRED.

CONSTRUCTION PLAN NOTES

- ① INSTALL NEW EGRESS STAIR (PER PRIOR CFA APPROVAL, DATED 06/21/19). (REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS).
- ② INSTALL NEW ENTRY DOOR, WINDOWS, AND RAMP. (PER PRIOR CFA APPROVAL, DATED 06/21/19).
- ③ REPLACE PLUMBING FIXTURES AT RESTROOMS IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ④ REPLACE EXISTING LIGHTING AND DEVICES (RECEPTACLES, SWITCHES, ETC.) IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ⑤ REPLACE MECHANICAL EQUIPMENT IN EXISTING LOCATIONS. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ⑥ PERFORM STRUCTURAL MODIFICATIONS DUE TO PARTIAL CHANGE OF USE (OFFICE TO RETAIL). (REFER TO STRUCTURAL DRAWINGS).
- ⑦ PROVIDE SECURITY ALARM UPGRADES. (REFER TO MEP DRAWINGS).
- ⑧ REINSTALL DRYWALL AND INSULATION AT EXISTING FRAMING DUE TO PRIOR REPAIRS AND MOLD ABATEMENT.

OWNER
2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

CONSULTANTS

MEP:
CHRISTIE DESIGN GROUP
912 THAYER AVE, STE 300,
SILVER SPRING, MD 20910
OFFICE: (301)608-0005

STRUCTURAL:
STRUCTURA INC.
12358 Parklawn Drive, Suite #140
North Bethesda, MD, 20852
(301) 987-9234
Caitlin Mueller, PE
cmueller@structura-inc.com
240.477.1882

SUBMISSIONS

[illegible]

This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BGM/Architects & Interiors, Inc. (BGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BGM/Architects & Interiors, Inc.

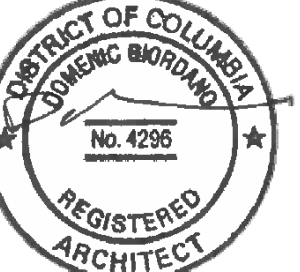
PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 20007

FIRST FLOOR PLAN

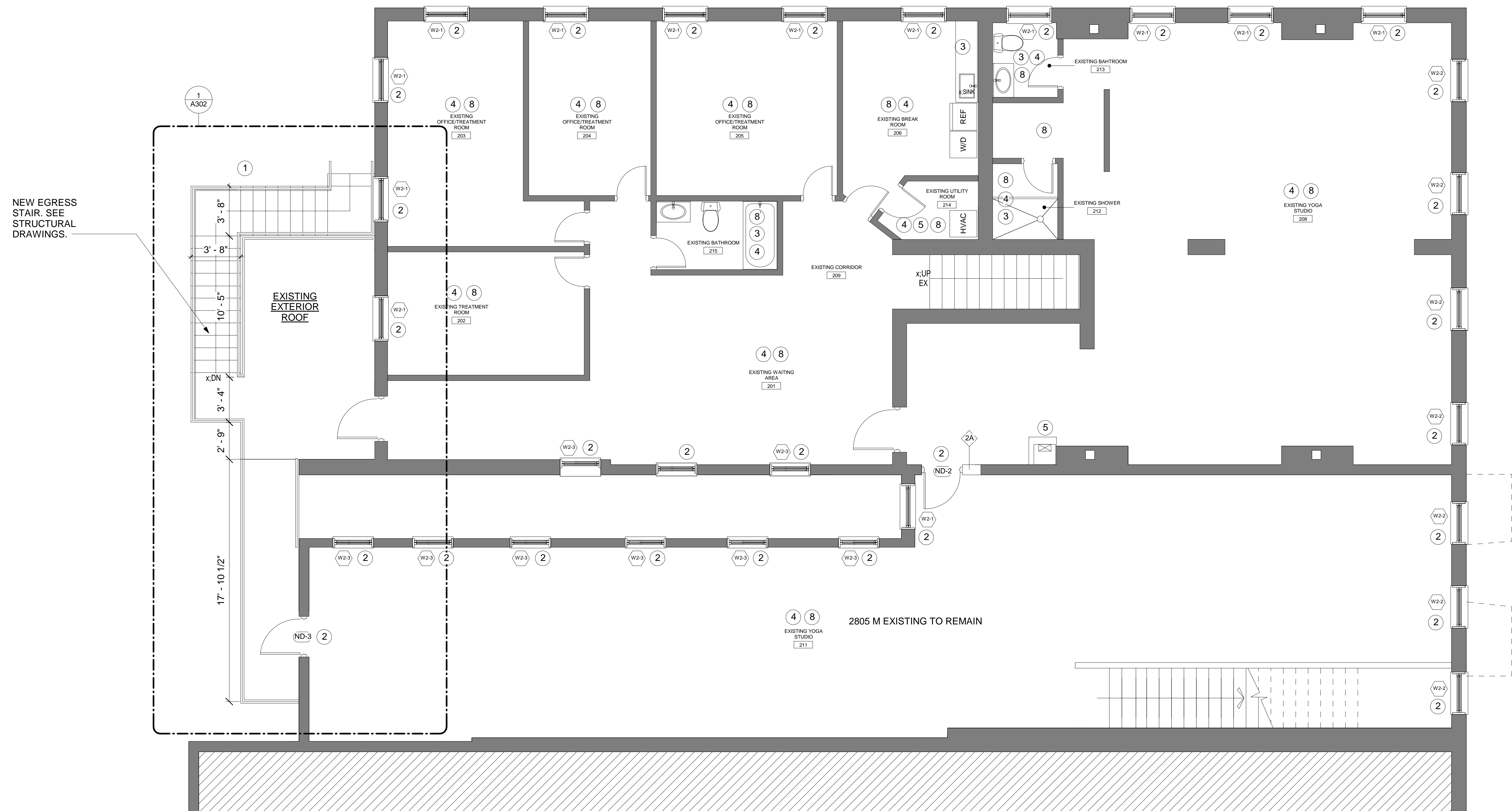
SEAL & SIGNATURE



PROJECT No.: 1123.00

A103

SECOND FLOOR PLAN

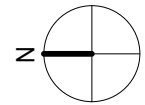


KEY LEGEND:

☐ AREA OF WORK

 AREA NOT IN SCOPE

1 CONSTRUCTION - SECOND FLOOR PLAN
A104 1/4" = 1'-0"



CONSTRUCTION - GENERAL NOTES

1. ALL DOORS THAT ARE NOT LABELED ARE EXISTING TO REMAIN.
2. G.C. TO PATCH, SPACKLE AND SAND, REPAIR AND PREP ALL EXISTING WALLS AND FLOORS AND PREPARE SURFACE TO RECEIVE NEW FINISHES.
3. G.C. TO COMPLY WITH ALL BUILDING RULES AND REGULATIONS FOR NEW CONSTRUCTION.
4. G.C. TO VERIFY ALL EXISTING CONDITIONS AND CONFIRM WITH ARCHITECT LOCATIONS OF ALL CHALK LINES PRIOR TO ANY CONSTRUCTION.
5. G.C. TO CONSULT WITH ARCHITECT PRIOR TO INSTALLATION OF FIRE SIGNALING DEVICES.
6. MAINTAIN A MIN. OF 44" CLEARANCE AT EGRESS CORRIDORS.
7. DIMENSIONS AND ALIGNMENTS ARE FROM FACE TO FINISH TO FACE OF FINISH. PROVIDE FURRING AS REQUIRED TO ACHIEVE ALIGNMENTS SHOWN.
8. LOCATE DOORS 4" FROM FACE TO INSIDE CORNER OF PARTITION TO DOOR AND 8" FROM OUTSIDE CORNER OF PARTITION TO DOOR, U.O.N. LOCATED DOORS WITH CLOSERS NO LESS THAN 1'-6" TO EDGE OF DOOR AT PULL SIDE AND 1'-0" TO EDGE OF DOOR AT PUSH-SIDE.
9. VERIFY DIMENSIONS NOTED "CLEAR", "HOLD", "MIN", OR "V.I.F." NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
10. FIRESAFE ALL FLOOR OPENINGS AS REQUIRED. WHERE PENETRATIONS OCCUR AT RATED ENCLOSURES MAINTAIN CONTINUITY OF RATING AS REQUIRED.
11. REFER TO MEP DRAWINGS FOR ALL POWER/COMMUNICATION, HVAC AND LIGHTING SPECS.
12. G.C. TO THOROUGHLY CLEAN EXISTING AREAS, AND FILL AND REPAIR ALL DAMAGED AREAS AS REQUIRED.

CONSTRUCTION PLAN NOTES

- ① INSTALL NEW EGRESS STAIR (PER PRIOR CFA APPROVAL, DATED 06/21/19). (REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS).
- ② INSTALL NEW ENTRY DOOR, WINDOWS, AND RAMP. (PER PRIOR CFA APPROVAL, DATED 06/21/19).
- ③ REPLACE PLUMBING FIXTURES AT RESTROOMS IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ④ REPLACE EXISTING LIGHTING AND DEVICES (RECEPTACLES, SWITCHES, ETC.) IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ⑤ REPLACE MECHANICAL EQUIPMENT IN EXISTING LOCATIONS. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ⑥ PERFORM STRUCTURAL MODIFICATIONS DUE TO PARTIAL CHANGE OF USE (OFFICE TO RETAIL). (REFER TO STRUCTURAL DRAWINGS).
- ⑦ PROVIDE SECURITY ALARM UPGRADES. (REFER TO MEP DRAWINGS).
- ⑧ REINSTALL DRYWALL AND INSULATION AT EXISTING FRAMING DUE TO PRIOR REPAIRS AND MOLD ABATEMENT.

OWNER
2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

CONSULTANTS

MEP:
CHRISTIE DESIGN GROUP
912 THAYER AVE., STE 300,
SILVER SPRING, MD 20910
OFFICE: (301)608-0005

STRUCTURAL:
STRUCTURA INC.
12358 Parklawn Drive, Suite #140
North Bethesda, MD, 20852
(301) 987-9234
Caitlin Mueller, PE
cmueller@structura-inc.com
240.477.1882

SUBMISSIONS

[illegible]

1825 K Street NW Suite 300 Washington DC 20006
Tel 202 452 1644 Fax 202 452 1647 www.bbqm.com

This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc.

PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 20007

SECOND FLOOR PLAN

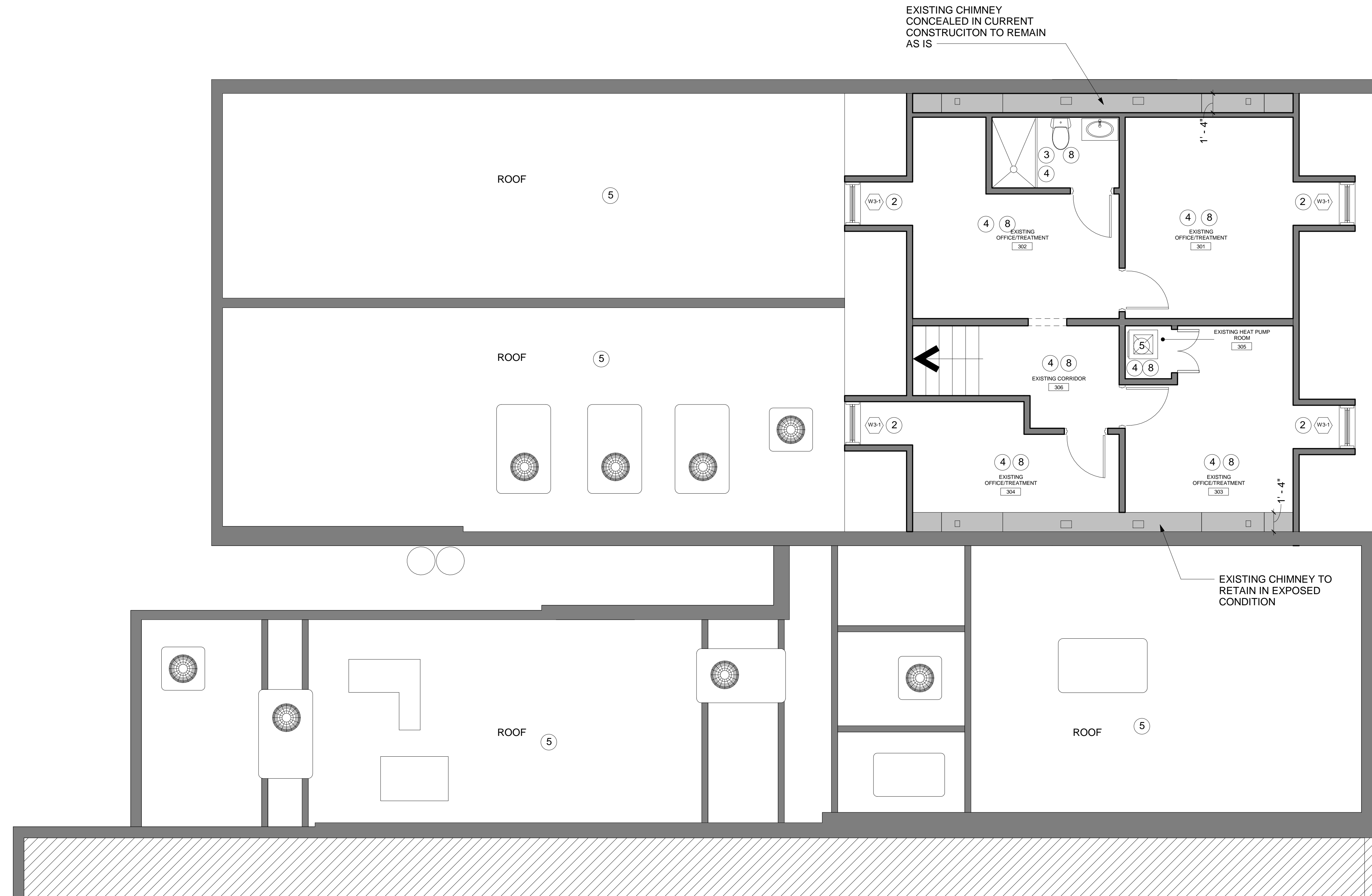
SEAL & SIGNATURE



PROJECT No.: 1123.00
DWG No:

A104

LOFT FLOOR PLAN



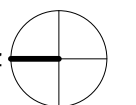
KEY LEGEND:

-

1
A105

CONSTRUCTION - LOFT FLOOR PLAN

1/4" = 1'-0"



CONSTRUCTION - GENERAL NOTES

1. ALL DOORS THAT ARE NOT LABELED ARE EXISTING TO REMAIN.
2. G.C. TO PATCH, SPACKLE AND SAND, REPAIR AND PREP ALL EXISTING WALLS AND FLOORS AND PREPARE SURFACE TO RECEIVE NEW FINISHES.
3. G.C. TO COMPLY WITH ALL BUILDING RULES AND REGULATIONS FOR NEW CONSTRUCTION.
4. G.C. TO VERIFY ALL EXISTING CONDITIONS AND CONFIRM WITH ARCHITECT LOCATIONS OF ALL CHALK LINES PRIOR TO ANY CONSTRUCTION.
5. G.C. TO CONSULT WITH ARCHITECT PRIOR TO INSTALLATION OF FIRE SIGNALING DEVICES.
6. MAINTAIN A MIN. OF 44" CLEARANCE AT EGRESS CORRIDORS.
7. DIMENSIONS AND ALIGNMENTS ARE FROM FACE TO FINISH TO FACE OF FINISH. PROVIDE FURRING AS REQUIRED TO ACHIEVE ALIGNMENTS SHOWN.
8. LOCATE DOORS 4" FROM FACE TO INSIDE CORNER OF PARTITION TO DOOR AND 8" FROM OUTSIDE CORNER OF PARTITION TO DOOR, U.O.N. LOCATED DOORS WITH CLOSERS NO LESS THAN 1'-6" TO EDGE OF DOOR AT PULL SIDE AND 1'-0" TO EDGE OF DOOR AT PUSH-SIDE.
9. VERIFY DIMENSIONS NOTED "CLEAR", "HOLD", "MIN", OR "V.I.F." NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
10. FIRESAFE ALL FLOOR OPENINGS AS REQUIRED. WHERE PENETRATIONS OCCUR AT RATED ENCLOSURES MAINTAIN CONTINUITY OF RATING AS REQUIRED.
11. REFER TO MEP DRAWINGS FOR ALL POWER/COMMUNICATION, HVAC AND LIGHTING SPECS.
12. G.C. TO THOROUGHLY CLEAN EXISTING AREAS, AND FILL AND REPAIR ALL DAMAGED AREAS AS REQUIRED.

CONSTRUCTION PLAN NOTES

- ① INSTALL NEW EGRESS STAIR (PER PRIOR CFA APPROVAL, DATED 06/21/19). (REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS).
- ② INSTALL NEW ENTRY DOOR, WINDOWS, AND RAMP. (PER PRIOR CFA APPROVAL, DATED 06/21/19).
- ③ REPLACE PLUMBING FIXTURES AT RESTROOMS IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ④ REPLACE EXISTING LIGHTING AND DEVICES (RECEPTACLES, SWITCHES, ETC.) IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ⑤ REPLACE MECHANICAL EQUIPMENT IN EXISTING LOCATIONS. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ⑥ PERFORM STRUCTURAL MODIFICATIONS DUE TO PARTIAL CHANGE OF USE (OFFICE TO RETAIL). (REFER TO STRUCTURAL DRAWINGS).
- ⑦ PROVIDE SECURITY ALARM UPGRADES. (REFER TO MEP DRAWINGS).
- ⑧ REINSTALL DRYWALL AND INSULATION AT EXISTING FRAMING DUE TO PRIOR REPAIRS AND MOLD ABATEMENT.

OWNER
2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

CONSULTANTS

MEP:

CHRISTIE DESIGN GROUP
912 THAYER AVE, STE 300,
SILVER SPRING, MD 20910
OFFICE: (301)608-0005

STRUCTURAL:

STRUCTURA INC.
12358 Parklawn Drive, Suite #140
North Bethesda, MD, 20852
(301) 987-9234
Caitlin Mueller, PE
cmueller@structura-inc.com
240.477.1882

SUBMISSIONS

[illegible]

25 K Street NW Suite 300 Washington DC 20006
202 452 1644 Fax 202 452 1647 www.bbqm.com

document and the ideas and designs incorporated within it are the property of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or modified in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc.

PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

SOFT PLAN

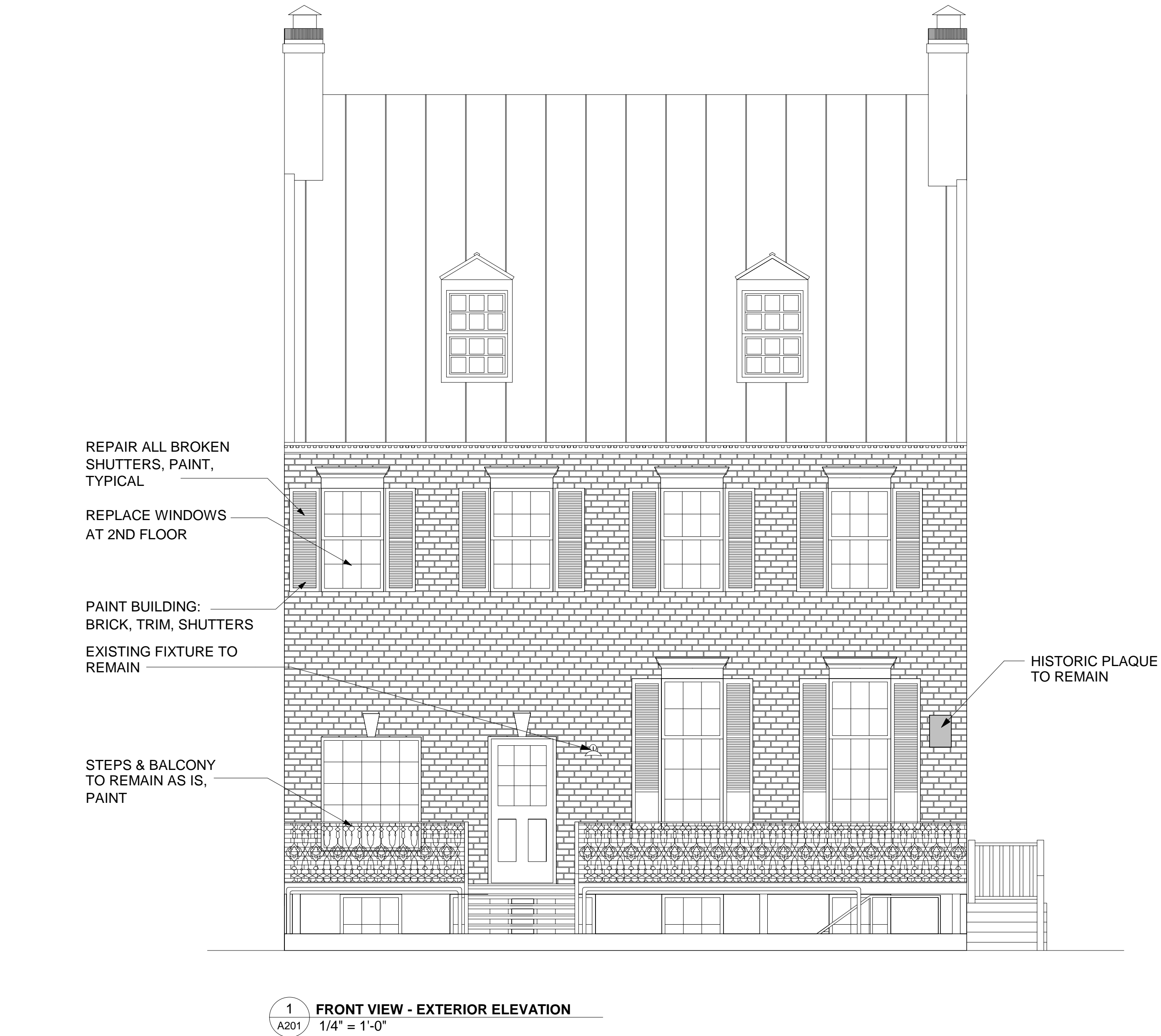
AL & SIGNATURE

PROJECT No.: 1123.00

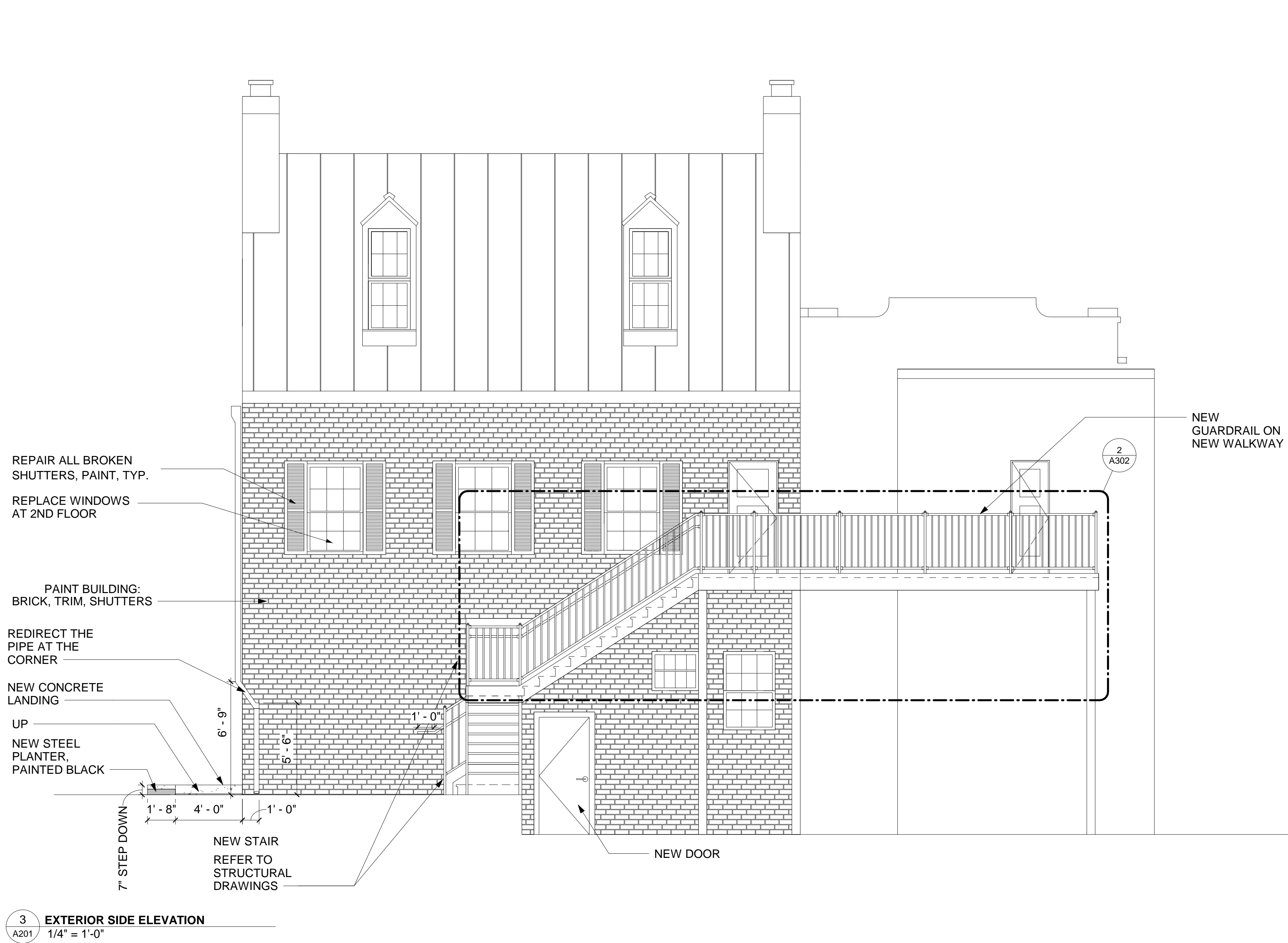


A105

EXTERIOR ELEVATION - M ST



EXTERIOR ELEVATION - 5' PUBLIC ALLEY



EXTERIOR ELEVATION - 28TH ST



EXTERIOR FINISH SCHEDULE

PAINT	APPLICAITON
DECORATOR'S WHITE: OC-149	BRICK
METROPOLITAN: AF-690	WINDOWS
KENDALL CHARCOAL: HC-166	SHUTTERS
BLACK IRON: 2120	BALCONY
OLD NAVY: 2063-10	DOORS

OWNER
2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

CONSULTANTS
MEP:
CHRISTIE DESIGN GROUP
912 THAYER AVE, STE 300,
SILVER SPRING, MD 20910
OFFICE: (301)608-0005
STRUCTURAL:
STRUCTURA, INC.
12358 Parklawn Drive, Suite #140
North Bethesda, MD, 20852
(301) 987-9234
Caitlin Mueller, PE
cmueller@structura-inc.com
240.477.1882

SUBMISSIONS

Date	Description
04.30.2020	PERMIT SET



This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc.

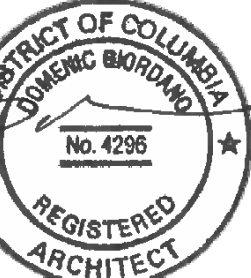
PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 20007

EXTERIOR ELEVATIONS

SEAL & SIGNATURE



PROJECT No.: 1123.00
DWG No.:

A201

Architectural floor plan of a three-story building with a loft, two floors of tenants, and a basement. The plan shows dimensions for each level and a cross-section view on the left.

LOFT: Dimensions are 8'-6" wide and 9'-11" deep.

2ND FLOOR TENANT: Dimensions are 8'-11" wide and 10'-9" deep.

1ST FLOOR TENANT: Dimensions are 8'-6" wide and 10'-9" deep.

BASEMENT: Dimensions are 8'-6" wide and 10'-3 1/2" deep.

CRAWL SPACE: Dimensions are 7'-5 1/2" wide and 10'-3 1/2" deep.

INTELL FLOOR TO MATCH LEVEL OF FRONT TENANT ENTRANCE: A note with an arrow pointing to the floor line between the 1st floor tenant and the basement.

Cross-section view (left): Shows a staircase and a section line labeled 37" and 17".

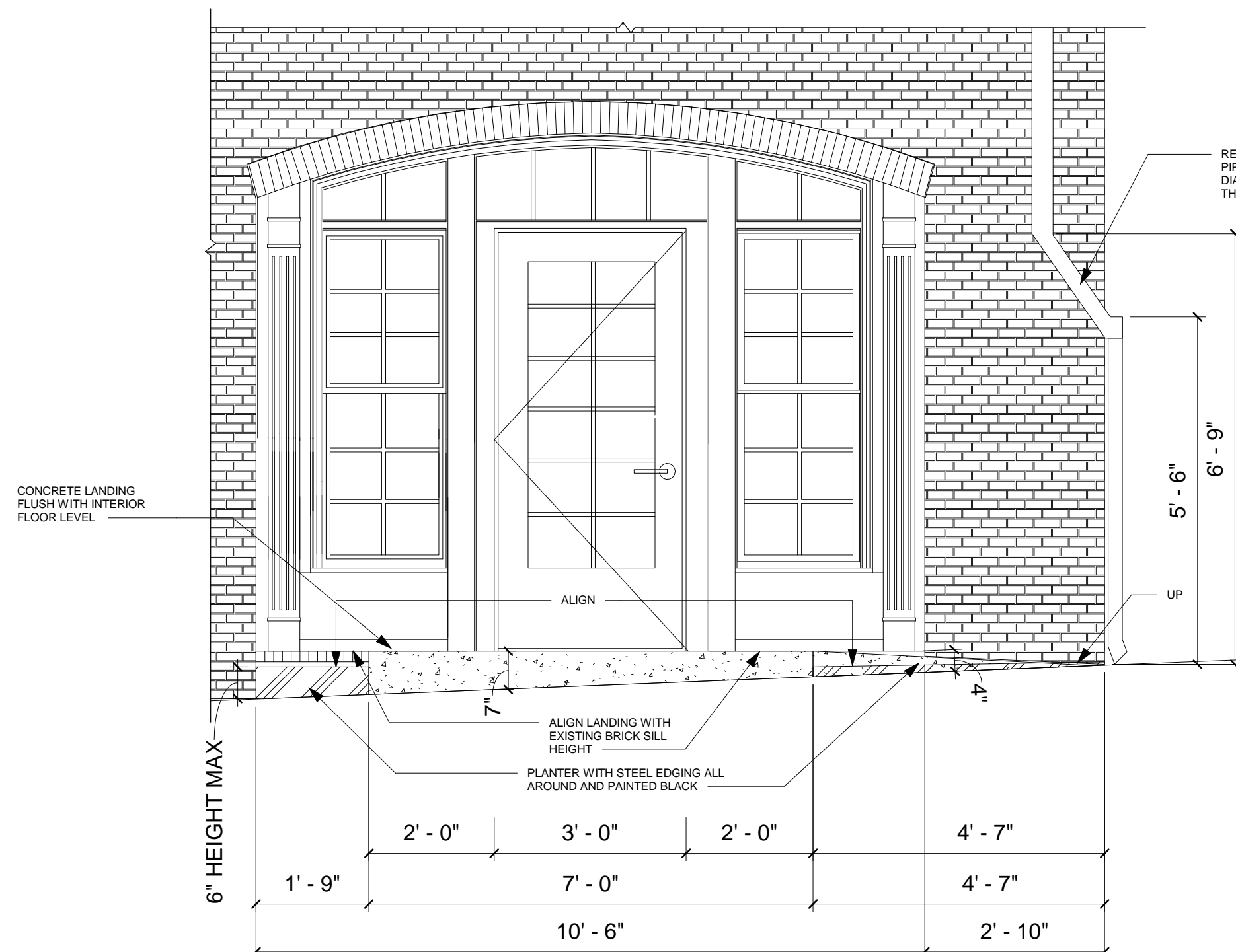
ALLEY: Located on the right side of the building.

1 SECTION VIEW
A301 1/4" = 1'-0"

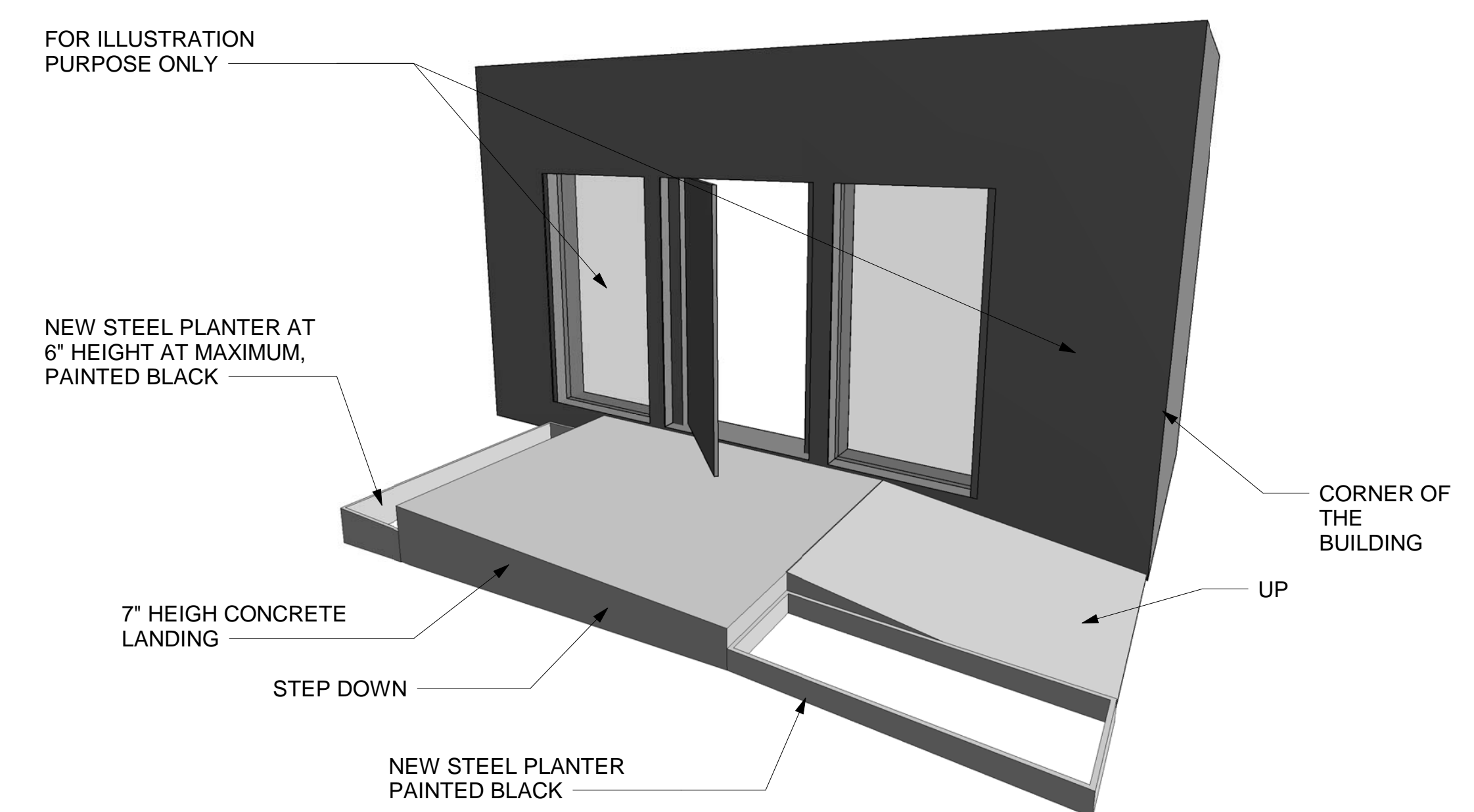
Architectural drawing showing a cross-section of a building structure. The drawing includes dimensions and labels for various components:

- Dimensions:**
 - Overall width: 10' - 6"
 - Overall height: 5' - 8"
 - Left side vertical dimensions: 4' - 0" and 1' - 8"
 - Top horizontal dimensions: 2' - 10", 4' - 7", 7' - 0", 1' - 9", and 10' - 6"
 - Right side vertical dimensions: 5' - 8" and 4"
 - Bottom horizontal dimensions: 2' - 0", 3' - 0", and 2' - 0"
- Labels and Callouts:**
 - NEW PLANTER, STEEL, LANDSCAPE EDGING ALL AROUND, PAINTED BLACK.** (Pointing to the top edge)
 - NEW PLANTER, STEEL, LANDSCAPE EDGING 6" HEIGHT AT MAXIMUM, PAINTED BLACK.** (Pointing to the right edge)
 - EXISTING FLOOR BRICK LINE** (Pointing to the right wall)
 - EXISTING DRAINAGE GRATE AT GRADE** (Pointing to the right wall)
 - NEW CONCRETE LANDING FLUSH WITH INTERIOR FLOOR LEVEL** (Pointing to the left wall)
 - RAMP UP** (Pointing to the central staircase)
 - STEP DOWN** (Pointing to the central staircase)
 - ALUM.** (Pointing to the central staircase)
 - ALUM WITH EXISTING RAIL** (Pointing to the right wall)
 - NEW OPENING** (Pointing to the bottom opening)
- Other Features:**
 - A circular callout at the top center contains the text **A301**.
 - A small number **3** is located below the circular callout.

2 RAMP DETAIL
A301 1/4" = 1'-0"



3 FRONT NEW DOOR ELEVATION WITH LANDING
A301 1/2" = 1'-0"



4 PERSPECTIVE - NEW LANDING

OWNER
2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

CONSULTANTS

MEP:
CHRISTIE DESIGN GROUP
912 THAYER AVE, STE 300,
SILVER SPRING, MD 20910
OFFICE: (301)608-0005

STRUCTURAL:
STRUCTURA INC.
12358 Parklawn Drive, Suite #140
North Bethesda, MD, 20852
(301) 987-9234
Caitlin Mueller, PE
cmueller@structura-inc.com
240.477.1882

[illegible]

This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc.

ALTERATIONS AND REPAIRS
AT 2805 M ST. NW

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

EXTERIOR ELEVATIONS AND
SECTIONS

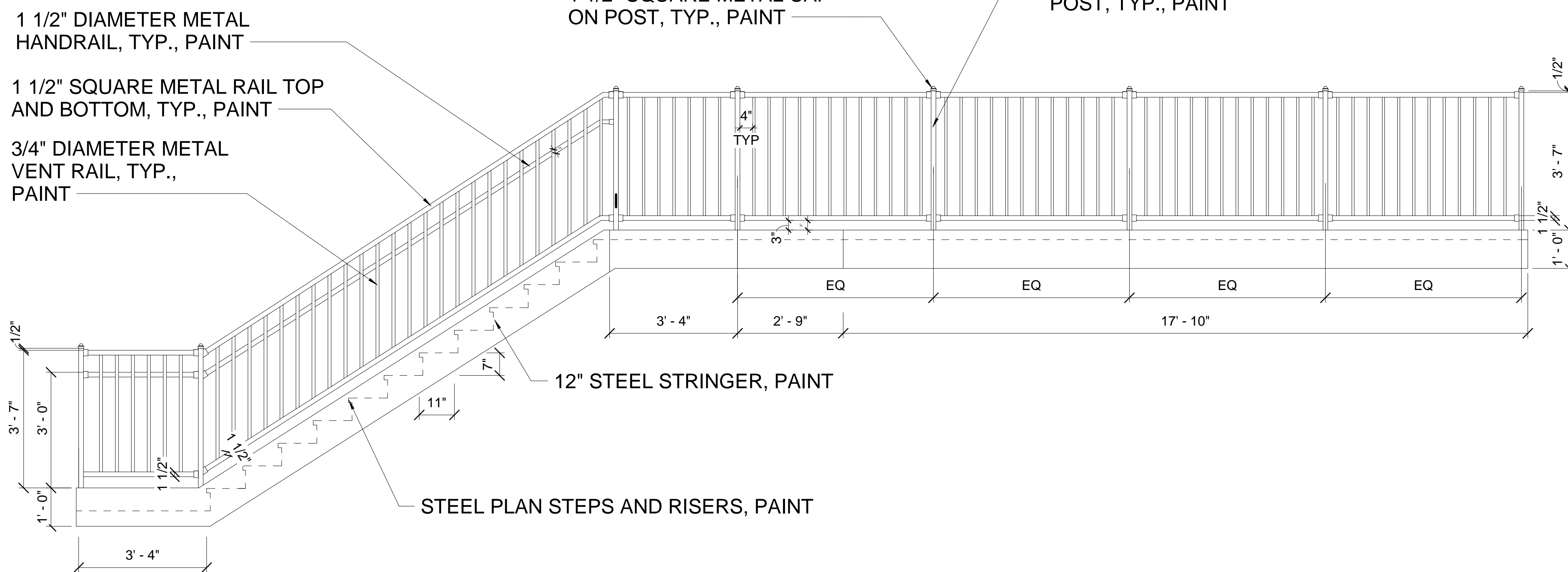


DISTRICT OF COLUMBIA

PROJECT No.: 1123.00

A301

EXTERIOR DETAILS - EGRESS STAIR



2
A302

EXTERIOR EGRESS STAIR SECTION

1/2" = 1'-0"

SEAL & SIGNATURE	PROJECT No.: 1123.00
	DWG No:

