

3040 R St., NW / 2ND FLOOR UNIT WINDOW REPLACEMENT

PROJECT DIRECTORY

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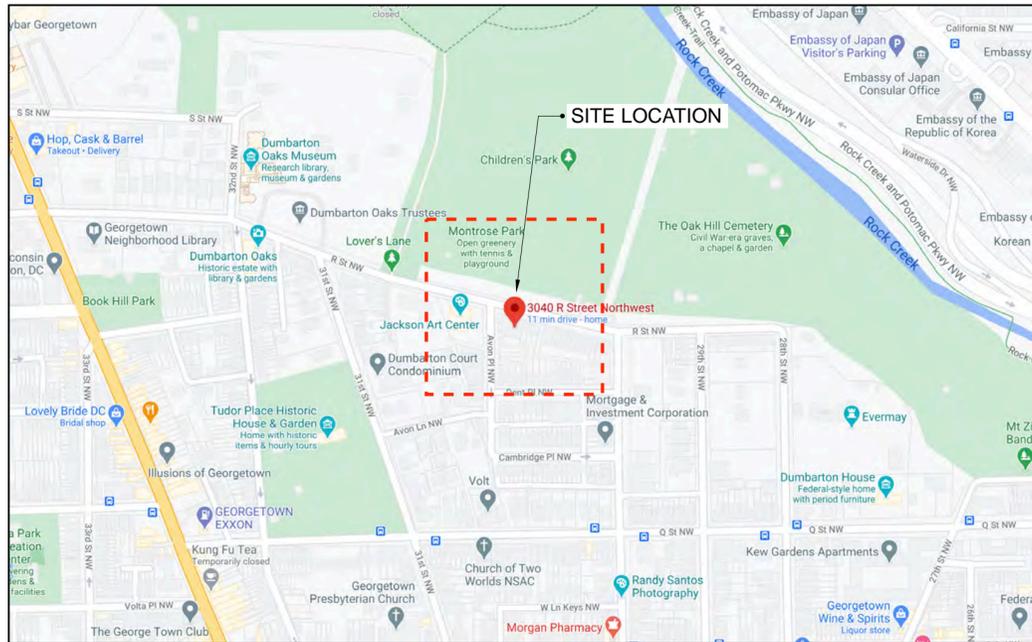
PROJECT DESCRIPTION

REPLACEMENT OF WINDOW SASHES AT EXISTING 2ND FLOOR CONDOMINIUM UNIT. NOTE 3RD FLOOR UNIT WAS PREVIOUSLY REVIEWED / APPROVED FOR SIMILAR WORK.

CODE INFO.

- 2017 DCMR 12A, DC Building Code Amendments**
 - 2017 DCMR 12A, DC Building Code Amendments
 - 2015 International Building Code (IBC)
- 2017 DCMR 12B, DC Residential Code Amendments**
 - 2017 DCMR 12B, DC Residential Code Amendments
 - 2015 International Residential Code (IRC)
- 2017 DCMR 12C, DC Electrical Code**
 - 2017 DCMR 12C, DC Electrical Code
 - 2014 National Electrical Code (NEC), NFPA 70
- 2017 DCMR 12D, DC Fuel Gas Code**
 - 2017 DCMR 12D, DC Fuel Gas Code
 - 2015 International Fuel Gas Code (IFGC)
- 2017 DCMR 12E, DC Mechanical Code**
 - 2017 DCMR 12E, DC Mechanical Code
 - 2015 International Mechanical Code (IMC)
- 2017 DCMR 12F, DC Plumbing Code**
 - 2017 DCMR 12F, DC Plumbing Code
 - 2015 International Plumbing Code (IPC)
- 2017 DCMR 12G, DC Property Maintenance Code**
 - 2017 DCMR 12G, DC Property Maintenance Code
 - 2015 International Property Maintenance Code (IPMC)
- 2017 DCMR 12H, DC Fire Code**
 - 2017 DCMR 12H, DC Fire Code
 - 2015 International Fire Code (IFC)
- 2017 DCMR 12I, DC Energy Conservation Code**
 - 2017 DCMR 12I, DC Energy Conservation Code
 - 2015 International Energy Conservation Code – Residential Provisions
 - 2013 ANSI/ASHRAE/IES 90.1
- 2017 DCMR 12J, DC Existing Building Code**
 - 2017 DCMR 12J, DC Existing Building Code
 - 2015 Existing Building Code
- 2017 DCMR 12K, DC Green Construction Code**
 - 2017 DCMR 12K, DC Green Construction Code
 - 2012 International Green Construction Code (IGCC)
- 2017 DCMR 12L, DC Swimming Pool and Spa Code**
 - 2017 DCMR 12L, DC Swimming Pool and Spa Code
 - 2015 International Swimming Pool and Spa Code (ISPSA)
- 2017 DCMR 12I, Energy Conservation Code Supplement of 2017-Residential Provisions**
 - 2017 DCMR 12I, Energy Conservation Code Supplement of 2017-Residential Provisions
 - 2015 International Existing Building Code (IEBC)

LOCATION MAP



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3040 R St NW
Washington, D.C.

ISSUE
10/05/20 HPO / CFA Rev.

COVER SHEET

A0001

For the Work to be done at
3040 R St NW, Unit 2
Washington, DC

Front Elevation



Front Elevation



JARMAN COMPANY INC
2620 GARFIELD A VE
SILVER SPRING, MD 20910



Only Windows on the second floor (Unit 2) will be replaced. Windows on the third floor have been previously replaced by a different unit owner. The windows we have specified are identical.



For the Work to be done at
3040 R St NW, Unit 2 Washington, DC

JARMAN COMPANY INC
2620 GARFIELD A VE
SILVER SPRING, MD 20910

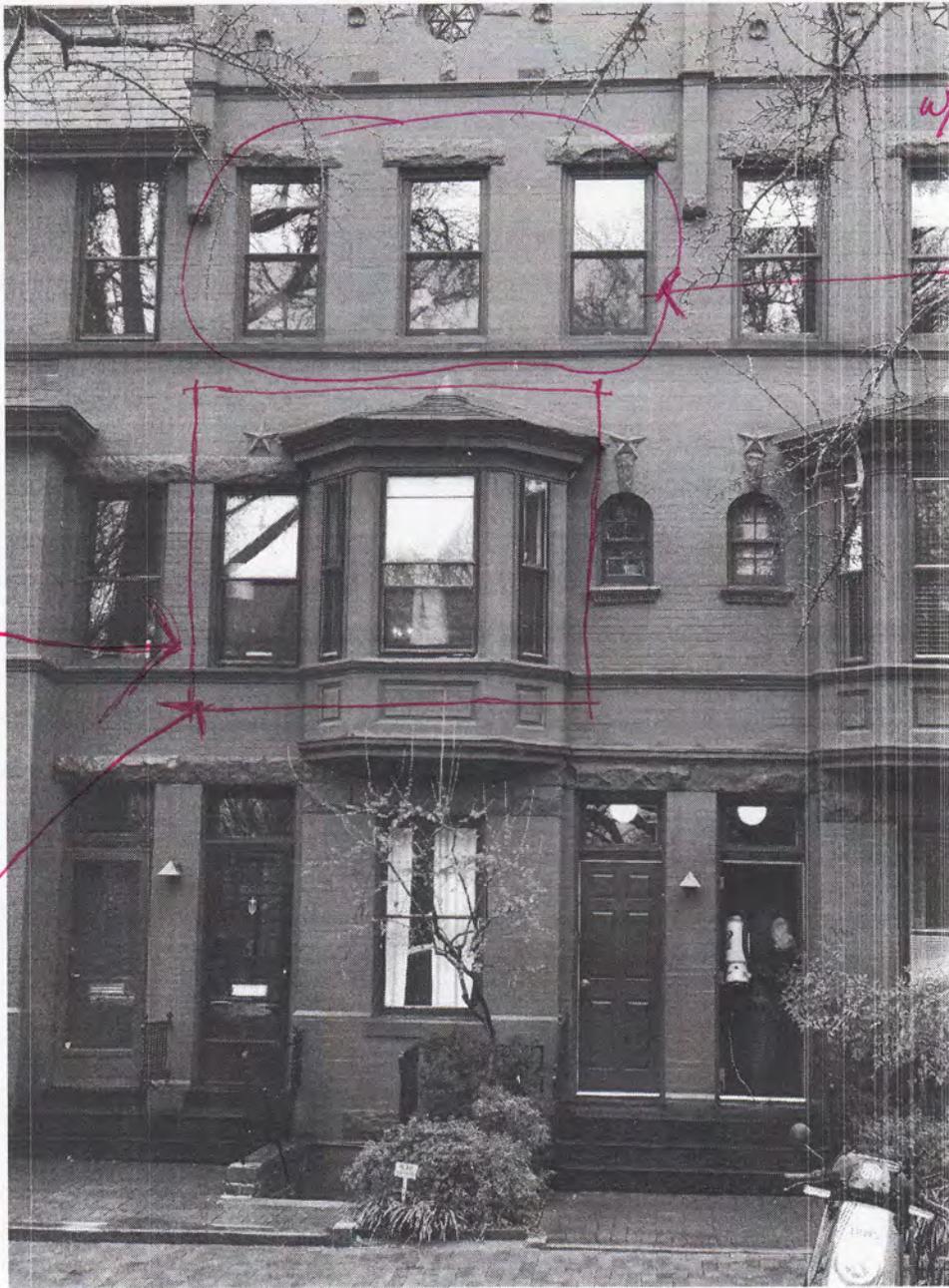
JARMAN COMPANY INC
2620 GARFIELD A VE
SILVER SPRING, MD 20910

For the Work to be done at
3040 R St NW, Unit 2 Washington, DC

NEW PELLA INSERT REPLACEMENTS (A)

3040 R ST NW

2ND FLOOR / FRONT ELEVATION



EXACT MATCH
w/ Pella INSERTS
AS

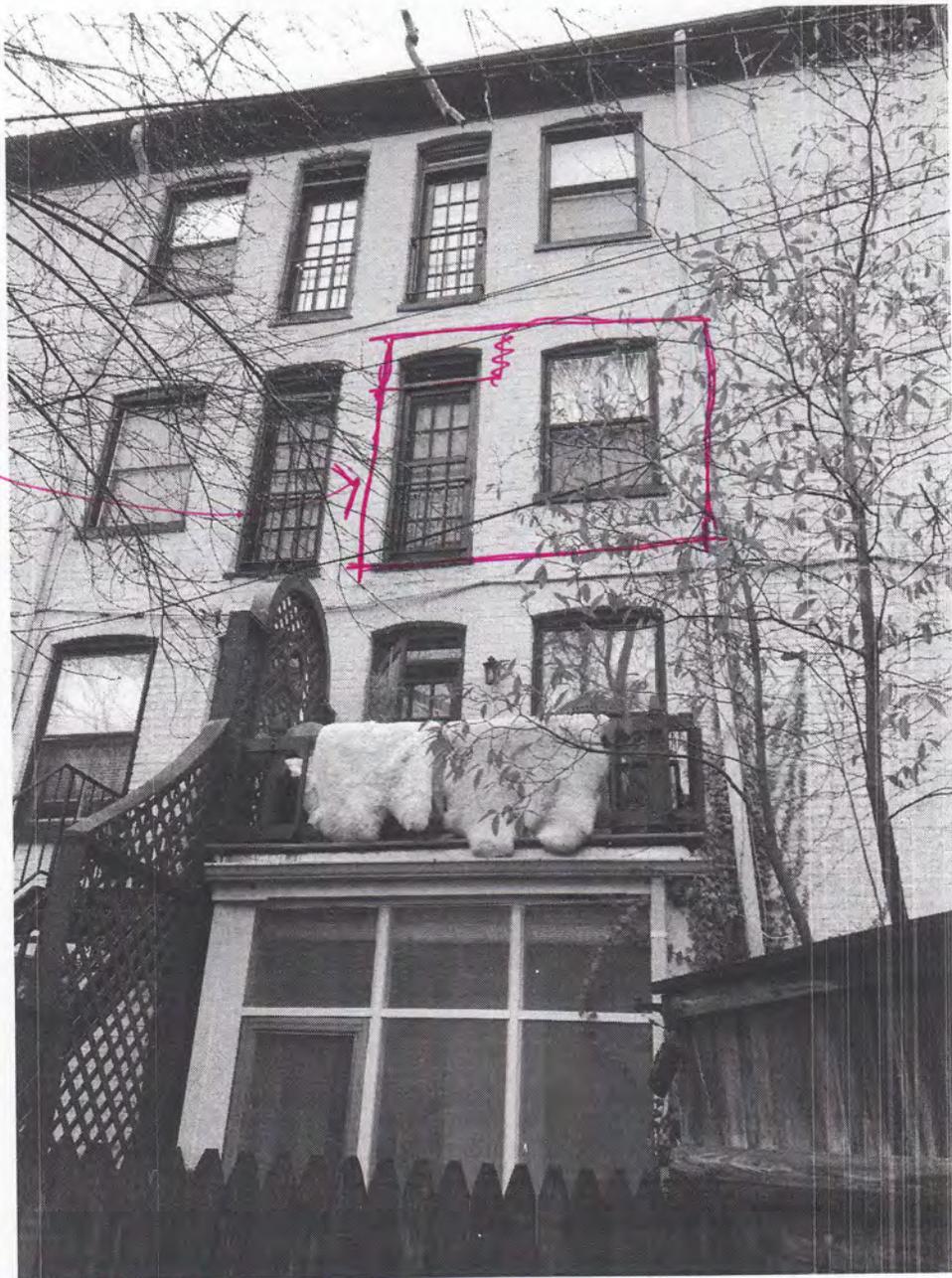
3RD FLOOR
EXISTING
WINDOWS

Proposed
new work:

2ND FLOOR
New inserts/
replacement
windows

4
NEW PELLA WINDOWS TO MATCH EXACTLY
EXISTING WINDOWS (3) ON
THIRD FLOOR OF SAME BUILDING

New Pella window insert replacement @
3040 R ST NW. ALSO 15 4TB WOOD DOOR replacement.
2ND FLOOR / REAR ELEVATION



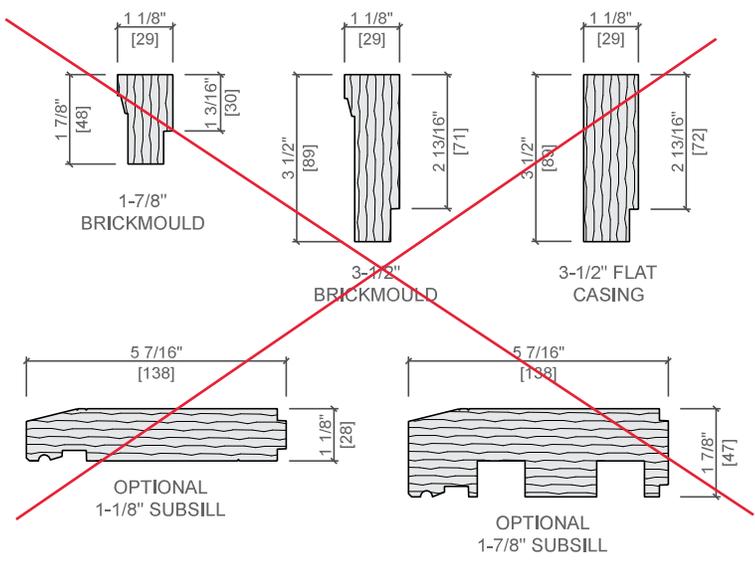
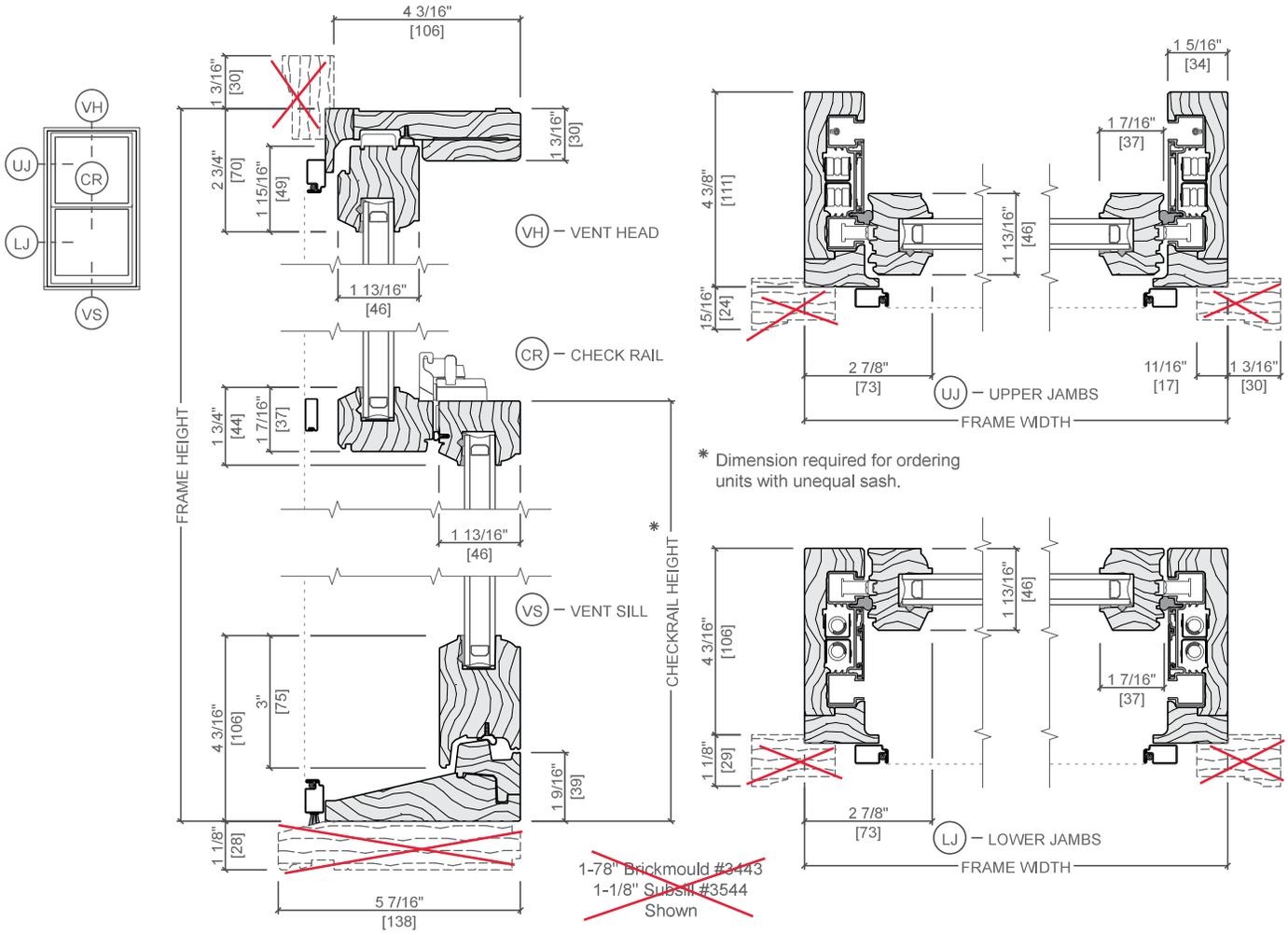
2ND
FLOOR

Beth -
* Note that the 2nd floor existing window
is $\frac{3}{2}$ lite windows. Mike ordered $\frac{1}{1}$ lite.
hoping we can argue that every other window
on this building and next door are also all $\frac{1}{1}$ lite.



Pella® Reserve™ Traditional Hung Window

Unit Sections - Wood Exterior Putty Glaze Exterior Profile



Scale 3" = 1' 0"
All dimensions are approximate.

- Please clarify if this property is a condo/apartment? Is the 2nd floor a separate unit from the 1st and 3rd floors?

SCH - That is correct. There are three units. As noted in the submittal document, the 3rd floor unit was previously approved for window replacements and that work was previously completed using the same window manufacturer and specification.

- Is the rear door replacement to be multi-light or single light? The elevation shows a single light door, but a muntin profile is also circled. Please revise the submission so it is consistent. The drawings should match exactly what is proposed for installation.

SCH - Rear door replacement is multi-light to match existing. Note existing photograph previously submitted identifies the specific door. This door (same as units above and below) is a (15) light door with exterior guard rail to remain. See new added sheet A0002 for additional clarification.

- Please document the measurements and profile of the existing door muntins, rails, stiles, and brickmold.

SCH - See added sheet A0002 with photos and dimensions of existing dimensions requested. See added sheet A0002.

- Why wood insert windows as opposed to full frame replacements?

SCH - These are full frame replacements, but installing such that allows us to maintain the existing brick mould frame of original window units as they are not as deteriorated. Primary exterior brick mould frame and related sill are to remain. See detail 1 /A0002 for clarification.

- Please draw in the existing frames and masonry on the section so that the OGB can determine the total proposed jamb width.

SCH - We have added that information to sheet A0002 for your review.

- Please revise the window specs for either half screens or no screens. If storm windows are desired, they should be interior storms, and no vinyl jamb liners, per the OGB Window Design Guidelines.

SCH - There will be no storm units. Per Pella specifications, the jamb liners are not vinyl.

- These windows appear to be double-glazed; the OGB requires single-glazed on all street-facing elevations. They do consider double-glazed units on the rear, however, they review such replacements on a case by case basis. You may want to consider single-glazed windows for the front elevation, at a minimum.

SCH - Owner requests consideration for insulated glazed window units for energy efficiency per current DCRA energy code requirements. Windows specified for this review are a simulated divided lite unit with spacer bar. This was same as previously reviewed / approved for the 3rd floor unit.

- As I indicated in your previous OGB application, staff cannot determine the age of the windows due to the fact there are storm windows on the exterior. The OGB will want to know the condition and age of the existing sash and frames. This could be accomplished by a site visit from staff, removal of the storm windows for evaluation, or you could provide additional detail photographs from the interior of the windows that include the jambs (for example, are there aluminum tracks or rope and pulleys).

SCH - See additional photos included with sheet A0002 for your review. Existing windows are rope / pulleys.

- Lastly, I did not receive your CFA/OGB referral form with the submission materials sent over from HPO. Could you confirm that you submitted one to HPO and please send me a copy?

SCH - (Confirmed. We submitted hard copies)