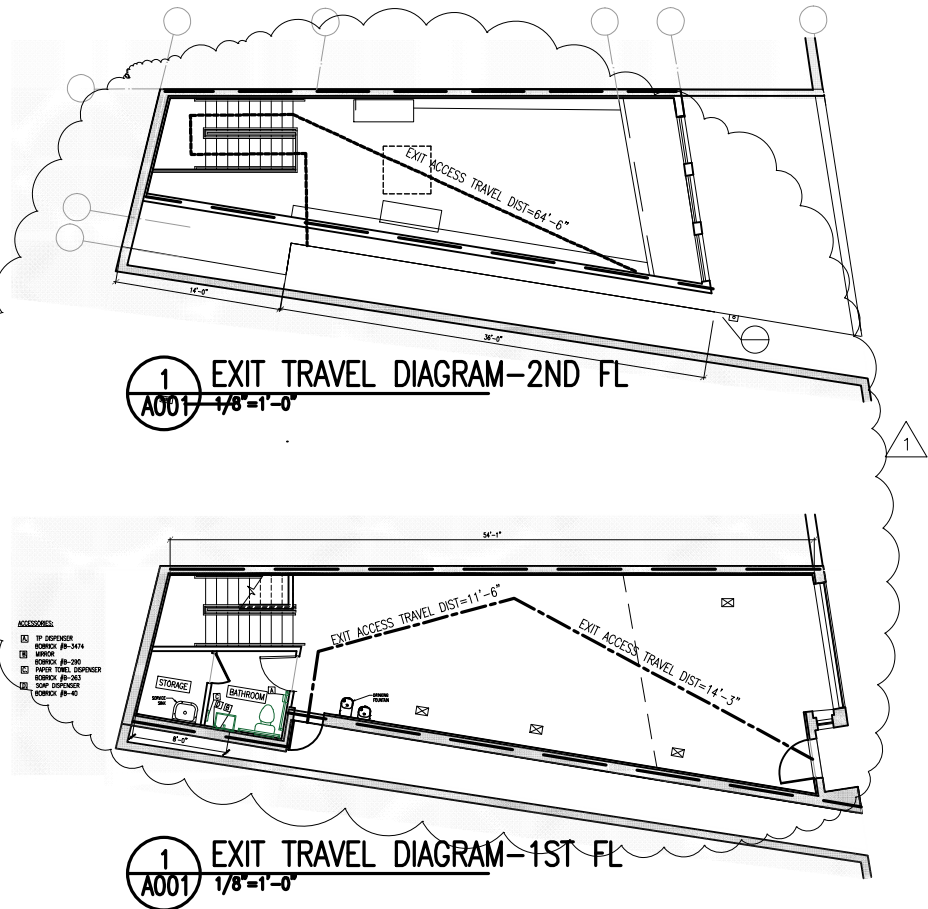


1- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WORK AND MATERIALS REQUIRED OR IMPLIED BY THESE DRAWINGS AND SPECIFICATIONS UNLESS WORK AND OR MATERIALS ARE LISTED AS PROVIDED BY OTHERS
2- IF DURING COURSE OF THE WORK, THE CONTRACTOR EXPERIENCES A PROBLEM RELATIVE TO THE DOCUMENTS, THE LOCAL APPLICABLE CODES AND GOVERNING DOCUMENTS, OR THE WORK CANNOT BE INSTALLED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS FOR ANY REASON, NOTIFY THE ARCHITECT AND ENGINEER FOR DIRECTION PRIOR TO EXECUTION OF THIS WORK. THE CONTRACTOR MAY BE RESPONSIBLE FOR REMOVING, AT NO ADDITIONAL COMPENSATION, ANY WORK INSTALLED, PRIOR TO RECEIVING DIRECTION FROM ARCHITECT AND ENGINEER, IN VIOLATION OF THE CONTRACT DOCUMENTS OR APPLICABLE CODES.
3- DO NOT SCALE DRAWINGS. FIELD VERIFY ALL THE DIMENSIONS INDICATED ON THE DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK.
4- PERFORM ALL WORK IN ACCORDANCE WITH ALL CURRENT AND APPLICABLE LOCAL CODES AND REGULATIONS AS REQUIRED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
5- INSTALL ALL EQUIPMENT, MATERIALS AND SYSTEMS IN ACCORDANCE WITH THE MANUFACTURER WRITTEN INSTALLATION GUIDES AND RECOMMENDATIONS.
6- COORDINATE AND PROVIDE FINAL CONNECTIONS TO ALL EQUIPMENTS.
7- PROVIDE COPIES OF ALL PERMITS, INSPECTION REPORTS, RELEASE OF LIENS, BONDS, INSURANCE AND GENERAL WAIVERS TO THE BUILDING OWNER.
8- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SAFETY PROCEDURES, COMPLY WITH CODES, STANDARDS, REGULATIONS AND OSHA REQUIREMENTS.
9- THE MEANS AND METHODS FOR PERFORMING THE DEMOLITION AND CONSTRUCTION WORK ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THIS INCLUDES ALL WORK REQUIRED TO ISOLATE COMPONENTS TO ALLOW THEIR REMOVAL, RELOCATION OR REPLACEMENT.
10- STORAGE OF ALL MATERIALS WILL BE AT THE CONTRACTOR'S EXPENSE UNLESS OTHERWISE NEGOTIATED WITH THE OWNER OR TENANT.
11- WHERE THE WORD "PROVIDE" IS USED, IT MEANS FURNISH AND INSTALL COMPLETE AND READY FOR USE.
12- SYMBOLS SHOWN ON THE DRAWINGS AND IN THE SCHEDULES INDICATE THE TYPE OF MATERIAL AND EQUIPMENT ONLY; PROVIDE ALL MATERIAL AND EQUIPMENT IN THE QUANTITIES REQUIRED BY THESE DOCUMENTS.
13- OBTAIN AND PAY FOR ALL PERMITS ASSOCIATED WITH THIS PROJECT. ARRANGE AND COORDINATE ALL REQUIRED INSPECTIONS BY THE APPROPRIATE LOCAL AUTHORITIES HAVING JURISDICTION.
14. A NOTICE OF THE FILING OF A PERMIT APPLICATION WITHIN THE SCOPE SHALL BE POSTED BY THE APPLICANT ON THE PREMISES UPON WHICH THE PERMIT APPLICATION SEEKS AUTHORIZATION TO PERFORM THE WORK



PROJECT TEAM:

DESIGNER:
CDI 1492 NORTHERN NECK DR
VIENNA, VA 22182
703-624-3597
CASADESIGN1993@AOL.COM

ARCHITECT:
VANDERPOEL ARCHITECTURE
1713 N. BRYAN ST.
ARLINGTON, VA 22201
703-725-4328
PETER@PVANDERPOEL.COM

STRUCTURAL:
JZ STRUCTURAL CONSULTING
43130 AMBERWOOD PLACE #235
CHANTILLY, VA 20152
703-3278-9912
WWW.JZSTRUCTURE.COM

MECHANICAL ELECTRICAL &
PLUMBING ENGINEERING:
DESIGN AMERICA ENGINEERING,
INC
14080 RED RIVER DRIVE
CENTERVILLE, VIRGINIA 20121
571-220-3239

BUILDING DATA

PROJECT ADDRESS: 1434 WISCONSIN AVE, NW
WASHINGTON DC

APPLIED CODES:
2017 DCMR 12A, DC BUILDING CODE
2017 DCMR 12C, DC ELECTRICAL CODE
2017 DCMR 12D, DC FUEL GAS CODE
2017 DCMR 12E DC MECHANICAL CODE
2017 DCMR 12F, DC PLUMBING CODE
2017 DCMR 12H DC FIRE CODE
2017 DCMR 12I DC ENERGY CONSERVATION CODE
2017 DCMR 12J DC EXISTING BUILDING CODE
2017 DCMR 12K DC GREEN CONSTRUCTION CODE

SCOPE OF WORK
PARTIALLY DEMOLISH EXISTING ROOF AND ENTIRE ATTIC
DEMO INTERIOR FINISHES
CONSTRUCT SECOND FLOOR

GROSS FLOOR AREA
FIRST FLOOR RETAIL-796 SF (EX)
SECOND FLOOR - STORAGE 608 SF (PROPOSED)

BLDG HEIGHT
20'-0"

ZONING

ZONING CLASSIFICATIONS MU-4

LOT AREA: 1093 SF
FAR PER TABLE 402.1: 1.5
ALLOWED FLOOR AREA : 1639.5 SF
EXISTING FLOOR AREA :
FIRST FLOOR 796 SF
ATTIC 576 SF
TOTAL AREA 1372 SF

PROPOSED FLOOR AREA
FIRST FLOOR 796 SF
SECOND FLOOR 608 SF
TOTAL AREA 1404 SF

EXIT ACCESS TRAVEL DISTANCE
TABLE 1016.2

OCCUPANCY WITHOUT SPRINKER SYSTEM
M, S-1 200 FT
SEE DIAGRAM THIS SHEET

PLUMBING FIXTURES

CLASSIFICATION M- MERCANTILE
OCCUPANT LOAD 30

WATER CLOSETS 1 REQ'D
1 PROVIDED

LAVATORIES 1 REQ'D
1 PROVIDED

DRINKING FOUNTAINS 1 REQ'D
1 PROVIDED

SERVICE SINK 1 REQ'D
1 PROVIDED

BUILDING AND FIRE PROTECTION

CONST TYPE IIIB
FIRE RESIST RATING
FOR BLDG ELEMENTS
TABLE 601

PRIMARY STRUCT FRAME 0
BEARING WALL
EXTERIOR 2
INTERIOR 0

NONBEARING WALLS
AND PARTITIONS
TABLE 602 M/S-1
X<5' 2
5'<=X<=10' 1

NONBRG WALL/PART
FLOOR CONST 0
ROOF CONST 0

USE M-MERCANTILE-FIRST FLOOR
S-1 STORAGE-SECOND FLOOR

BASEMENT NONE

ALLOWABLE HTS AND AREAS
TABLE 503 M 2 STR/12,500 SF
S-1 2 STR/26,000 SF

PROP HTS/AREA 2STR/1404 SF

REQ'D SEP OF OCCUPANCIES
TABLE 508.4 M/S-1 NONE REQ'D

SPRINKLER SYSTEM EXISTING-NONE
PROPOSED -NONE

OCCUPANT LOAD
TABLE 1004.1.2 MERCANTILE GRADE FLOOR
1/30SF: 796/30SF=27 OCC
STORAGE SECOND FLOOR
1/300SF:606/300 SF=3 OCC

903.2.7.1-NO HIGH-POOLED STORAGE OR RACK STORAGE DISPLAYS ARE PROPOSED NO SPRINKLER SYSTEM PROPOSED			
REQUIRED WHERE THE FOLLOWING CONDITIONS EXIST			
	903.2.7 GROUP M	903.2.9 GROUP S-1	
1. FIRE AREA EXCEEDS 12,000 SF	N	N	
2. LOCATED MORE THAN 3 STORIES ABOVE GRADE	N	N	
3. COMBINED AREA EXCEEDS 24,000 SF	N	N	
4. FURNITURE OR MASTRESSSES DISPLAY AREA EXCEEDS 5000 SF	N	N	

TABLE 1015.1 SPACES WITH ONE EXIT OCCUPANCY-ALLOWED			
	M-MERCANTILE	S-STORAGE	
49			
29			

OCCUPANCY-PROPOSED
M-MERCANTILE 27
S-STORAGE 3
TOTAL 30

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., August 3, 2020

Plat for Building Permit of: SQUARE 1244 LOT 836

Scale: 1 inch = 10 feet

Recorded in Book Survey 112 Page 147

Receipt No. 20-06302 Drawn by: A.S.

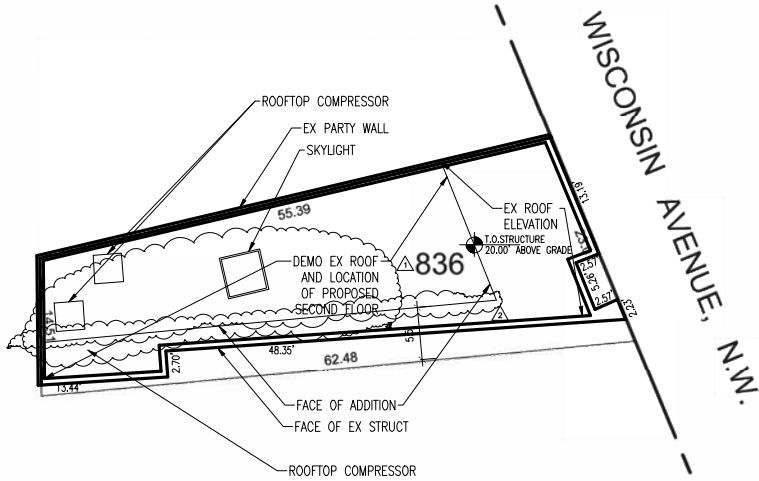
Furnished to: PETER F. VANDERPOEL

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

Peter F. VanderPoel
Surveyor, D.C.

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:
1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application B2011295; and
3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.
I also hereby certify that:
1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
3) I have not (circle one) filed a subdivision application with the Office of the Surveyor;
4) I have not (circle one) filed a division of lots application with the Office of Tax & Revenue; and
5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.
Plats issued by the Office of the Surveyor will be valid for a period of two years from the date of issuance. I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

Signature: _____ Date: 3 AUG 20
Printed Name: Peter VanderPoel, AIA Relationship to Lot Owner: Architect
If a registered design professional, provide license number ARC102825 and include stamp below.



INDEX OF DRAWINGS

ARCHITECTURAL
A001-PLAT BUILDING DATA
A002-ABBREVIATIONS,SYMBOLS
A003-SURVEYOR PLAT
EN1-ENERGY DATA
A011-DEMO FIRST FLOOR ATTIC
A012-DEMO ROOF
A021 FLOOR PLANS
A022-ROOF PLAN
A031-REFL CLG PLANS
A041-ELEVATIONS
A042-BLDG SECTIONS
A051-DETAILS
A081-SECTION DETAILS
A082-SECTION DETAILS

STRUCTURAL
S001-STRUCTURAL NOTES
S002-FOUNDATION & 2ND FLOOR
FRAMING PLAN
S003-ROOF FRAMING PLAN & DETAILS

ELECTRICAL
E0001-ELECTRICAL COVER SHEET
E0002-EXISTING /DEMOLITION PLANS
ELECTRICAL
E0003-NEW WORK LIGHTING
PLANS-ELECTRICAL
E0004-NEW WORK POWER
PLANS-ELECTRICAL
E0005-PANEL SCHEDULES, RISER
DIAGRAMS & ENERGY CERTIFICATE
E0006-COMCHECK

PLUMBING
P001-PLUMBING COVER SHEET
P101 PLUMBING DEMO PLANS
P201-PLUMBING FLOOR PLANS
P201-PLUMBING FLOOR PLANS

I am responsible for determining that the architectural designs included in this application are in compliance with all relevant laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the preparation of, the architectural designs included in this application.

CDI

1492 Northern Neck Dr.
Vienna, Virginia 22182
C: 703 624 3597 T: 703 624 6638

1434 WISCONSIN AVE NW

WASHINGTON, DC 20007

Lot: 0836 Square:1244

NO.	DESCRIPTION	DATE
1	DCRA	14 SEP 20

PLAT BLDG DATA

SCALE	
DATE	03 AUG 2020
OG 19-292/ HPA 19-591	

A001

ABBREVIATIONS

&	AND
∠	ANGLE
⊙	ATE
⊖	CENTERLINE
⊖	CHANNEL
⊖	DIAMETER
#	NUMBER, POUND(S)
AC	AIR CONDITIONING
ACB	ACOUSTICAL BAFFLE
ACM	ARCHITECTURAL CONCRETE MASONRY
ACOUS	ACOUSTIC(AL)
ACP	ACOUSTICAL CEILING PANEL
ACH	ACOUSTICAL CEILING TILE
AD	AREA DRAIN
ADJ	ADJUSTABLE/ADJACENT
ADR	ACCESS DOOR
AFT	ABOVE FINISH FLOOR
ANC	ANCHOR
AHU	AIR HANDLING UNIT
AL/ALUM	ALUMINUM
ALT	ALTERNATE
ANNUN	ANNUNCIATOR
ANOD	ANODIZED
AP	ACCESS PANEL
APC	ARCHITECTURAL PRECAST CONCRETE
APPROX	APPROXIMATE(LY)
ARCH	ARCHITECT(URAL)
ARGWB	ABUSE RESISTANT GYPSUM WALL BOARD
AVG	AVERAGE
AWP	ACOUSTIC WALL PANEL
BC	BOTTOM OF CURB
BD	BOARD
BITUM	BITUMINOUS
BLDG	BUILDING
BLK	BLOCK
BLKBD	BLACK BOARD
BLKG	BLOCKING
BLKHD	BULKHEAD
BM	BEAM
BOT	BOTTOM
BRG PL	BEARING PLATE
BRG	BEARING
BRK	BRICK
BRKT	BRACKET
BSMT	BASEMENT
BTWN	BETWEEN
BUR	BUILT UP ROOFING
C	COURSE(S) / CARPET
CAB	CABINET
CBB	CEMENTITIOUS BACKER BOARD
CEM	CEMENT
CER	CERAMIC
CI	CAST IRON
CF	CHANGE IN FLOORING
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLKG	CAULKING
CLL	CONTRACT LIMIT LINE
CLO	CLOSET
CLR	CLEAR
CM	CONSTRUCTION MANAGER
CMU	CONCRETE MASONRY UNIT
CNTR	COUNTER
CO	CLEAN OUT
COL	COLUMN
COMB	COMBINATION
COMP	COMPACT(ED)
CONC	CONCRETE
CONSTR	CONSTRUCTION
CONT	CONTINUOUS
COP	COPPER
CORR	CORRIDOR
CPT	CARPET
CRFS	COLD ROLLED FORMED STEEL
CS LINT.	CAST STONE LINTEL
CS	CAST STONE
CSK	COUNTERSUNK
CT	CERAMIC TILE
CTR	CENTER
CU	CUPBOARD
CW	COLD WATER
CWS	CURTAIN WALL SYSTEM
D	DEEP/DEPTH/DRAIN
DB	DECIBEL
DBL	DOUBLE
DEPT	DEPARTMENT
DET	DETAIL
DF	DRINKING FOUNTAIN
DH	DOUBLE HUNG
DIA	DIAMETER
DIAG	DIAGONAL(LY)
DIM	DIMENSION
DISP	DISPENSER
DV	DIVISION
DMPF	DAMP-PROOFING
DN	DOWN
DR	DOOR
DRWSPOUT	DOWNSPOUT
DSP	DRY STANDPIPE
DW	DISTILLED WATER
DSWR	DISHWASHER
DWG	DRAWING
DWR	DRAWER
E	EAST
EA	EACH
EEW	EMERGENCY EYE WASH
EIFS	EXTERIOR INSULATION & FINISHING SYSTEM
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRIC(AL)
EMERG	EMERGENCY
EMR	ELEVATOR MACHINE ROOM
ELEV	ELEVATOR
ENG	ENGINEER
ENCL	ENCLOSURE
ENT	ENTRANCE
EOS	EDGE OF SLAB
EPB	ELECTRICAL PANEL BOARD
EQ	EQUAL
EQUIP	EQUIPMENT
ES	EXPOSED STRUCTURE
EW	ELECTRIC WATER COOLER
EXP	EXPANDED/EXPANSION
EX	EXISTING
EXT	EXTERIOR
EXTR	EXTRUDED
F	FAHRENHEIT
FA	FIRE ALARM/GAUGE
FCU	FAN COIL UNIT
FD	FLOOR DRAIN/FIRE DAMPER
FDN	FOUNDATION

FDV	FIRE DEPARTMENT VALVE
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISH FACE
FFE	FINISH FLOOR ELEVATION
FHC	FIRE HOSE CABINET
FHVC	FIRE HOSE VALVE CABINET
FHMS	FLAT HEAD MACHINE SCREW
FHS	FLAT HEAD SCREW
FHWS	FLAT HEAD WOOD SCREW
FIN	FINISH
FL	FLASHING
FLEX	FLEXIBLE
FLG	FLOORING
FLR	FLOOR
FLUOR	FLUORESCENT
FO	FACE OF
FOS	FACE OF STUD/SLAB/STRUCTURE
FRPF	FIREPROOF(ING)
FS	FULL SIZE/FLOOR SINK
FT	FOOT OR FEET
FTG	FOOTING
FUR	FURRING
FVC	FIRE VALVE CABINET
FXTR	FIXTURE
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GCMU	GLAZED CMU
GEN	GENERAL
GFCMU	GROUND FACE CMU
GL	GLASS/GLAZING
GND	GROUND
GR	GRADE
GWB	GYPSUM WALL BOARD
GYP	GYPSUM
H	HEIGHT/HIGH
HB	HOSE BIB
HC	HOLLOW CORE
HDCP	HANDICAP(PED)
HDWD	HARDWOOD
HDWE	HARDWARE
HK	HOUSEKEEPING
HM	HOLLOW METAL
HMF	HOLLOW METAL FRAME
HORIZ	HORIZONTAL(LY)
HPT	HIGH POINT
HR	HOUR
HTG	HEATING
HVAC	HEATING/VENTILATION/AIR CONDITIONING
HW	HOT WATER
ICCMU	INTEGRALLY COLORED CMU
ID	INSIDE DIAMETER
INCH	INCH
INCAND	INCANDESCENT
INSUL	INSULATION
INT	INTERIOR
INTRM	INTERMEDIATE
INV	INVERT
JAN	JANITOR
JST	JOIST
JT	JOINT
KD	KNOCKED DOWN
KIT	KITCHEN
KO	KNOCK OUT
KP	KICK PLATE
L	LONG/LENGTH
LAB	LABORATORY
LAM	LAMINATE(D)
LAV	LAVATORY
LB(S)	POUND(S)
LC	LEAD COATED
LCKR	LOCKER
LEV	LEVEL
LF	LINEAR FOOT (FEET), LIGHT FIXTURE
LG	LONG/LENGTH
LH	LEFT HANDED
LIN	LINOLEUM
LP	LIGHT POLE
LPT	LOW POINT
LT	LIGHT
LT WT	LIGHT WEIGHT
LVT	LUXURY VINYL TILE
MACH	MACHINE
MAS	MASONRY
MATL	MATERIAL
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MEX	MATCH EXISTING
MEMB	MEMBRANE
MEP	MECHANICAL ELECTRICAL PLUMBING
MET/MTL	METAL
MEZZ	MEZZANINE
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MOD	MODIFIED
MR	MOISTURE RESISTANT
MTD	MOUNTED
MTG	MOUNTING
MW	MICROWAVE
N	NORTH
NC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NRC	NOISE REDUCTION COEFFICIENT
NTS	NOT TO SCALE
OA	OVERALL/OUTSIDE AIR
OC	ON CENTER
OD	OUTSIDE DIAMETER/OVERFLOW DRAIN
OFCD	OWNER FURNISHED, CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED, OWNER INSTALLED
OH	OPPOSITE HAND
OHMS	OVAL HEAD MACHINE SCREW
OHWS	OVAL HEAD WOOD SCREW
OPER	OPERABLE
OPNG	OPENING
OPP	OPPOSITE
OSD	OPEN SITE DRAIN
OZ	OUNCE
P	PATCH
PBD	PARTICLE BOARD
PC	PRECAST
PCP	PORTLAND CEMENT PLASTER

PERF	PERFORATED
PSI	PIPE GUARD
PKT	POCKET
PL	PLATE/PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLYMD	PLYWOOD
PNL	PANEL
POL	POLISHED
PR	PAIR
PRCST	PRECAST
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	POINT
PTD	PAINTED
PTN	PARTITION
PVC	POLYVINYL CHLORIDE
PVG	PAVING
PWD	PLYWOOD
QT	QUARRY TILE
QTY	QUANTITY
R	RISER/REGISTER
RA	RETURN AIR
RAD/R	RADIUS
RBR	RUBBER
RCP	RELECTED CEILING PLAN
RD	ROOF DRAIN
RECPT	RECEPIACLE
REF	REFERENCE
REFRIG	REFRIGERATOR
REG	REGISTER
REINF	REINFORCE(MENT)(ING)
REQD	REQUIRED
RESL	RESILIENT
RET	RETURN
RETG	RETAINING
REV	REVISION, REVERSE
RF	REFINISH
RFG	ROOFING
RH	ROBE HOOK/RIGHT HAND
RL	RAIN LEADER
RM	ROOM
RO	ROUGH OPENING/ROUND
RV	RESILIENT VENTILATED
RWC	RAIN WATER CONDUCTOR
S	SOUTH/SINK
SUPPLY	SUPPLY AIR
SAB	SOUND ATTENUATION BLANKETS
SAD	SEE ARCHITECTURAL DRAWINGS
SC	SEALED CONCRETE / SOLID CORE
SCH	SCHEDULE
SCWD	SOLID CORE WOOD DOOR
SD	SMOKE DETECTOR
SECT	SECTION
SF	SQUARE FOOT (FEET)
SFT	STRUCTURAL FACING TILE
SHT	SHOWER
SHT	SHEET
SHTG	SHEATHING
SHVLG	SHELVING
SM	SIMILAR
SLNT	SEALANT
SM	SHEETMETAL
SMD	SEE MECHANICAL DRAWINGS
SMS	SHEET METAL SCREW
SPD	SEE PLUMBING DRAWINGS
SPEC	SPECIFICATION(S)
SPKR	SPEAKER
SQ	SQUARE
SS	STAINLESS STEEL
SSD	SEE STRUCTURAL DRAWINGS
STC	SOUND TRANSMISSION CLASS(FICATION)
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUC	STRUCTURAL
SUSP	SUSPEND(ED)/SUSPENSION
SYM	SYMMETRICAL
SYS	SYSTEM
SWG	SWINGING
T	TREAD
TB	TOWEL BAR
TBD	TACKBOARD
TEL	TELEPHONE
TEMP	TEMPERED
TER	TERRAZZO
TF	TRANSPARENT FINISH
TG/T&G	TONGUE & GROOVE
THK	THICK(NESS)
THRES	THRESHOLD
TO	TOP OF
TOC	TOP OF CONCRETE/CURB
TOS	TOP OF SLAB/STEEL
TOW	TOP OF WALL
TV	TELEVISION
TWP	TRANSLUCENT WALL PANEL
TYP	TYPICAL
UC	UNDERCUT
UH	UNIT HEATER
UL	UNDERWRITER'S LABORATORIES INC.
UNFIN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UR	URINAL
VAR	VARIES
VB	VAPOR BARRIER
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL(LY)
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VRB	VENTED RUBBER BASE
VIN	VINYL
VT	VINYL TILE
VWC	VINYL WALL COVERING
W	WEST/WIDE/WIDTH
W/O	WITHOUT
WOM	WOMEN
WC	WATER CLOSET
WD	WOOD
WG	WIREGLASS
WH	WALL HYDRANT/WATER HEATER
WP	WATERPROOFING
WS	WEATHERSTRIPPING
WSCOT	WAINSCOT
WT	WEIGHT
WWF	WELED WIRE FABRIC



MATERIALS LEGEND

	EARTH
	GRAVEL
	CONCRETE
	CMU/ACM/GCMU
	COMMON/FACE BRICK
	CUT STONE
	CAST STONE
	TERRAZZO
	STEEL (LARGE SCALE)
	ALUMINUM (LARGE SCALE)
	BRASS/BRONZE (LARGE SCALE)
	FINISH LUMBER
	CONTINUOUS WOOD FRAMING OR BLOCKING
	DISCONTINUOUS WOOD BLOCKING OR SHIMS
	PLYWOOD
	SEMI-RIGID/BATT/LOOSE INSULATION/SAFING
	RIGID INSULATION
	GLASS (LARGE SCALE)
	CERAMIC/QUARRY TILE
	CARPET
	ACOUSTICAL TILE OR CEILING PANEL
	SEALANT & BACKER ROD
	SAND/MORTAR/GROUT/GYPSUM BOARD/STUCCO

I am responsible for determining that the architectural designs included in this application are in compliance with all relevant laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the preparation of, the architectural designs included in this application.

CDI

1492 Northern Neck Dr.
Vienna, Virginia 22182
C: 703 624 3597 T: 703 624 6638

1434 WISCONSIN AVE NW

WASHINGTON, DC 20007

Lot: 0836 Square:1244

NO.	DESCRIPTION	DATE

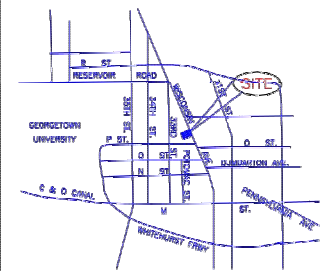
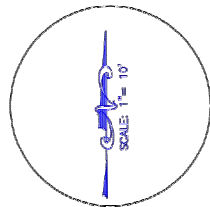
ABBREVIATIONS, SYMBOLS
VICINITY MAP

SCALE

DATE 03 AUG 2020

OG 19-292/ HPA 19-591

A002



VICINITY MAP
SCALE: NOT TO SCALE

CDI

1492 Northern Neck Dr.
Vienna, Virginia 22182
C: 703 624 3597 T: 703 624 6638

1434 WISCONSIN AVE NW

WASHINGTON, DC 20007

Lot: 0836 Square: 1244

NO.	DESCRIPTION	DATE

SURVEYOR PLAT

SCALE

DATE 3 AUG 20

OG 19-292/ HPA 19-591

A003

DENGL MARK
WASA SEWER MANHOLE
ON DUMBARTON STREET, N.W.
WASHINGTON DC
TOP=84.24
INV.=72.54

UTILITY DISCLAIMER

THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



Scale 1" = 10'

LEGEND

- UNKNOWN MANHOLE
- PEPCO MANHOLE
- SEWER MANHOLE
- TELEPHONE MANHOLE
- WATER MANHOLE
- FIRE HYDRANT
- GAS VALVE
- GAS METER
- LIGHT POLE
- UTILITY POLE
- WATER METER
- WATER VALVE
- MONITORING WELL
- ELECTRIC POWER LINE
- GAS LINE
- SEWER LINE
- TELEPHONE LINE
- WATER LINE
- CHAIN LINK FENCE
- WOOD FENCE
- OVER HEAD WIRE

UTILITY COMPANIES

PEPCO ELECTRIC POWER CO.
701 BR. STREET, N.W.
WASHINGTON D.C. 20008
202-331-8237

GAS SERVICE
WASHINGTON GAS COMPANY
8901 INDUSTRIAL RD
SPRINGFIELD VA. 22151
703-765-1000

TELEPHONE SERVICE
VERIZON
3801 CALVERTON BOULEVARD
BELTSVILLE, MD. 20705
301-585-8052

SEWER & WATER SERVICE
D.C. WATER & SEWER AUTHORITY
3000 OVERLOOK AVENUE, S.W.
WASHINGTON, D.C. 20002

DRAWN	R.P.
DESIGNED	
CHECKED	A.H.
SCALE	1" = 10'

AAH CONSULTANTS LLC

4200 FORBES BLVD, SUITE 111

TANHAM, MARYLAND 20706

301-429-1750 (PH) 301-429-1757 (FAX)

ENGINEERS
SURVEYORS
CONSULTANTS

#1434 WISCONSIN AVENUE, N.W.

EXISTING CONDITION

LOT 836
SQUARE 1244

WASHINGTON, DC.

DATE	08-08-19
SHEET	1 OF 1
JOB No.	19-094

GENERAL NOTES:

- TOTAL AREA OF PROPERTY BY RECORD 1,093.0 SQ. FT..
- APPROXIMATE AREA OF BUILDING FOOTPRINT 733.0 SQ. FT..
- FLOOD ZONE DESIGNATION "C" MINIMAL HAZARD FEMA FLOOD INSURANCE MAP PANEL NO. 110001 0012C.
- TOTAL NUMBER OF PARKING/CARRIAGE SPACES ON SITE - 0
- PROPERTY MEASURED DIMENSIONS SUBJECT TO MODIFICATION AND/OR VERIFICATION BY THE OFFICE OF THE SURVEYOR OF THE DISTRICT OF COLUMBIA.

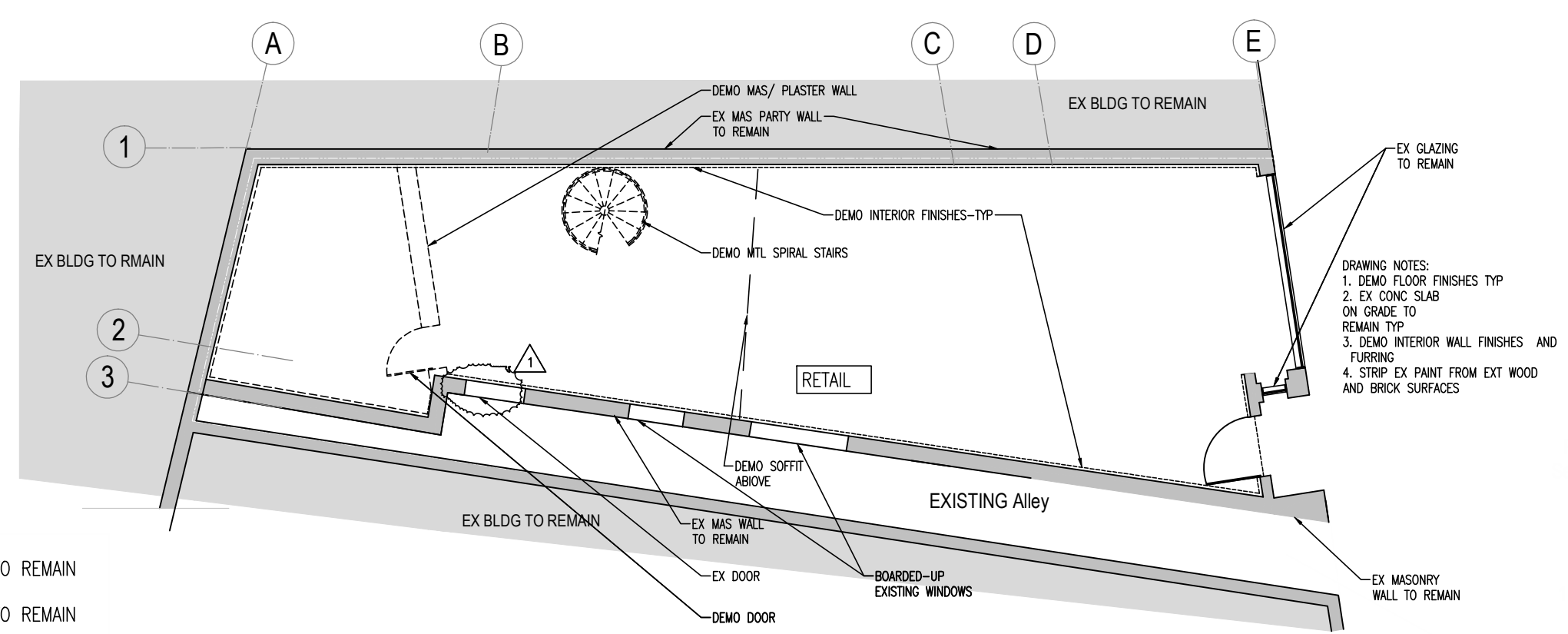
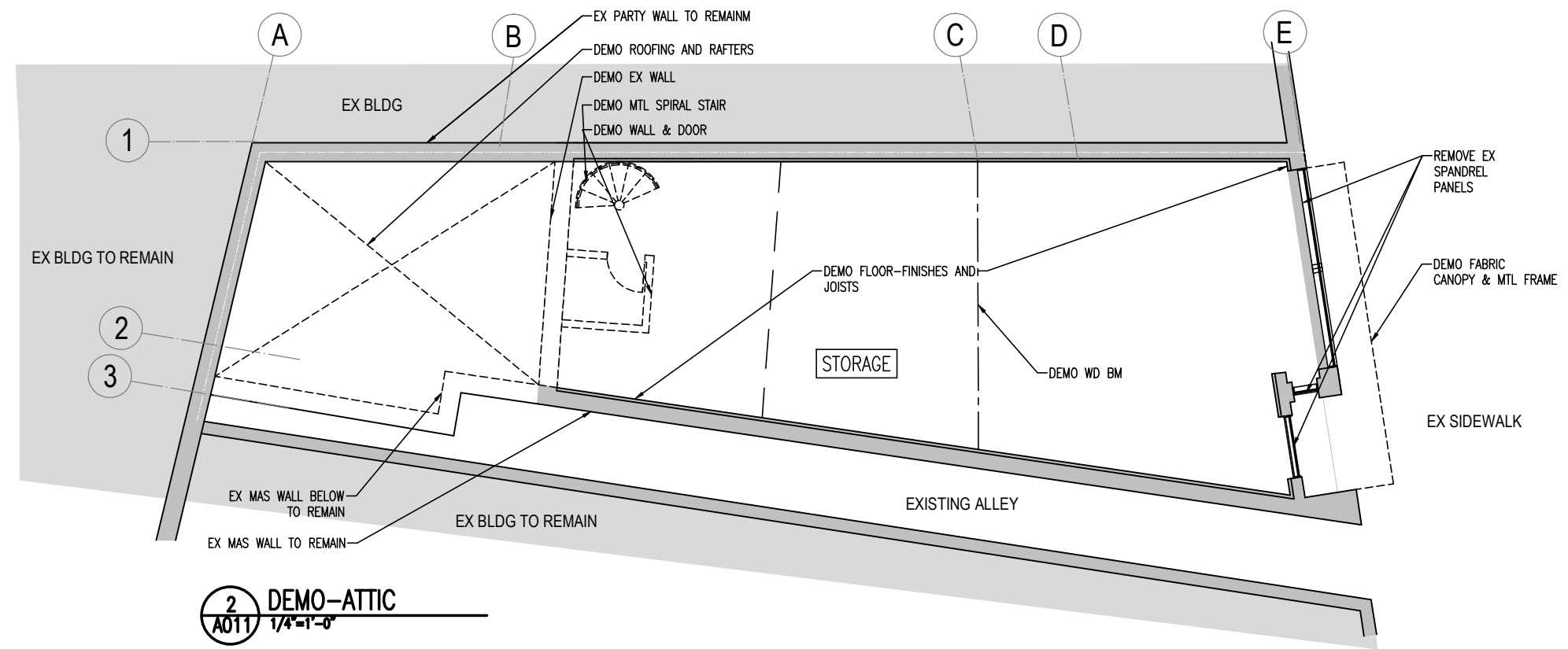
CERTIFICATE

I HEREBY CERTIFY THAT THE POSITION OF THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT-TAPE SURVEY.

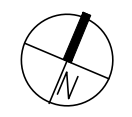
ANDREW HUSBANDS
PROFESSIONAL LAND SURVEYOR No. 904611



I am responsible for determining that the architectural designs included in this application are in compliance with all relevant laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the preparation of, the architectural designs included in this application.



- EXISTING AREA TO REMAIN
- EXISTING WALL TO REMAIN
- ITEM TO BE DEMO'D



I am responsible for determining that the architectural designs included in this application are in compliance with all relevant laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the preparation of, the architectural designs included in this application.

CDI
 1492 Northern Neck Dr.
 Vienna, Virginia 22182
 C: 703 624 3597 T: 703 624 6638

1434 WISCONSIN AVE NW
 WASHINGTON, DC 20007
 Lot: 0836 Square:1244

NO	DESCRIPTION	DATE
1	DCRA	14 SEP 20

DEMO 1ST- ATTIC
 PLANS

SCALE	
DATE	3 AUG 20

A011

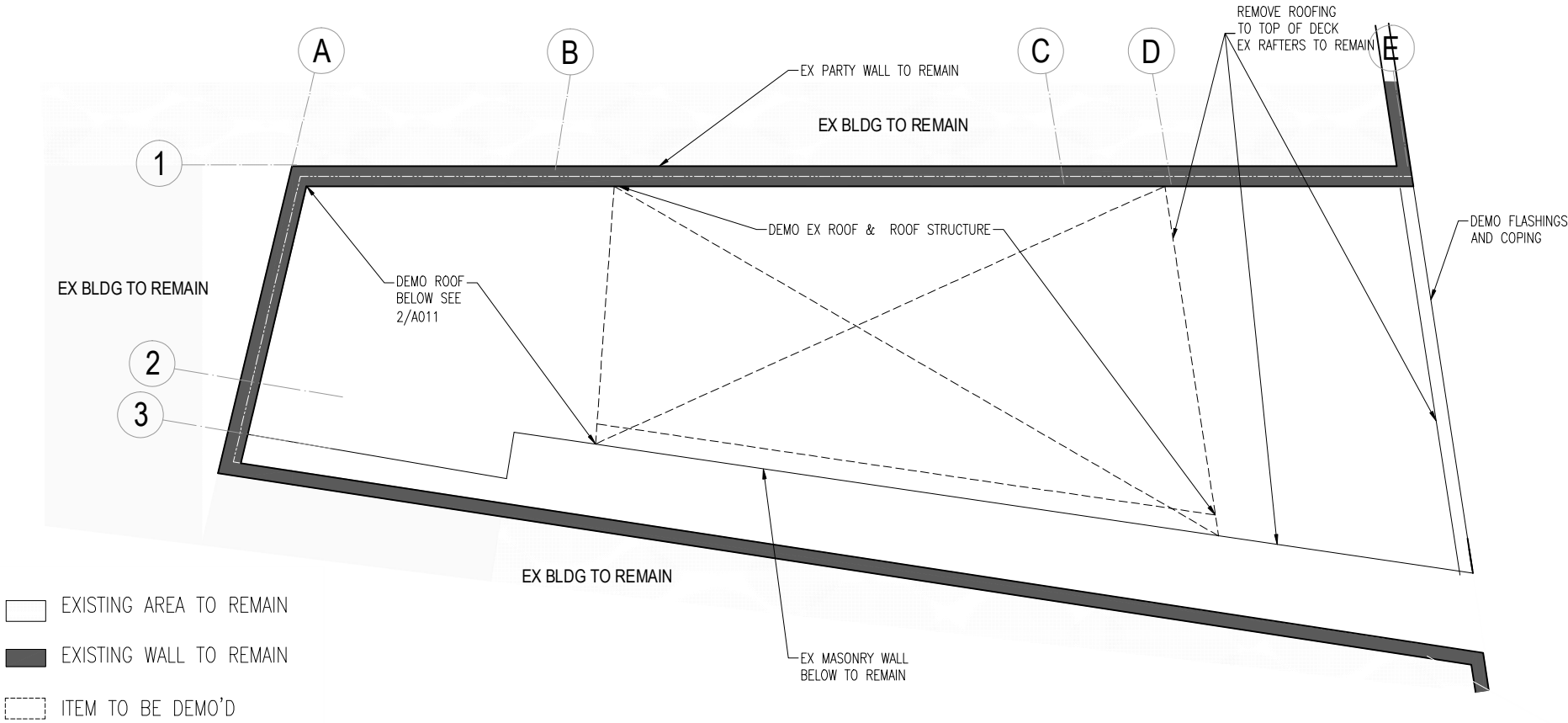
CDI

1492 Northern Neck Dr.
Vienna, Virginia 22182
C: 703 624 3597 T: 703 624 6638

1434 WISCONSIN AVE NW

WASHINGTON, DC 20007

Lot: 0836 Square: 1244



1 DEMO-ROOF PLAN
A012 1/8"=1'-0"



I am responsible for determining that the architectural designs included in this application are in compliance with all relevant laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the preparation of, the architectural designs included in this application.

NO.	DESCRIPTION	DATE

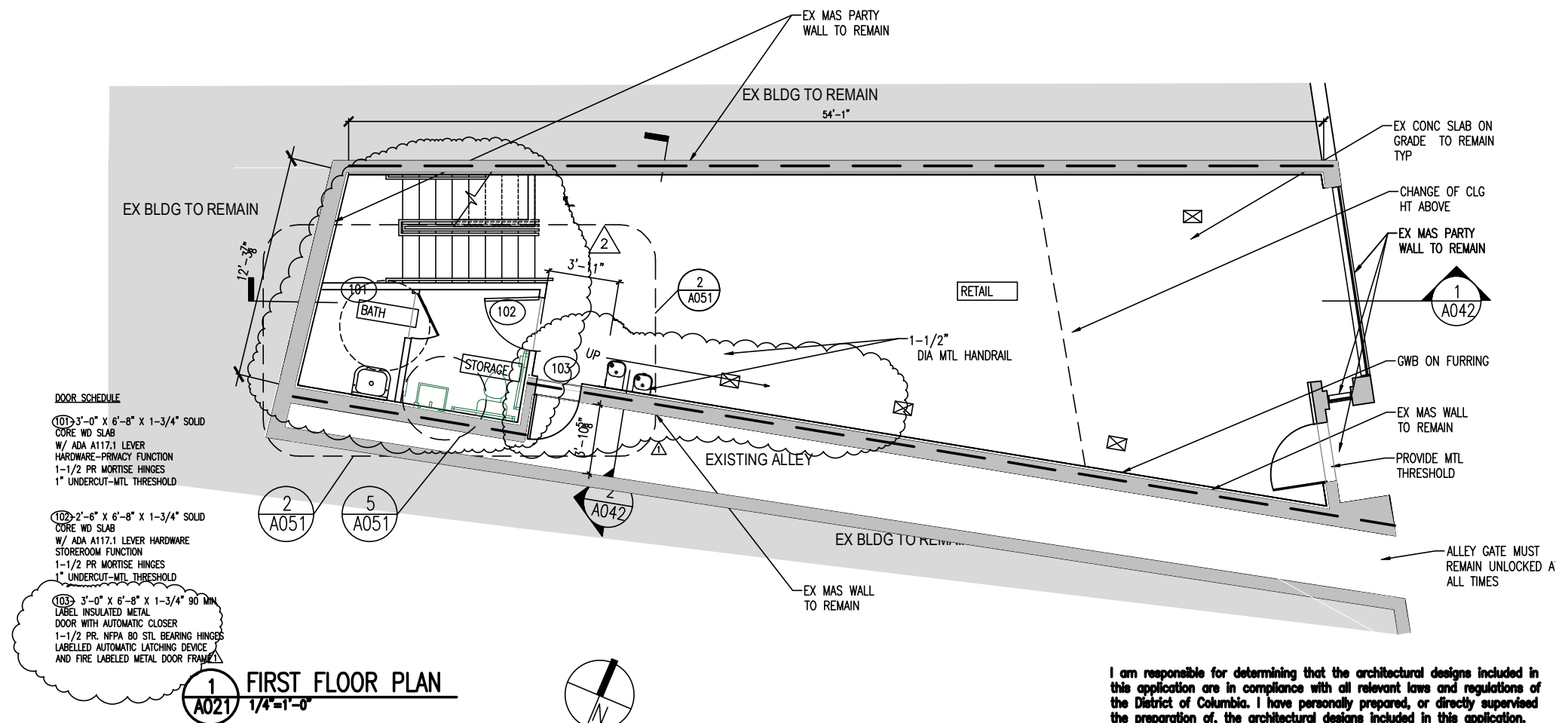
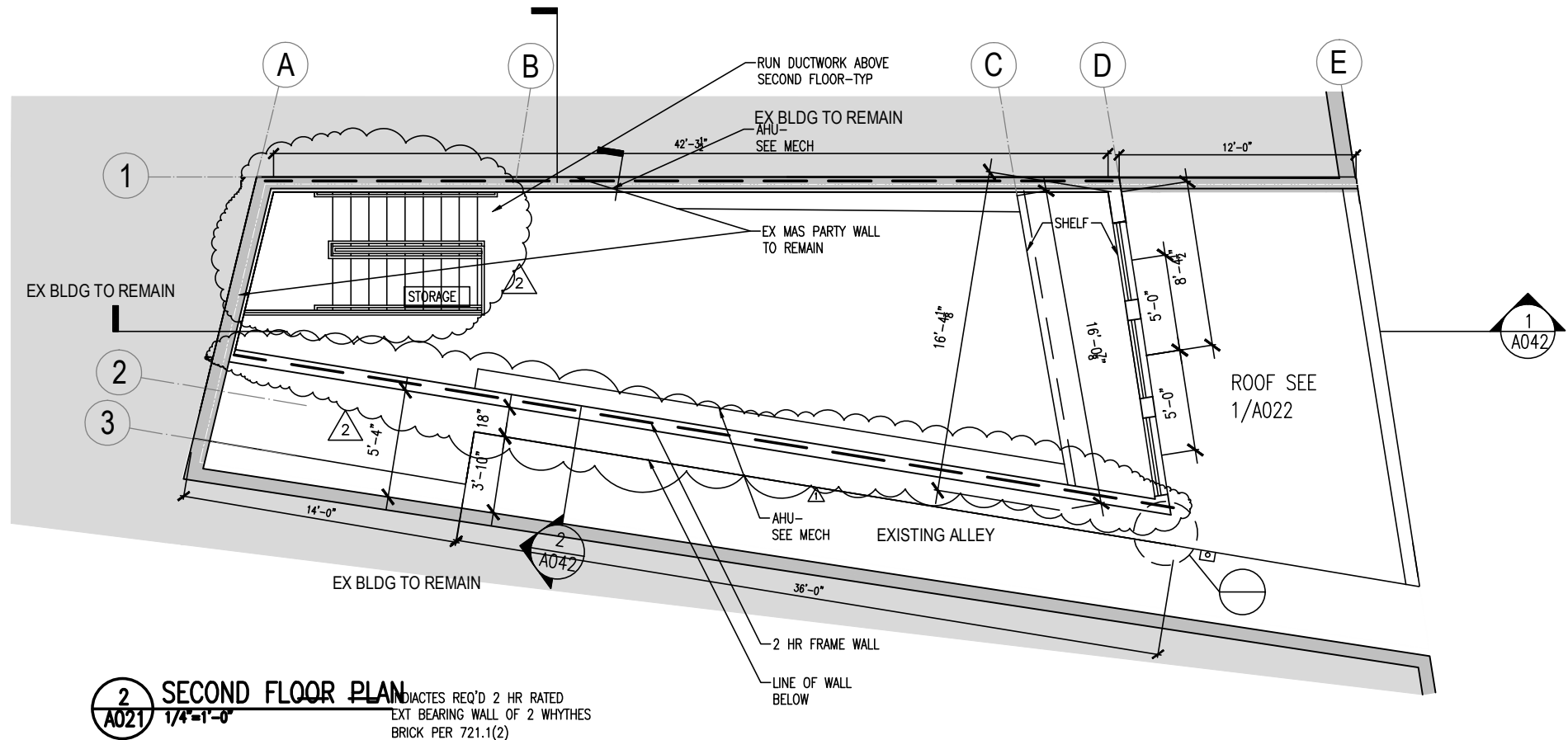
DEMO ROOF

SCALE

DATE 3 AUG 20

OG 19-292/ HPA 19-591

A012



CDI

1492 Northern Neck Dr.
Vienna, Virginia 22182
C: 703 624 3597 T: 703 624 6638

1434 WISCONSIN AVE NW

WASHINGTON, DC 20007

Lot: 0836 Square: 1244

[illegible]

FLOOR PLANS

SCALE

DATE 3 AUG 20

A021

I am responsible for determining that the architectural designs included in this application are in compliance with all relevant laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the preparation of, the architectural designs included in this application.

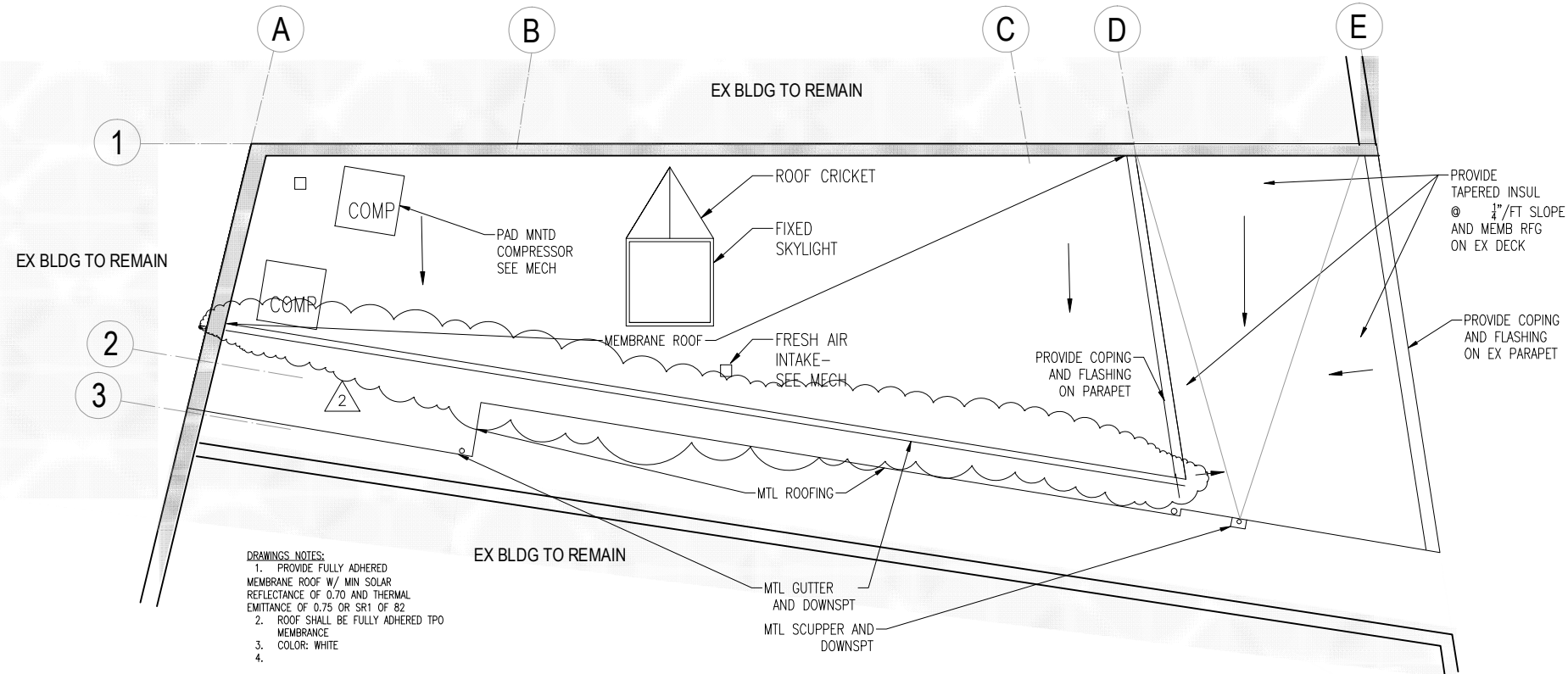
CDI

1492 Northern Neck Dr.
Vienna, Virginia 22182
C: 703 624 3597 T: 703 624 6638

1434 WISCONSIN AVE NW

WASHINGTON, DC 20007

Lot: 0836 Square: 1244



1
A022

ROOF PLAN

1/4"=1'-0"



I am responsible for determining that the architectural designs included in this application are in compliance with all relevant laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the preparation of, the architectural designs included in this application.

NO.	DESCRIPTION	DATE
1	13 OCT 20	

ROOF PLAN

SCALE

DATE 3 AUG 20

OG 19-292/ HPA 19-591

A022

ELECTRICAL DEVICES

\$

SINGLE POLE SWITCH

s

3 WAY SWITCH

s

4 WAY SWITCH

⊖

WALL MTD LIGHT

⊗

RECESSED CAN LIGHT

⊙

SURFACE MTD LIGHT

●

PENDANT LIGHT

⊗

FAN/LIGHT

⊕

QUAD OUTLET

⊖

DUPLEX OUTLET

⊖

SWITCHED LEG OUTLET

⊖

GFI OUTLET

SD

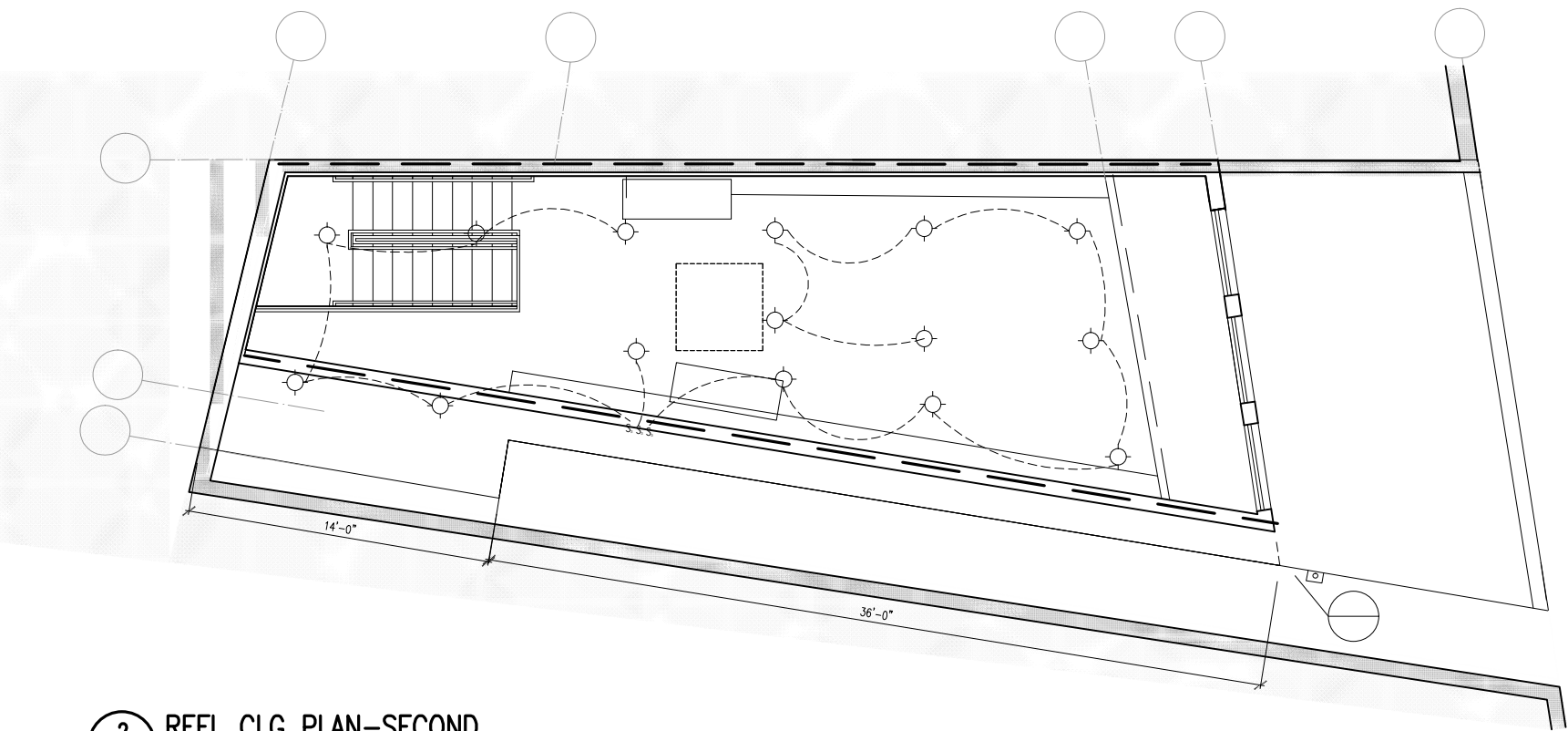
SMOKE DETECTOR

XF

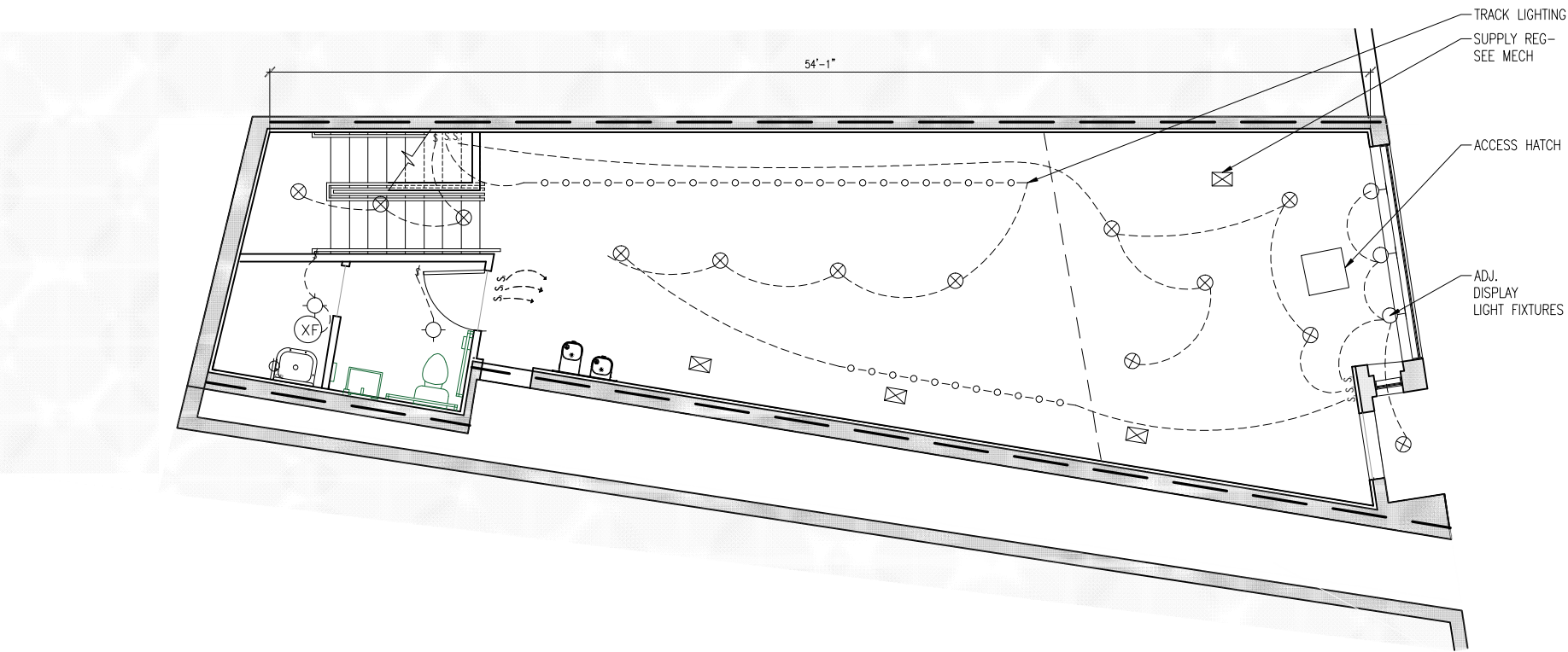
EXHAUST FAN

CO

CARBON MONOXIDE DETEC



2 REFL CLG PLAN-SECOND
A031 1/4"=1'-0"



1 REFL CLG PLAN-FIRST
A031 1/4"=1'-0"



I am responsible for determining that the architectural designs included in this application are in compliance with all relevant laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the preparation of, the architectural designs included in this application.

CDI

1492 Northern Neck Dr.
Vienna, Virginia 22182
C: 703 624 3597 T: 703 624 6638

1434 WISCONSIN AVE NW

WASHINGTON, DC 20007

Lot: 0836 Square: 1244

NO.	DESCRIPTION	DATE
1	DCRA	14 SEP 20
2	13 OCT 20	

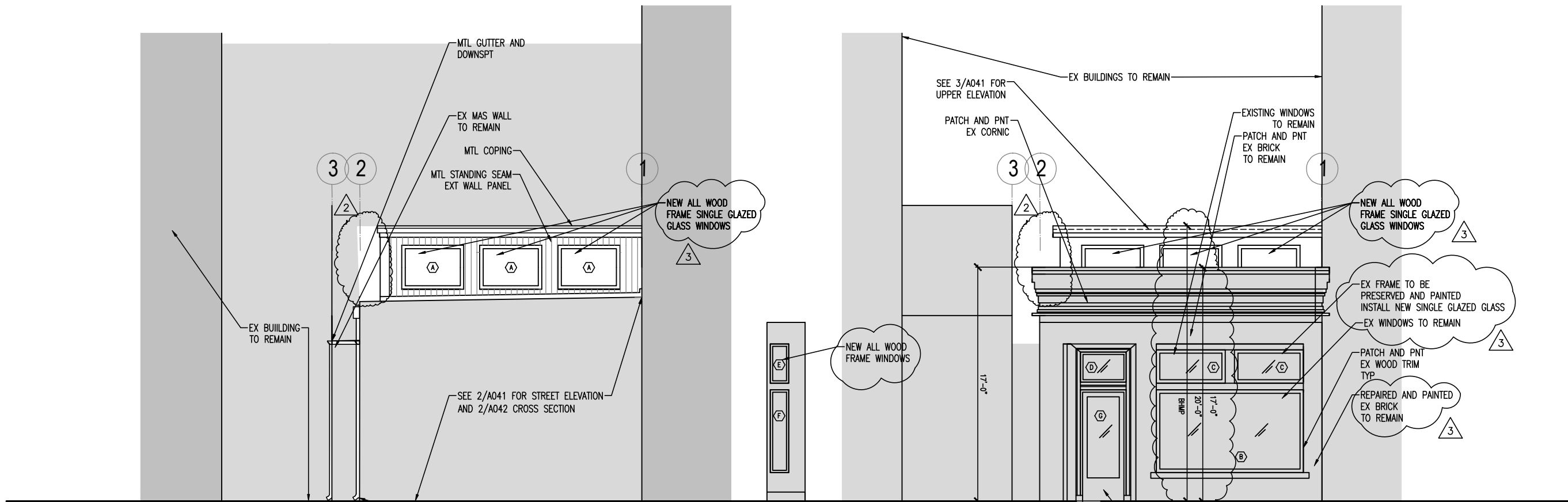
REFL CLG PLANS

SCALE

DATE 3 AUG 20

OG 19-292/ HPA 19-591

A031



3 UPPER FRONT ELEVATION
A041 1/4"=1'-0"

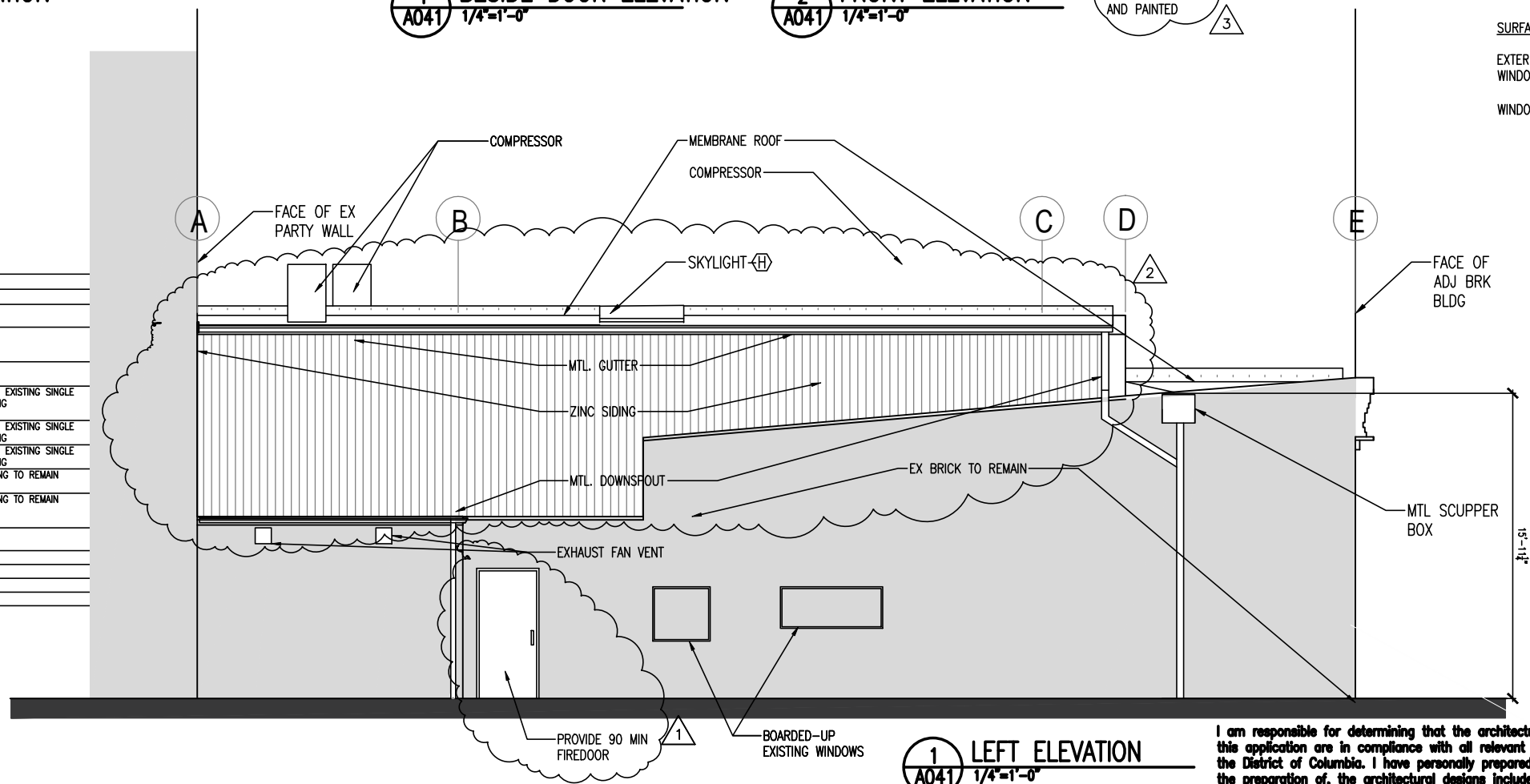
4 BESIDE DOOR ELEVATION
A041 1/4"=1'-0"

2 FRONT ELEVATION
A041 1/4"=1'-0"

- DRAWINGS NOTES:
1. U FACTORS OF FENESTRATION PRODUCTS SHALL BE DETERMINED IN ACCORDANCE WITH THE NFRC OR DEFAULT TABLE VALUES
 2. FENESTRATION SHALL BE LISTED AND LABELED AS MEETING AAMA/WDMA/CSA 101/IS 2/A440 OR DOES NOT EXCEED CODE LIMITS PER NFRC 400
 3. GLAZING IN EXISTING ELEVATION SHALL BE CLEAR SINGLE GLASS PER OLD GEORGETOWN BOARD

WINDOW SCHEDULE ANDERSEN SERIES E WINDOWS UNO

MK	MODEL #	OPENING SIZE	OPENING EX/NEW	WALL	FUNC	U FACTOR	SHGC	SAFETY GLASS	NOTES
A	CMP4034	4'-0-1/2"x3'-4 1/2"	NEW	FRM	FXD	0.38	0.40	NO	
B	EX	EXISTING TO REMAIN							
C	ONLY GLASS REPLACEMENT	2'-0" X 5'-0" GLASS SIZE							MATCH EXISTING SINGLE GLAZING
D	CUSTOM	3'-4" X 2'-9" GLASS SIZE							MATCH EXISTING SINGLE GLAZING
E	CUSTOM	1'-0" X 1'-11" GLASS SIZE							MATCH EXISTING SINGLE GLAZING
F	EX	EXISTING TO REMAIN							EXISTING TO REMAIN
G	EX								EXISTING TO REMAIN
H	FCM 4646	3'-10 1/2"x3'10 1/2"	NEW		FXD	0.50	0.40	YES	VELUX



1 LEFT ELEVATION
A041 1/4"=1'-0"

SURFACE AREA TABLE

EXTERIOR WALLS-	1558 SF
WINDOWS	162 SF
WINDOW/WALL AREA	10.4%

I am responsible for determining that the architectural designs included in this application are in compliance with all relevant laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the preparation of, the architectural designs included in this application.

CDI

1492 Northern Neck Dr.
Vienna, Virginia 22182
C: 703 624 3597 T: 703 624 6636

1434 WISCONSIN AVE NW

WASHINGTON, DC 20007

Lot: 0836 Square: 1244

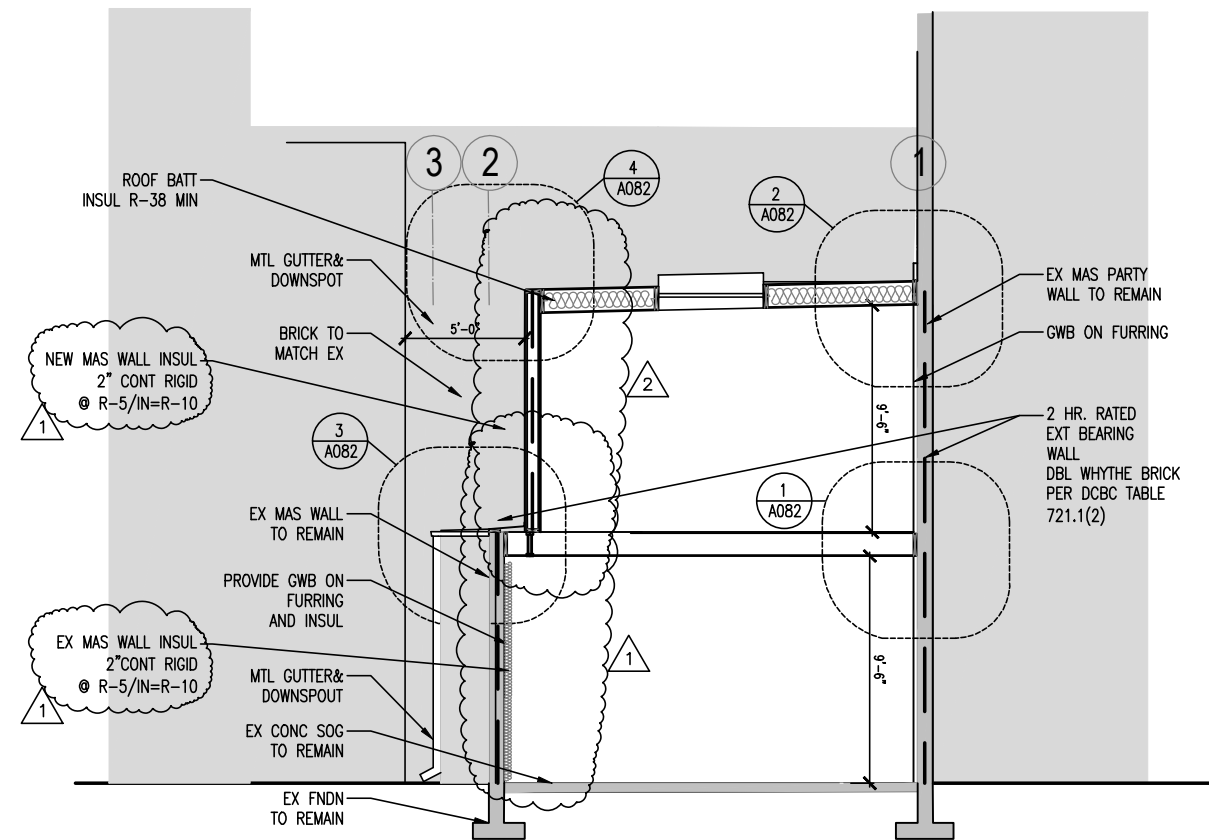
NO	DESCRIPTION	DATE
1	DCRA	14 SEP 20
2	13 OCT 20	
3	20 OCT 20	

ELEVATIONS

SCALE

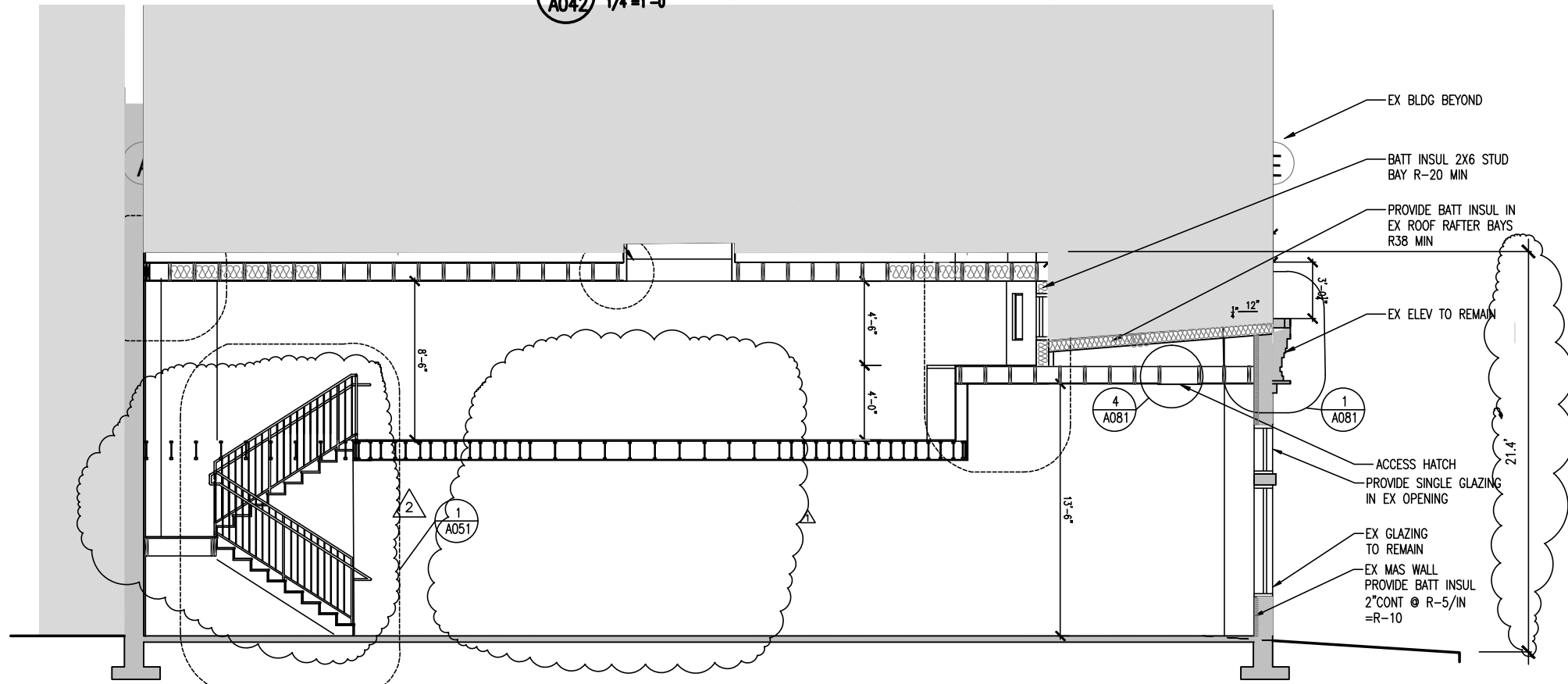
DATE 3 AUG 20

A041



- DRAWINGS NOTES:**
1. INSTALL EXT INSUL PER MFGR INSTRUCTIONS
 2. INSTALL AIR & THERMAL BARRIERS PER MFGR INSTRUCTIONS
 3. ALL INSUL PRODUCTS SHALL HAVE R-VALUES LABELLED ON THE PRODUCTS OR WITH R-VALUES PROVIDED.
 4. PROVIDE BLOWER DOOR TEST TO VERIFY $ACH \leq 5$ ACH @ 50PA
 5. INT GWB SHALL ACT AS AIR BARRIER PER 402.4.2.1.7
 6. CAULK ALL PENETRATIONS OF GWB AIR BARRIER

2 CROSS SECTION
A042 1/4"=1'-0"



1 LONGITUDINAL SECTION
A042 1/4"=1'-0"

I am responsible for determining that the architectural designs included in this application are in compliance with all relevant laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the preparation of, the architectural designs included in this application.

CDI

1492 Northern Neck Dr.
Vienna, Virginia 22182
C: 703 624 3597 T: 703 624 6638

1434 WISCONSIN AVE NW

WASHINGTON, DC 20007

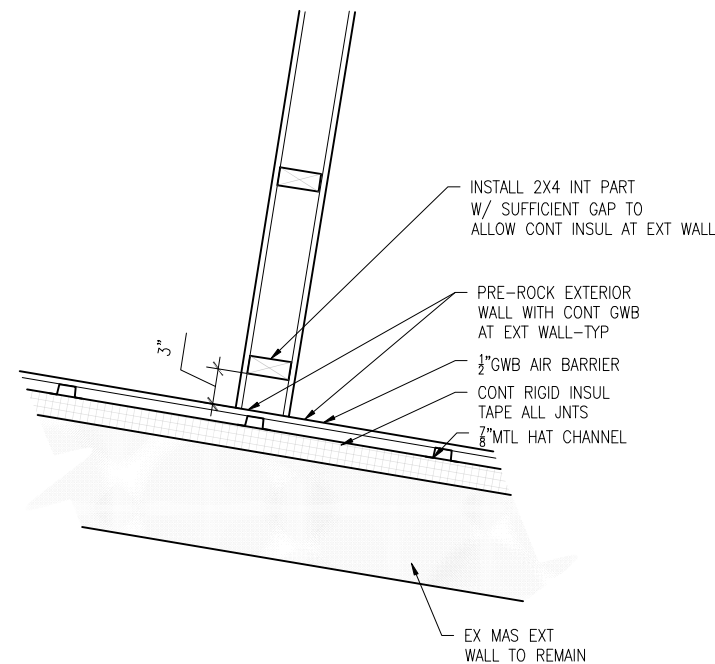
Lot: 0836 Square:1244

NO.	DESCRIPTION	DATE
1	DCA	14 SEP 20
2	13 OCT 20	

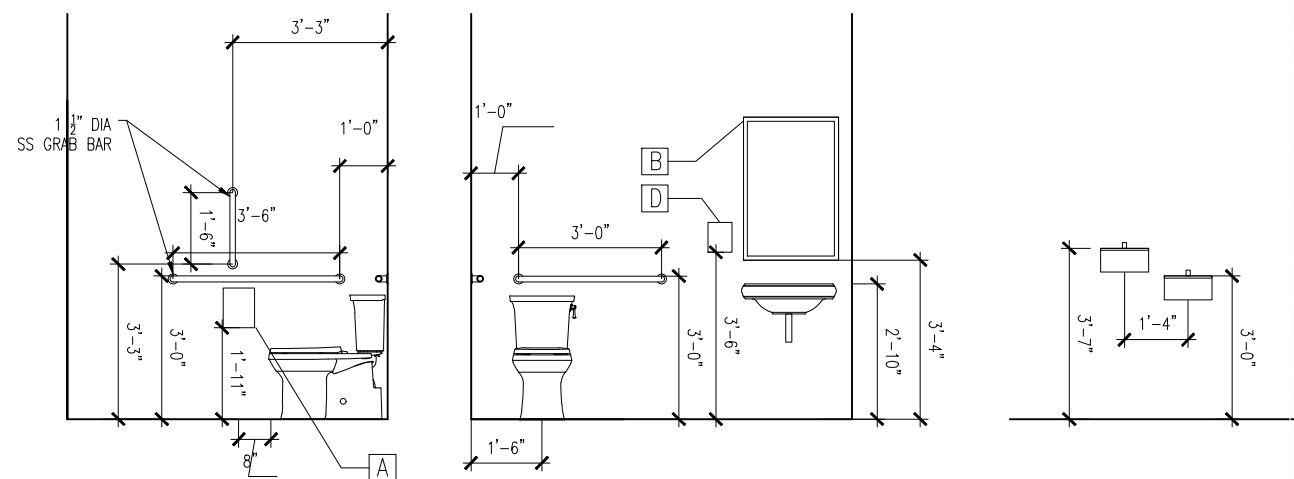
BLDG SECTIONS

SCALE	
DATE	3 AUG 20

A042



5 PLAN DETAIL
A051 1/2"=1'-0"



3 ADA TOILET ELEVATION
A051 1/2"=1'-0"

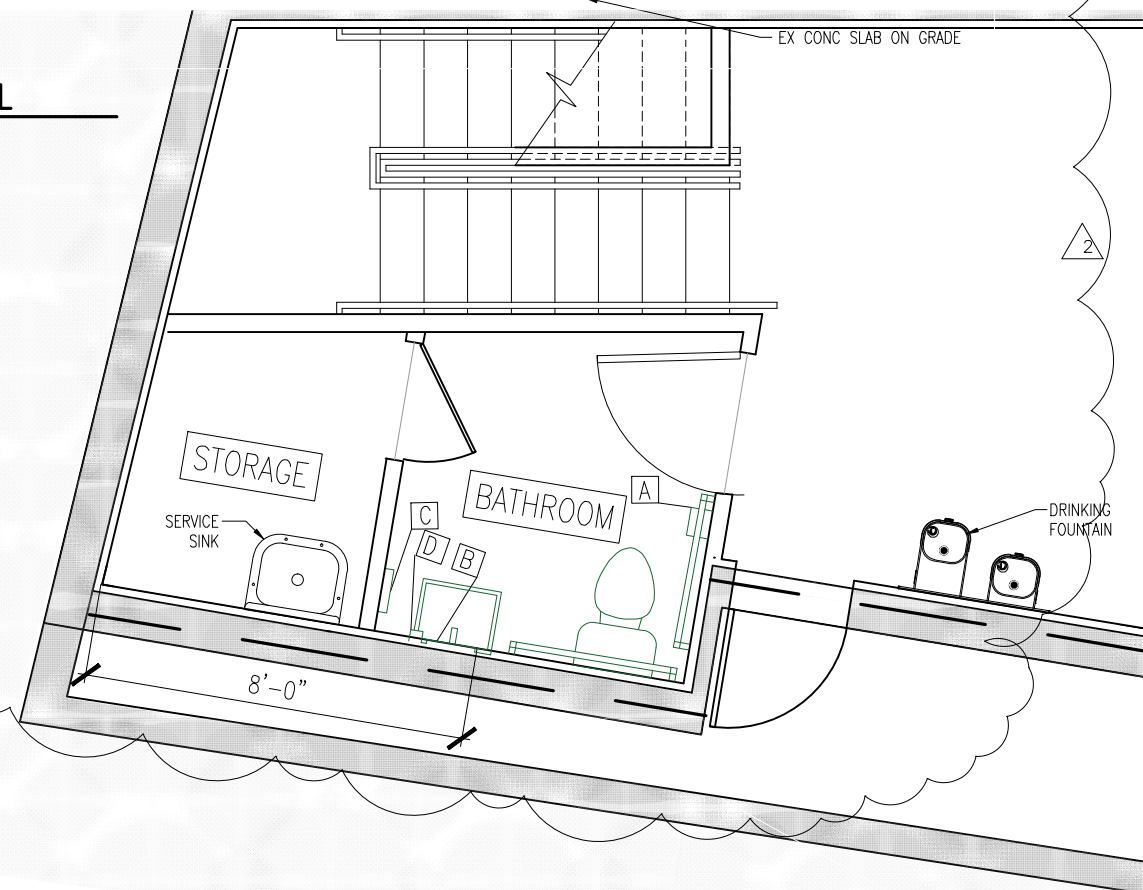
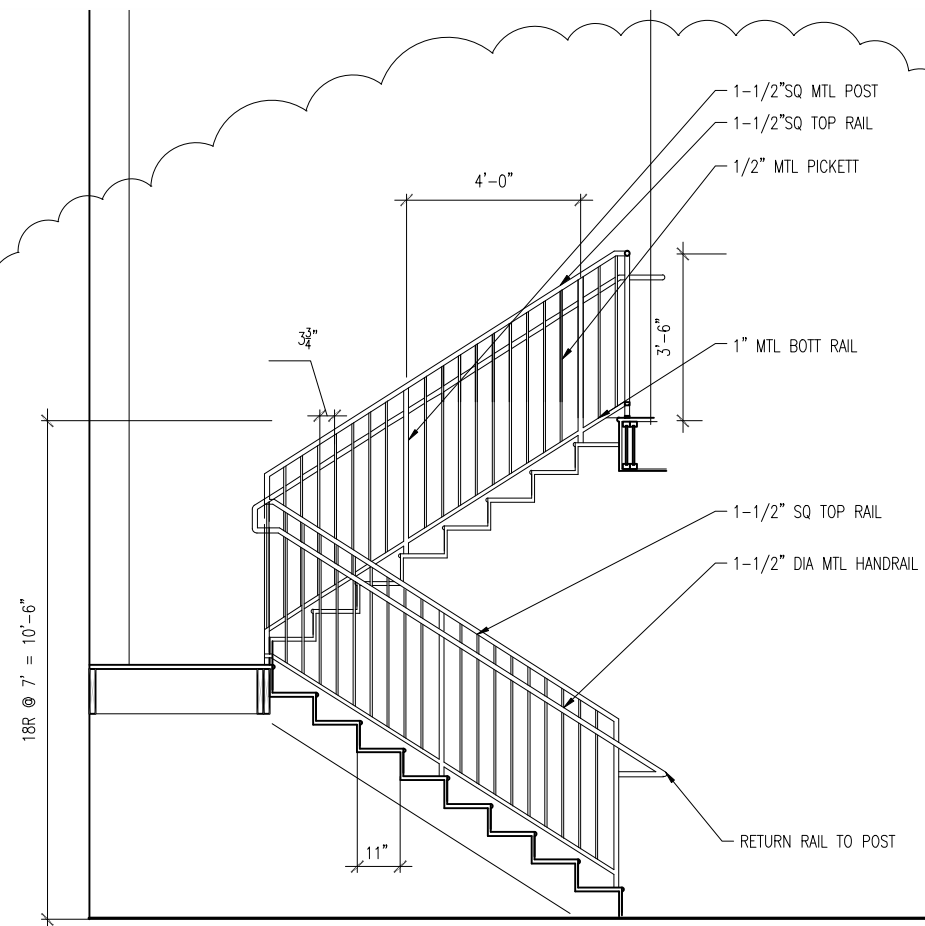
4 DRINKING FOUNTAIN
A051 1/2"=1'-0"

2 BATHROOM
A051 1/2"=1'-0"

ACCESSORIES:

- [A.] TP DISPENSER
BOBRICK #B-3474
- [B.] MIRROR
BOBRICK #B-290
- [C.] PAPER TOWEL DISPENSER
BOBRICK #B-263
- [D.] SOAP DISPENSER
BOBRICK #B-40

1 STAIR DETAIL
A051 1/2"=1'-0"



CDI

1492 Northern Neck Dr.
Vienna, Virginia 22182
C. 703 624 3597 T. 703 624 6638

1434 WISCONSIN AVE NW

WASHINGTON, DC 20007

Lot: 0836 Square: 1244

NO.	DESCRIPTION	DATE
1	DCRA	14 SEP 20
2	13 OCT 20	

DETAILS

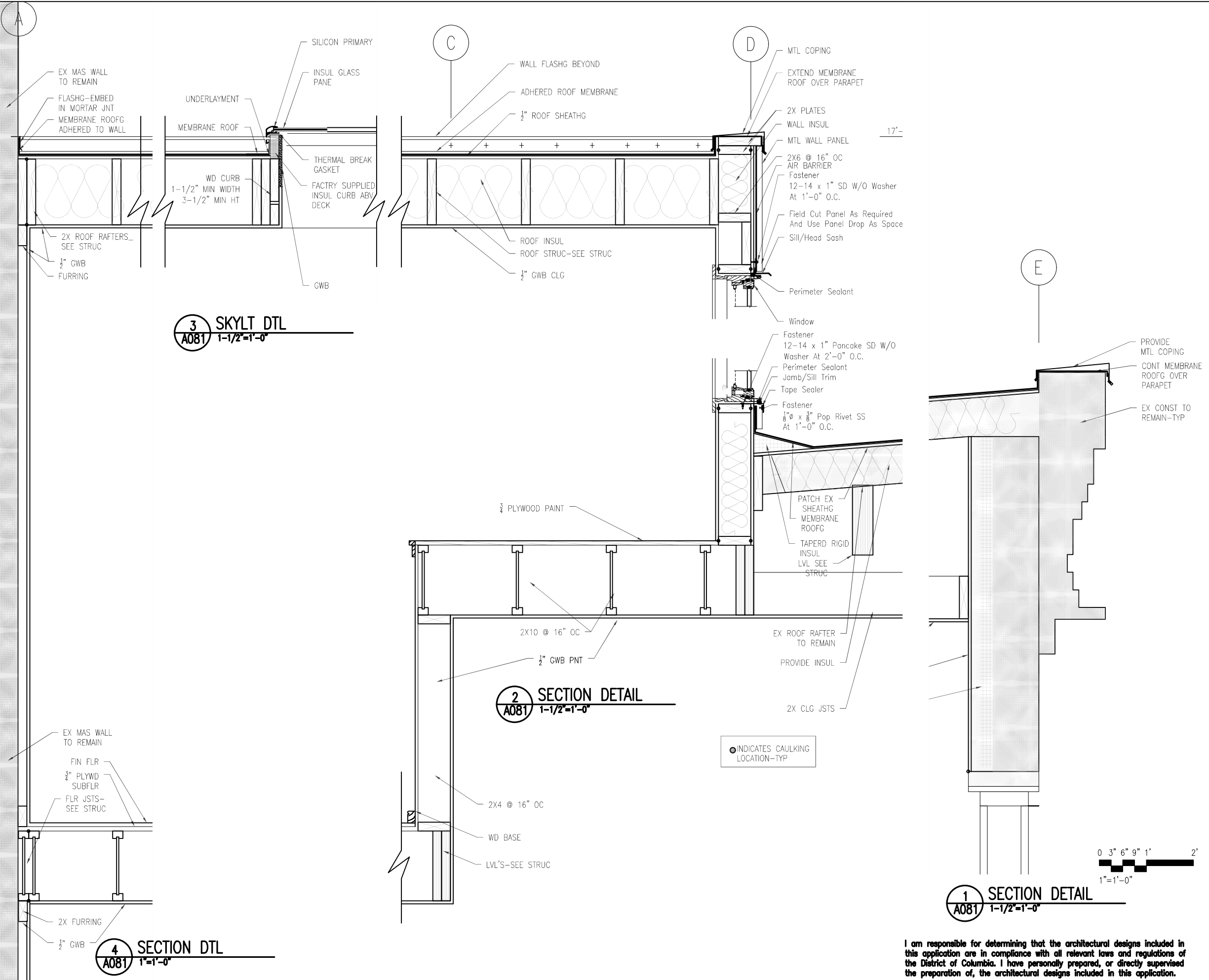
SCALE

DATE 3 AUG 20

OG 19-292/ HPA 19-591

A051

I am responsible for determining that the architectural designs included in this application are in compliance with all relevant laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the preparation of, the architectural designs included in this application.



CDI

1492 Northern Neck Dr.
Vienna, Virginia 22182
C: 703 624 3597 T: 703 624 6638

1434 WISCONSIN AVE NW

WASHINGTON, DC 20007

Square: 1244

Lot: 0836

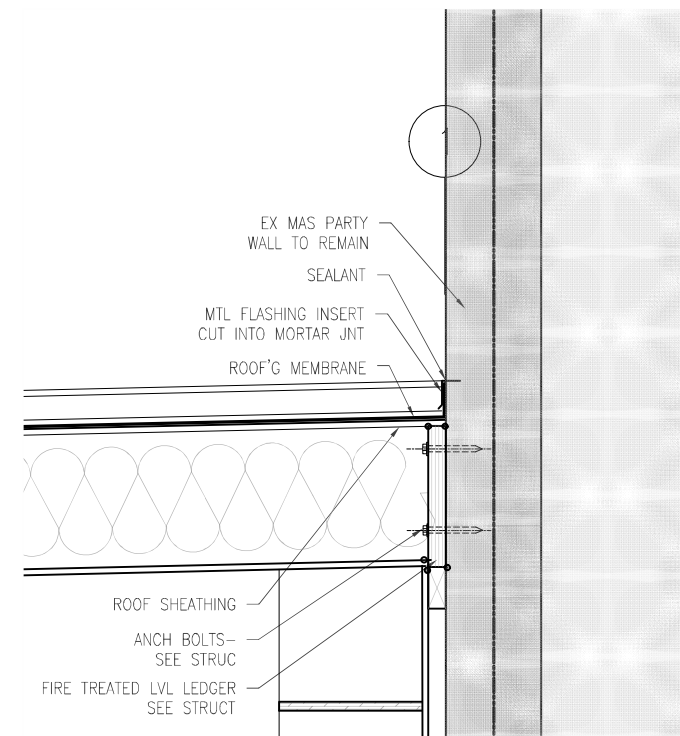
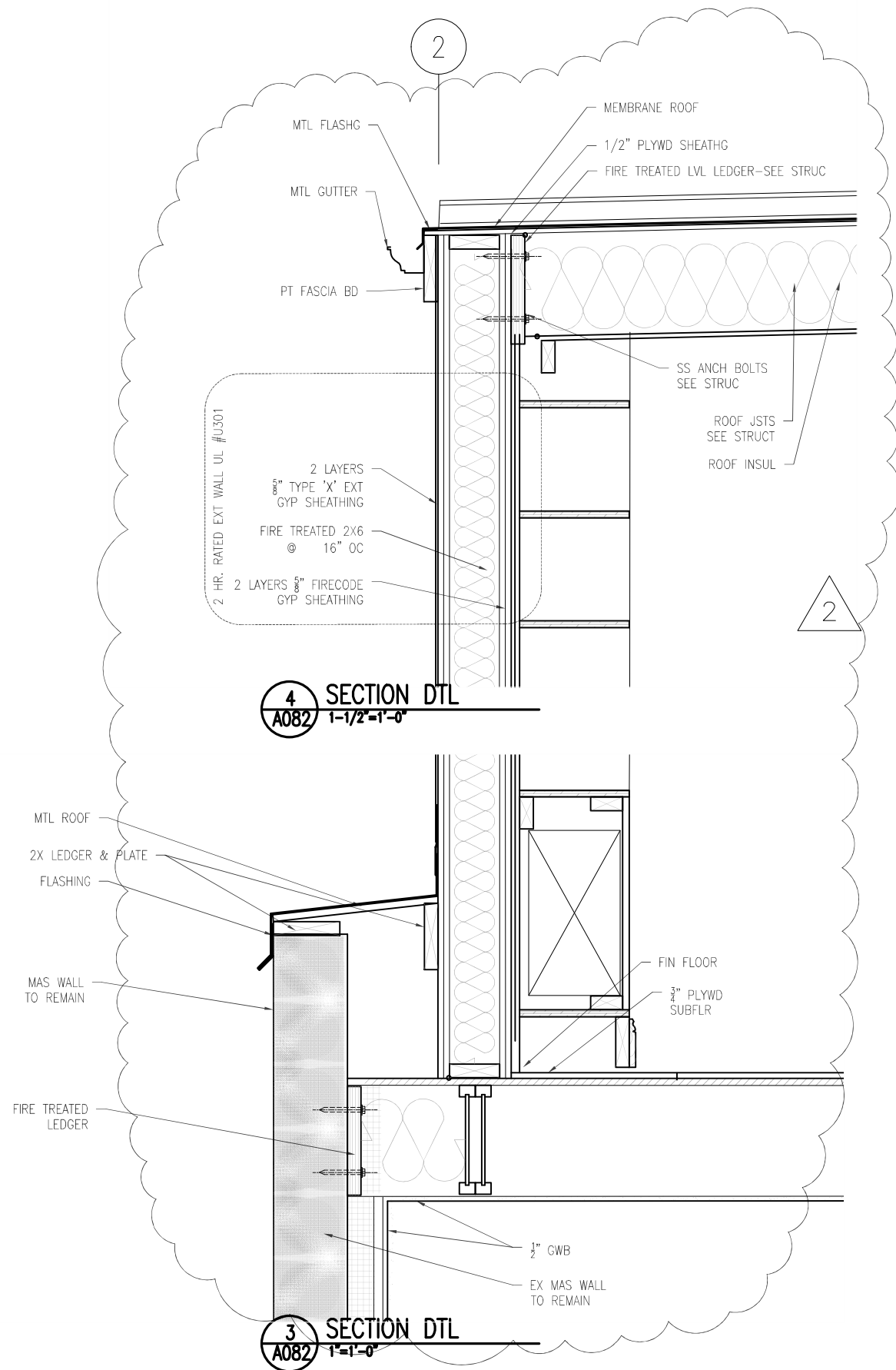
NO.	DESCRIPTION	DATE

SECTION DTLs

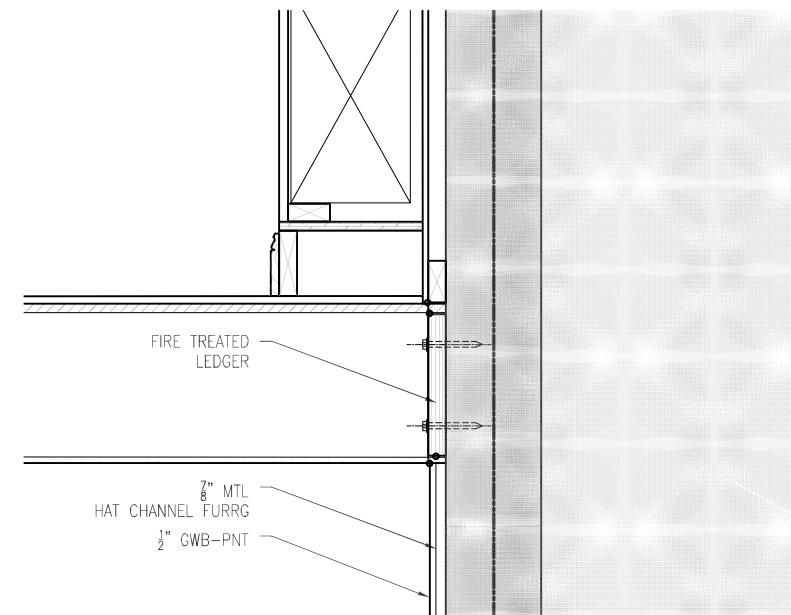
SCALE	
DATE	3 AUG 20
	OG 19-292/ HPA 19-591

A081

I am responsible for determining that the architectural designs included in this application are in compliance with all relevant laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the preparation of, the architectural designs included in this application.



2 SECTION DETAIL
1-1/2"=1'-0"



1 SECTION DETAIL
1-1/2"=1'-0"

I am responsible for determining that the architectural designs included in this application are in compliance with all relevant laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the preparation of, the architectural designs included in this application.

CDI

1492 Northern Neck Dr.
Vienna, Virginia 22182
C: 703 624 3597 T: 703 624 6638

1434 WISCONSIN AVE NW

WASHINGTON, DC 20007

Lot: 0836 Square: 1244

NO.	DESCRIPTION	DATE
1/A	13 OCT 20	

SECTION DTLS

SCALE	
DATE	3 AUG 20
OG 19-292/ HPA 19-591	

A082



EXISTING FIRST FLOOR



EXISTING SECOND FLOOR



FRONT EXISTING ELEVATION



SIDE ALLEY



BOARDED-UP EXISTING WINDOWS



ENTRANCE DOOR



CDI

1492 Northern Neck Dr.
Vienna, Virginia 22182
C: 703 624 3597 T: 703 624 6638

1434 WISCONSIN AVE NW

WASHINGTON, DC 20007

Lot: 0836 Square: 1244

NO.	DESCRIPTION	DATE

PICTURES

SCALE	
DATE	3 AUG 20
OG 19-292/ HPA 19-591	

I am responsible for determining that the architectural designs included in this application are in compliance with all relevant laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the preparation of, the architectural designs included in this application.

OFFICE OF THE SURVEYOR

Plat for Building Permit of: SQUARE 1244 LOT 836

Scale: 1 inch = 10 feet

Recorded in Book Survey 112 Page 147

Receipt No. 20-06302 Drawn by: A.S.

Furnished to: PETER F. VANDERPOEL

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

- 1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
- 2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application _____; and

- 3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot. I also hereby certify that:

1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;

2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;

3) I have/have not (*circle one*) filed a subdivision application with the Office of the Surveyor;

4) I have/have not (*circle one*) filed a division of lots application with the Office of Tax & Revenue; and

5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.

Plats issued by the Office of the Surveyor will be valid for a period of two years from the date of issuance. I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

“I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s).”

Peter F. Vanderpoel

Surveyor, D.C.

Signature: _____

Date: _____

Printed Name: _____

Relationship to Lot Owner: _____

If a registered design professional, provide license number _____ and include stamp below.

