

3415 P ST NW
WASHINGTON, DC, 20007

ISSUE FOR PERMIT

10/15/2020

//3877



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ABBREVIATIONS

A.D.	AREA DRAIN	FE(C).	FIRE EXTINGUISHER (CABINET)	PNL	PANEL
AB.	ANCHOR BOLT	FF.	FINISHED FLOOR	POL	POLISH (POLISHED)
ABV.	ABOVE	FIN.	FINISH	PR	PAIR
ACC.	ACCESS	FL	FLOOR	PREFAB.	PREFABRICATED
ACOUS.	ACOUSTICAL	FLEX.	FLEXIBLE	PRTM.	PARTITION
ACT.	ACOUSTICAL CEILING TILE	FLSG.	FLASHING	PSF.	POUNDS PER SQUARE FOOT
ADJ.	ADJUSTABLE	FLUOR.	FLUORESCENT	PSI.	POUNDS PER SQUARE INCH
AFF.	ABOVE FINISH FLOOR	FR.	FRAME	PT.	POINT
AHU.	AIR HANDLING UNIT	FRFP.	FIREPROOFING	PTD.	PAINTED
ALT.	ALTERNATE	FRT.	FIRE RETARDANT TREATED	PSP	PATTERN START POINT
ALUM.	ALUMINUM	FT.	FOOT (FEET)	QT.	QUANTITY
ANC.	ANCHORS	FTG.	FOOTING	QTY.	QUANTITY
AP	ACCESS PANEL	FVC.	FIRE VALVE CABINET	R.	RISER
APPROX.	APPROXIMATELY	G.C.	GENERAL CONTRACTOR	RAD.	RADIUS
ARCH.	ARCHITECT	GA.	GAUGE	RD.	ROOF DRAIN
AUTO.	AUTOMATIC	GALV.	GALVANIZED	REF.	REFRIGERATOR
AVG.	AVERAGE	GB.	GYPNUM BOARD	REINF.	REINFORCED (ING)
B.	BATHROOM	GL.	GLASS	REQ.	REQUIRED
BC	BRICK COURSE	GR.	GRADE	RES.	RESILIENT
B.O.	BY OWNER	GYP. BRD.	GYPNUM BOARD	REV.	REVISE (REVISION)
BD.	BEAD	HB.	HOSE BIB	RM.	ROOM
BIT.	BITUMINOUS	HC.WD.	HOLLOW CORE WOOD	RO.	ROUGH OPENING
BLDG.	BUILDING	HD.	HEAVY DUTY	RTU.	ROOF TOP UNIT
BLK.	BLOCK	HDWD.	HARDWOOD	S.	SOUTH
BLKG.	BLOCKING	HDWR.	HARDWARE	S.STL. OR S.S.	STAINLESS STEEL
BM.	BEAM	HGT.	HEIGHT	SC. WD.	SOLID CORE WOOD
BOT.	BOTTOM	HML.	HOLLOW METAL	SCHED.	SCHEDULED
BRD.	BOARD	HORIZ.	HORIZONTAL	SECT.	SECTION
BRKT.	BRACKET	HP.	HIGH POINT	SF.	SQUARE FEET (FOOT)
BSL.	BUILDING SETBACK LINE	HR.	HOOR	SHR.	SHOWER
BSMT.	BASEMENT	HVAC.	HEAT VENTILATING AIR COND.	SHEET	SHEET
BU.	BUILT UP	ID.	INSIDE DIAMETER	SIM.	SIMILAR
CAB. CABT.	CABINET	INCL.	INCLUDE (ING)	SL.	SOLID
CEM.	CEMENT (TIOUS)	INST.	INSTALLATION	SQ.	SQUARE
CF.	CUBIC FEET (FOOT)	INSUL.	INSULATION	SSK.	SERVICE SINK
CJ.	CAST IRON	INT.	INTERIOR	STA.	STATION
CL.	CONTROL JOINT	JAN.	JANITOR	STC.	SOUND TRANSMISSION CLASS
CL.	CLOSET	JB.	JUNCTION BOX	STD.	STANDARD
CLG.	CEILING	JST.	JOIST	STL.	STEEL
CLL.	CONTRACT LIMIT LINE	JT.	JOINT	STOR.	STORAGE
CLR.	CLEAR	KD.	KNOCK DOWN	STRUCT.	STRUCTURAL
CMU.	CONCRETE MASONRY UNIT	KIT.	KITCHEN	SUSP.	SUSPENDED
CNR.	CORNER	KO.	KNOCK OUT	SW.	SWITCH
CO.	CLEAN OUT	LAM.	LAMINATE (ED)	SYS.	SYSTEM
COL.	COLUMN	LAV.	LAVATORY	T&G.	TONGUE AND GROOVE
CONC.	CONCRETE	LIN.	LINEAR (LINEAL)	TEL	TELEPHONE
CONST.	CONSTRUCTION	LP.	LOW POINT	TEMP.	TEMPERED
CONT.	CONTINUOUS	LT.	LIGHT	THK.	THICK
CPT.	CARPET	LW.	LIGHTWEIGHT	THR.	THRESHOLD
CS.	COURSES	MACH.	MACHINE	TLT.	TOILET
CT.	CERAMIC TILE	MAINT.	MAINTENANCE	TR.	TREAD
CTR.	CENTER	MATL.	MATERIAL	TV.	TELEVISION
CTSK.	COUNTERSUNK	MAX.	MAXIMUM	TYP.	TYPICAL
DBL.	DOUBLE	MDF.	MEDIUM DENSITY FIBERBOARD	U.N.O.	UNLESS NOTED OTHERWISE
DEPT.	DEPARTMENT	MECH.	MECHANICAL	UL.	UNDERWRITER'S LABORATORIES INC.
DET.	DETAIL	MEMBR.	MEMBRANE	UNF.	UNFINISHED
DF.	DRINKING FOUNTAIN	MET. MTL.	METALLIC OR METAL	UR.	URINAL
DIA.	DIAMETER	MEZZ.	MEZZANINE	UTL.	UTILITY
DIFF.	DIFFUSER	MFR.	MANUFACTURER	V.I.F.	VERIFY IN FIELD
DIM.	DIMENSION	MIN.	MINIMUM	VCT.	VINYL COMPOSITION TILE
DISP.	DISPENSER	MISC.	MISCELLANEOUS	VERT.	VERTICAL
DIV.	DIVISION (DIVIDED)	MILDG.	MOULDING	VEST.	VESTIBULE
DN.	DOWN	MO.	MASONRY OPENING	W.	WEST
DR.	DOOR	MOD.	MODIFIED	W/	WITH
DS.	DIVIDER STRIP	MTD.	MOUNTED (MOUNTING)	W/O	WITHOUT
DW.	DISHWASHER	N.	NORTH	WD.	WOOD
DWG.	DRAWING	NIC.	NOT IN CONTRACT	WH.	WATER HEATER
DWR.	DRAWER	NO.	NUMBER	WP.	WATERPROOFING
E.	EAST	NRC.	NOISE REDUCTION COEFFICIENT	WR.	WATER RESISTANT
EA.	EACH	NTS.	NOT TO SCALE	WT.	WEIGHT
EJ.	EXPANSION JOINT	OA.	OVERALL		
EL.	ELEVATION	O.C.	ON CENTER		
ELEC.	ELECTRICAL	O.D.	OUTSIDE DIAMETER		
ELEV.	ELEVATOR	OFCL.	OWNER FURNISHED CONTRACTOR INSTALLED		
ENCL.	ENCLOSURE	OFF.	OFFICE		
ENT.	ENTRANCE	OH.	OVERHEAD		
EQ.	EQUAL	OPG.	OPENING		
EQUIP.	EQUIPMENT	OPP.	OPPOSITE		
EW.	ELECTRIC WATER COOLER	PAR.	PARTIAL		
EX.	EXISTING	PED.	PEDESTAL		
EXP.	EXPANSION	PLAS.	PLAS. LAM / P LAM PLASTIC LAMINATE		
EXT.	EXTERIOR	PLYWD.	PLYWOOD		
FD.	FLOOR DRAIN				

PROJECT DIRECTORY

OWNER:	PHILIP CITROEN DANIELLE DUSZCZYSHYN 3415 P ST NW WASHINGTON, DC 20007	GENERAL CONTRACTOR: BOWA NAME 7900 WESTPARK DR SUITE A180 MCLEAN, VA 22012 [T] 703.734.9050
ARCHITECT:	//3877 DAVID SHOVE BROWN, AIA, NCARB 3333 K ST NW, SUITE 60 WASHINGTON, DC 20007 [T] 202.350.4244 [F] 202.350.4245	

BUILDING & CODE INFORMATION

ADDRESS:	3415 P ST NW, WASHINGTON DC 20007
SQUARE:	1253
LOT:	0841
ZONE:	(R-20)
HISTORIC DISTRICT:	GEORGETOWN HISTORIC DISTRICT
BUILDING CATEGORY:	SEMI-DETACHED
EXISTING USE:	RESIDENTIAL - SINGLE FAMILY DWELLING
PROPOSED USE:	RESIDENTIAL - SINGLE FAMILY DWELLING
CONSTRUCTION TYPE:	VB
YEAR BUILT:	1900
MAX HEIGHT:	35' (40' IF ADJACENT BUILDING IS ALREADY 40' OR GREATER)
EXISTING HEIGHT:	25'
PROPOSED HEIGHT:	NO CHANGE TO EXISTING HEIGHT
MAX % LOT OCCUPANCY:	40%
EXISTING LOT SIZE:	1504 SF
EXISTING LOT COVERAGE:	686 SF
EXISTING % LOT OCCUPANCY:	45.6 %
PROPOSED LOT COVERAGE:	NO CHANGE TO EXISTING LOT COVERAGE
PROPOSED % LOT OCCUPANCY:	NO CHANGE TO EXISTING % LOT OCCUPANCY *
*NOTE: EXISTING STAIRS TO BASMENT COUNT TOWARDS OCCUPANCY AND ARE BELOW OVERHANG. INFILL STAIR FOR INTERIOR SPACE BELOW OVERHANG EQUATES NO CHANGE IN OCCUPANCY.	
MINIMUM REAR YARD:	20'
EXISTING REAR YARD:	35'
PROPOSED REAR YARD:	NO CHANGE TO EXISTING REAR YARD
MIN SIDE YARDS:	SFT (IF PROVIDED)
EXISTING SIDE YARDS:	3' 10"
EXISTING CELLAR:	362 SF
PROPOSED CELLAR:	NO CHANGE TO CELLAR SF
EXISTING FIRST FLOOR:	507 SF
PROPOSED FIRST FLOOR:	553 SF
EXISTING SECOND FLOOR:	530 SF
PROPOSED SECOND FLOOR:	NO CHANGE TO CELLAR SF
EXISTING GROSS SF:	1,704 SF
PROPOSED GROSS SF:	NO CHANGE TO GROSS SF
AUTOMATIC SPRINKLER:	NO
APPLICABLE CODES:	
DC CONSTRUCTION CODE	TITLE 12 DCMR, DC CONSTRUCTION CODE SUPPLEMENT 2017
BUILDING CODE	2017 INTERNATIONAL RESIDENTIAL CODE (IRC) WITH DC AMENDMENTS
EXISTING BUILDING CODE	2017 INTERNATIONAL EXISTING BUILDING CODE (IEBC) WITH DC AMENDMENTS
MECHANICAL CODE	2017 INTERNATIONAL MECHANICAL CODE (IMC) WITH DC AMENDMENTS
PLUMBING CODE	2017 INTERNATIONAL PLUMBING CODE (IPC) WITH DC AMENDMENTS
PROPERTY MAINTENANCE	2017 INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC) WITH DC AMENDMENTS
FIRE CODE	2017 INTERNATIONAL FIRE CODE (IFC) WITH DC AMENDMENTS
ENERGY CONSERVATION	2017 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) - RESIDENTIAL PROVISIONS - WITH DC AMENDMENTS
GREEN CONSTRUCTION	2017 INTERNATIONAL GREEN CONSTRUCTION CODE (IGCC) WITH DC AMENDMENTS

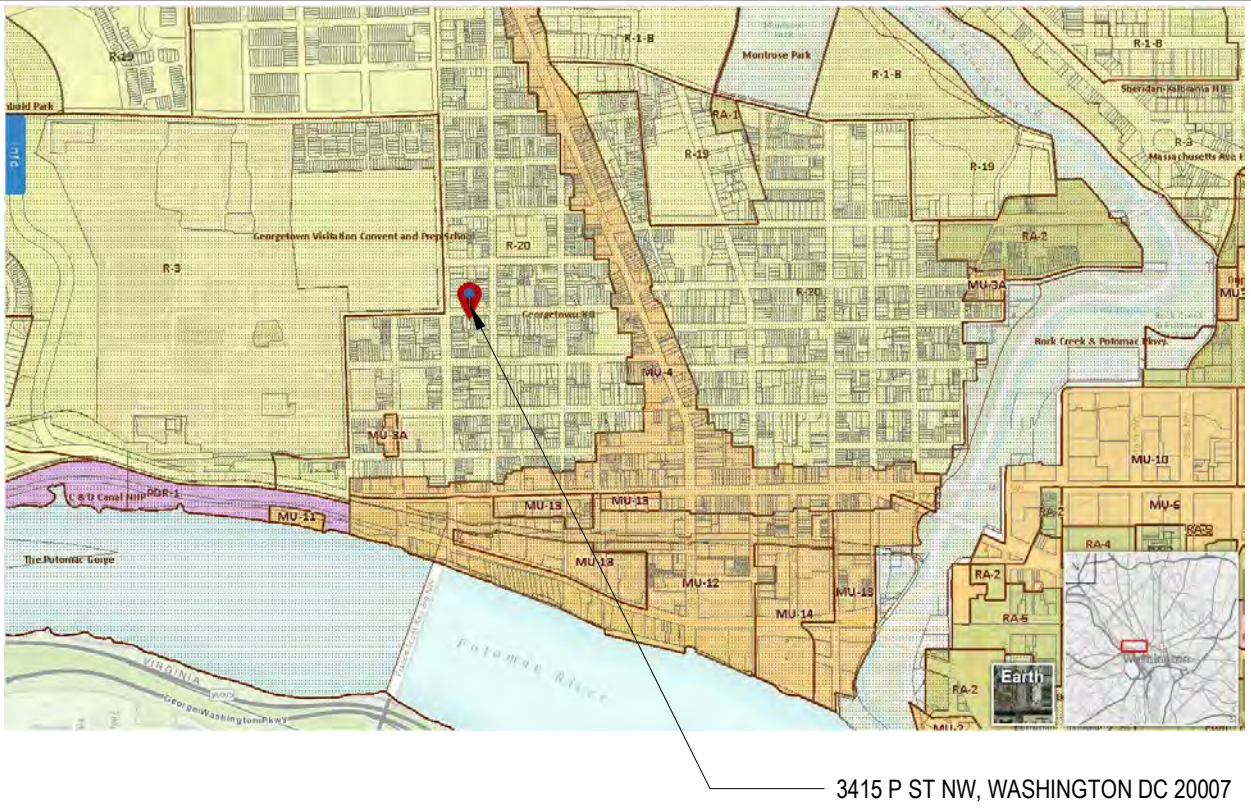
MATERIALS DESIGNATIONS

CONCRETE		CONCRETE
METAL		IRON / STEEL ALUMINUM BRASS / BRONZE
WOOD		FINISHED ROUGH PLYWOOD
STONE		MARBLE - TRAVERTINE - LIMESTONE - SLATE
INSULATION		LOOSE FILL OR BATT RIGID
FINISHES		ACOUSTIC TILE PLASTER, GYP. BD

PROJECT LOCATION



PROJECT ZONING



DRAWING SYMBOLS

	DETAIL NUMBER	TR-XX	TRANSITION TAG
	SHEET NUMBER	ST-XX * WD-XX	MATERIAL DESIGNATION
	INTERIOR ELEVATION MARKER	RM NAME	ROOM NAME
	EXTERIOR ELEVATION MARKER	XXX	ROOM NUMBER
	SHEET NUMBERS		VIEW CALLOUT REFERENCE BUBBLE
	DISCIPLINE DESIGNATOR		DRAWING IDENTIFICATION #
	AT CASEWORK		SHEET NUMBER
	FACE DIMENSION		
	W.I. CABINET NUMBER		
	GRID LINE		
	REVISION CLOUD AND DELTA		
	TEMPERED GLAZING		
	ACCESSIBILITY SYMBOL		
	FLOOR TRANSITION		
	KEYNOTES		
	TAGS		
	WALL TYPE		
	DOOR NUMBER		
	WINDOW TAG		
	LOUVER TAG		
	EQUIPMENT TAG		
	ELECTRICAL FIXTURE		
	PLUMBING FIXTURE		
	FINISH TAG		

SCOPE OF WORK

BASEMENT LEVEL:	- DEMOLITION AND NEW WORK REQUIRED TO INSTALL WASTE LINE FOR NEW POWDER ROOM IN LEVEL 1 - NEW WORK REQUIRED TO INSTALL KITCHEN EXTENSION IN LEVEL 1 ABOVE EXTERIOR BASEMENT STAIR. STAIR TO REMAIN AND NEW FLOOR ABOVE TO BE FRAMED AROUND OPENING. - NEW WORK REQUIRED TO INSTALL NEW ENERGY RECOVER VENTILATOR IN NEWLY ENCLOSED BASEMENT STAIR SPACE.
LEVEL 1:	- DEMOLITION OF LIVING ROOM/DINING ROOM PARTITION. NEW WORK TO PATCH AND REPAIR ADJACENT WALLS, CEILING AND TRIM - PARTIAL DEMOLITION OF LIVING ROOM / BASEMENT STAIR WALL. NEW DOOR INSTALLED. NEW WORK TO PATCH AND REPAIR WALL, REINSTALL ELECTRICAL SWITCH AS REQUIRED - DEMOLITION AND NEW WORK REQUIRED (INTERIOR AND EXTERIOR) TO BUILD AND FURNISH NEW EXPANDED KITCHEN - DEMOLITION AND NEW WORK REQUIRED TO BUILD NEW POWDER ROOM
LEVEL 2:	-DEMOLITION AND WORK REQUIRED TO INSTALL NEW CEILING AND SKYLIGHT ABOVE PREVIOUSLY PERMITTED NEW SECOND LEVEL BATHROOM
ROOF/EXTERIOR	- DEMOLITION AND WORK REQUIRED TO REMOVE EXISTING AC UNIT AND INSTALL NEW UNIT ON ROOF - DEMOLITION AND NEW WORK REQUIRED TO INSTALL BATHROOM SKYLIGHT AND ROOF HATCH - DEMOLITION AND NEW WORK REQUIRED TO BUILD KITCHEN EXTENSION - REPLACEMENT OF EXISTING ROOF COVERING WITH NEW METAL SHEET ROOF. EXISTING ROOF STRUCTURE TO REMAIN



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DRAWING DATA

PROJECT: RESIDENCE3415
ADDRESS: 3415 P ST NW
WASHINGTON, DC, 20007

SHEET SUBMISSION INDEX		
• 10/15/2020 - OGB REVIEW		

REV NO.	REVISION	DATE
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SHEET TITLE: PROJECT INFORMATION

PROJECT NO: 2020.85

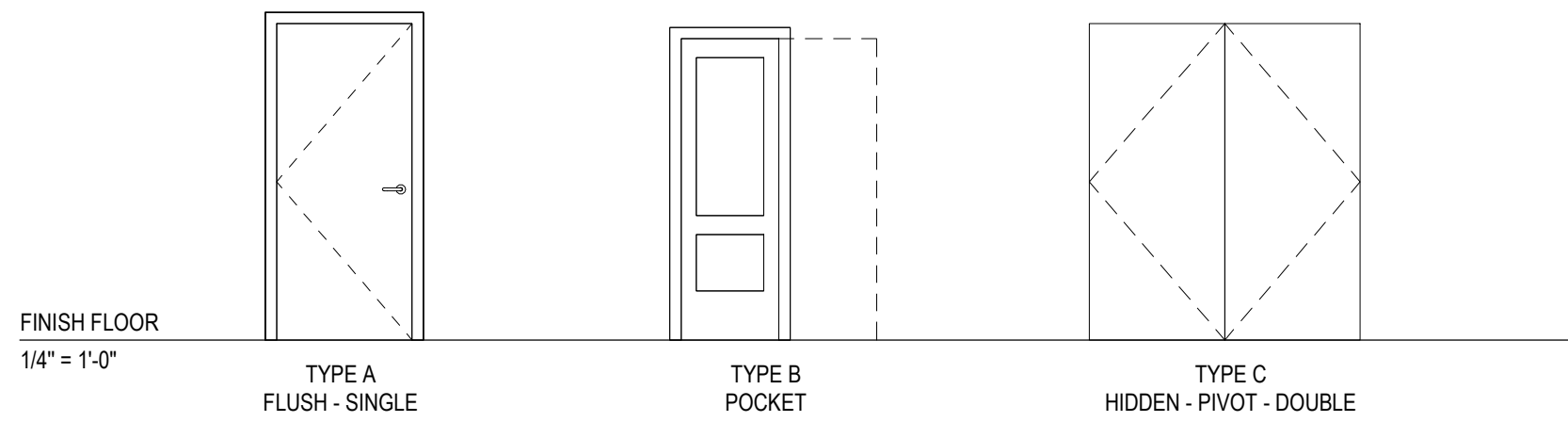
DATE ISSUED: 09/11/19

SCALE: As indicated

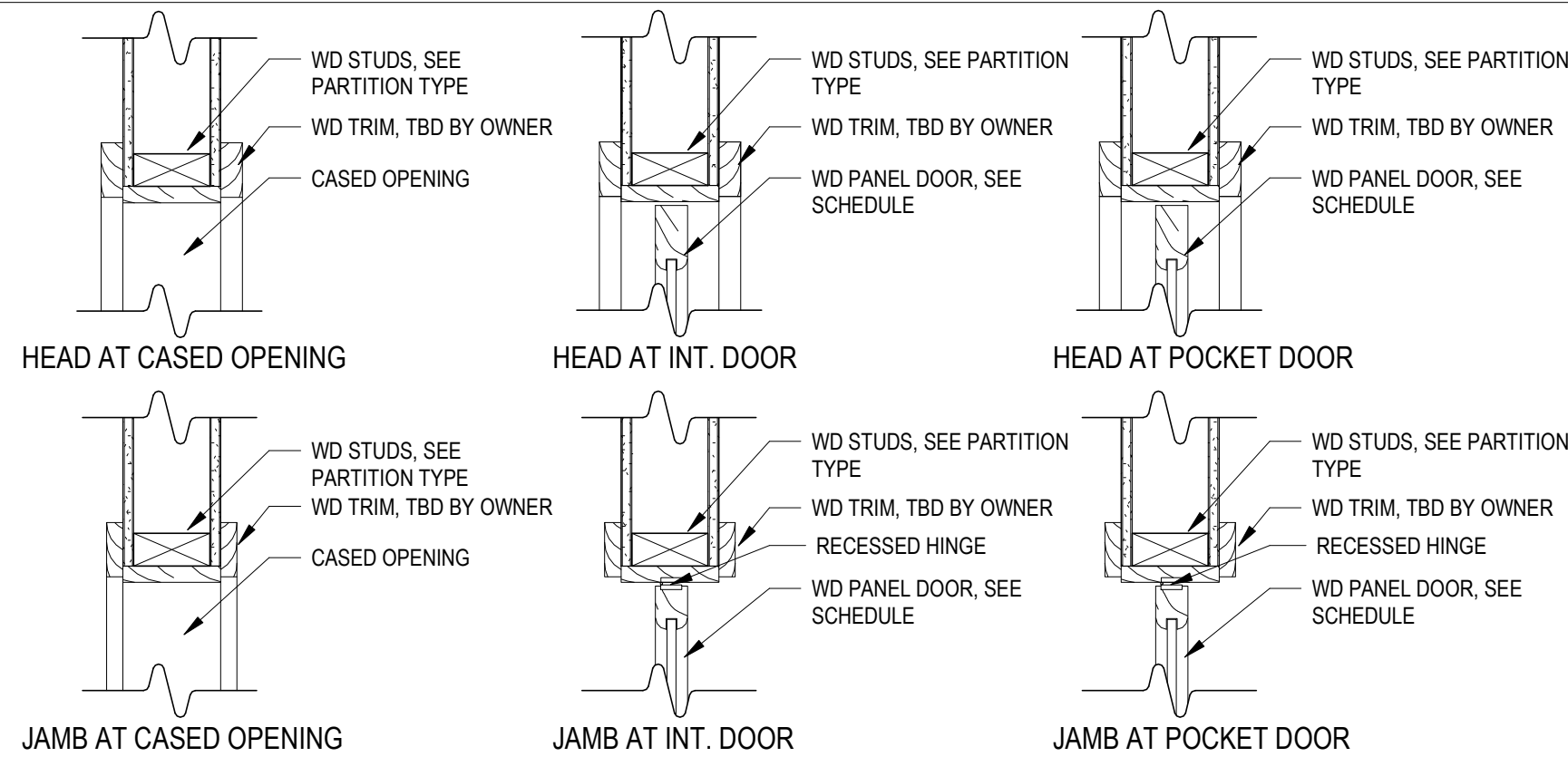
A001

DOOR AND WINDOW INFORMATION

DOOR TYPES



DOOR DETAILS



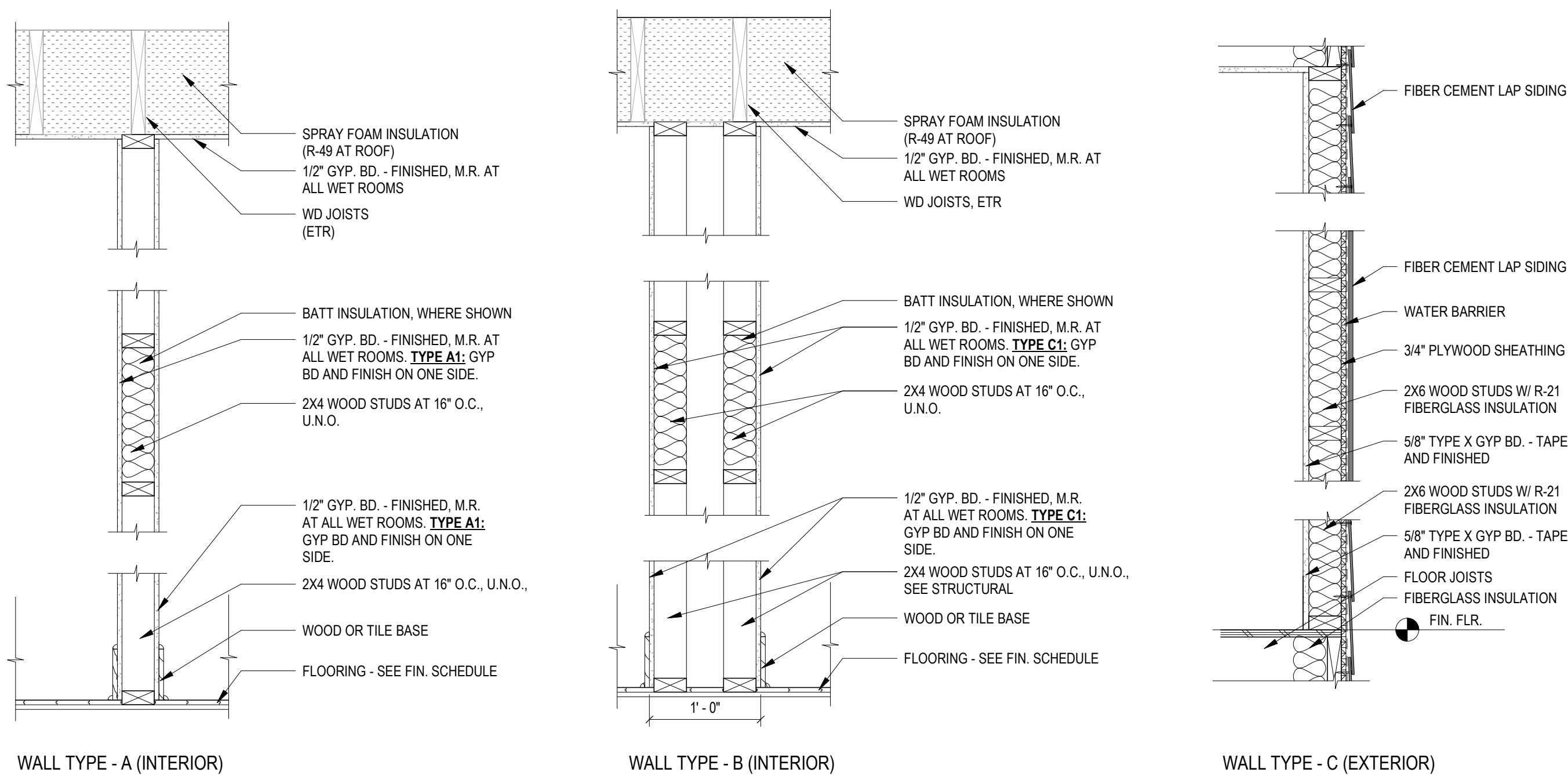
DOOR SCHEDULES

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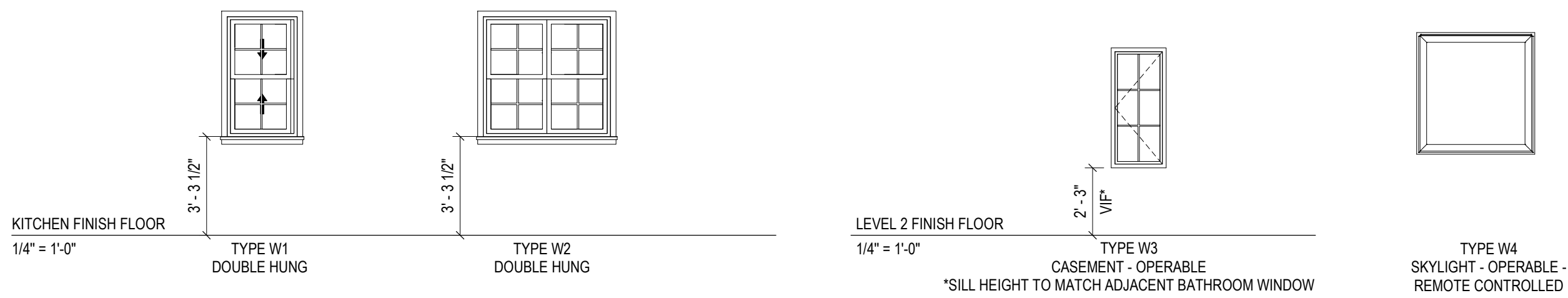
NOTES:

1. ALL EXTERIOR DOORS U-FACTOR TO BE RATED AT 0.22 MIN
2. ALL EXTERIOR DOORS SHGC VALUE TO BE RATED AT 0.17 MIN

WALL & PARTITION TYPES



WINDOW TYPES



WINDOW SCHEDULE

WINDOW SCHEDULE									
TYPE	ROOM	OPERATION	WIDTH	HEIGHT	SILL HEIGHT	GLASS	U-VALUE	SHGC	COMMENTS
W1	KITCHEN	DOUBLE HUNG	2' - 4"	4' - 0"	3' - 3 1/2"	INSULATED DUAL TEMPERED LOW-E	.35 MIN	.4 MIN	
W2	KITCHEN	DOUBLE HUNG	4' - 2 7/8"	4' - 0"	3' - 3 1/2"	INSULATED DUAL TEMPERED LOW-E	3.1293 .35 MIN	0.76 .4 MIN	PELLA, RESERVE TRADITIONAL. STANDARD, LUXURY, ALUMINUM CLAD EXTERIOR, PINE INTERIOR. EXTERIOR: PAINTED CLASSIC WHITE, INTERIOR: BLACK STAIN. GRILLE: 1LT 5/8". TRADITIONAL INTEGRATED MOSQUITO SCREEN. NO EXTERIOR TRIM..
W3	HOMEOWNER BATH	CASEMENT	1' - 10"	4' - 0"	2' - 3"	INSULATED DUAL TEMPERED LOW-E	.35 MIN	.4 MIN	PELLA, RESERVE TRADITIONAL. STANDARD, LUXURY, ALUMINUM CLAD EXTERIOR, PINE INTERIOR. EXTERIOR: PAINTED CLASSIC WHITE, TRIM TO MATCH EXISTING ADJACENT. INTERIOR: SQUARE STOCK TRIM. STAINED TO MATCH WD-03. GRILLE 5/8" TRADITIONAL (2W2H / 2W2H).
W4	HOMEOWNER BATH	SOLAR POWERED / REMOTE CONTROLLED	3' - 8 3/4"	3' - 10 1/4"			.55 MIN	.3 MIN	VELUX VSS-SOLAR VENTING SKYLIGHT, MODEL S06. ALT VELUX VSE-ELECTRIC VENTING SKYLIGHT

NOTES:

1. WINDOWS FINAL SIZE AND LOCATION TO BE VIF
2. ALL GLAZING TO BE INSULATED WITH LOW-E GLASS FILLED WITH ARGON GAS
3. ALL GLAZING U-FACTOR TO BE RATED AT 0.27 MIN
4. ALL GLAZING SHGC VALUE TO BE RATED AT 0.25 MIN

DOOR HARDWARE SCHEDULE

SET-1: POWDER ROOM DOOR

POCKET DOOR HARDWARE SET: REJUVENATION HARDWARE, PUTMAN LOW PROFILE
POCKET DOOR SET, #C1545

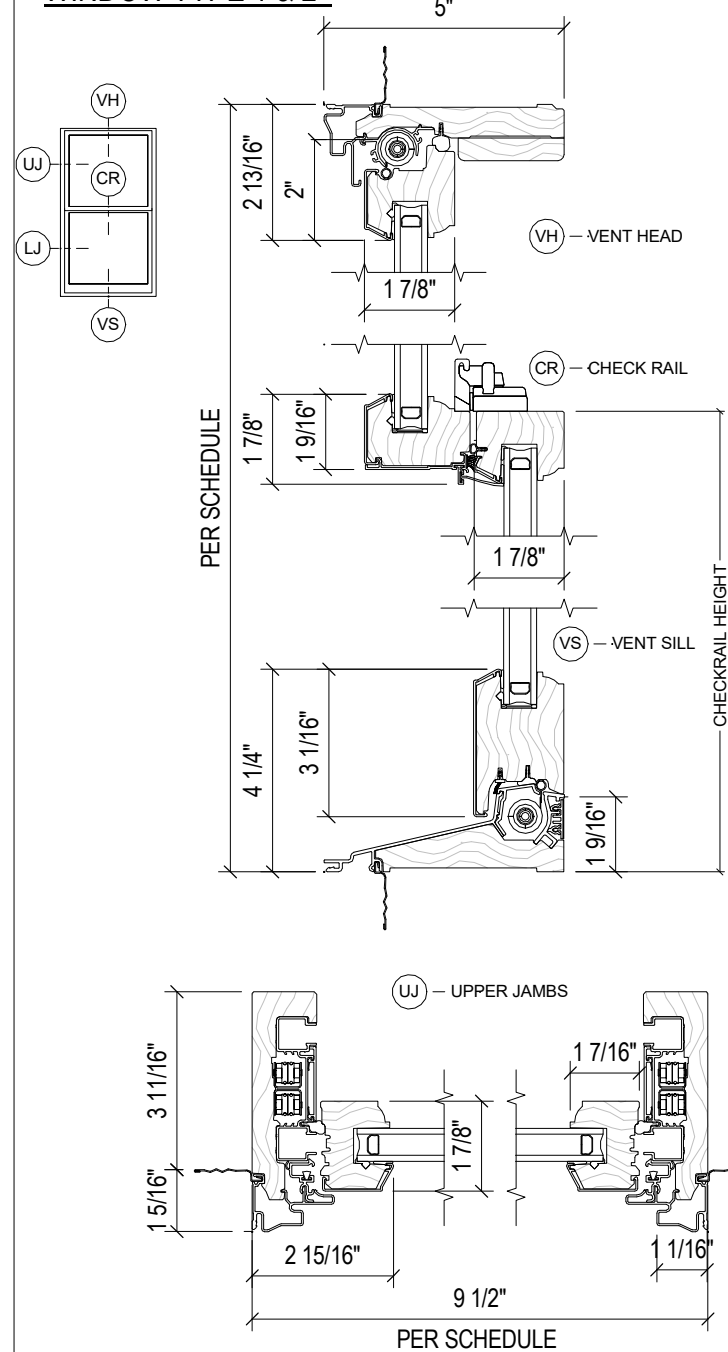
- SET TYPE: SINGLE PRIVACY SET
- INSIDE FINISH: OIL-RUBBED BRONZE
- OUTSIDE FINISH: UNLAQUERED BRASS
- STRIKE FINISH: OIL-RUBBED BRONZE

SET-2: HOMEOWNER BATH DOOR

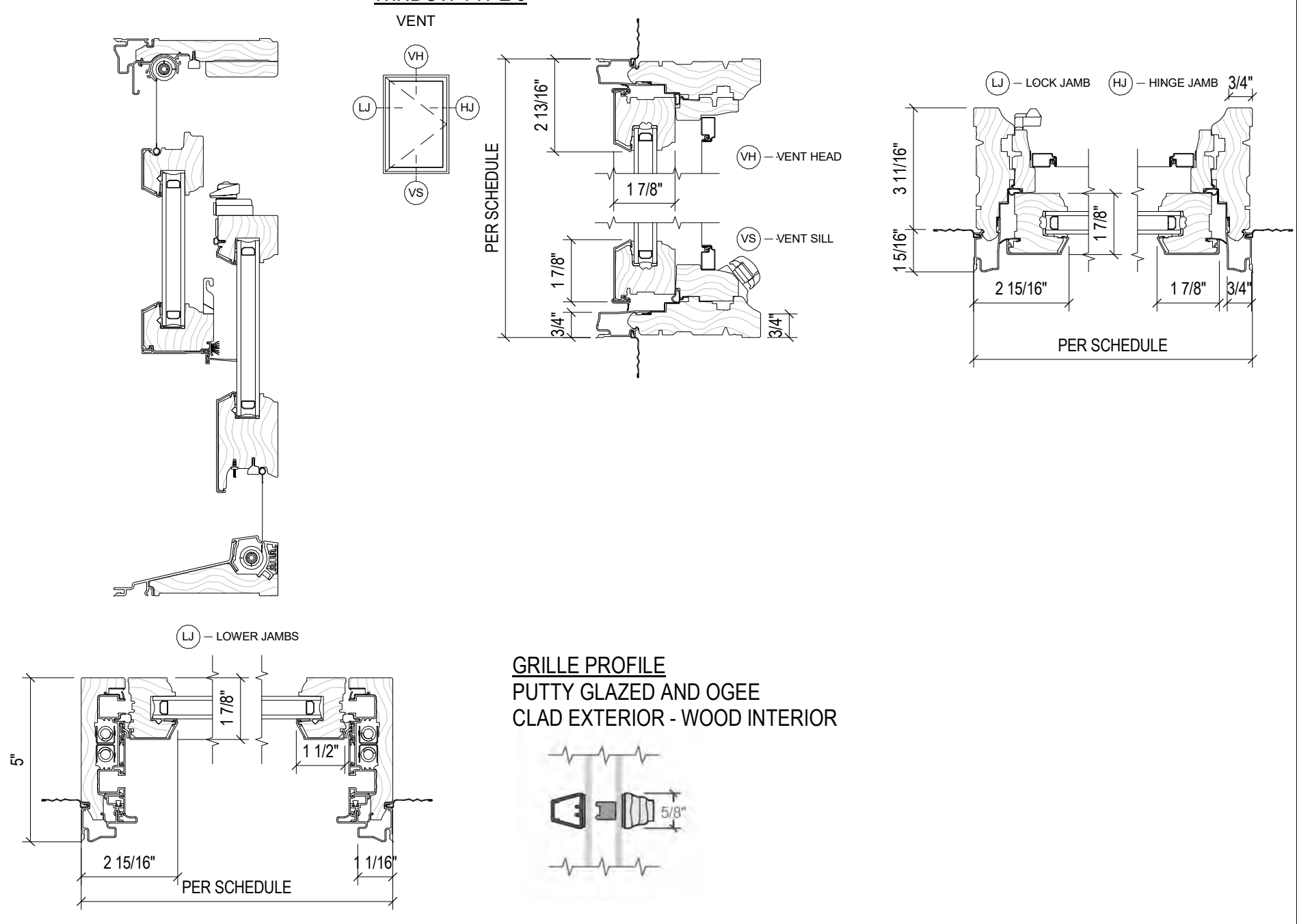
POCKET DOOR HARDWARE SET: REJUVENATION HARDWARE, PUTMAN LOW PROFILE
POCKET DOOR SET, #C1545

- SET TYPE: SINGLE PRIVACY SET
- INSIDE FINISH: UNLAQUERED BRASS
- OUTSIDE FINISH: UNLAQUERED BRASS
- STRIKE FINISH: UNLAQUERED BRASS

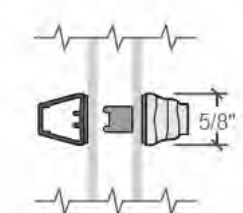
WINDOW TYPE 1 & 2



WINDOW TYPE 3



GRILLE PROFILE
PUTTY GLAZED AND OGEE
CLAD EXTERIOR - WOOD INTERIOR



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SHEET TITLE: DOORS, PARTITIONS & SCHEDULES

PROJECT NO: 2020.85

DATE ISSUED: 07/24/19

SCALE: As indicated

A002

3415 P ST NW - WINDOW TYPE W1, W2

Pella® Reserve – Traditional Double-Hung Windows

Aluminum EnduraClad® Exterior

Detailed Product Description

Frame

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are clear pine.
- Exterior surfaces are clad with aluminum.
- Components are assembled with screws, staples and concealed corner locks.
- Overall frame depth is 5" (127mm) for a wall depth of 3-11/16" (84mm).
- Optional factory applied jamb extensions available between 3-13/16" (87mm) and 9-3/16" (233mm).
- Vinyl jamb liner with wood / clad inserts.

Sash

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are clear pine.
- Exterior surfaces are clad with extruded aluminum butt-jointed at all corners of the sash with through-stile construction and sealed.
- Corners mortised and tenoned, glued and secured with metal fasteners.
- Sash thickness is 1-7/8" (47mm).
- Double-Hung: Upper sash has surface-mounted wash locks for easy tilt-in/cleaning.
- Lower sash has concealed wash locks in lower check rail allowing sash to tilt in for easy cleaning.
- Sash exterior profile is putty glaze, interior profile is ogee.

Weatherstripping

- Water-stop santoprene-wrapped foam at head and sill.
- Thermoplastic elastomer bulb with slip-coating set into lower sash for tight contact at check rail.
- Vinyl-wrapped foam inserted into jamb liner to seal against sides of sash.

Glazing System

- Quality float glass complying with ASTM C 1036.
- Silicone-glazed dual-pane dual-seal tempered) non-impact laminated glass clear Low-E with Argon

Exterior

- Aluminum-clad exteriors shall be finished with EnduraClad® protective finish, in a multi-step, baked-on finish.
 - Color is Classic White

– or –

- Aluminum-clad exteriors shall be finished with EnduraClad Plus protective finish with 70% fluoropolymer resin in a multi-step, baked-on finish.
 - Color is Classic White

Interior

- Per schedule

Hardware

- Galvanized block-and-tackle balances are connected to self-locking balance shoes which are connected to the sashes using zinc die cast terminals and concealed within the frame.
- Sash lock is historic spoon-style.
- Hardware finish Oil-rubbed Bronze.

Optional Products

Grilles

- Integral Light Technology® grilles
 - Interior grilles are 5/8" ogee profile that are solid [pine] [mahogany] [douglas fir]. Interior finish per schedule
 - Exterior grilles are 5/8" putty glaze profile that are extruded aluminum.
- Patterns: Traditional.
- Insulating glass contains non-glare spacer between the panes of glass.
- Grilles are adhered to both sides of the insulating glass with VHB acrylic adhesive tape and aligned with the non-glare spacer.

Screens

- Integrated Rotscreen® (for rectangular units only).
 - Retractable screen integrated into [lower sash] [both upper and lower sash]. Screen rollers are fixed and concealed within the frame, screen is held to the sash by magnets which release when the bottom sash is tilted for cleaning, and when the upper sash is opened past 18°.
 - In/View Screen cloth, black vinyl-coated 18/18 mesh fiberglass screen cloth complying with ASTM D 3656 and the performance requirements of SMA 1201.

3415 P ST NW - WINDOW TYPE W3

Pella® Reserve™ - Traditional Casement

Aluminum EnduraClad® Exterior

Detailed Product Description

Frame

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are clear pine.
- Exterior surfaces are clad with aluminum.
- Components are assembled with screws, staples and concealed corner locks.
- Overall frame depth is 5" (127mm) for a wall depth of 3-11/16" (84mm).
- Exterior trim to match adjacent existing.

Sash

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are clear pine. Any curved member may have visible finger-jointed surfaces.
- Exterior surfaces are clad with extruded aluminum butt-jointed at all corners of the sash with through-stile construction and sealed.
- Corners mortised and tenoned, glued and secured with metal fasteners.
- Sash exterior profile is putty glaze, interior profile is ogee.

Weatherstripping

- Dual weatherstripping.
 - Flexible santoprene material compressed between frame and sash for positive seal on all four sides.
 - Secondary thermoplastic vulcanizate (TPV) leaf-type weatherstrip between edge of sash and frame.

Glazing System

- Float glass complying with ASTM C 1036.
- Silicone-glazed dual-pane dual-seal insulating glass clear Low-E with argon

Exterior

- Aluminum clad exteriors shall be finished with EnduraClad® protective finish, in a multi-step, baked-on finish.
 - Color is Classic White

– or –

- Aluminum clad exteriors shall be finished with EnduraClad Plus protective finish with 70% fluoropolymer resin in a multi-step, baked-on finish.
 - Color is Classic White

Interior

- Interior per schedule

Hardware

- Rofo operator assembly
 - Steel worm gear sash operator with hardened gears.
 - Operator base is zinc die cast with painted finish.
 - Operator linkage, hinge slide, and hinge arms are stainless steel.
 - Exposed fasteners are stainless steel.
 - Hardware shall exceed 1,000 hours salt spray exposure per ASTM B 117.
- SureLock® System—A single handle locking system operates positive-acting arms that reach out and pull the sash into a locked position: one operating lock installed on units with frame height 29" and less, two unison operating locks installed on units with frame height over 29".
- Finish is Satin Nickel

Optional Products

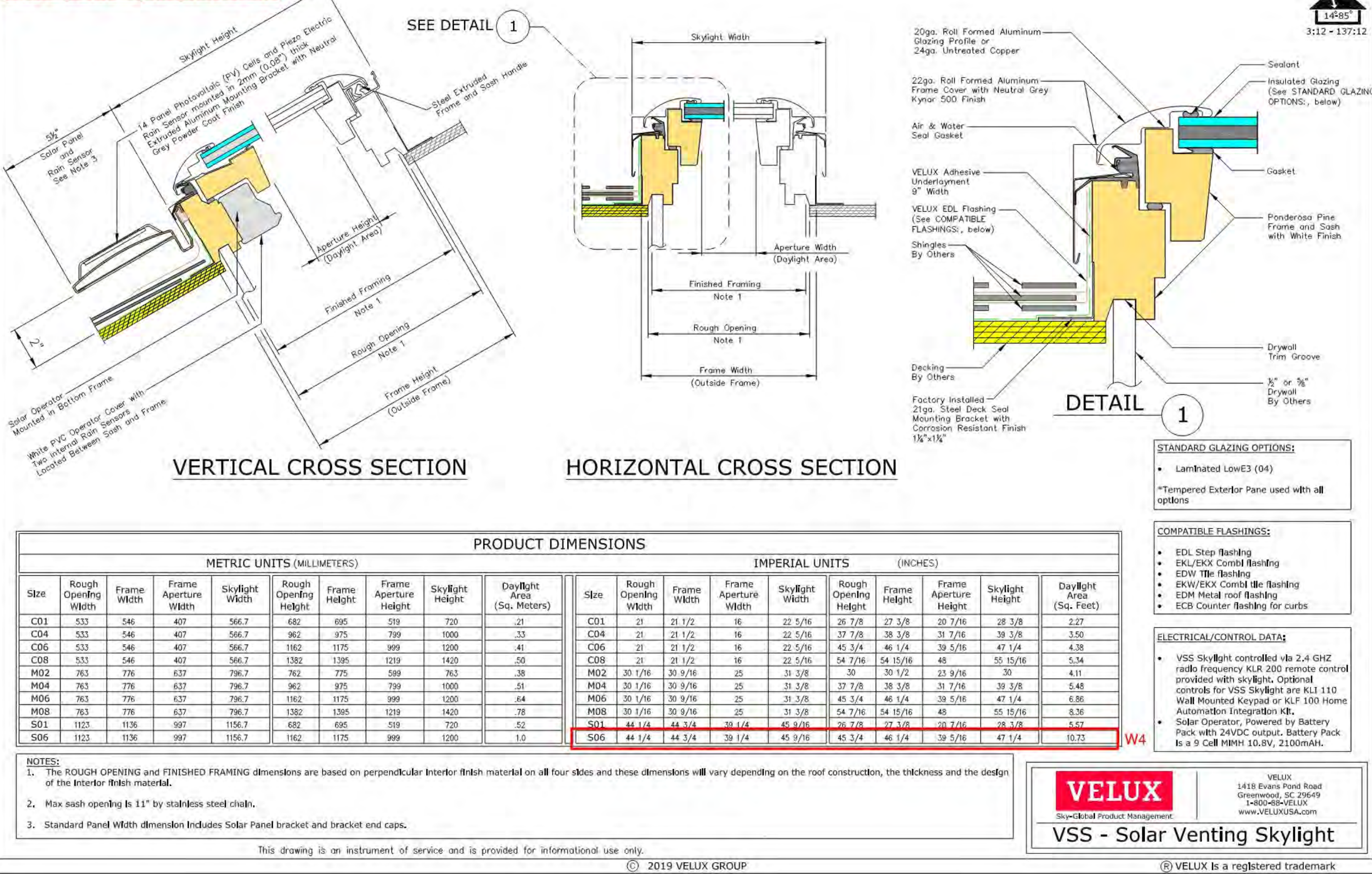
Grilles

- Integral Light Technology® grilles
 - Interior grilles are 5/8" ogee profile that are solid pine. Finish per schedule
 - Exterior grilles are 5/8" putty glaze profile that are extruded aluminum.
- Pattern: Traditional
- Grilles are adhered to both sides of the insulating glass with VHB acrylic adhesive tape and aligned with the non-glare spacer.

Screens

- In/View™ Screens
 - Vinyl-coated 18/18 mesh fiberglass screen cloth complying with the performance requirements of SMA 1201, set in aluminum frame fitted to inside of window, supplied complete with all necessary hardware.
 - Screen frame finish is baked enamel White. Wrapped in wood veneer, factory prefinished stain to match interior finish.
- or –
- Vivid View® Screens.
 - PVDF 21/17 mesh, minimum 78 percent light transmissive screen, set in aluminum frame fitted to inside of window, supplied complete with all necessary hardware.
 - Screen frame finish is [baked enamel White. Wrapped in wood veneer, factory prefinished stain to match interior finish.

3415 P ST NW - WINDOW TYPE W4



3877

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PROJECT: RESIDENCE3415
ADDRESS: 3415 P ST NW
WASHINGTON, DC, 20007

SHEET SUBMISSION INDEX
10/15/2020 - OGB REVIEW

REV. NO. REVISION DATE

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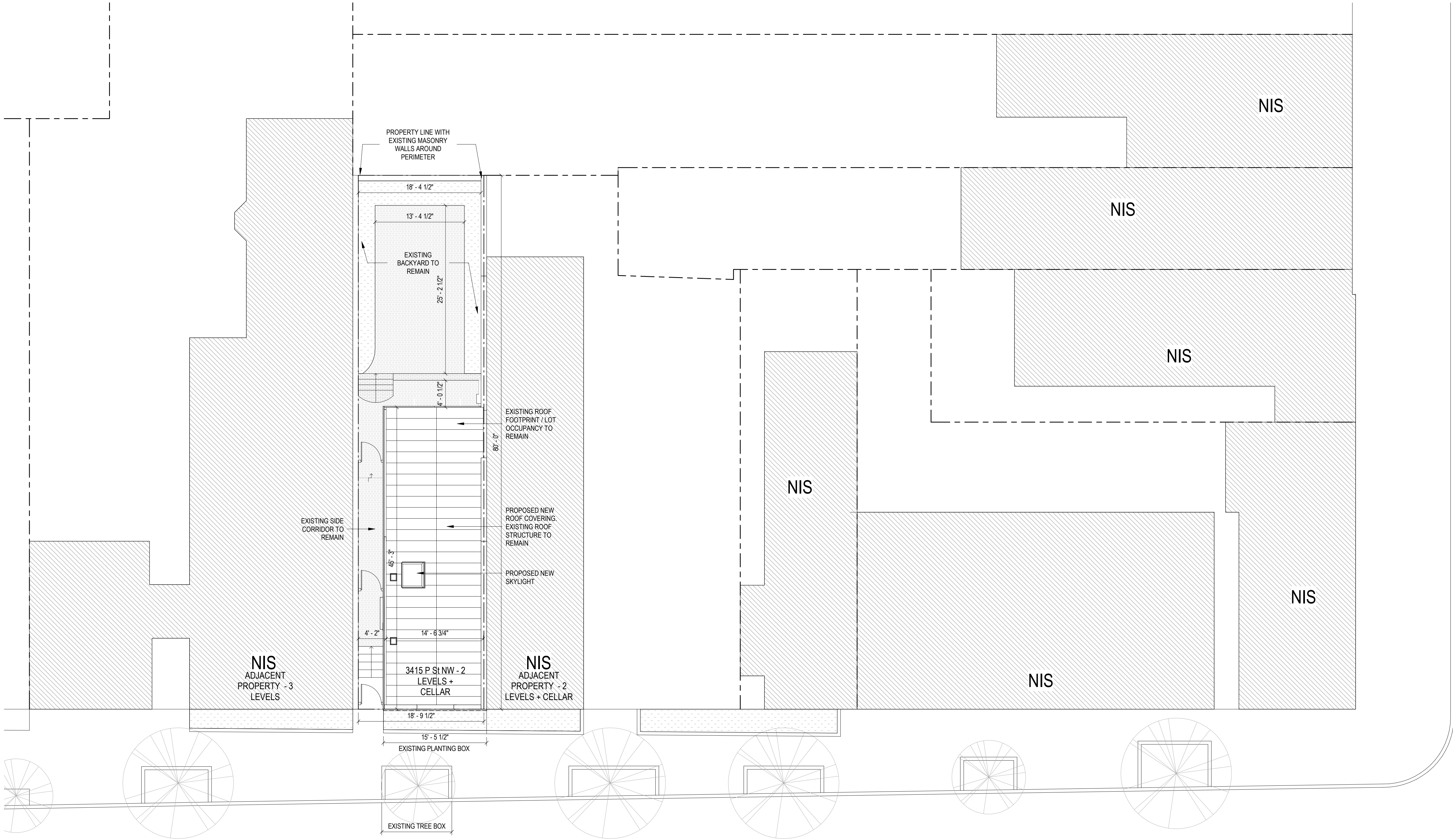
SHEET TITLE: WINDOW PRODUCT DATA

PROJECT NO: 2020.85

DATE ISSUED: 10/26/20

SCALE: 12" = 1'-0"

A003



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SHEET SUBMISSION INDEX
10/15/2020 - OGB REVIEW

REV NO.	REVISION	DATE
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SHEET TITLE: SITE PLAN

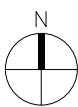
PROJECT NO: 2020.85

DATE ISSUED: 10/14/20

SCALE: 1/8" = 1'-0"

AD010

1 SITE PLAN
1/8" = 1'-0"





7 EXISTING ROOF - VIEW OF NORTH EDGE - CLOSE UP



PHOTO K - AREA OF WORK FROM REAR YARD



PHOTO J - AREA OF WORK FROM REAR YARD



PHOTO I - AREA OF WORK FROM SIDE YARD



PHOTO H - AREA OF WORK FROM SIDE YARD



PHOTO G - SIDE YARD FROM ENTRANCE



PHOTO F - SIDE YARD FROM ENTRANCE

NOTE: AREA OF PROPOSED WORK HIGHLIGHTED IN RED

4 SIDE YARD - CORRIDOR & SIDE ELEVATION



6 EXISTING ROOF - VIEW OF NORTH EDGE



PHOTO E - FROM REAR YARD

NOTE: NO WORK PROPOSED ON REAR FACADE

3 REAR FACADE



PHOTO D - PROPERTY ENTRANCE FROM P ST

NOTE: NO WORK PROPOSED ON FRONT FACADE

2 FRONT FACADE



PHOTO C - FROM P ST



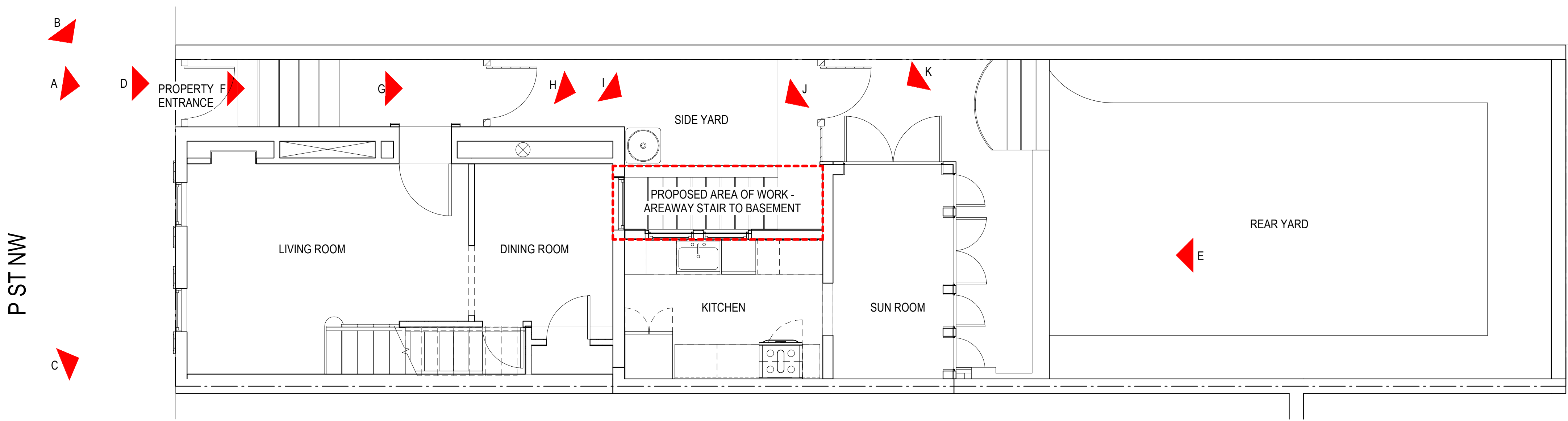
PHOTO B - FROM P ST



PHOTO A - FROM P ST



5 EXISTING ROOF - VIEW OF SOUTH EDGE



1 EXISTING CONDITIONS - KEY PLAN
1/4" = 1'-0"



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- 10/15/2020 - OGB REVIEW
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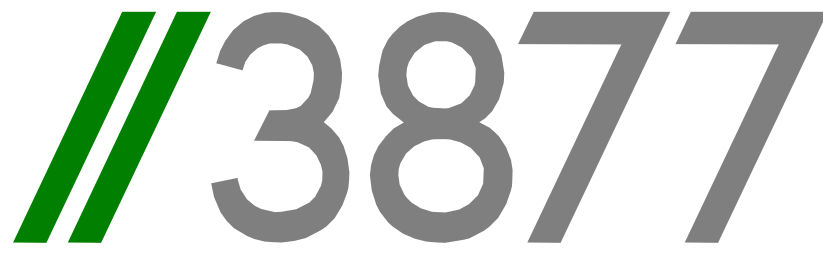


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SHEET TITLE: EXISTING CONDITIONS

PROJECT NO: 2020.85
DATE ISSUED: 10/14/20
SCALE: As indicated

AD100



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SHEET SUBMISSION INDEX

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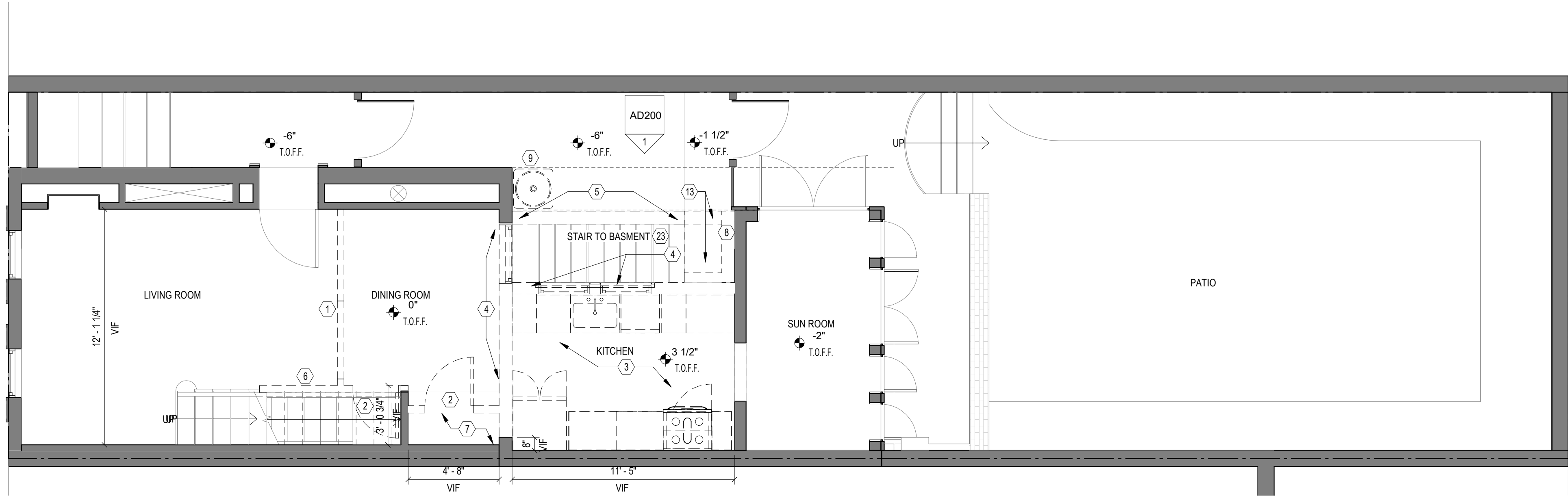
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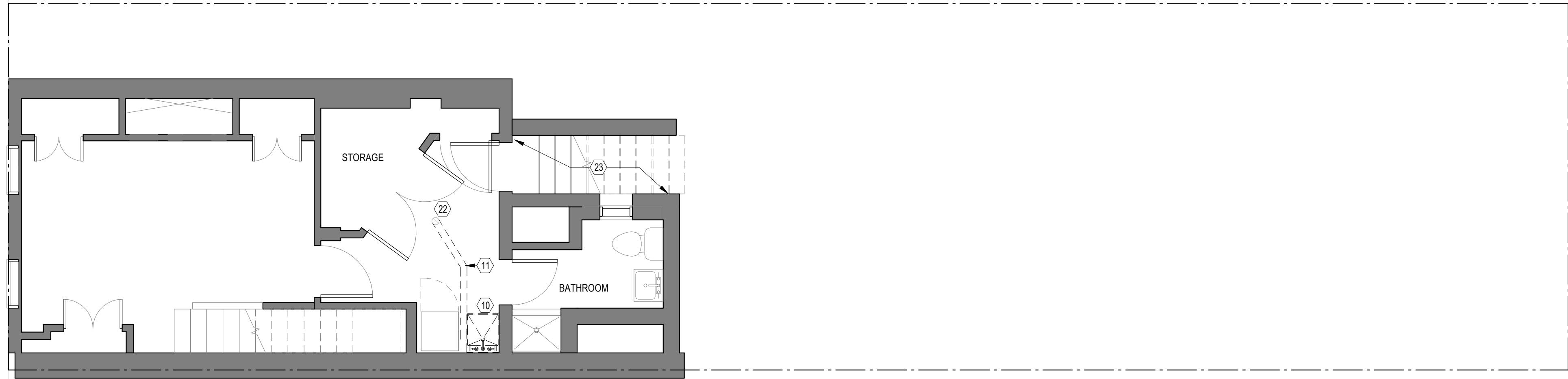
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SHEET TITLE: ARCHITECTURAL DEMOLITION FLOOR
PLANS
PROJECT NO: 2020.85
DATE ISSUED: 07/14/20
SCALE: As indicated

AD101



2 LEVEL 01 - DEMOLITION FLOOR PLAN
1/4" = 1'-0"

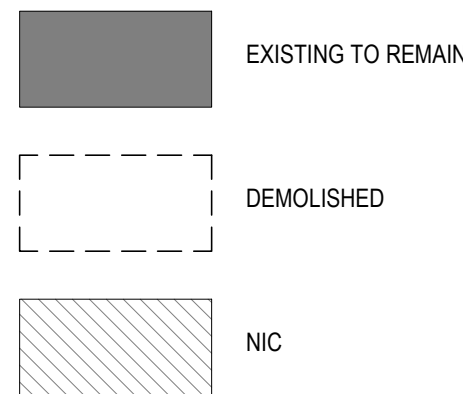


1 LEVEL BASEMENT - DEMOLITION FLOOR PLAN
1/4" = 1'-0"

CONSTRUCTION GENERAL NOTES

- CONTRACTOR SHALL VISIT SITE TO DETERMINE AND VERIFY ALL EXISTING CONDITIONS.
- PROTECT EXISTING ITEMS WHICH ARE NOT INDICATED TO BE ALTERED.
- REMOVE EXISTING PARTITIONS AS NOTED.
- REMOVE DOORS, FRAMES AND HARDWARE AS NOTED.
- REMOVE EXISTING WINDOWS AS NOTED
- REMOVE ALL APPLIANCES IN KITCHEN, U.N.O.
- REMOVE PLUMBING FIXTURES IN KITCHEN AS NOTED
- REMOVE LIGHT FIXTURES AS NOTED
- REMOVE EXISTING PLASTER AND LATH CEILINGS TO JOISTS ABOVE AS SELECTIVE DEMOLITION REQUIRES.

GRAPHIC LEGEND

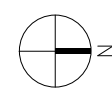
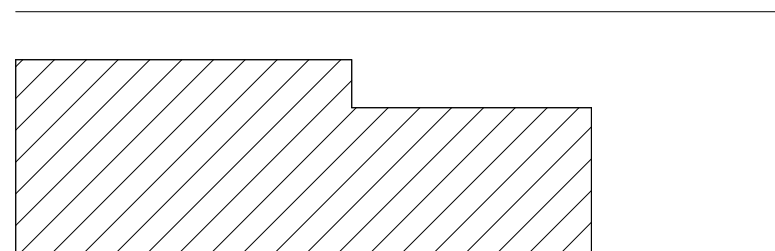


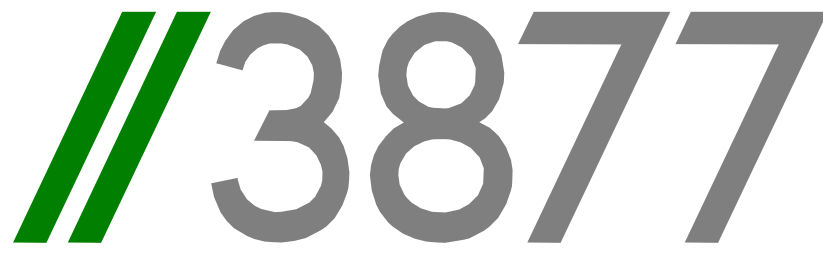
SHEET KEYNOTES

- REMOVE INTERIOR PARTITION UP TO CEILING. PROTECT ADJACENT CEILING AREAS AND CROWN MOULDING.
- REMOVE DOOR AND TRIM.
- REMOVE EXISTING KITCHEN CABINETS, COUNTERTOPS, APPLIANCES, PLUMBING FIXTURES AND FLOORING.
- DEMOLISH WINDOW AND WALL TO THE EXTENT SHOWN.
- DEMO LOW WALL
- REMOVE INTERIOR PARTITION UP TO UNDERSIDE OF STAIRS CARRIAGE. POTECT STAIRS, RAILING AND WALL PANEL.
- REMOVE CLOSET WALL, ROD AND BRACKETS.
- REMOVE EXTERIOR CLOSET.
- REMOVE AND DISCARD AC UNIT.
- REMOVE SINK AND SAVE FOR REINSTALL 6" FOWARD FROM CURRENT LOCATION. REFER TO PLUMBING DRAWINGS.
- DIG TRENCH IN BASEMENT FLOOR TO INSTALL NEW POWDER ROOM DRAIN LINE. TRENCH EXTENDS UNTIL IT CONNECTS WITH EXSTING DRAIN
- DEMOLISH INTERIOR AND EXTERIOR WALL TO EXTENT SHOWN FOR INSTALLATION OF NEW BATHROOM WINDOW. VERIFY DIMENSIONS IN FIELD WITH LOCATION OF FIREPLACE CHIMNEY ON THE LEFT AND AND WALL SHAFT ON THE RIGHT.

- DEMOLISH CONCRETE STAIR LANDING AS REQUIRED TO ALLOW FOR CONSTRUCTION OF NEW WALL FOOTING AND INSTALLATION NEW KITCHEN FLOOR ASSEMBLY.
- REMOVE EXISTING KITCHEN LIGHTS
- REMOVE EXTERIOR SOFFIT AND EXTERIOR LIGHTING. PROTECT WOOD TRIM.
- REMOVE LIGHTING FIXTURE.
- REMOVE LIGHTING FIXTURE.
- GC TO PROVIDE ACCESS TO ATTIC FROM BEDROOM CEILING. GC TO DETERMINE LOCATION. DEMO CEILING AS REQUIRED.
- EXSTING DRAIN TO REMAIN
- EXSTING BASEMENT STAIR TO REMAIN. KITCHEN EXTENSION FLOOR ABOVE TO BE FRAMED AROUND OPENING.
- REMOVE EXISTING ROOF METAL SHEET COVERING. EXSTING ROOF STRUCTURE TO REMAIN. ROOF COVERING TO BE REPLACED WITH NEW METAL SHEET ROOF.
- DEMOLISH ROOF STRUCTURE AND ASSEMBLY AS REQUIRED FOR INSTALLATION OF NEW SKYLIGHT.

KEY PLAN





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PROJECT: **RESIDENCE3415**
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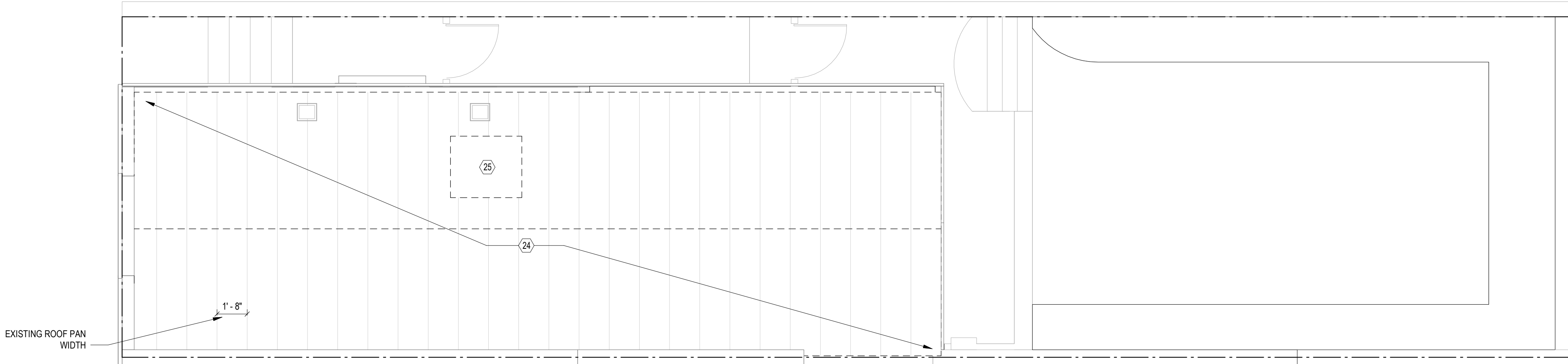
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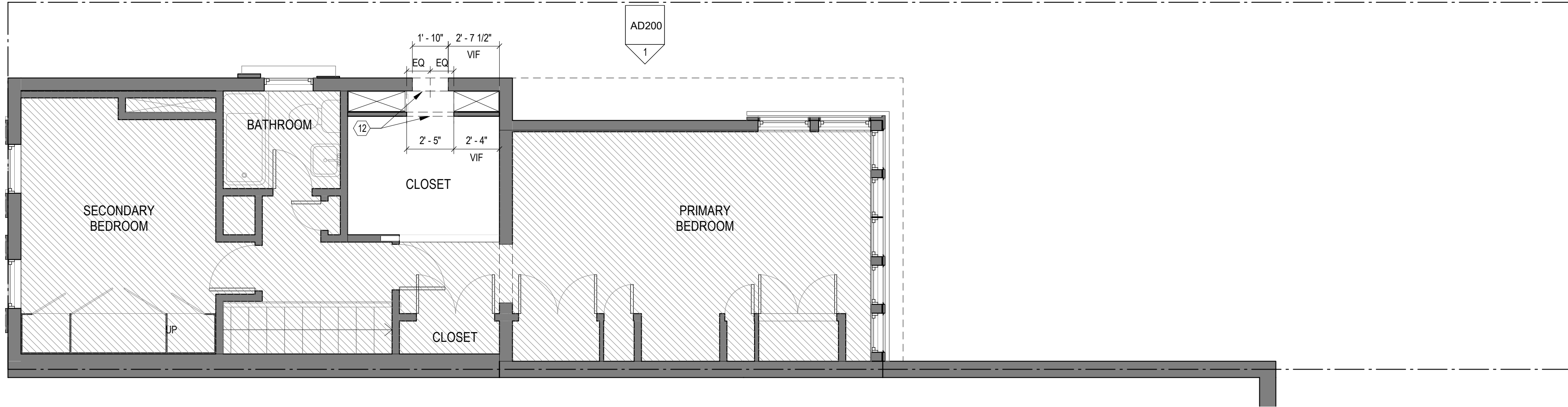
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SHEET TITLE: ARCHITECTURAL DEMOLITION FLOOR PLANS
PROJECT NO: 2020.85
DATE ISSUED: 09/23/20
SCALE: As indicated

AD102



2 ROOF - DEMOLITION FLOOR PLAN
1/4" = 1'-0"

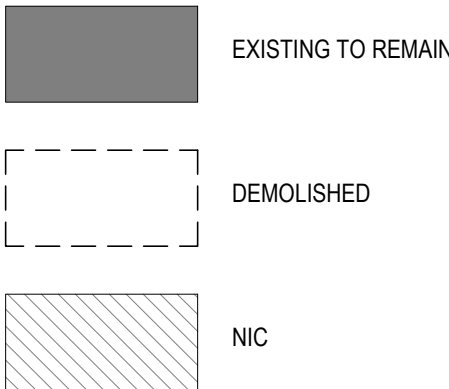


1 LEVEL 02 - DEMOLITION FLOOR PLAN
1/4" = 1'-0"

CONSTRUCTION GENERAL NOTES

- CONTRACTOR SHALL VISIT SITE TO DETERMINE AND VERIFY ALL EXISTING CONDITIONS.
- PROTECT EXISTING ITEMS WHICH ARE NOT INDICATED TO BE ALTERED.
- REMOVE EXISTING PARTITIONS AS NOTED.
- REMOVE DOORS, FRAMES AND HARDWARE AS NOTED.
- REMOVE EXISTING WINDOWS AS NOTED.
- REMOVE ALL APPLIANCES IN KITCHEN, U.N.O.
- REMOVE PLUMBING FIXTURES IN KITCHEN AS NOTED.
- REMOVE LIGHT FIXTURES AS NOTED.
- REMOVE EXISTING PLASTER AND LATH CEILINGS TO JOISTS ABOVE AS SELECTIVE DEMOLITION REQUIRES.

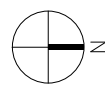
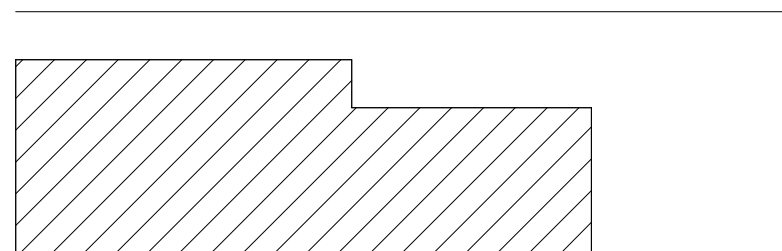
GRAPHIC LEGEND



SHEET KEYNOTES

- REMOVE INTERIOR PARTITION UP TO CEILING. PROTECT ADJACENT CEILING AREAS AND CROWN MOULDING.
- REMOVE DOOR AND TRIM.
- REMOVE EXISTING KITCHEN CABINETS, COUNTERTOPS, APPLIANCES, PLUMBING FIXTURES AND FLOORING.
- DEMOLISH WINDOW AND WALL TO THE EXTENT SHOWN.
- DEMO LOW WALL.
- REMOVE INTERIOR PARTITION UP TO UNDERSIDE OF STAIRS CARRIAGE. POTECT STAIRS, RAILING AND WALL PANEL.
- REMOVE CLOSET WALL, ROD AND BRACKETS.
- REMOVE EXTERIOR CLOSET.
- REMOVE AND DISCARD AC UNIT.
- REMOVE SINK AND SAVE FOR REINSTALL 6" FOWARD FROM CURRENT LOCATION. REFER TO PLUMBING DRAWINGS.
- DIG TRENCH IN BASEMENT FLOOR TO INSTALL NEW POWDER ROOM DRAIN LINE. TRENCH EXTENDS UNTIL IT CONNECTS WITH EXSTING DRAIN
- DEMOLISH INTERIOR AND EXTERIOR WALL TO EXTENT SHOWN FOR INSTALLATION OF NEW BATHROOM WINDOW. VERIFY DIMENSIONS IN FIELD WITH LOCATION OF FIREPLACE CHIMNEY ON THE LEFT AND AND WALL SHAFT ON THE RIGHT.
- DEMOLISH CONCRETE STAIR LANDING AS REQUIRED TO ALLOW FOR CONSTRUCTION OF NEW WALL FOOTING AND INSTALLATION NEW KITCHEN FLOOR ASSEMBLY.
- REMOVE EXISTING KITCHEN LIGHTS
- REMOVE EXTERIOR SOFFIT AND EXTERIOR LIGHTING. PROTECT WOOD TRIM.
- REMOVE LIGHTING FIXTURE.
- REMOVE LIGHTING FIXTURE.
- DEMOLISH WALL HEADER AND CROWN MOULDING.
- EXISTING CEILING, LIGHTING AND TRIM TO REMAIN
- DEMOLISH CEILING AND FIXTURE TO EXTENT SHOWN.
- GC TO PROVIDE ACCESS TO ATTIC FROM BEDROOM CEILING. GC TO DETERMINE LOCATION. DEMO CEILING AS REQUIRED.
- EXSTING DRAIN TO REMAIN
- EXSTING BASEMENT STAIR TO REMAIN. KITCHEN EXTENSION FLOOR ABOVE TO BE FRAMED AROUND OPENING.
- REMOVE EXISTING ROOF METAL SHEET COVERING. EXSTING ROOF STRUCTURE TO REMAIN. ROOF COVERING TO BE REPLACED WITH NEW METAL SHEET ROOF.
- DEMOLISH ROOF STRUCTURE AND ASSEMBLY AS REQUIRED FOR INSTALLATION OF NEW SKYLIGHT.

KEY PLAN

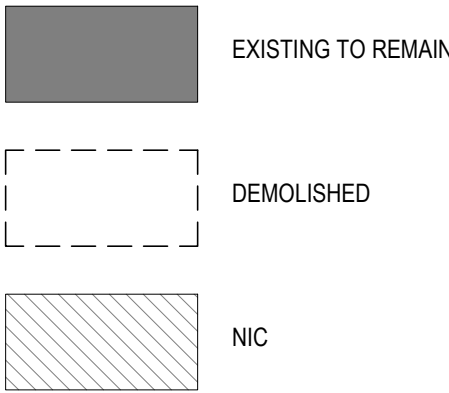


10/26/2020 10:30 AM

CONSTRUCTION GENERAL NOTES

- CONTRACTOR SHALL VISIT SITE TO DETERMINE AND VERIFY ALL EXISTING CONDITIONS.
- PROTECT EXISTING ITEMS WHICH ARE NOT INDICATED TO BE ALTERED.
- REMOVE EXISTING PARTITIONS AS NOTED.
- REMOVE DOORS, FRAMES AND HARDWARE AS NOTED.
- REMOVE EXISTING WINDOWS AS NOTED
- REMOVE ALL APPLIANCES IN KITCHEN, U.N.O.
- REMOVE PLUMBING FIXTURES IN KITCHEN AS NOTED
- REMOVE LIGHT FIXTURES AS NOTED
- REMOVE EXISTING PLASTER AND LATH CEILINGS TO JOISTS ABOVE AS SELECTIVE DEMOLITION REQUIRES.

GRAPHIC LEGEND

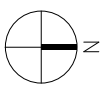
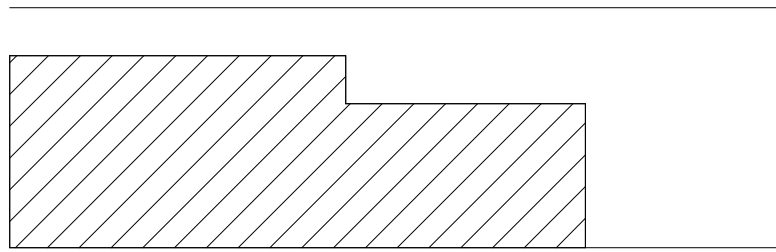


SHEET KEYNOTES

- REMOVE INTERIOR PARTITION UP TO CEILING. PROTECT ADJACENT CEILING AREAS AND CROWN MOULDING.
- REMOVE DOOR AND TRIM.
- REMOVE EXISTING KITCHEN CABINETS, COUNTERTOPS, APPLIANCES, PLUMBING FIXTURES AND FLOORING.
- DEMOLISH WINDOW AND WALL TO THE EXTENT SHOWN.
- DEMO LOW WALL
- REMOVE INTERIOR PARTITION UP TO UNDERSIDE OF STAIRS CARRIAGE. POTECT STAIRS, RAILING AND WALL PANEL.
- REMOVE CLOSET WALL, ROD AND BRACKETS.
- REMOVE EXTERIOR CLOSET.
- REMOVE AND DISCARD AC UNIT.
- REMOVE SINK AND SAVE FOR REINSTALL 6" FOWARD FROM CURRENT LOCATION. REFER TO PLUMBING DRAWINGS.
- DIG TRENCH IN BASEMENT FLOOR TO INSTALL NEW POWDER ROOM DRAIN LINE. TRENCH EXTENDS UNTIL IT CONNECTS WITH EXSTING DRAIN
- DEMOLISH INTERIOR AND EXTERIOR WALL TO EXTENT SHOWN FOR INSTALLATION OF NEW BATHROOM WINDOW. VERIFY DIMENSIONS IN FIELD WITH LOCATION OF FIREPLACE CHIMNEY ON THE LEFT AND AND WALL SHAFT ON THE RIGHT.

- DEMOLISH CONCRETE STAIR LANDING AS REQUIRED TO ALLOW FOR CONSTRUCTION OF NEW WALL FOOTING AND INSTALLATION NEW KITCHEN FLOOR ASSEMBLY.
- REMOVE EXISTING KITCHEN LIGHTS
- REMOVE EXTERIOR SOFFIT AND EXTERIOR LIGHTING. PROTECT WOOD TRIM.
- REMOVE LIGHTING FIXTURE.
- REMOVE LIGHTING FIXTURE.
- DEMOLISH WALL HEADER AND CROWN MOULDING.
- EXISTING CEILING, LIGHTING AND TRIM TO REMAIN
- DEMOLISH CEILING AND FIXTURE TO EXTENT SHOWN.
- EXSTING DRAIN TO REMAIN
- EXSTING BASEMENT STAIR TO REMAIN. KITCHEN EXTENSION FLOOR ABOVE TO BE FRAMED AROUND OPENING.
- REMOVE EXISTING ROOF METAL SHEET COVERING. EXSTING ROOF STRUCTURE TO REMAIN. ROOF COVERING TO BE REPLACED WITH NEW METAL SHEET ROOF.
- DEMOLISH ROOF STRUCTURE AND ASSEMBLY AS REQUIRED FOR INSTALLATION OF NEW SKYLIGHT.

KEY PLAN



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INTERIOR DESIGNER / GENERAL

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ISSUE FOR PERMIT

DRAWING DATA

PROJECT: **RESIDENCE3415**
ADDRESS: **3415 P ST NW**
WASHINGTON, DC, 20007

SHEET SUBMISSION INDEX

- 10/15/2020 - OGB REVIEW
-

REV NO.	REVISION	DATE
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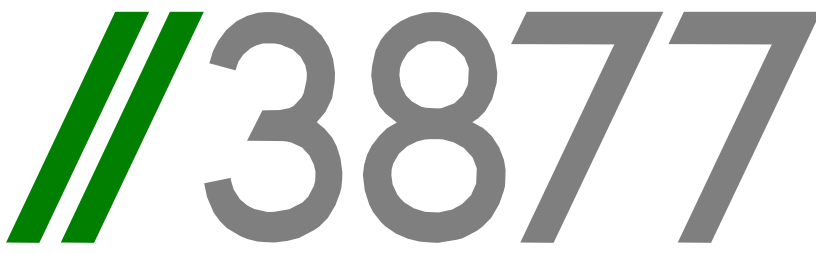
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SIGNATURE:



I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGN INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY PREPARED, OR DIRECTLY SUPERVISED THE DEVELOPMENT OF, THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION.

SHEET TITLE: ARCHITECTURAL DEMOLITION REFLECTED
CEILING PLANS
PROJECT NO: 2020.85
DATE ISSUED: 09/23/20
SCALE: As indicated

AD103



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SHEET SUBMISSION INDEX

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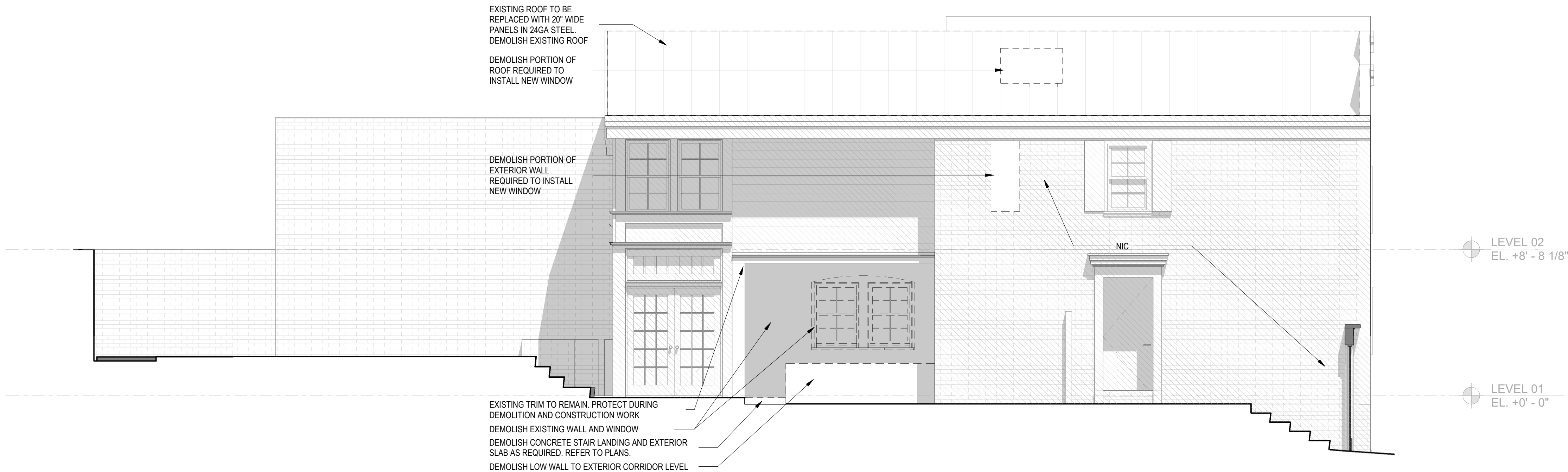
SHEET TITLE: EXTERIOR ELEVATIONS - DEMOLITION

PROJECT NO: 2020.85

DATE ISSUED: 09/11/20

SCALE: As indicated

AD200

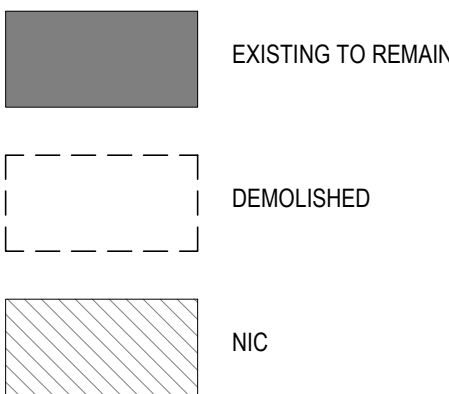


1 EXTERIOR ELEVATION - WEST - DEMO
1/4" = 1'-0"

CONSTRUCTION GENERAL NOTES

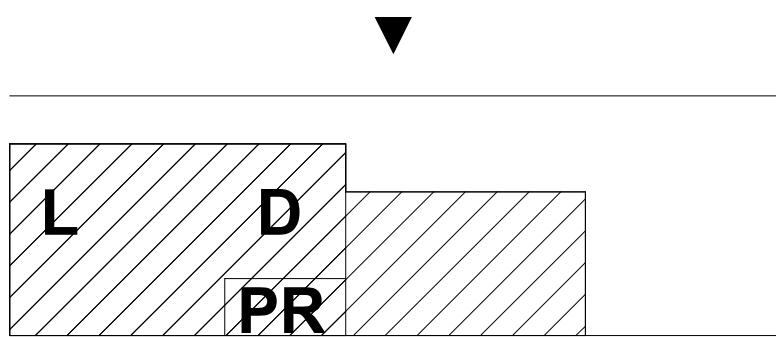
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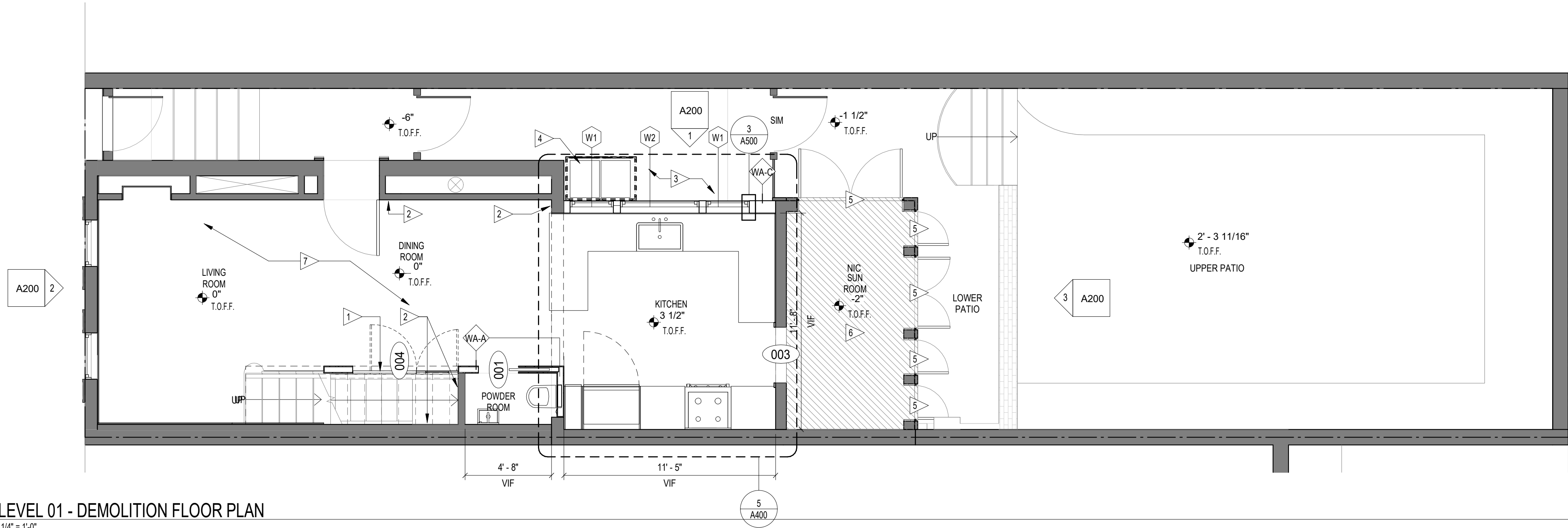
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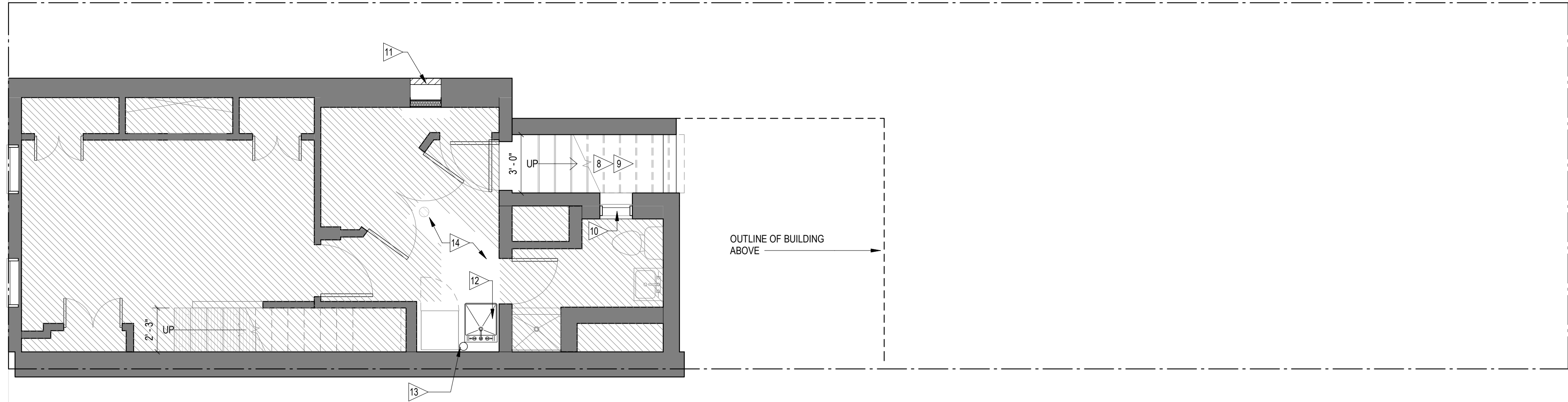
SHEET KEYNOTES

KEY PLAN





1 LEVEL 01 - DEMOLITION FLOOR PLAN
1/4" = 1'-0"



2 LEVEL BASEMENT - FLOOR PLAN
1/4" = 1'-0"

CONSTRUCTION GENERAL NOTES

- ALL DIMENSIONS TO FINISH FACE, U.N.O.
- ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE 0002 FOR PARTITION SCHEDULE
- WALL FINISH AS NOTED.
- ALL CEILINGS TO BE 1/2" GWB - PAINTED - FLAT FINISH
- REPAIR ALL WALLS EXISTING TO REMAIN AS REQUIRED
- PROVIDE ARC-FAULT PROTECTION FOR ALL LIVING SPACE OUTLETS TO COMPLY WIRC E3802 OR NEC210.12
- ALL FLOORING TO BE CONTINUOUS HARDWOOD SPECIFIED BY OWNER, U.N.O.
- MEETS R813 ACCORDING TO 2012 IECC 402.1.1
- AIR LEAKAGE RATE NOT TO EXCEED 3 AIR CHANGES PER HOUR. BOWA TO TEST BUILDING THERMAL ENVELOP IN ACCORDANCE WITH 2012 IECC 402.4.1.2
- BOWA TO INSTALL OPEN CELL SPRAY INSULATION IN ENTIRE ATTIC ROOF LINE

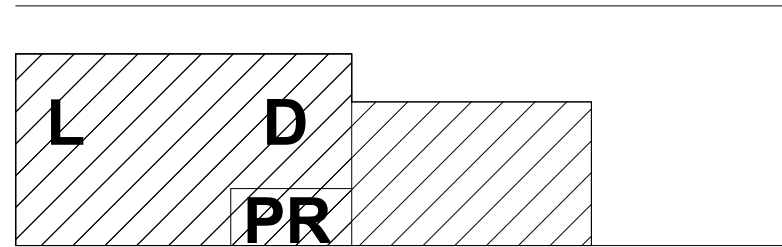
GRAPHIC LEGEND

- EXISTING TO REMAIN
- NEW WORK
- NIC

SHEET KEYNOTES

- INSTALL NEW DOOR BELOW STAIR WALL.
- PATCH AND REPAIR EXISTING WALL AS REQUIRED
- PATCH AND REPAIR OUTDOOR CORRIDOR BRICK PAVERS AS REQUIRED
- OUTDOOR TRASH BIN STORAGE
- INSTALL NEW WEATHER STRIPS IN SUNROOM WINDOWS.
- SUPPLY AND INSTALL 3 ELECTRIC BASEBOARD HEATERS IN SUNROOM
- SAND, CUSTOM STAIN, AND FINISH NEW AND EXISTING HARDWOOD FLOORING IN KITCHEN, DINING ROOM AND LIVING ROOM.
- KITCHEN EXTENSION ABOVE STAIR. PROVIDE INSULATION UNDER SLAB AS REQUIRED.
- SUPPLY AND INSTALL NEW ENERGY RECOVER VENTILATOR IN ENCLOSED STAIR AREAWAY. REFER TO MECHANICAL DRAWINGS.
- EXISTING WINDOW TO REMAIN. INSTALL PRIVACY FILM ON GLASS.
- INSTALL NEW INTERIOR SHAFT PARTITION TO SEAL EXISTING COAL SHAFT.
- REINSTALL EXISTING SINK 6" FOWARD FROM ORIGINAL LOCATION. REFERT TO PLUMBING DRAWINGS.
- NEW POWDER ROOM WASTE LINE. REFER TO PLUMBING DRAWINGS
- PATCH AND REPAIR BASEMENT SLAB AND FLOORING AS REQUIRED
- BUILD AND FURNISH HOMEOWNER BATH PER PREVIOUSLY PERMITTED PLANS. REFER TO ENLARGED VIEWS, POWER PLAN AND SCHEDULES FOR FINISHES AND PLUMBING FIXTURES.

KEY PLAN



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PROJECT: RESIDENCE3415
ADDRESS: 3415 P ST NW
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SHEET SUBMISSION INDEX

- 10/15/2020 - OGB REVIEW
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REV NO. REVISION DATE

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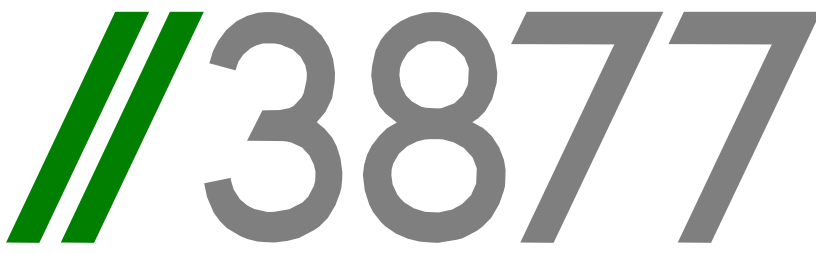
SHEET TITLE: LEVEL 1 & BASEMENT - FLOOR PLAN

PROJECT NO: 2020.85

DATE ISSUED: 07/24/19

SCALE: As indicated

A101



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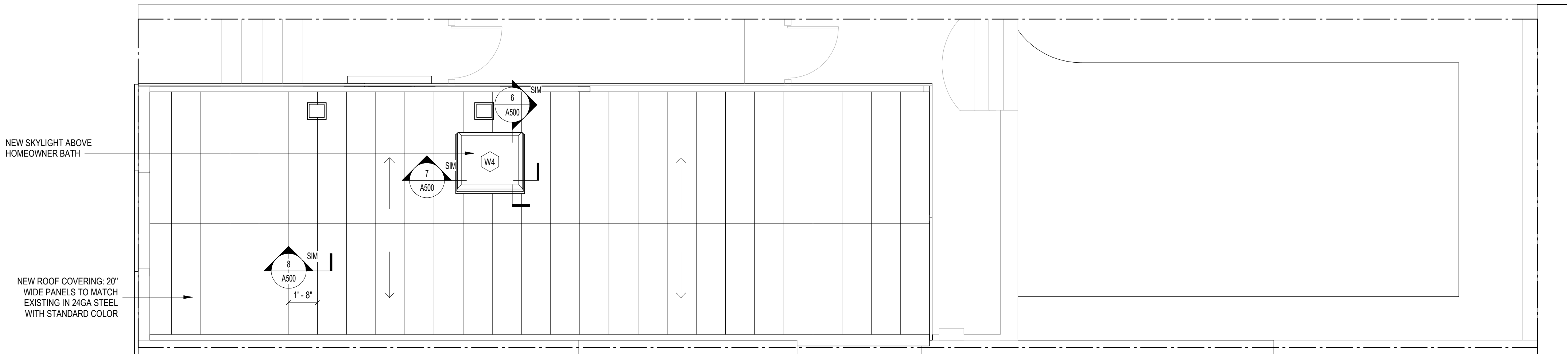
SHEET TITLE: LEVEL 2 & ROOF - FLOOR PLAN

PROJECT NO: 2020.85

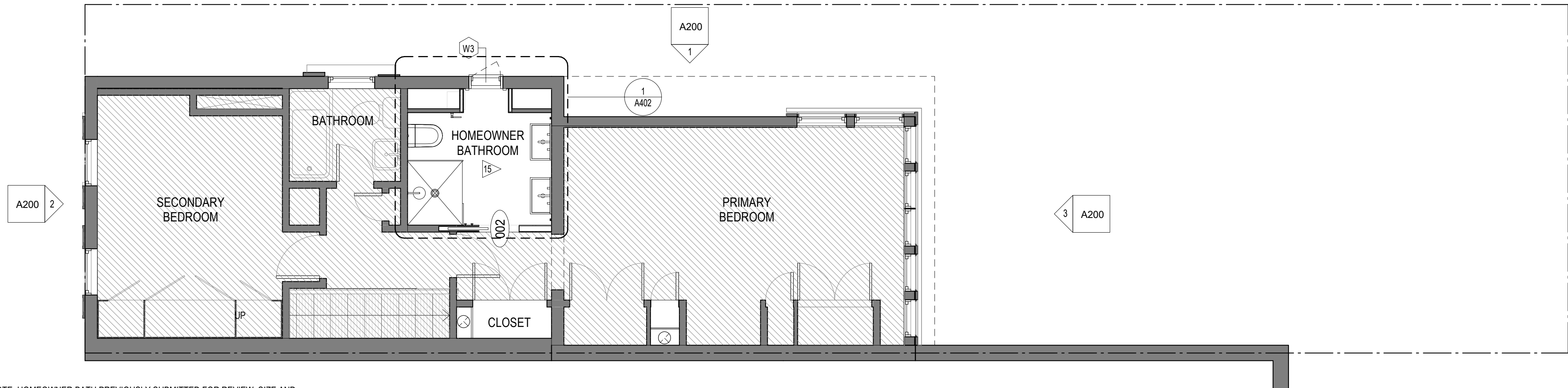
DATE ISSUED: 07/24/19

SCALE: As indicated

A102



2 ROOF - FLOOR PLAN
1/4" = 1'-0"



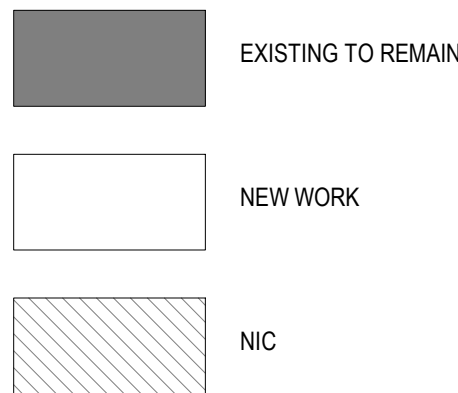
NOTE: HOMEOWNER BATH PREVIOUSLY SUBMITTED FOR REVIEW. SIZE AND LOCATION UPDATED PER CURRENT SUBMISSION

1 LEVEL 02 - FLOOR PLAN
1/4" = 1'-0"

CONSTRUCTION GENERAL NOTES

- ALL DIMENSIONS TO FINISH FACE, U.N.O.
- ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE 0002 FOR PARTITION SCHEDULE.
- WALL FINISH AS NOTED.
- ALL CEILINGS TO BE 1/2" GWB - PAINTED - FLAT FINISH
- REPAIR ALL WALLS EXISTING TO REMAIN AS REQUIRED
- PROVIDE ARC-FAULT PROTECTION FOR ALL LIVING SPACE OUTLETS TO COMPLY W/IRC E3802 OR NEC210.12
- ALL FLOORING TO BE CONTINUOUS HARDWOOD SPECIFIED BY OWNER, U.N.O.
- MEETS R813 ACCORDING TO 2012 IECC 402.1.1
- AIR LEAKAGE RATE NOT TO EXCEED 3 AIR CHANGES PER HOUR. BOWA TO TEST BUILDING THERMAL ENVELOP IN ACCORDANCE WITH 2012 IECC 402.4.1.2
- BOWA TO INSTALL OPEN CELL SPRAY INSULATION IN ENTIRE ATTIC ROOF LINE

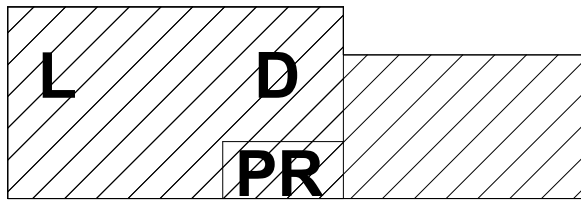
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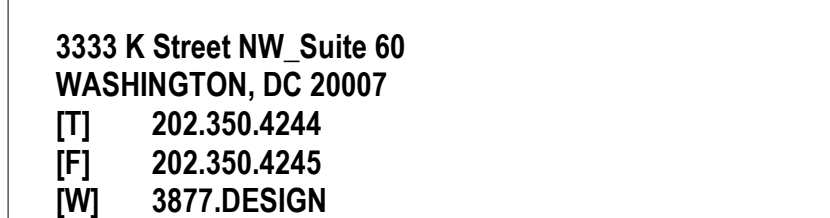


SHEET KEYNOTES

- INSTALL NEW DOOR BELOW STAIR WALL.
- PATCH AND REPAIR EXISTING WALL AS REQUIRED
- PATCH AND REPAIR OUTDOOR CORRIDOR BRICK PAVERS AS REQUIRED
- OUTDOOR TRASH BIN STORAGE
- INSTALL NEW WEATHER STRIPS IN SUNROOM WINDOWS.
- SUPPLY AND INSTALL 3 ELECTRIC BASEBOARD HEATERS IN SUNROOM
- SAND, CUSTOM STAIN, AND FINISH NEW AND EXISTING HARDWOOD FLOORING IN KITCHEN, DINING ROOM AND LIVING ROOM.
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- SUPPLY AND INSTALL NEW ENERGY RECOVER VENTILATOR IN ENCLOSED STAIR AREAWAY. REFER TO MECHANICAL DRAWINGS.
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KEY PLAN





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DRAWING DATA

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ADDRESS: 3415 P ST NW
WASHINGTON, DC, 20007

SHEET SUBMISSION INDEX

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SHEET TITLE: REFLECTED CEILING PLAN

PROJECT NO: 2020.85

DATE ISSUED: 07/24/19

SCALE: As indicated

A103

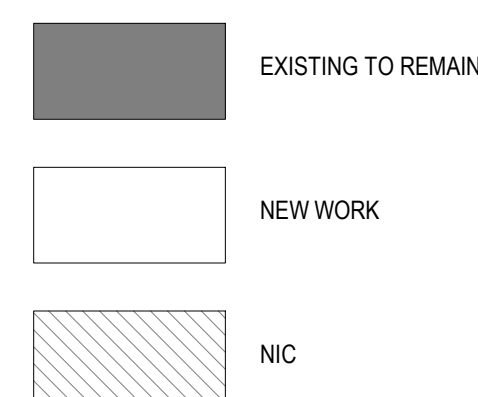


1 LEVEL 01 - REFLECTED CEILING PLAN
1/4" = 1'-0"

CONSTRUCTION GENERAL NOTES

1. ALL DIMENSIONS TO FINISH FACE, U.N.O.
2. ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE 0002 FOR PARTITION SCHEDULE
3. WALL FINISH AS NOTED.
4. ALL CEILINGS TO BE 1/2" GWB - PAINTED - FLAT FINISH
5. REPAIR ALL WALLS EXISTING TO REMAIN AS REQUIRED
6. PROVIDE ARC-FAULT PROTECTION FOR ALL LIVING SPACE OUTLETS TO COMPLY W/IRC E3802 OR NEC210.12
7. ALL FLOORING TO BE CONTINUOUS HARDWOOD SPECIFIED BY OWNER, U.N.O.
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9. AIR LEAKAGE RATE NOT TO EXCEED 3 AIR CHANGES PER HOUR. BOWA TO TEST BUILDING THERMAL ENVELOPE IN ACCORDANCE WITH 2012 IECC 402.1.2
10. BOWA TO INSTALL OPEN CELL SPRAY INSULATION IN ENTIRE ATTIC ROOF LINE.

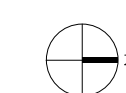
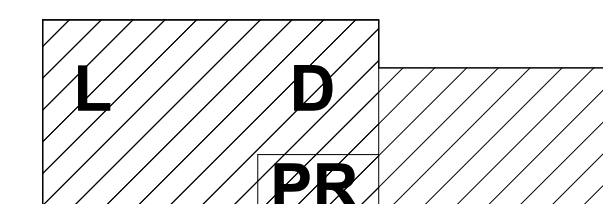
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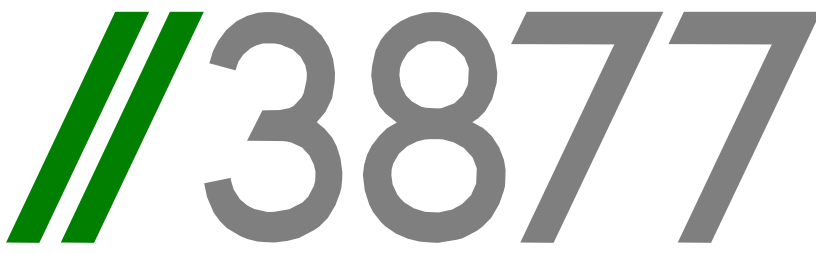


SHEET KEYNOTES

- | | |
|----|--|
| 1 | PATCH AND REPAIR LIVING ROOM/ DINING ROOM CEILING AND MOULDING AS REQUIRED. EXISTING LIGHTS TO REMAIN. |
| 2 | INSTALL NEW CEILING & NEW LIGHTS |
| 3 | INSTALL NEW CEILING LIGHT AT STAIR LANDING |
| 4 | RANGE HOOD. REFER TO MECHANICAL PLANS |
| 5 | EXHAUST FAN. REFER TO MECHANICAL PLANS |
| 6 | REINSTALL EXISTING LIGHT SWITCH. |
| 7 | SMOKE DETECTORS INSTALLED PER CODE. |
| 8 | INSTALL NEW CATHEDRAL STYLE CEILING AND SKYLIGHT. |
| 9 | INSTALL NEW WALL MOUNTED LIGHTING FIXTURES |
| 10 | BOWA TO PROVIDE ACCESS TO ATTIC FROM BEDROOM CEILING TO INSTALL OPEN CELL SPRAY INSULATION IN ENTIRE ATTIC ROOF LINE |
| 11 | EXTERIOR SOFFIT EXISTING TO REMAIN |
| 12 | BOWA TO INSTALL PULL DOWN LADDER FOR ACCESS TO ATTIC FROM BEDROOM CEILING. BOWA TO INSTALL OPEN CELL SPRAY INSULATION THROUGHOUT ATTIC SPACE |

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KRISTIN IKENSON
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PROJECT: **RESIDENCE3415**
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- 10/15/2020 - OGB REVIEW
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REV NO.	REVISION	DATE
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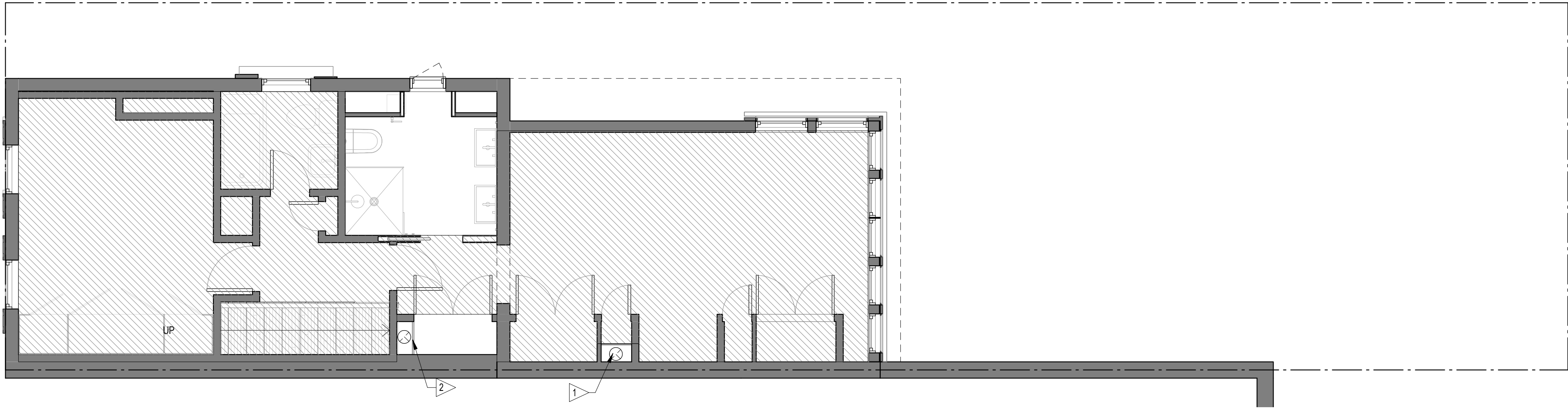
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PROJECT NO: 2020.85

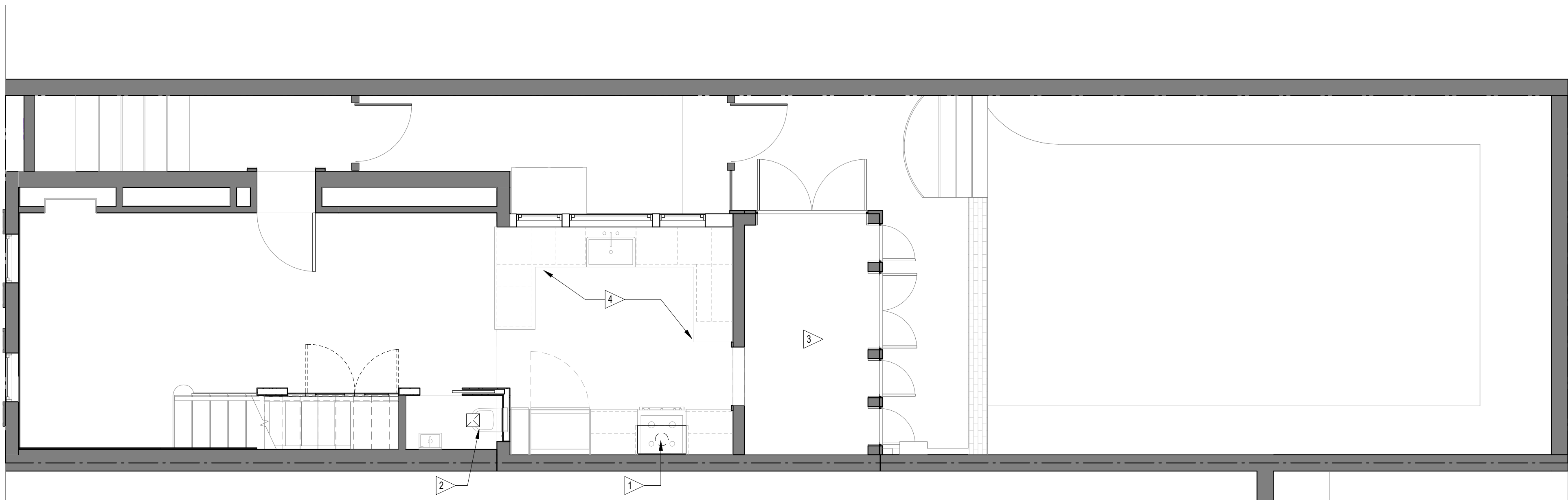
DATE ISSUED: 08/11/20

SCALE: As indicated

A104



2 LEVEL 02 - FLOOR PLAN - MECH
1/4" = 1'-0"



1 LEVEL 01 - FLOOR PLAN - MECH
1/4" = 1'-0"

CONSTRUCTION GENERAL NOTES

- ALL DIMENSIONS TO FINISH FACE, U.N.O.
- ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE 0002 FOR PARTITION SCHEDULE.
- WALL FINISH AS NOTED.
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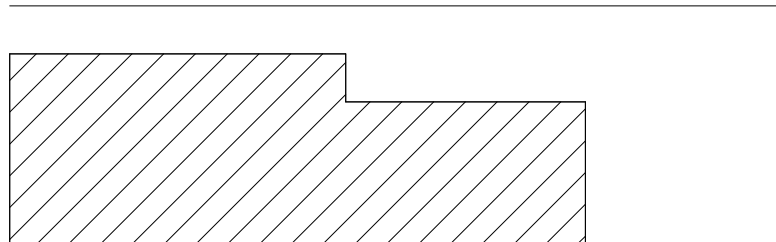
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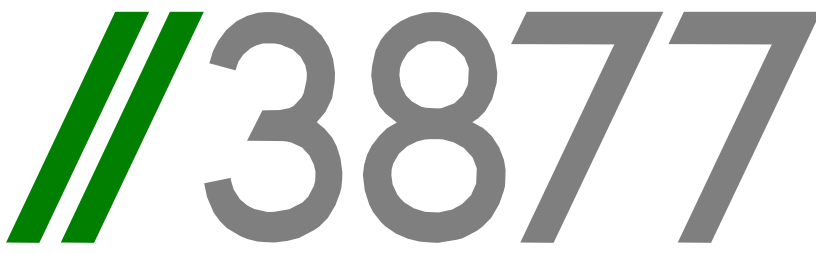
- | | |
|--|--------------------|
| | EXISTING TO REMAIN |
| | NEW WORK |
| | NIC |

SHEET KEYNOTES

- | | |
|---|---|
| 1 | RANGE HOOD. COORDINATE REQUIREMENTS FOR KITCHEN EXHAUST WITH PRODUCTS SELECTED IN OWNER'S EQ SELECTION. RUN DUCTWORK AND EXHAUST TO ROOF. |
| 2 | EXHAUST FAN. RUN DUCTWORK AND EXHAUST TO ROOF. |
| 3 | SUPPLY AND INSTALL 3 ELECTRIC BASEBOARD HEATERS IN SUNROOM |
| 4 | INSTALL SUPPLY AIR TOE KICK REGISTERS UNDERNEATH KITCHEN CABINETS. |

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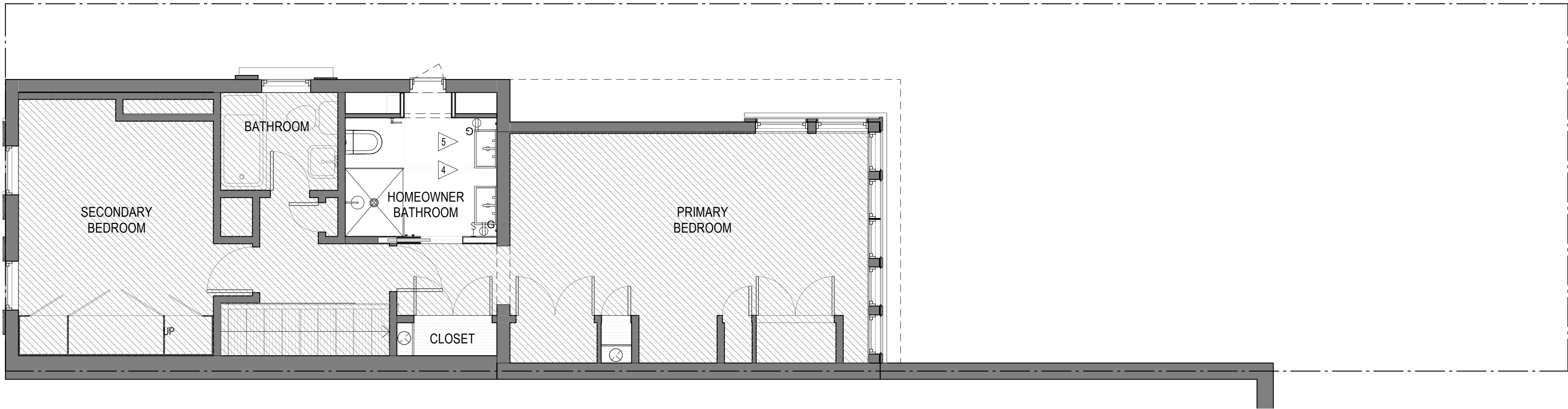
SHEET TITLE: POWER & LIGHTING PLAN

PROJECT NO: 2020.85

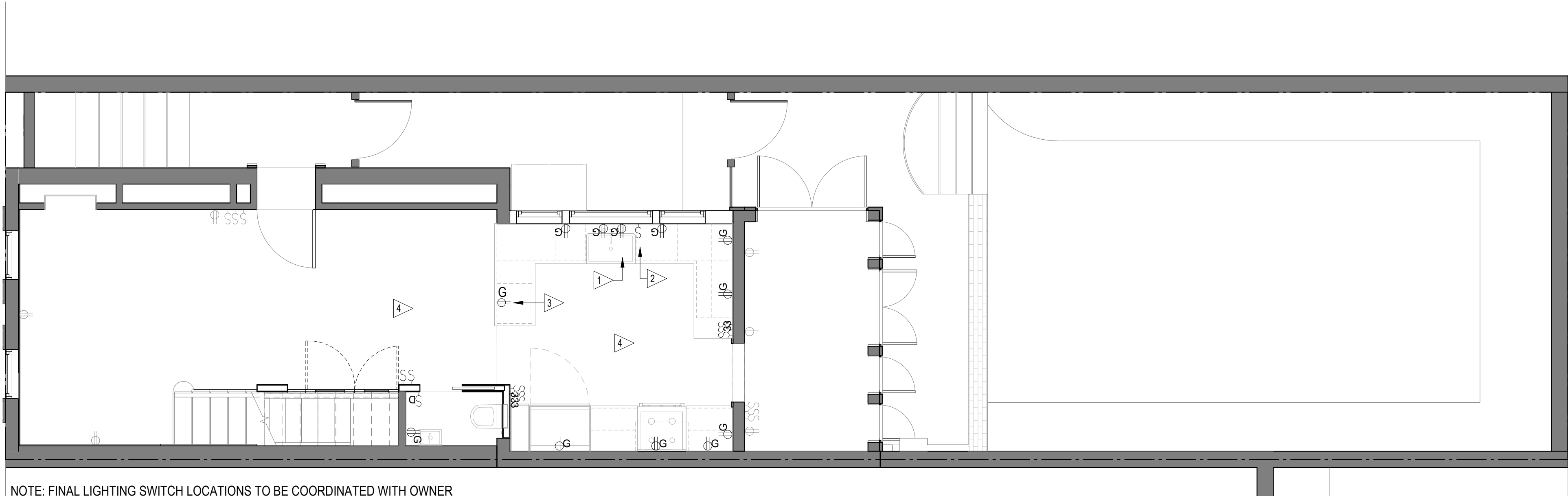
DATE ISSUED: 08/11/20

SCALE: As indicated

A105



2 LEVEL 02 - FLOOR PLAN - POWER/DATA
1/4" = 1'-0"



1 LEVEL 01 - FLOOR PLAN - POWER/DATA
1/4" = 1'-0"

CONSTRUCTION GENERAL NOTES

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GRAPHIC LEGEND

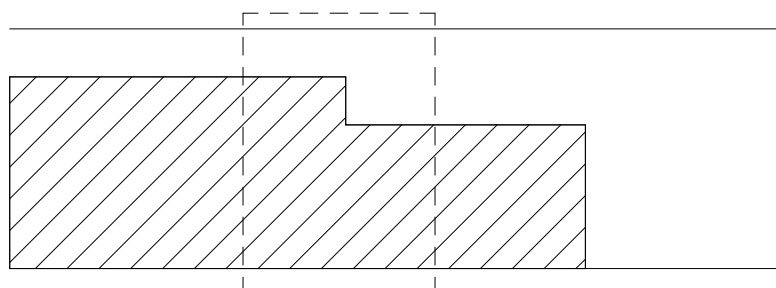
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- NEW WORK
- NIC

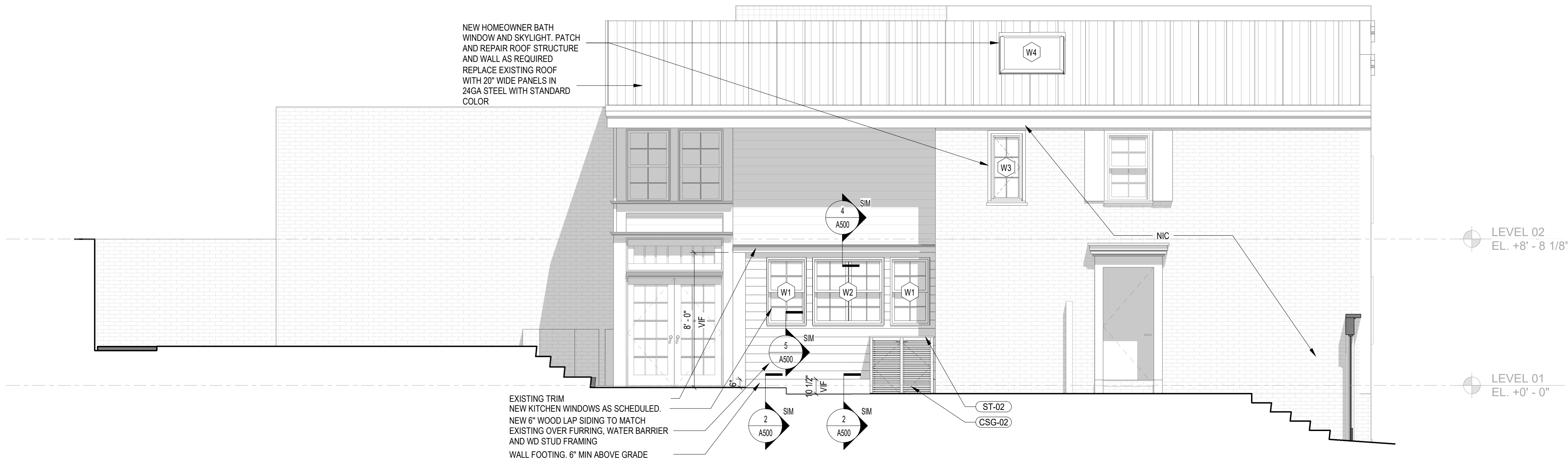
- DUPLEX OUTLET
- QUADPLEX OUTLET
- GFCI OUTLET
- DUPLEX OUTLET W/ USB
- TELEPHONE OUTLET
- TELEVISION OUTLET
- Cat6 RJ45 INTERNET OUTLET
- HIGH SPEED INTERNET ACCESS
- SWITCH (4'-0" AFF MAX - TOP OPERABLE)
- THREE WAY SWITCH
- DIMMER SWITCH
- SMOKE DETECTOR

SHEET KEYNOTES

- GARBAGE DISPOSAL UNDERNEATH SINK. PROVIDE POWER AS REQUIRED.
- DISHWASHER RECEPTACLE TO BE ACCESSIBLE (UNDER THE SINK) OR IF HARDWIRED MUST HAVE A DISCONNECT CAPABLE OF BEING LOCKED IN THE OPEN POSITION
- MICROWAVE DRAWER BELOW COUNTER. PROVIDE POWER AS REQUIRED. COORDINATE WITH MILLWORK DESIGN.
- SWITCH AND OUTLETS TYPE/COLOR TO MATCH EXISTING FROM IN STOCK MATERIALS UNO
- ELECTRICAL HEATED TILE IN HOMEOWNER BATH

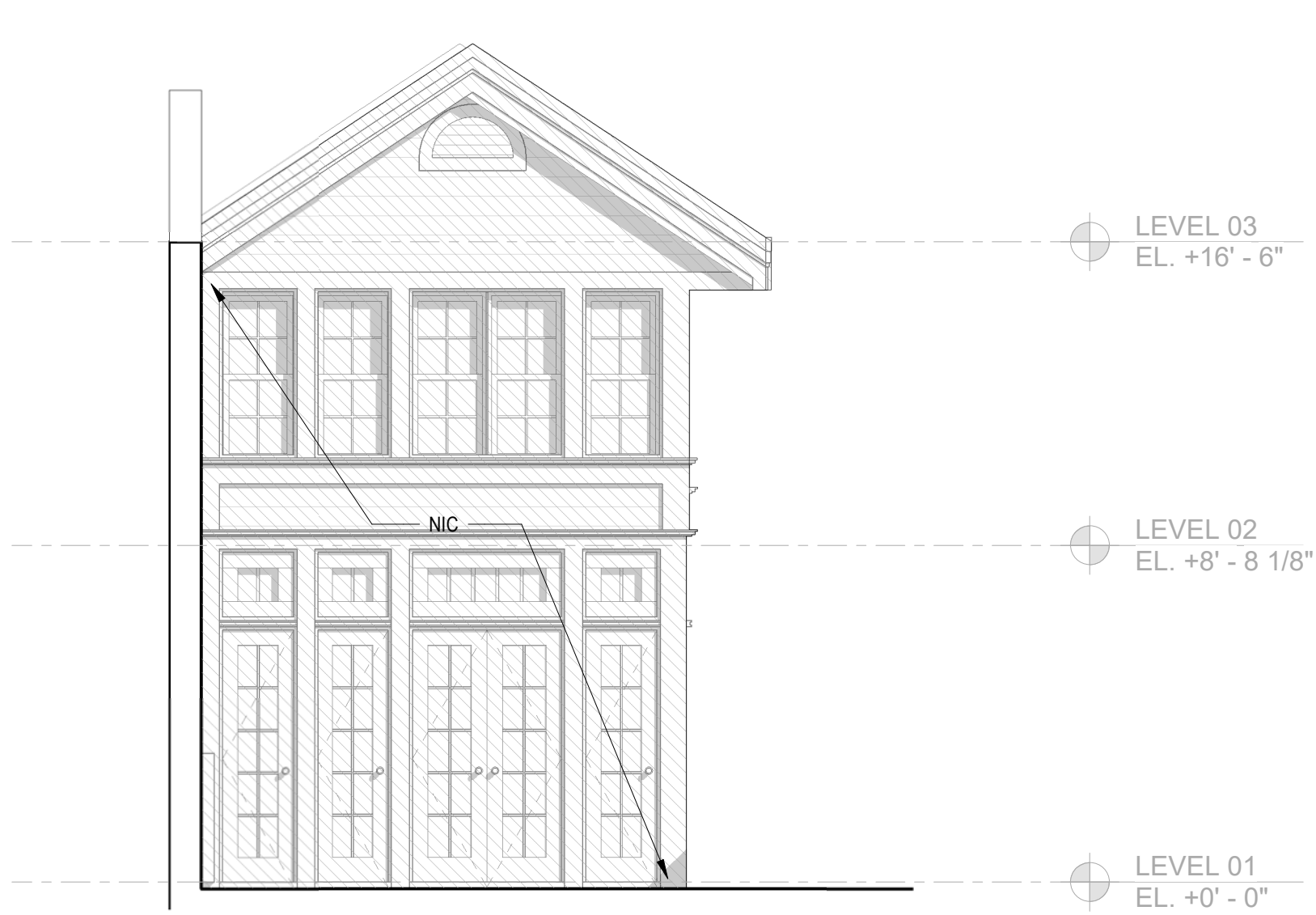
KEY PLAN



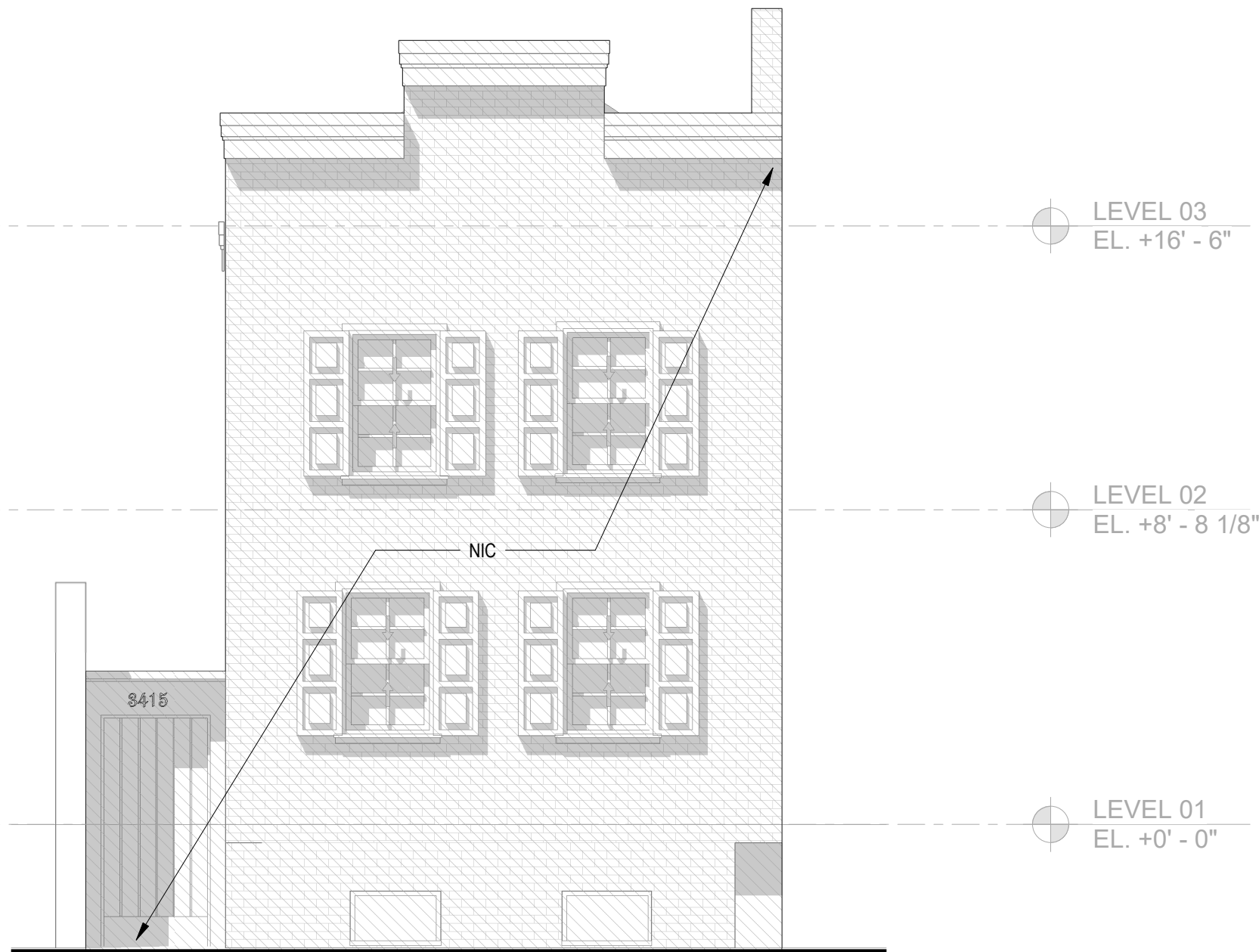


NOTE: HOMEOWNER BATH PREVIOUSLY SUBMITTED FOR REVIEW. SIZE AND LOCATION UPDATED PER CURRENT SUBMISSION

1 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



3 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"

CONSTRUCTION GENERAL NOTES

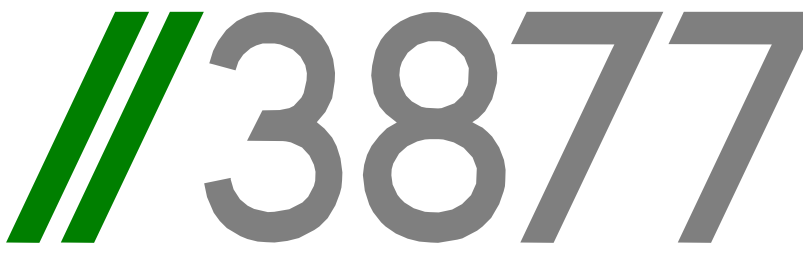
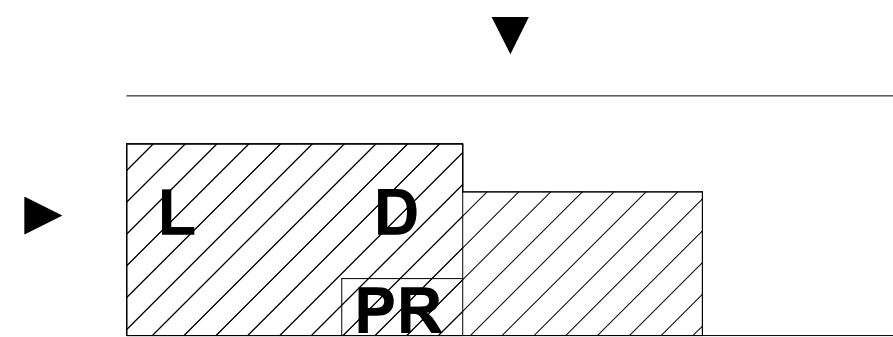
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GRAPHIC LEGEND

- EXISTING TO REMAIN
- NEW WORK
- NIC

SHEET KEYNOTES

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SHEET TITLE: EXTERIOR ELEVATIONS

PROJECT NO: 2020.85

DATE ISSUED: 07/24/19

SCALE: As indicated

A200



3 EXTERIOR PERSPECTIVE - VIEW FROM CORRIDOR - NORTHWEST



4 EXTERIOR PERSPECTIVE - VIEW FROM CORRIDOR - SOUTHWEST



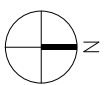
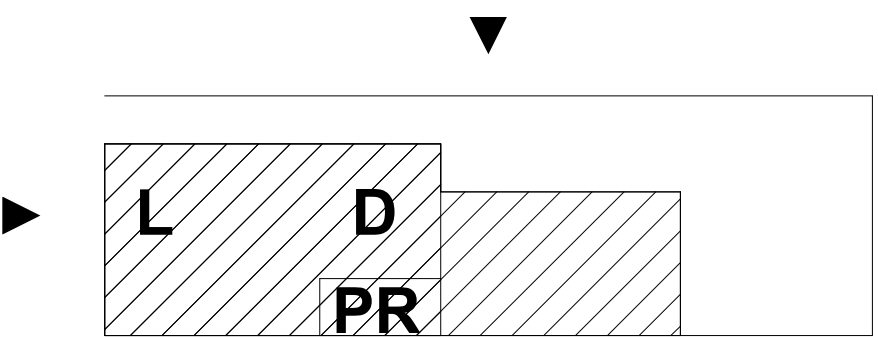
2 EXTERIOR PERSPECTIVE - WEST FACADE/NEW KITCHEN WALL AND WINDOW



NOTE: NO WORK PERFORMED ON FRONT FACADE. IMAGE INCLUDED TO SHOW RENOVATIONS ARE NOT VISIBLE FROM THE STREET.

1 EXTERIOR PERSPECTIVE - FRONT FACADE

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SHEET TITLE: EXTERIOR PERSPECTIVES

PROJECT NO: 2020.85

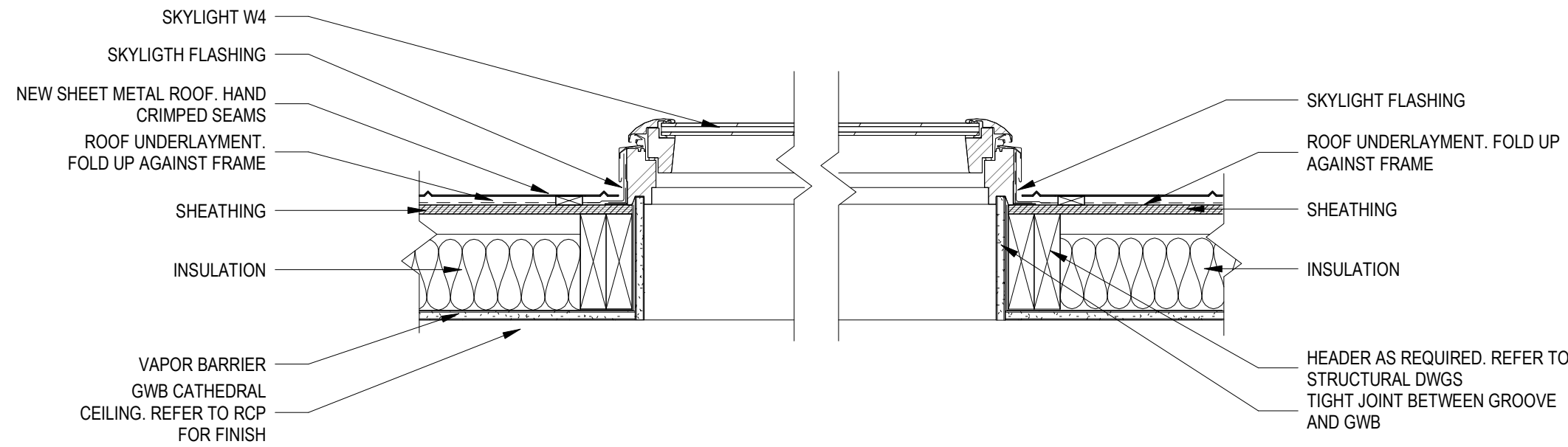
DATE ISSUED: 07/24/19

SCALE: As indicated

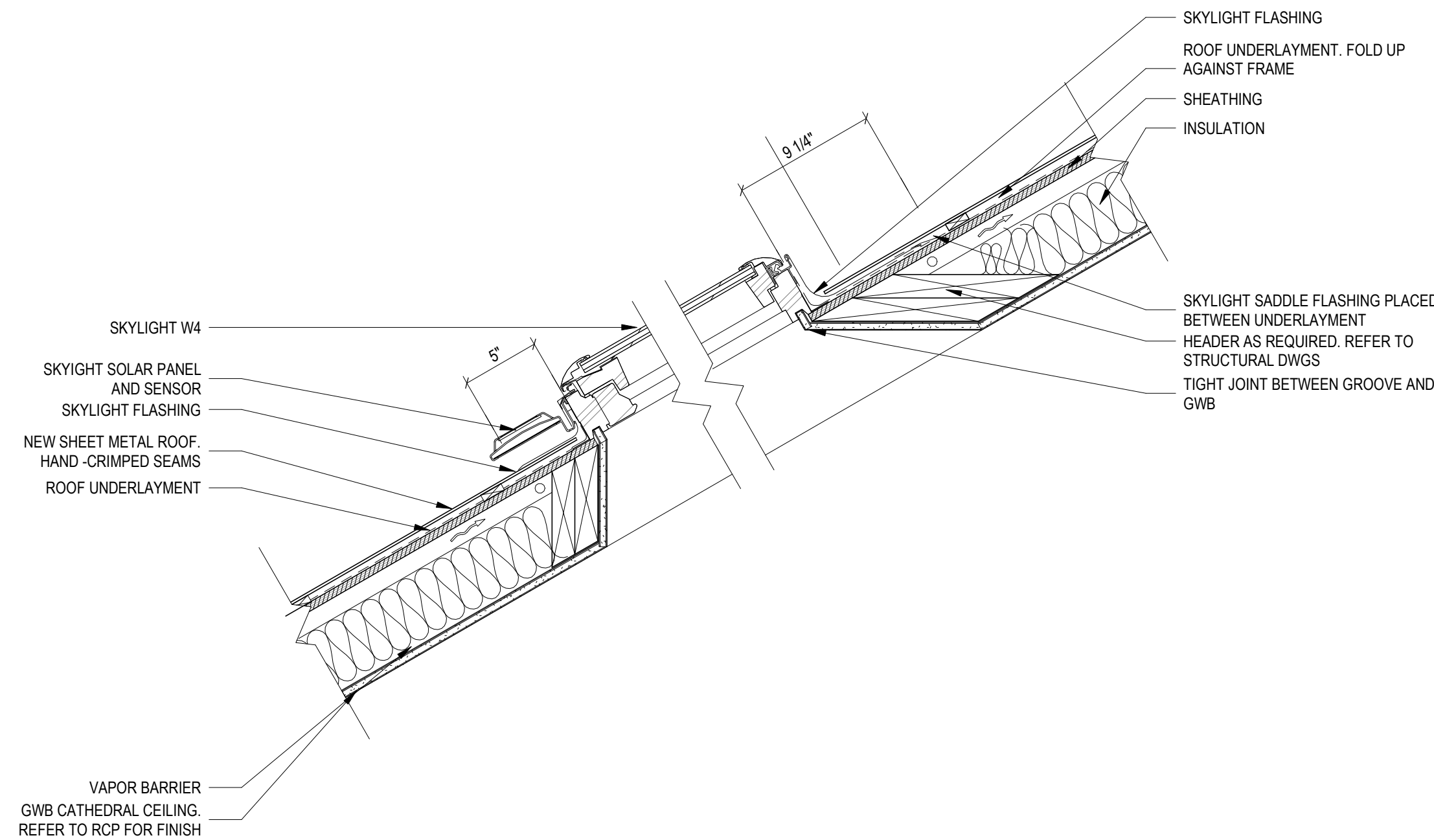
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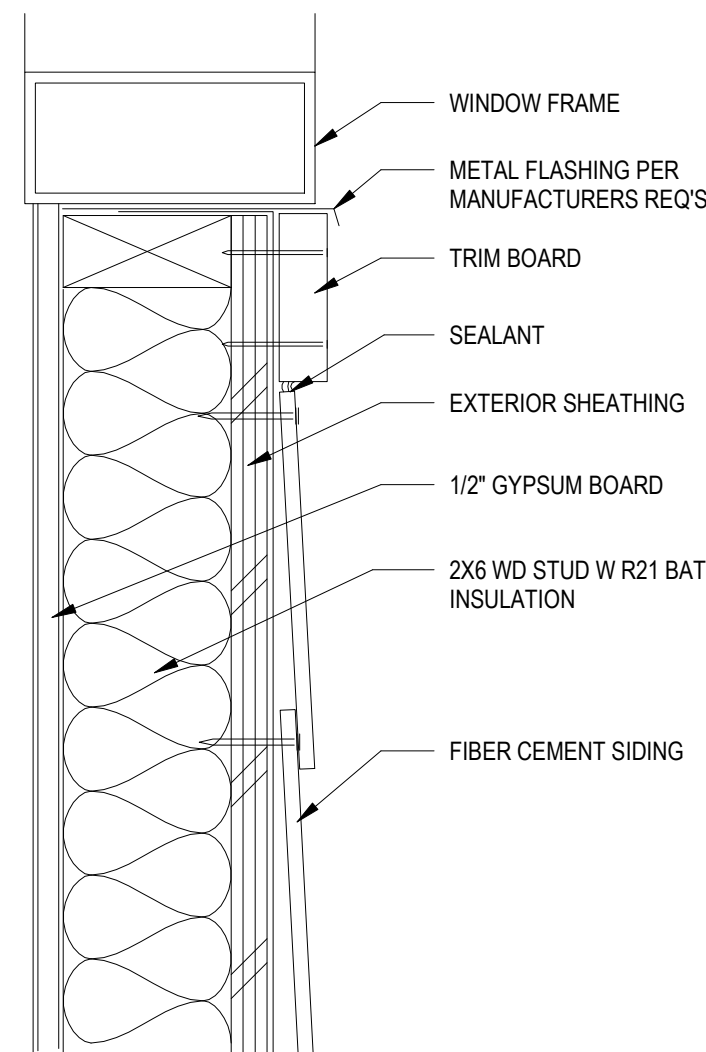
8 SECTION DETAIL - ROOF SEAM
6\"/>



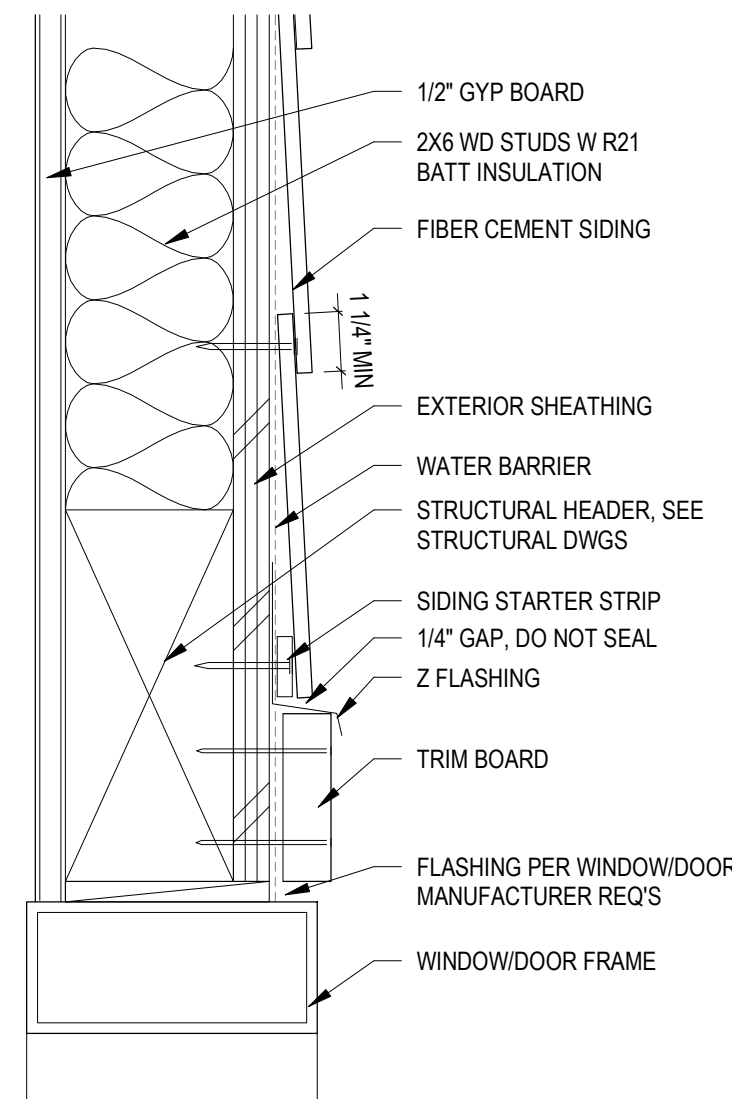
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1 1/2\"/>



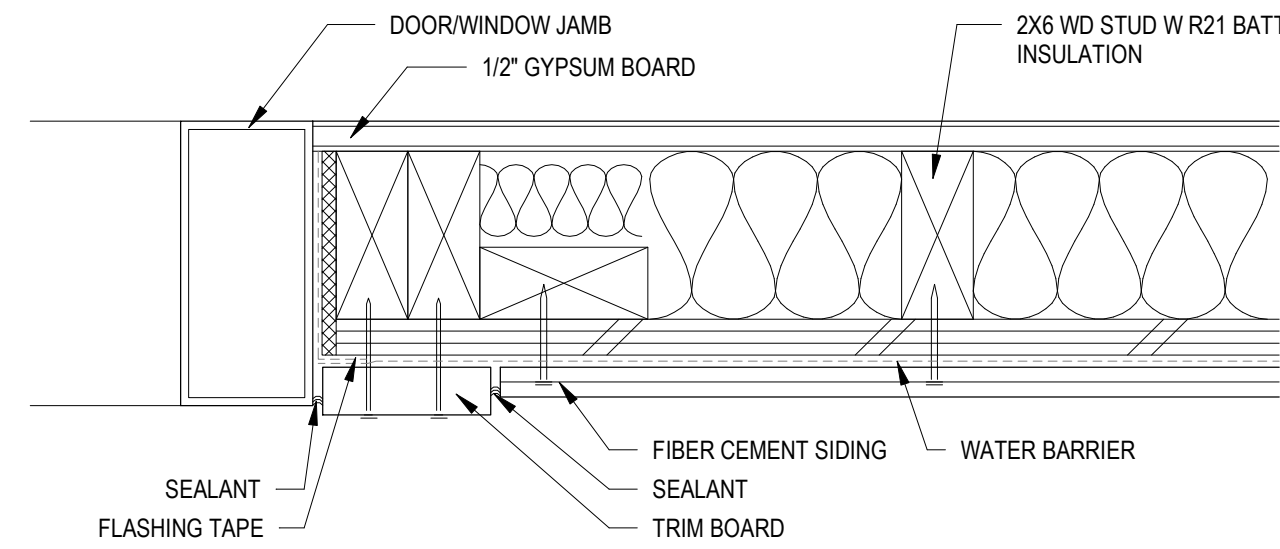
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1 1/2\"/>



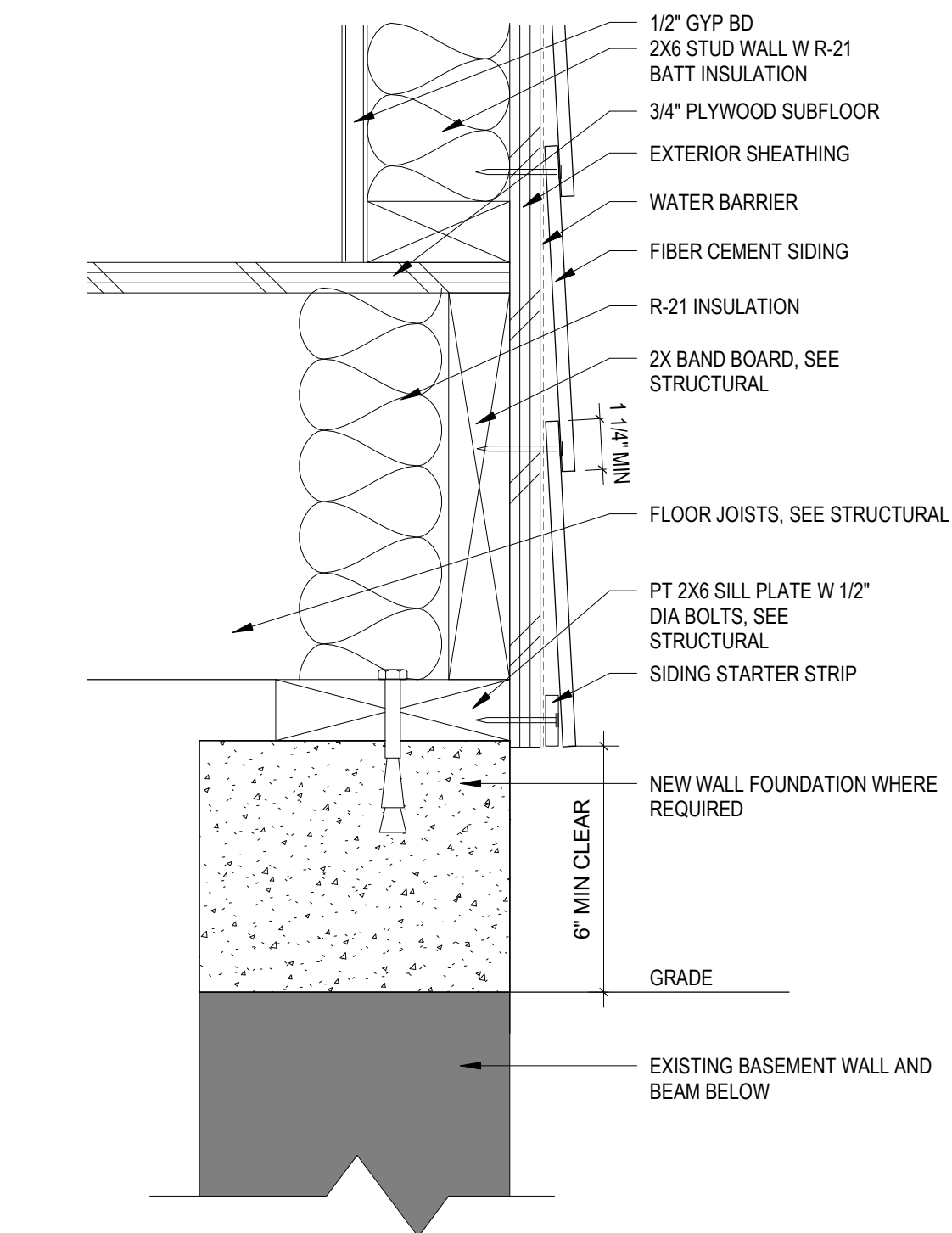
5 SECTION DETAIL - TYP WINDOW SILL
3\"/>



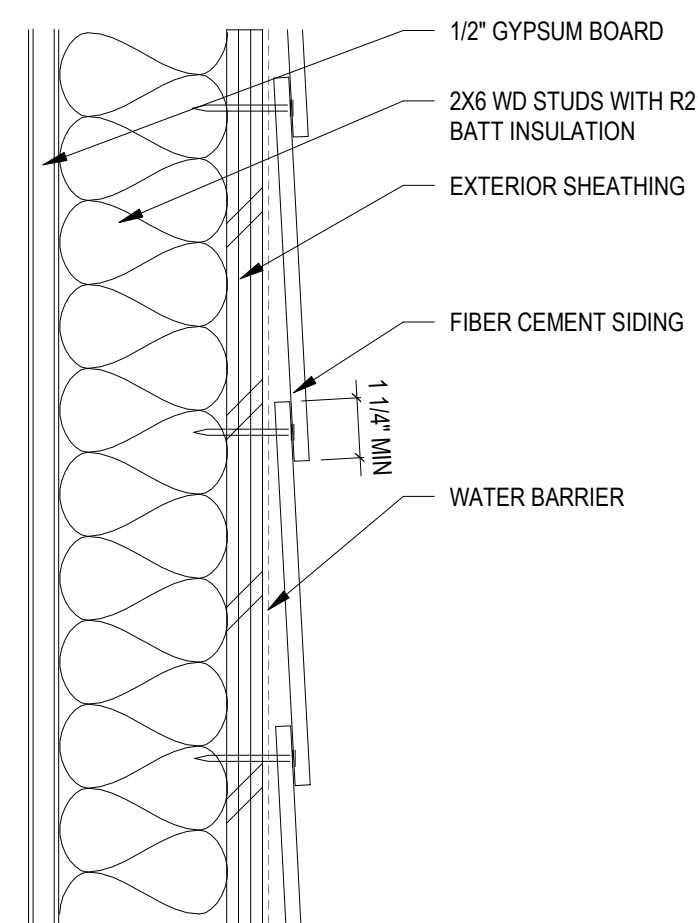
4 SECTION DETAIL - TYP WINDOW HEAD
3\"/>



3 PLAN DETAIL - TYPICAL WINDOW JAMB
3\"/>



2 SECTION DETAIL - TYP WALL @ GRADE DETAIL
3\"/>



1 SECTION DETAIL - HORIZONTAL LAP DETAIL
3\"/>

2015 IECC TABLE 402.4.1.1

AIR BARRIER AND INSULATION INSTALLATION - FOR NEW WORK ONLY

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
AIR BARRIER AND THERMAL BARRIER	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material
CEILING/ATTIC	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stair or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier
WALLS	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelop insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier
WINDOWS/SKYLIGHTS/DOORS	The space between window/door jambs and framing and skylights and framing shall be sealed.	
RIM JOISTS	Rim joists shall be in insulated and include the air barrier.	Rim joists shall be insulated
FLOORS (INCLUDING ABOVE-GRADE AND CANTILEVERED FLOORS)	The air barrier shall be installed at any exposed edge of insulation	Floor framing cavity insulation shall be installed to remain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.
SHAFTS, PENETRATIONS	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	
NARROW CAVITIES		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
RECESSED LIGHTING	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
PLUMBING AND WIRING		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
SHOWER/TUB ON EXTERIOR WALL	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	The air barrier shall be installed behind electrical or communication boxes or air sealed boxes shall be installed.	
HVAC REGISTER BOOTS	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	



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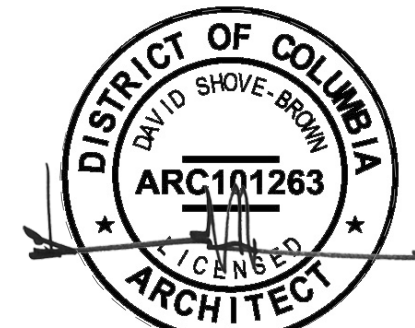
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SHEET TITLE: CONSTRUCTION DETAILS

PROJECT NO: 2020.85

DATE ISSUED: 07/24/19

SCALE: As indicated

A500