

# 3306 R Street Addition

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## Concept Design Submission

for

December 3, 2020



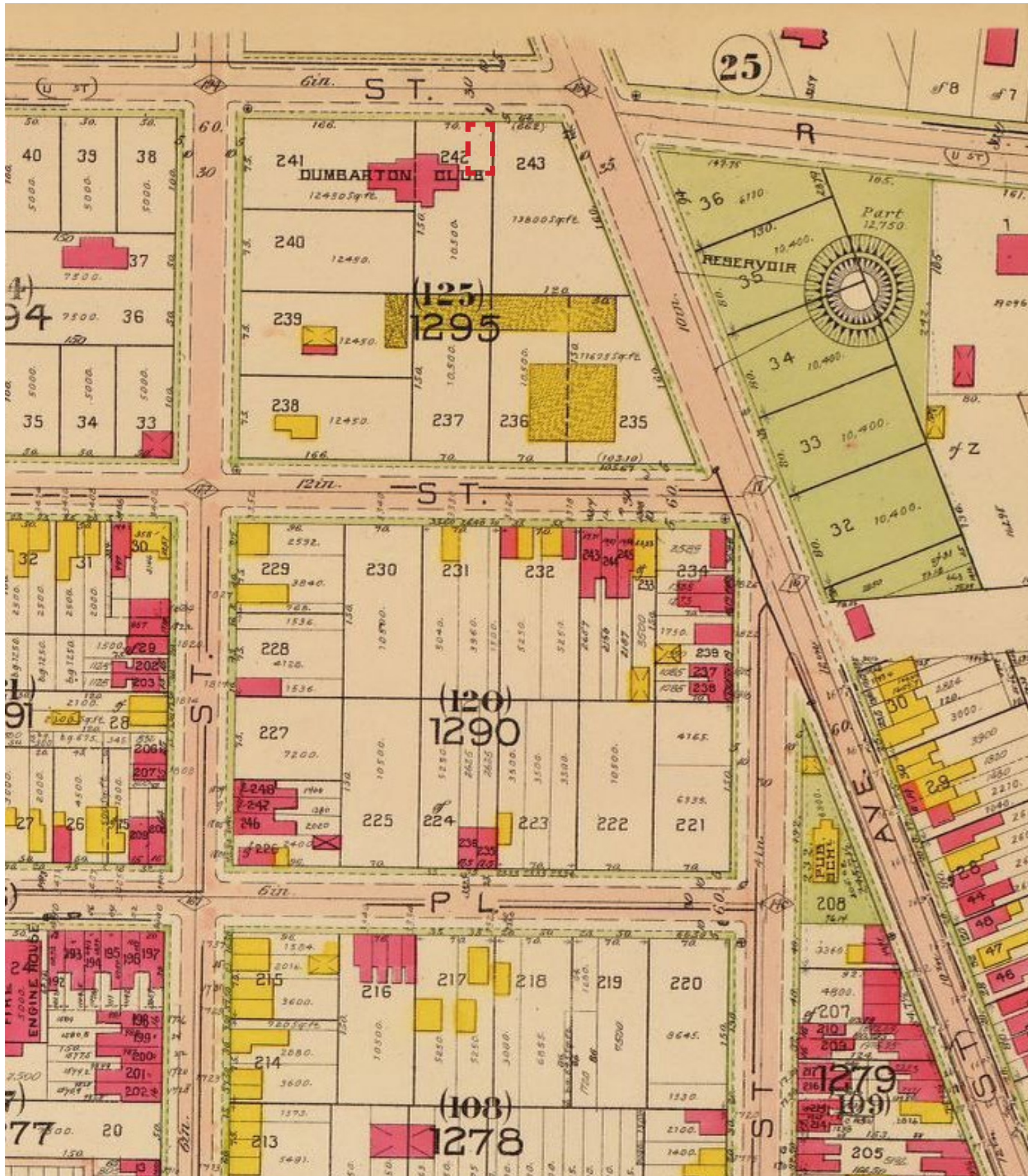
rudi:d

Rudi Djabbarzadeh  
2740 Chain Bridge Rd NW  
Washington, DC 20016  
202-258-9200  
rudi@rudid.com









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1. Historical Context
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Evalyn Walsh McLean

THE CHARLES E. PETERSON PRIZE IS AN ANNUAL STUDENT COMPETITION TO PRODUCE HABs MEASURED DRAWINGS SPONSORED BY THE HISTORIC AMERICAN BUILDINGS SURVEY OF THE NATIONAL PARK SERVICE AND THE ATHENAEUM OF PHILADELPHIA. THIS DRAWING WAS AN ENTRY IN 1998.

REMNANT OF SHUTTER

**MATERIALS:**

ROOF: SLATE SHINGLES

CORNICE: PAINTED WOOD

WALLS AND FOUNDATION: COMMON BOND PAINTED BRICK

WINDOWS: PREDOMINANTLY 2/2 PAINTED WOOD

**NORTH ELEVATION**

SCALE: 3/16" = 1'

DEPICTION OF 3308 R STREET, NW, "MOUNT HOPE," AROUND 1830 AS PUBLISHED IN THE WASHINGTON SUNDAY STAR, FEBRUARY 8, 1942. AROUND THE TIME THE HOUSE WAS PURCHASED BY EVALYN WALSH MCLEAN WHO RENAMED IT "FRIENDSHIP HOUSE."

MRS. MCLEAN WAS KNOWN FOR HER LAVISH PARTIES, OWNERSHIP OF THE HOPE DIAMOND, AND HER PHILANTHROPIC ACTIVITIES TOWARD THE WAR EFFORT.

THE GEORGETOWN DEVELOPMENT CORPORATION PURCHASED THE R STREET PROPERTY IN 1949 AND DIVIDED THE HOUSE INTO SEVERAL SECTIONS. IN THE YEARS TO COME, MANY MORE HOUSES WERE BUILT ON THE LAND THAT HAD BEEN GARDENS AND A SWIMMING POOL. THE FOUNDATION FOR THE PRESERVATION OF HISTORIC GEORGETOWN HOLDS A FACADE EASEMENT ON THE CENTER SECTION OF THE BUILDING, GRANTED IN 1980.

THIS WORK WAS DONE BY CLAUDE A. WILLIAMSON AND GREGORY N. MARINIC IN THE SPRING OF 1995 AT THE UNIVERSITY OF MARYLAND, COLLEGE PARK UNDER THE FACULTY SUPERVISION OF JUDITH M. CAPEN, AIA, IN A COURSE SUPPORTED UNDER A COOPERATIVE AGREEMENT BETWEEN THE NATIONAL PARK SERVICE, HABS, AND UMCP AND IN CONJUNCTION WITH THE GROSVENOR CHAPMAN MEMORIAL FUND OF THE FOUNDATION FOR THE PRESERVATION OF HISTORIC GEORGETOWN.

BUILT AROUND 1830, THIS GEORGETOWN MANSION WAS ORIGINALLY KNOWN AS "MOUNT HOPE" WHEN BUILT BY COL. WILLIAM ROBINSON. THE ESTATE WAS MUCH ADMIRER FOR ITS SWEEPING VIEW OF THE CITY AND THE POTOMAC RIVER. IT WAS SUBSEQUENTLY OCCUPIED BY MR. ROBINSON'S DAUGHTER, MRS. THOMAS COX AND HER HUSBAND WHO SOLD IT TO JOSEPH WEAVER IN 1875. THE PROPERTY WAS OWNED BY HIS FAMILY UNTIL IT WAS SOLD BY HIS HEIRS IN 1926. IN THE LATE 19TH CENTURY THE PROPERTY BECAME THE DUMBARTON TENNIS (OR MEN'S) CLUB. IN 1926, THE CLUB WAS PURCHASED FROM THE WEAVER HEIRS BY ALEXANDER C. KIRK, AMBASSADOR TO EGYPT, WHO MADE SIGNIFICANT CHANGES TO THE HOUSE INCLUDING RAISING THE CENTRAL PORTION AND ADDING A PAIR OF WINGS, EXTENDING IT TO THE LENGTH OF THE BLOCK. IN 1942, AMBASSADOR KIRK SOLD THE PROPERTY TO EVALYN WALSH MCLEAN WHO HAD BEEN LIVING AT HER FRIENDSHIP ESTATE NORTH OF GEORGETOWN UNTIL SHE SOLD THAT LAND TO THE FEDERAL GOVERNMENT DURING WORLD WAR II TO BUILD A HOUSING DEVELOPMENT, MCLEAN GARDENS. MRS. MCLEAN CARRIED THE NAME "FRIENDSHIP" TO HER NEW RESIDENCE, LIVING THERE UNTIL HER DEATH IN 1947.

NAME AND LOCATION OF STRUCTURE: **MOUNT HOPE/FRIENDSHIP HOUSE**  
3308 R STREET, NW, GEORGETOWN, WASHINGTON, D.C.

UNIVERSITY OF MARYLAND, COLLEGE PARK  
UNITED STATES DEPARTMENT OF THE INTERIOR

CLAUDE A. WILLIAMSON 1995

DAWN BY

UNIVERSITY OF MARYLAND, COLLEGE PARK  
UNITED STATES DEPARTMENT OF THE INTERIOR

HABS Survey - Claude Williamson 1995













*3310 R St, Rear Facade*





*3304 R St, Rear Facade*



*3304 R St, Rear Facade*



# Existing Building Survey



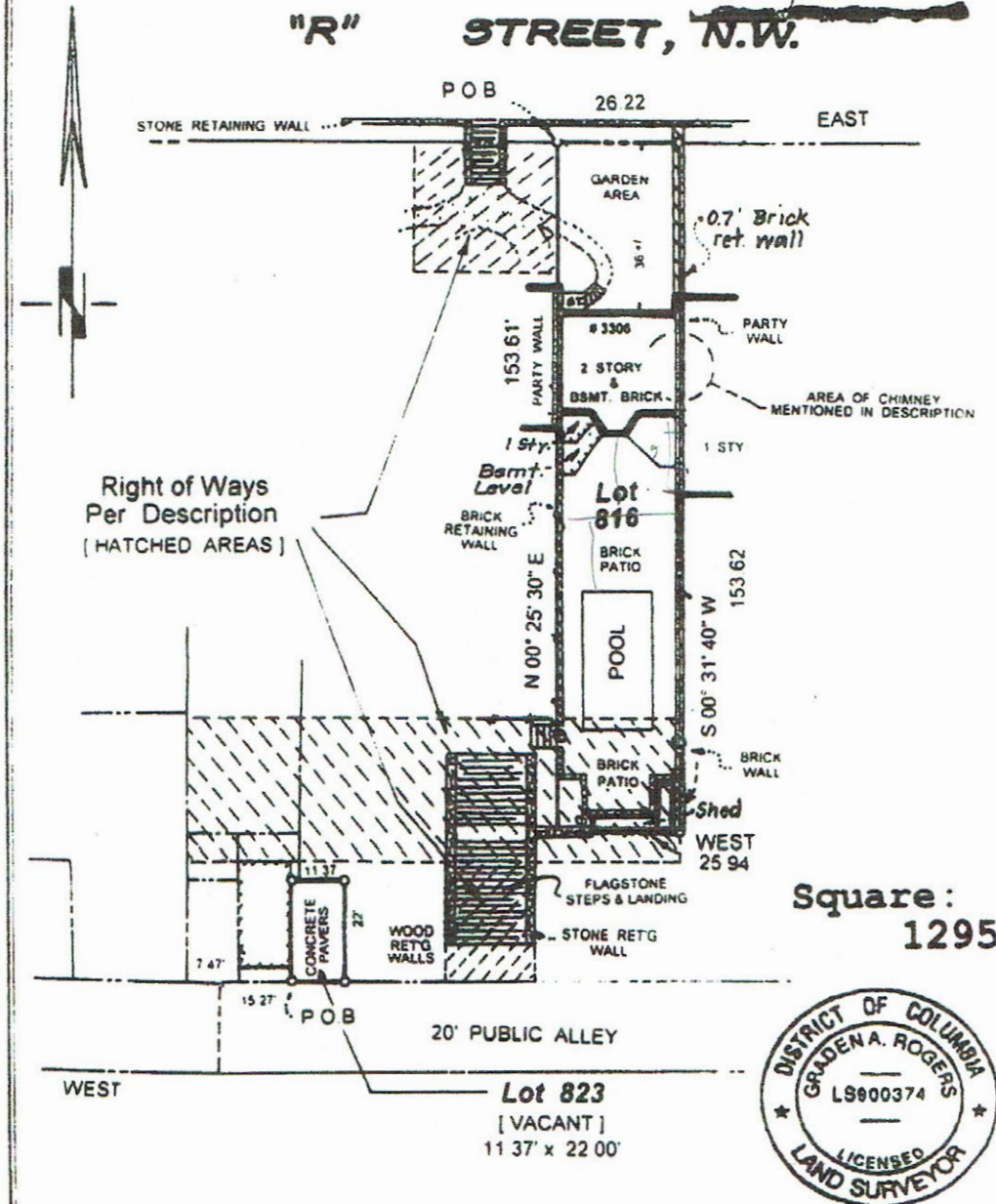
# Landtech Associates Inc.

10260 Old Columbia Road Rivers Center-Suite J  
Columbia MD 21046

Phone 410-290-8099 Fax 410-290-8299

NOTE: NOT TO BE USED FOR ISSUANCE OF PERMITS

SEEN & APPROVED



## Location Survey

# 3306 Reservoir Road, N.W.

Washington, D.C.

LOT	816 & 823	SQUARE	1295
LIBER	Per Description	FOLIO	Furnished
DATE	04/26/13	SCALE	1" = 30'
CASE NO	DC13-1392-DHL	FILE NO	LT 2130668

Certification. I hereby certify that the position of all existing visible improvements on the above described property has been carefully established in relation to the apparent title lines and that, unless otherwise shown, there are no visible encroachments. This is not a property line survey and should not be used for the erection of fences or any other improvements or for permit applications. (No title report furnished)

GRADEN A. ROGERS - D.C. Land Surveyor Lic LS900374





*View from R St, Front Facade*

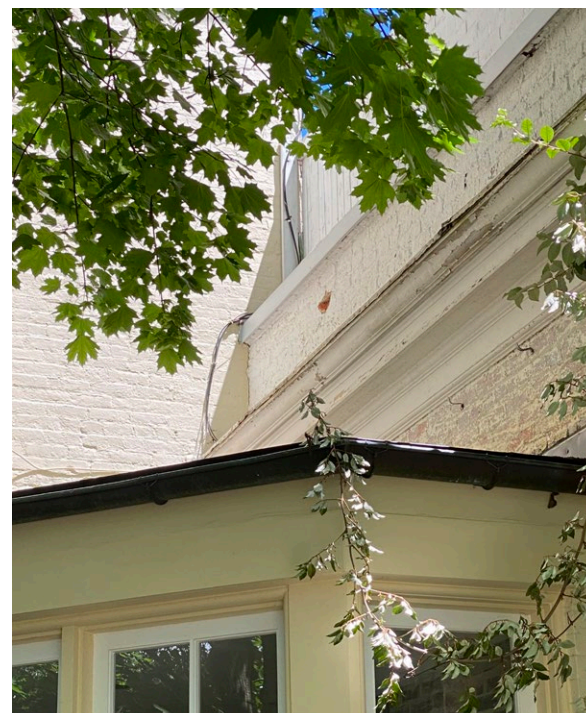


*Rear Facade*





*Rear Facade*



*Rear Facade*



*Rear Facade*





*View from R Street*





*View from Rear Alley*





*Dormer at 3310 R Street*

*View from Rear Alley*





*View from Second Floor*

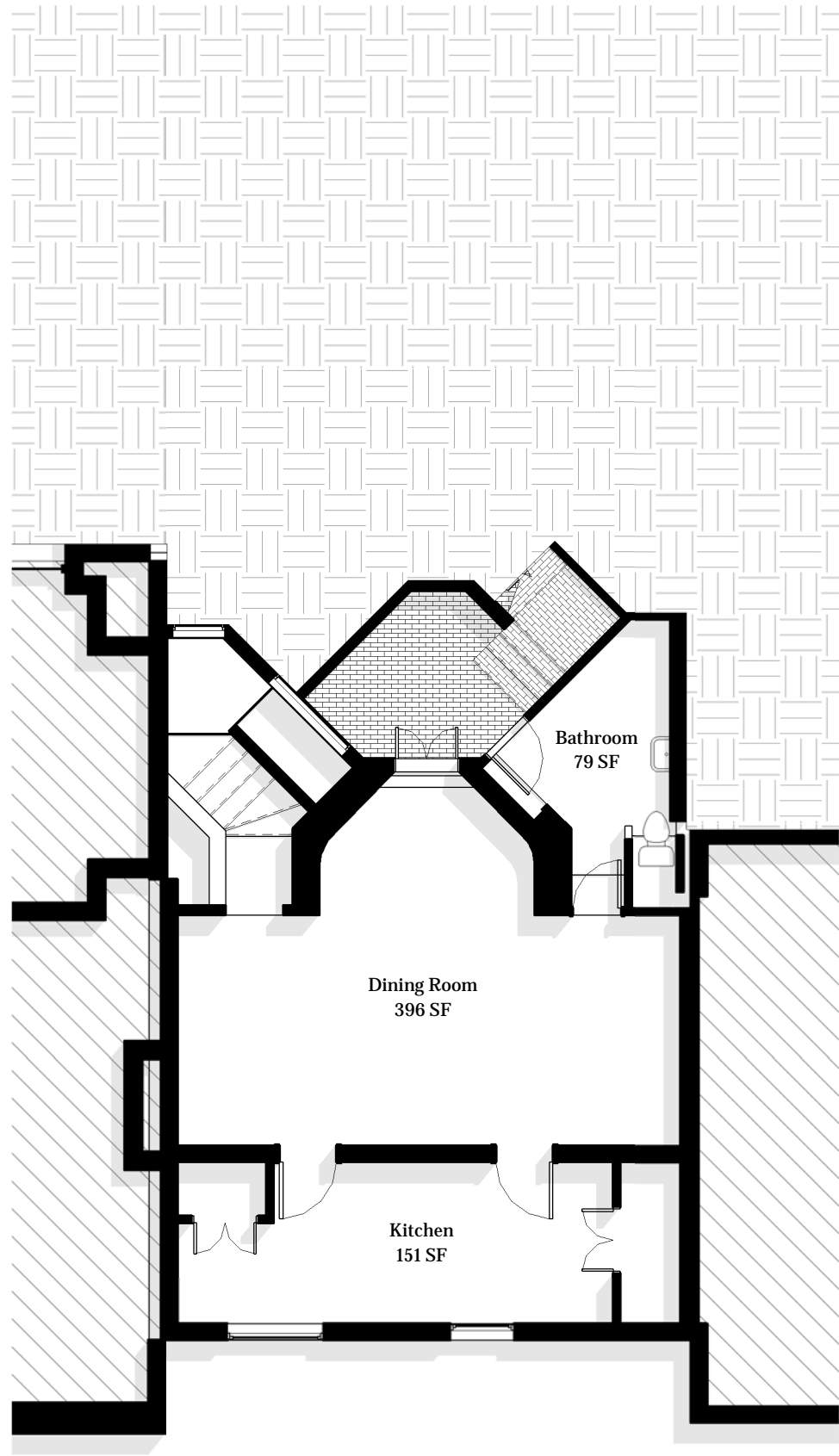


*View from First Floor*



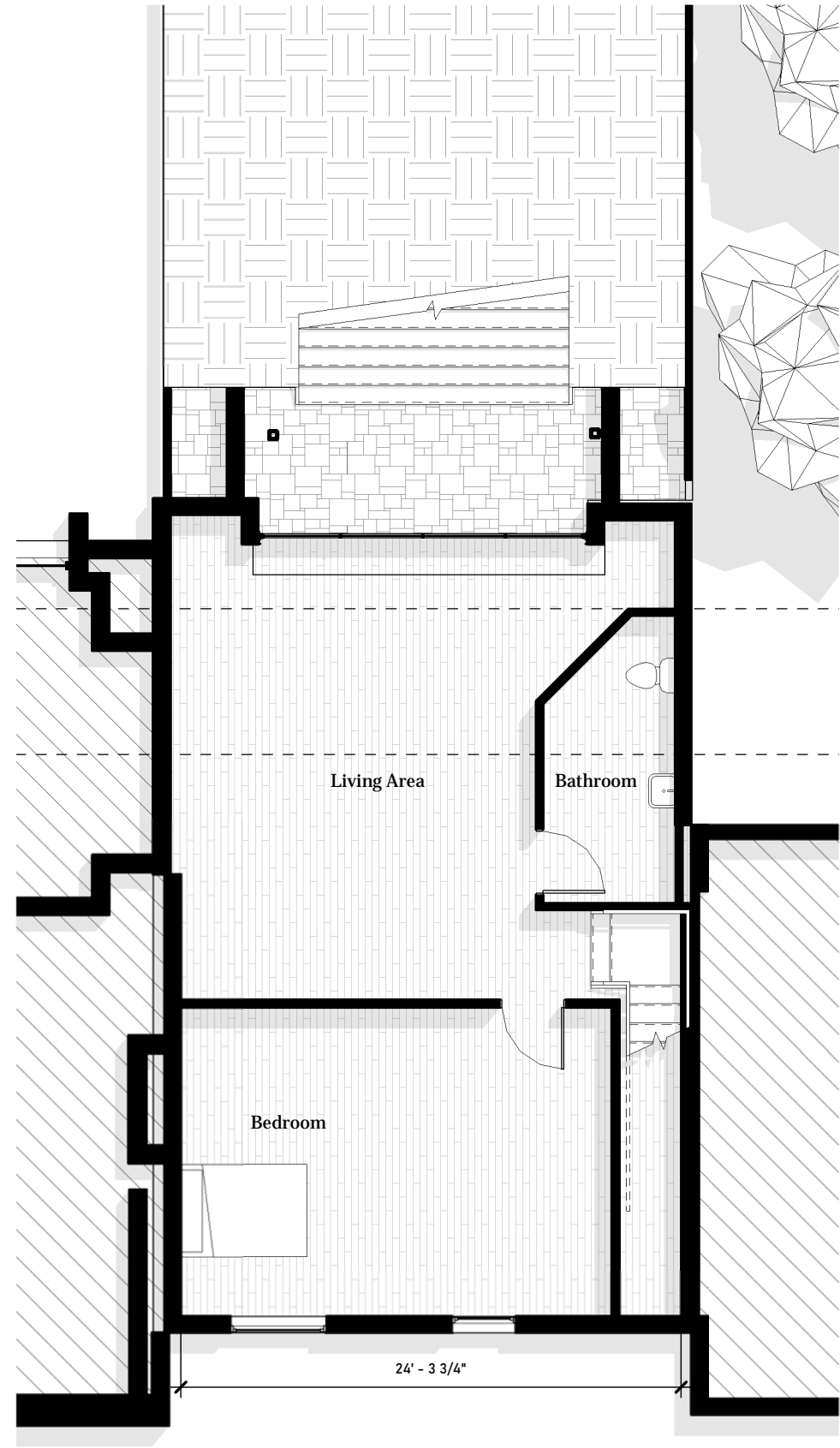






Existing Basement Plan

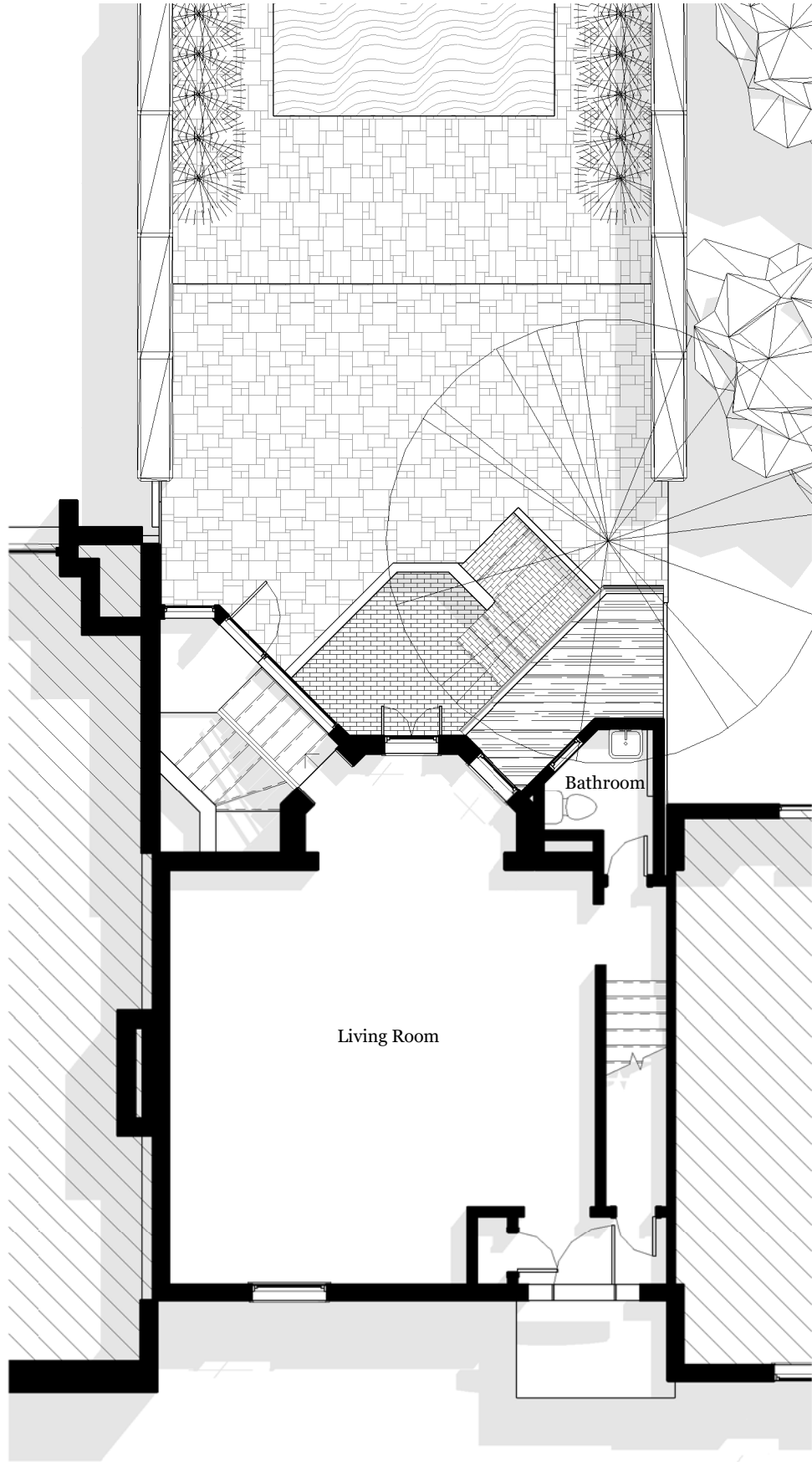
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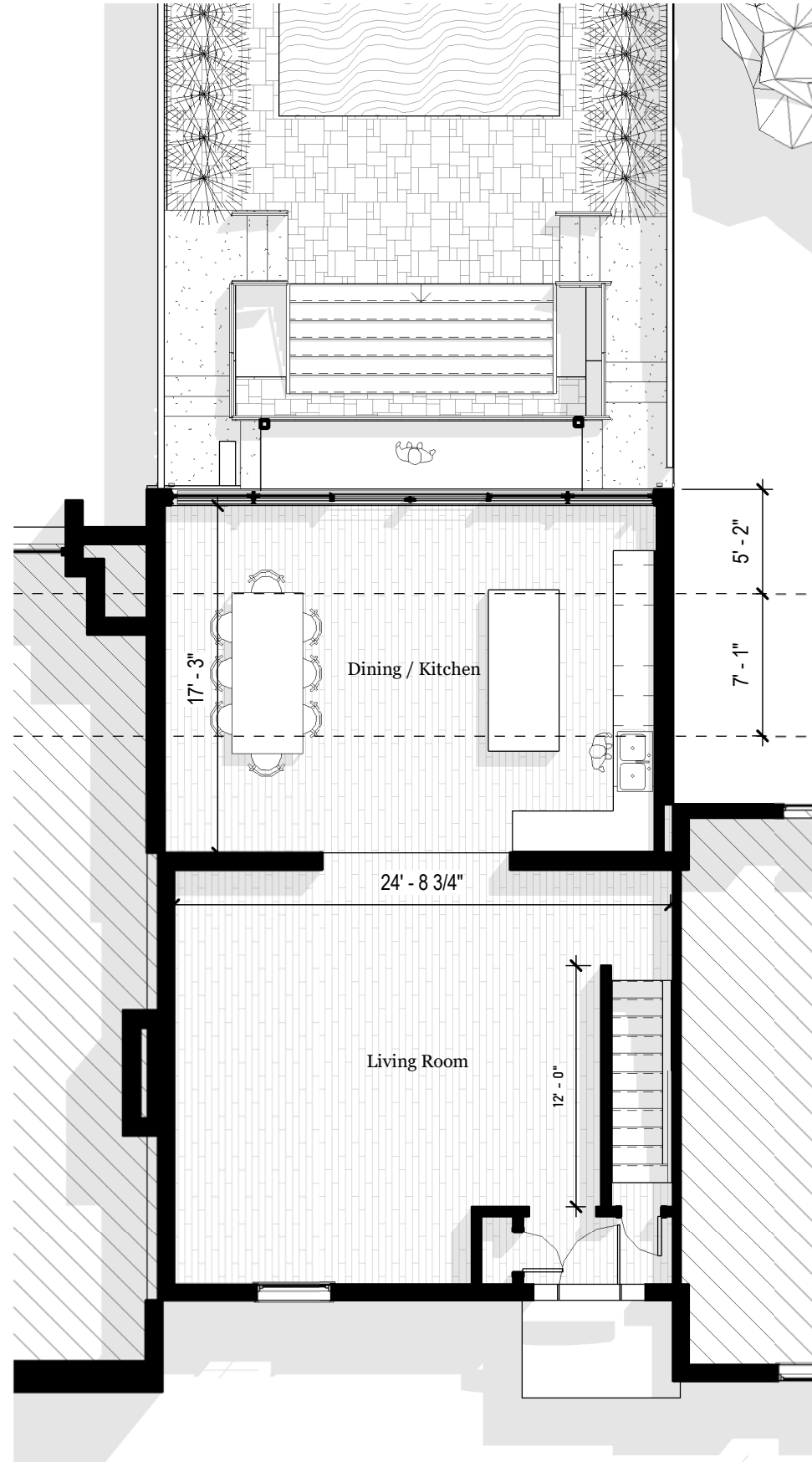
Basement Floor Plan Copy 1

1/8" = 1'-0"

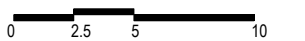




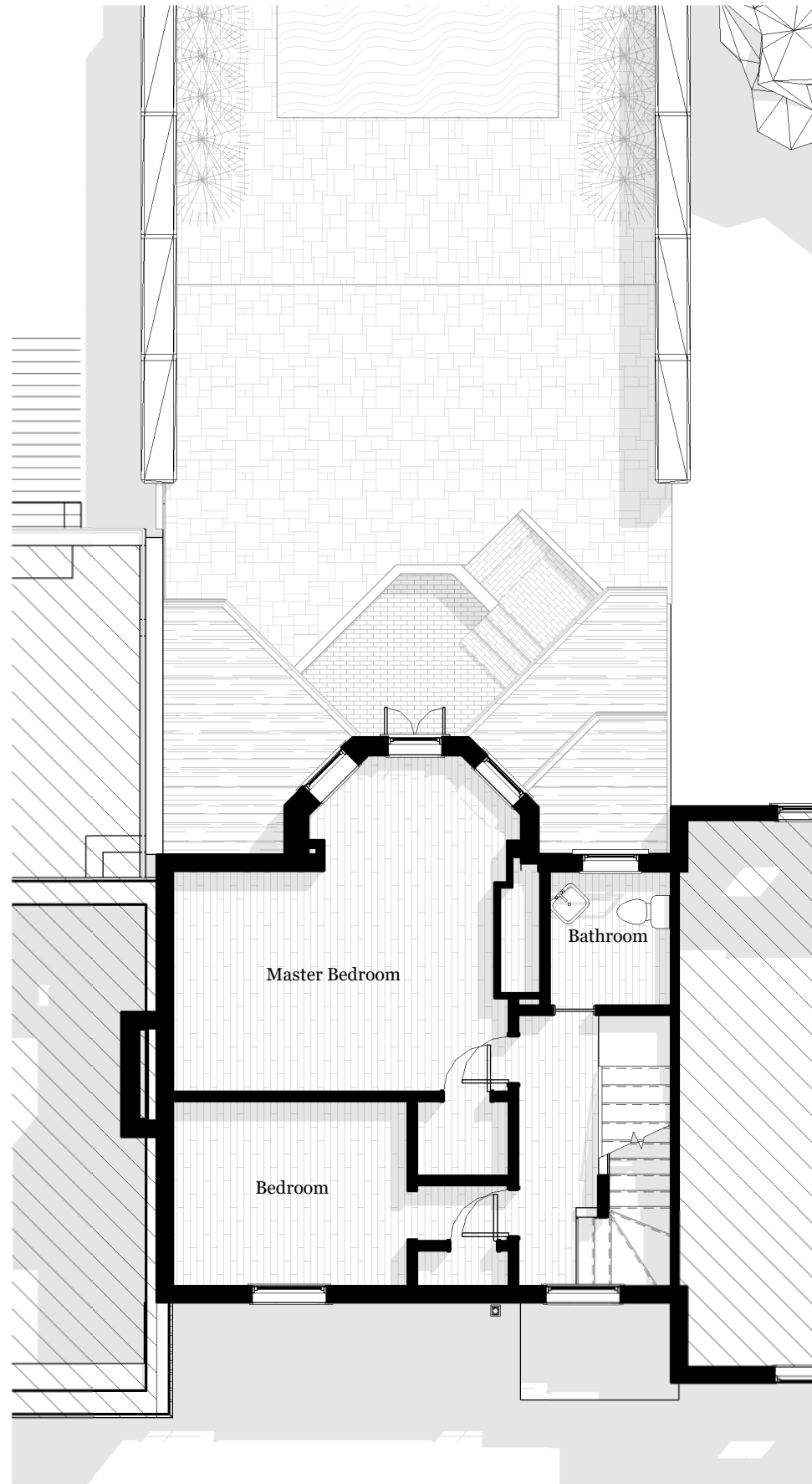
Existing First Floor Plan  
1/8" = 1'-0"



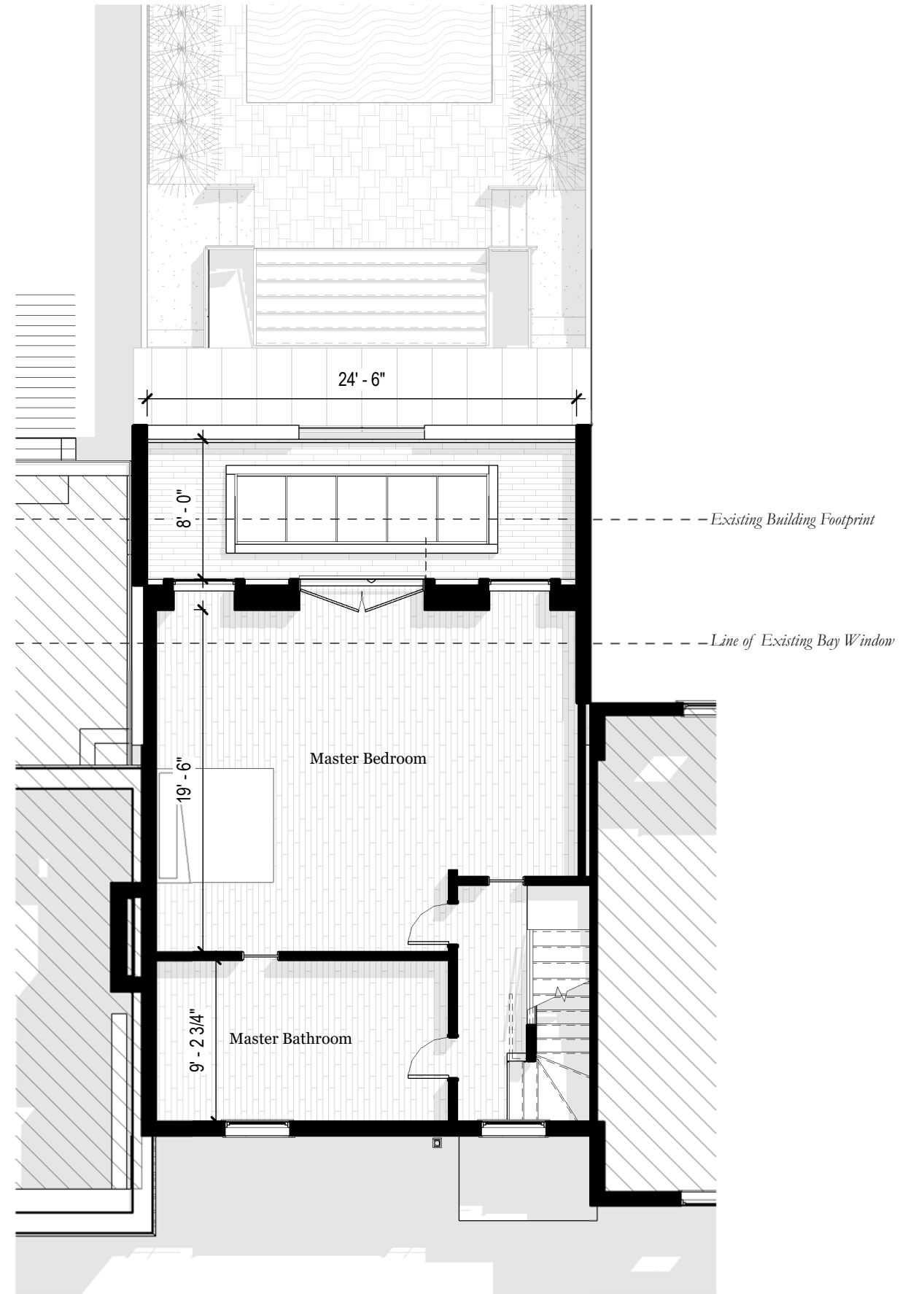
First Floor Plan  
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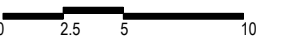




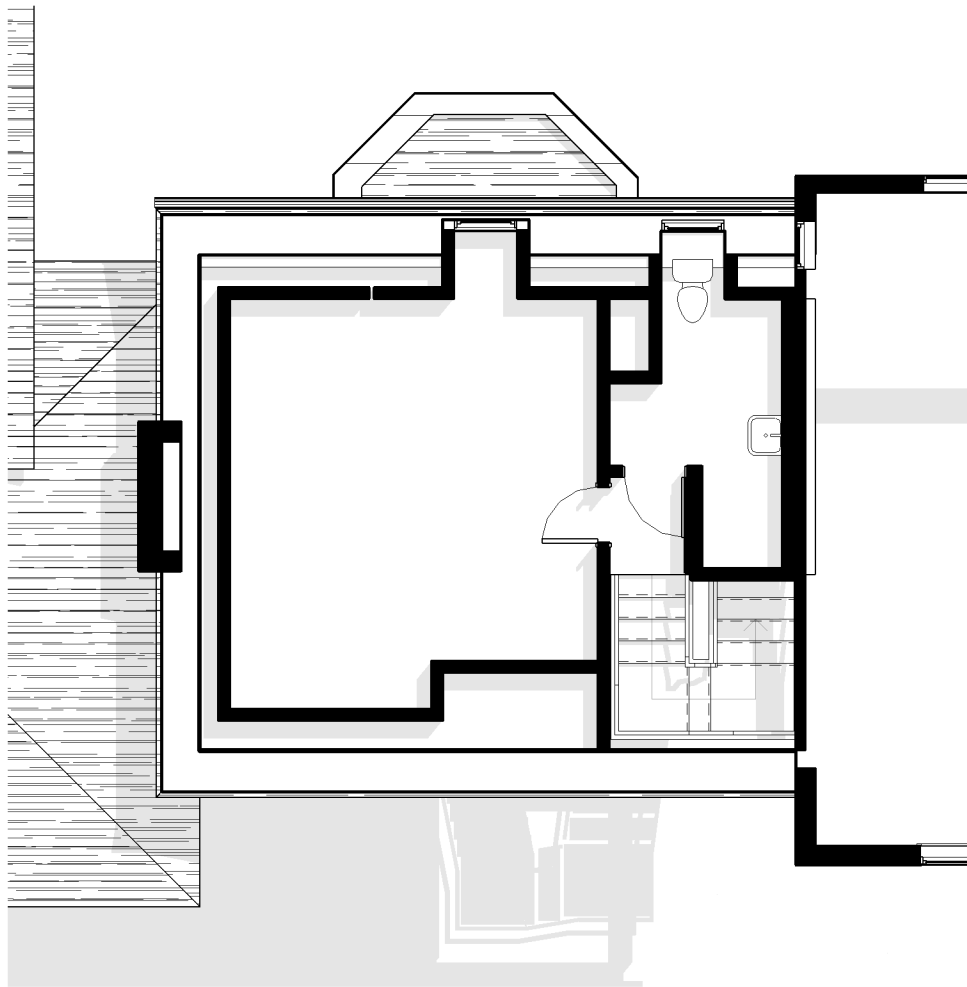
Existing Second Floor Plan  
1/8" = 1'-0"



Second Floor Plan Copy 1  
1/8" = 1'-0"

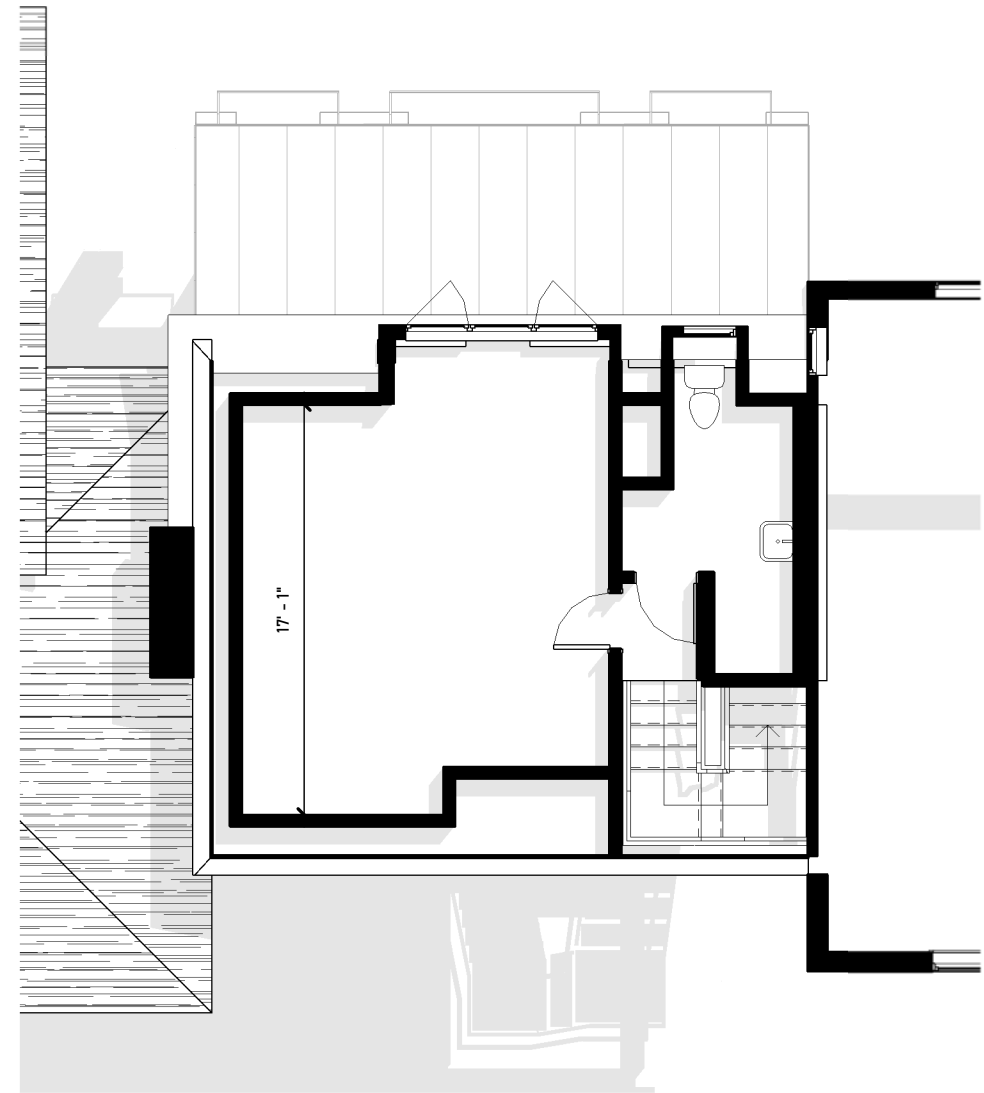






Existing Third Floor Plan

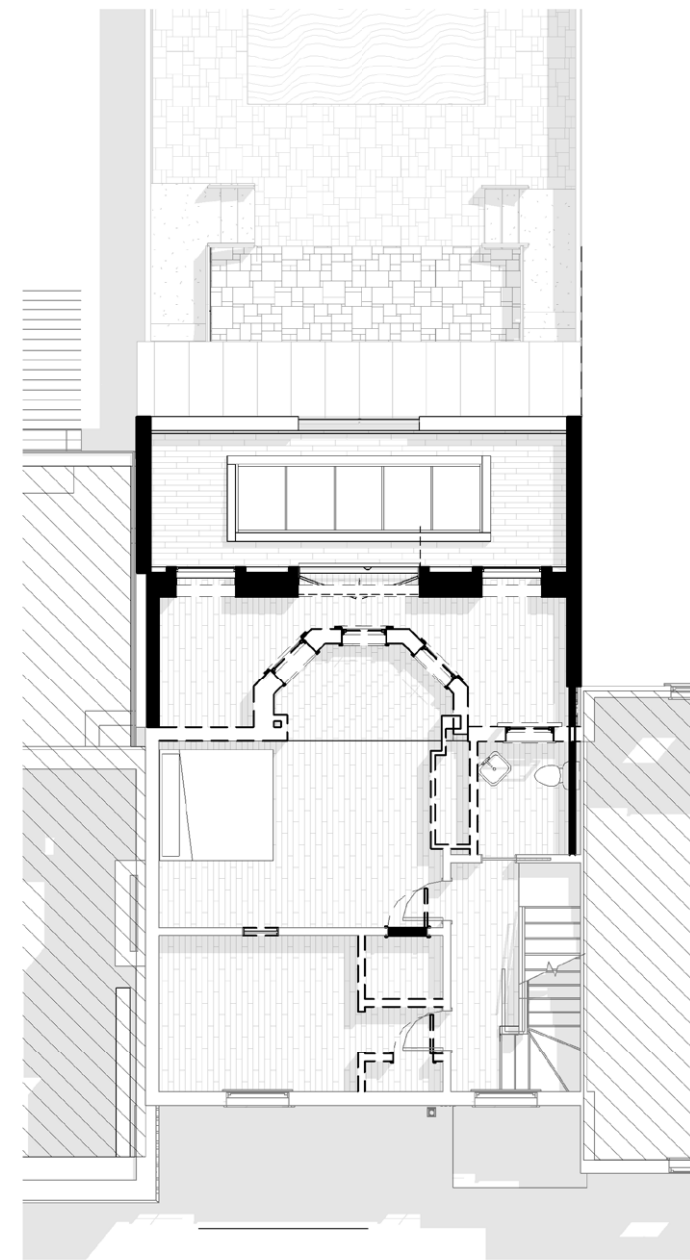
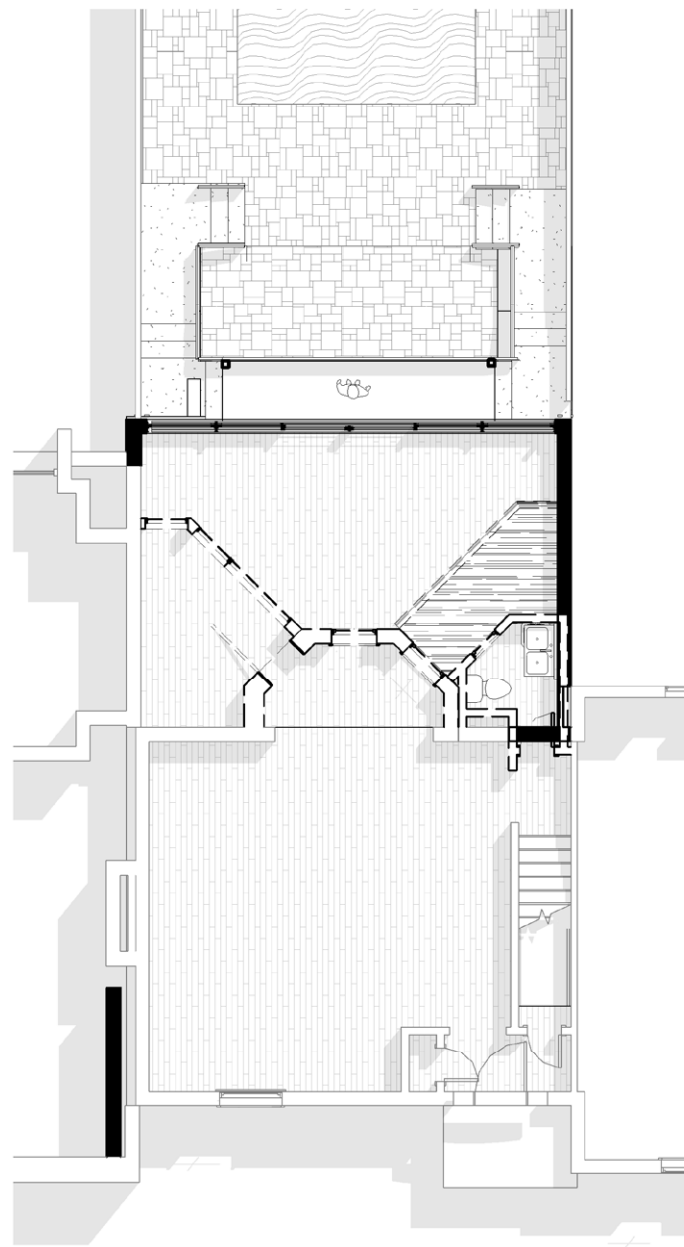
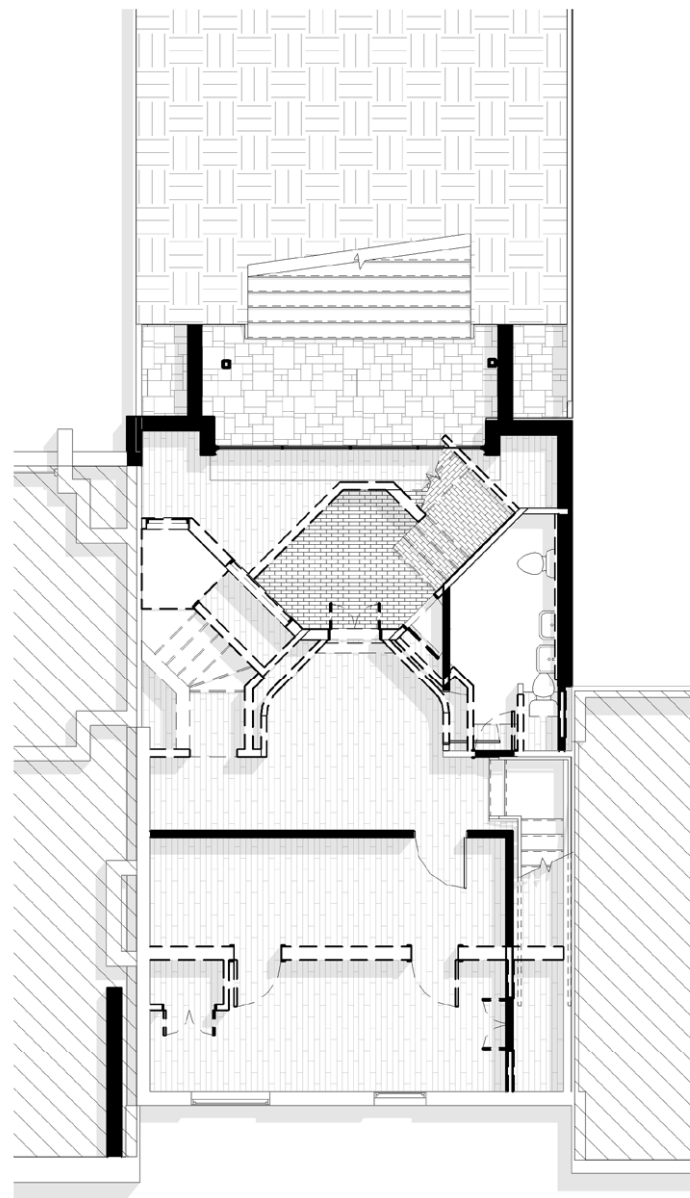
1/8" = 1'-0"



Proposed Third Floor Plan

1/8" = 1'-0"





- Existing to Remain
- New Construction
- Demolished

0 2.5 5 10

*Proposed Demolition Plans*









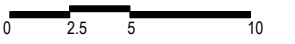
*Proposed South Elevatio. Rendered*





0 2.5 5 10

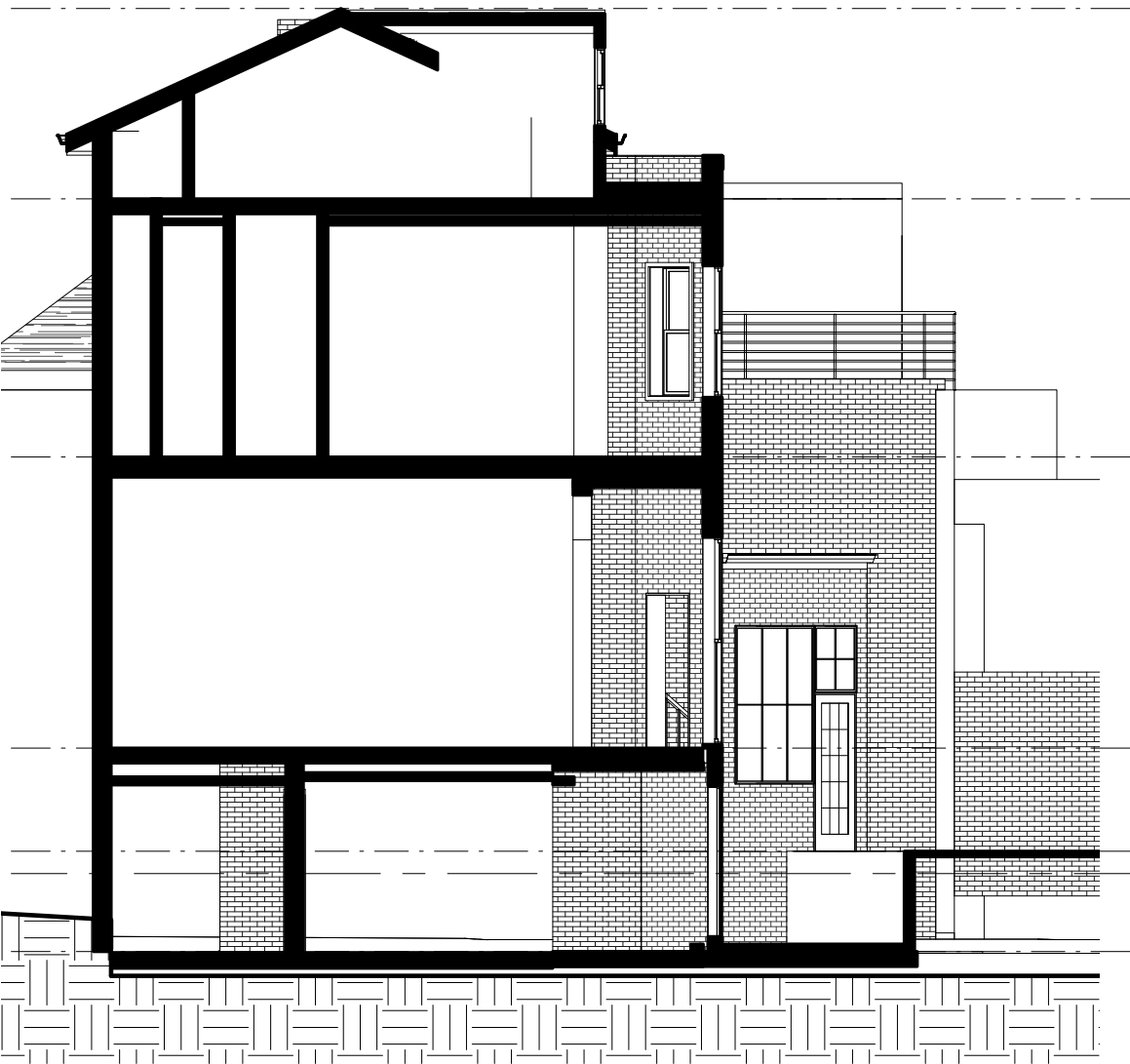




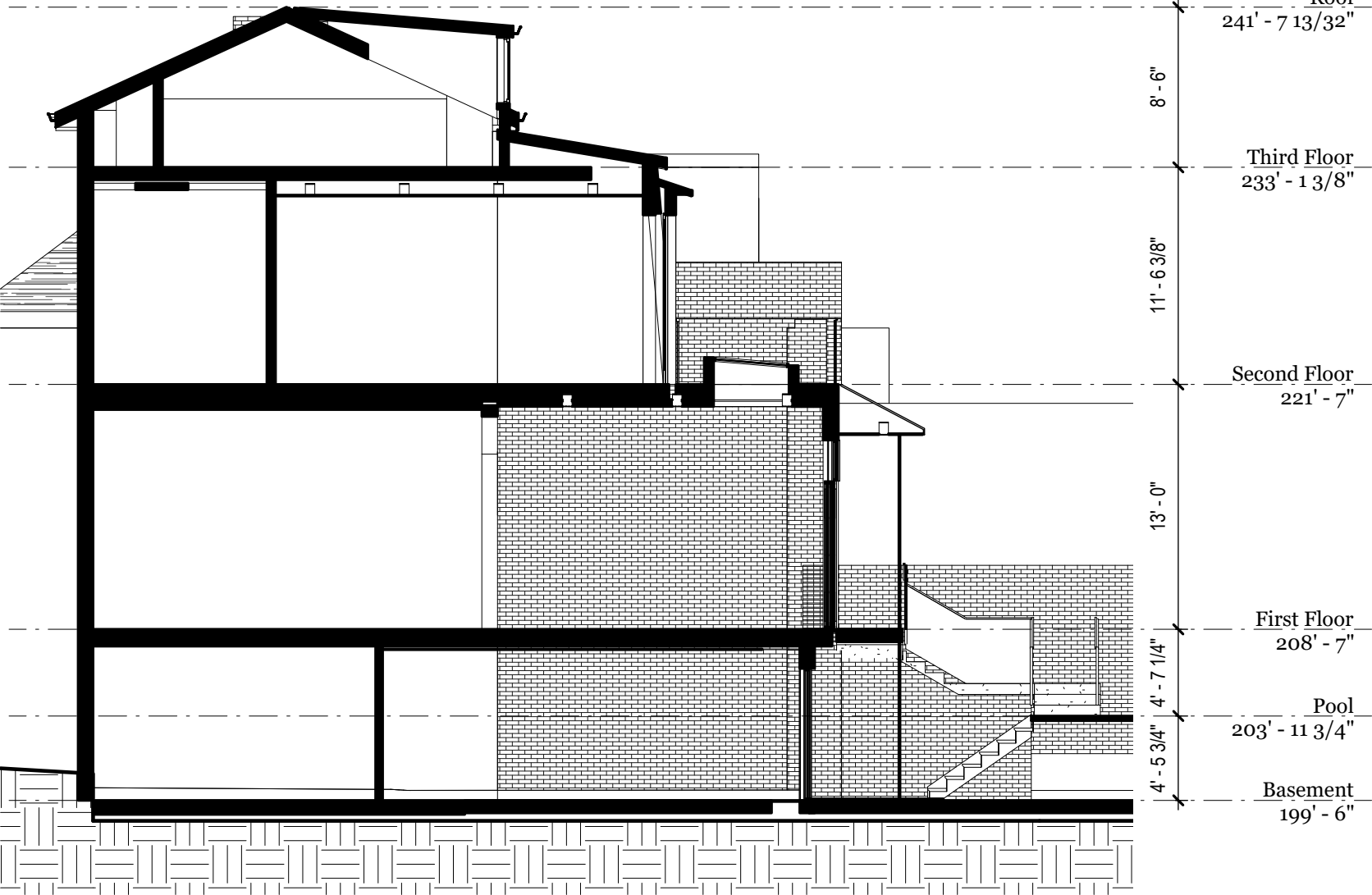




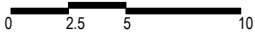




Section - Existing  
1/8" = 1'-0"



Section - Proposed  
1/8" = 1'-0"











*View from South*





*View from South - Existing*





*View from South - Proposed*





*Birds Eye View from Southwest - Existing*





*Birds Eye View from Southwest - Proposed*





*Birds Eye View from Southwest - Existing*





*Birds Eye View from Southwest - Proposed*





*Detail View of Second Floor Existing*



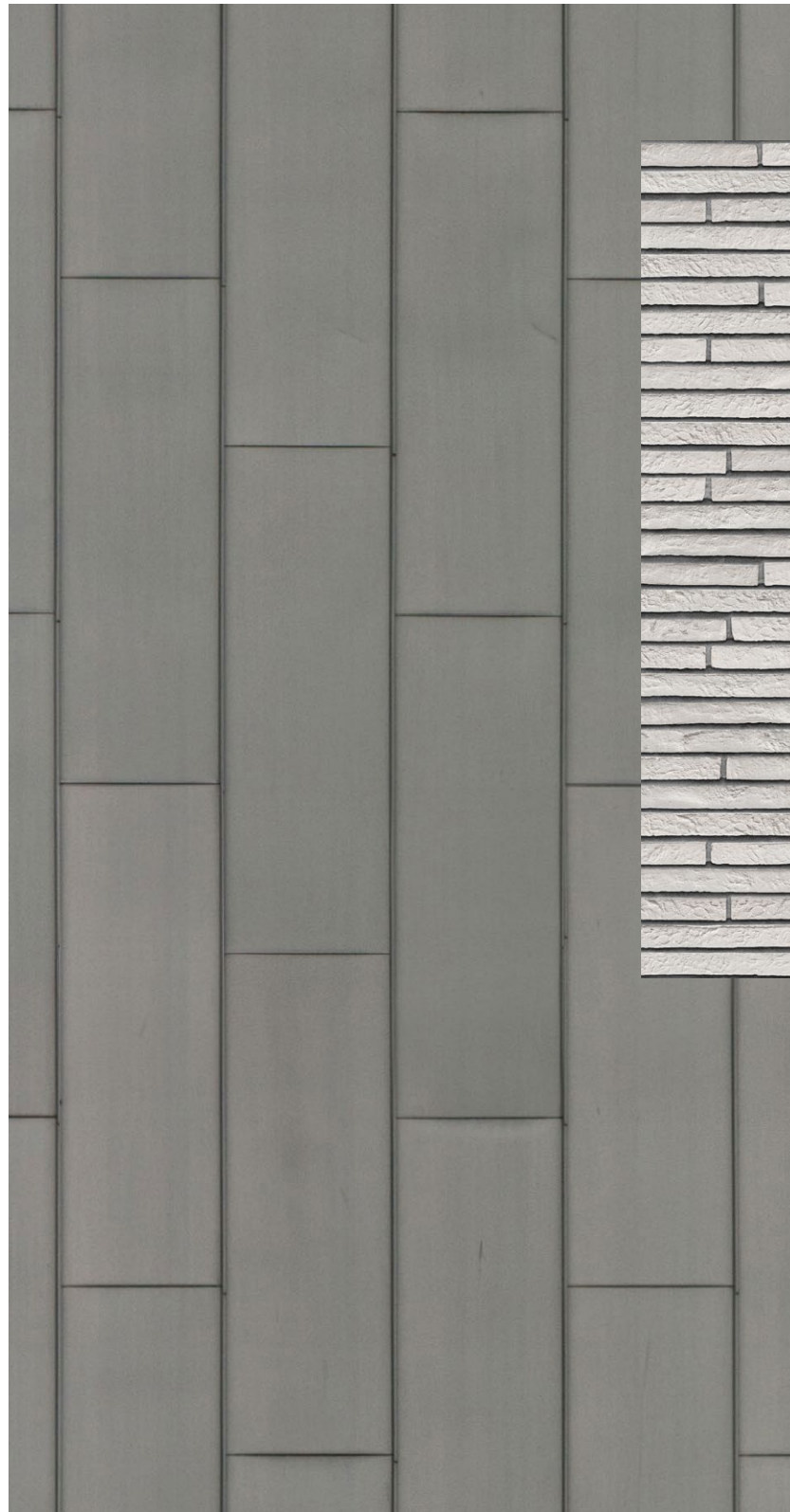


*Detail View of Second Floor Addition*

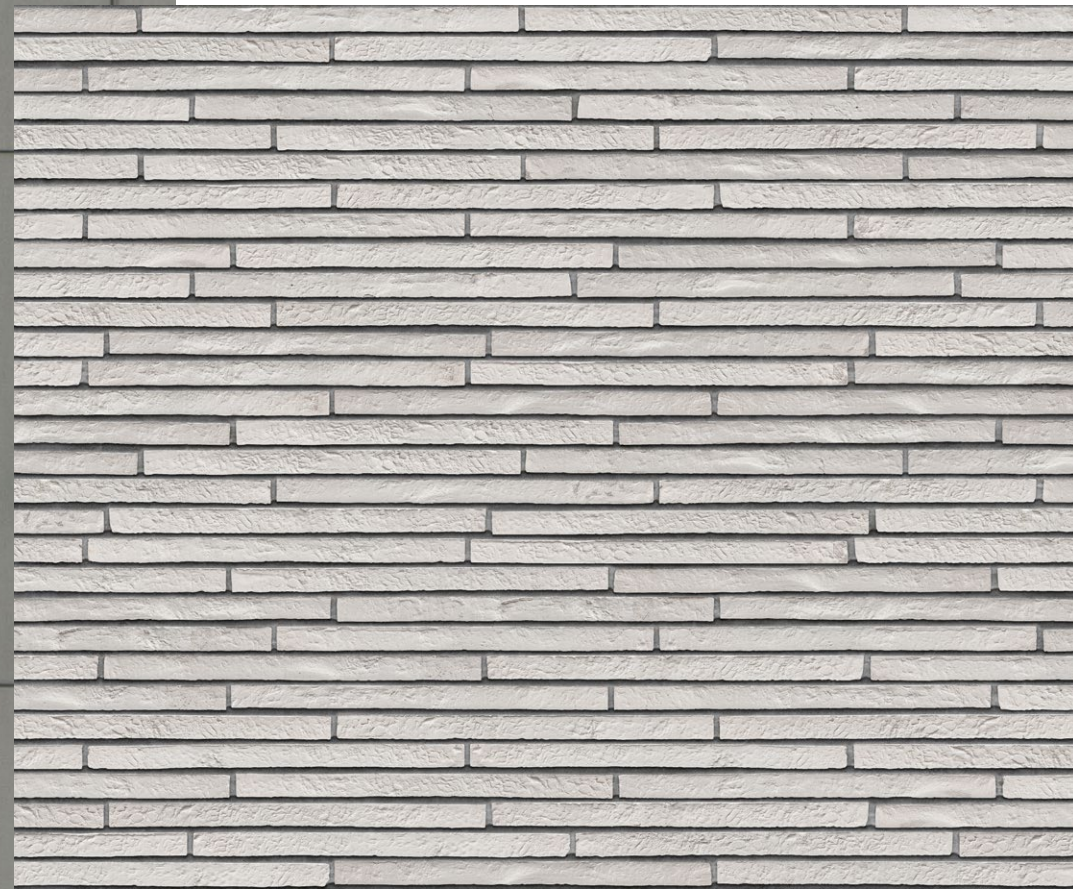








*Zinc Exterior Wall Panels*

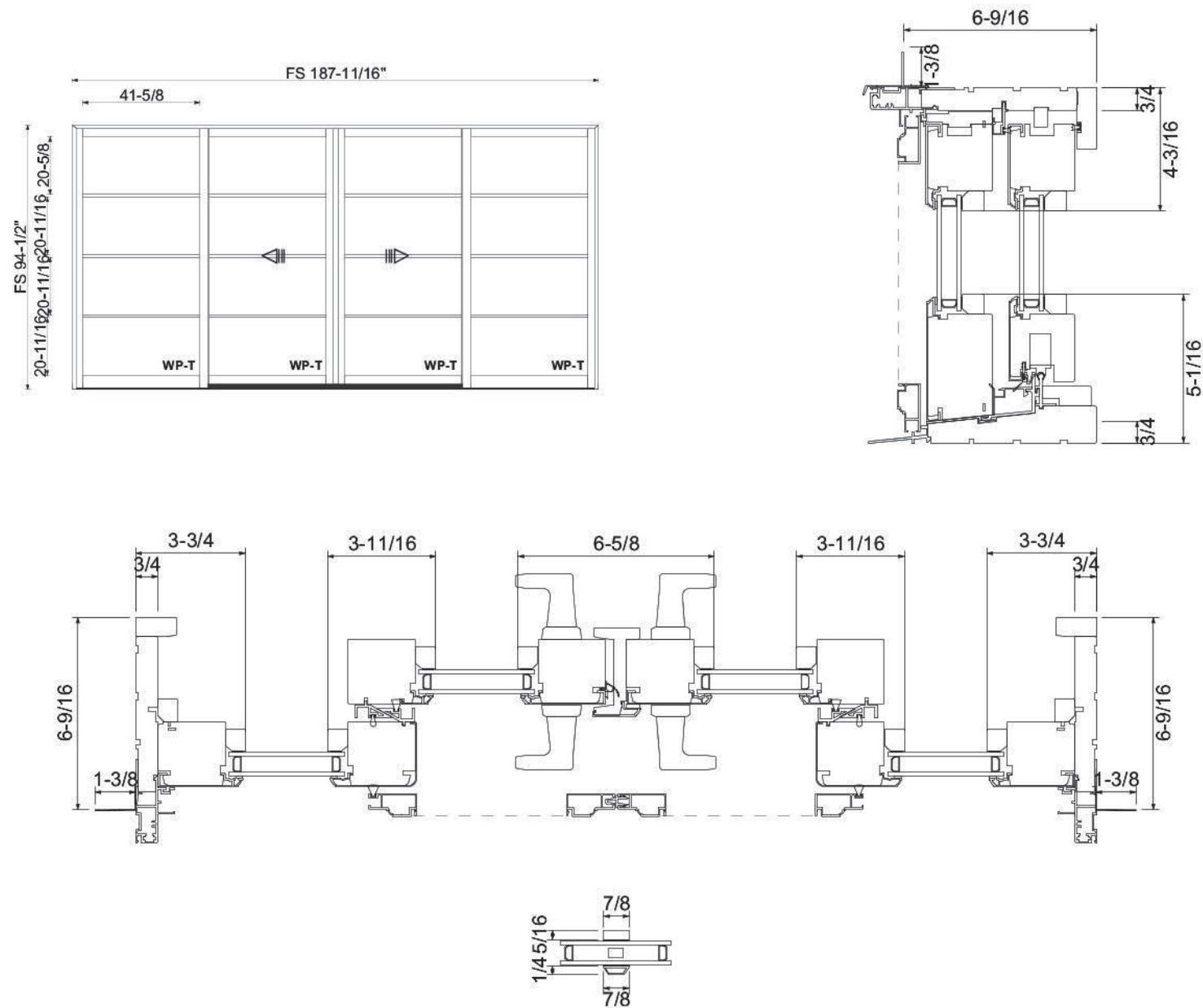


*Brick (Lower Floors)*



*Aluminum Clad Windows*





Attribute	Value
Product	44 PATIO DOOR
Exterior Finish	Midnight Bronze Clad (Std)
Style of Unit	Sliding Patio
Location	DINING
Glazing Options	Heat Smart Double 272
Glass Thickness	4 MM Glass Thickness
Glass / Insert Panel Type	Clear Glass
Tempered Glass	All Panes Tempered
** Bottom Glazing Options	SQSTP
Glazing Stop Type	Interior Square Glazing Stops
Grille Style	Colonial Grille
Grille Pattern	1W4H Pattern
Exterior Grille Type	Putty Exterior Profile
Interior Grille Type	Square Interior Profile
Vertical Grille Bar Size	Not Required
Horizontal Grille Bar Size	7/8" (22mm)
Exterior Casing	No Exterior Casings Required
Jamb Size of Unit	6 9/16" (166mm)
Wood Species	Douglas Fir
U-value	0.29
Visible Transmittance	0.48
Solar Heat Gain Coefficient	0.28

Quote:  
**QT58973**

Approved by:

Project: 3306 R ST. NW

ID:  
**PEN**

Item:  
**10**

Quantity:  
**1**

Note: Structural support may be required around and between mulled units. The size and type to be determined by a structural engineer.

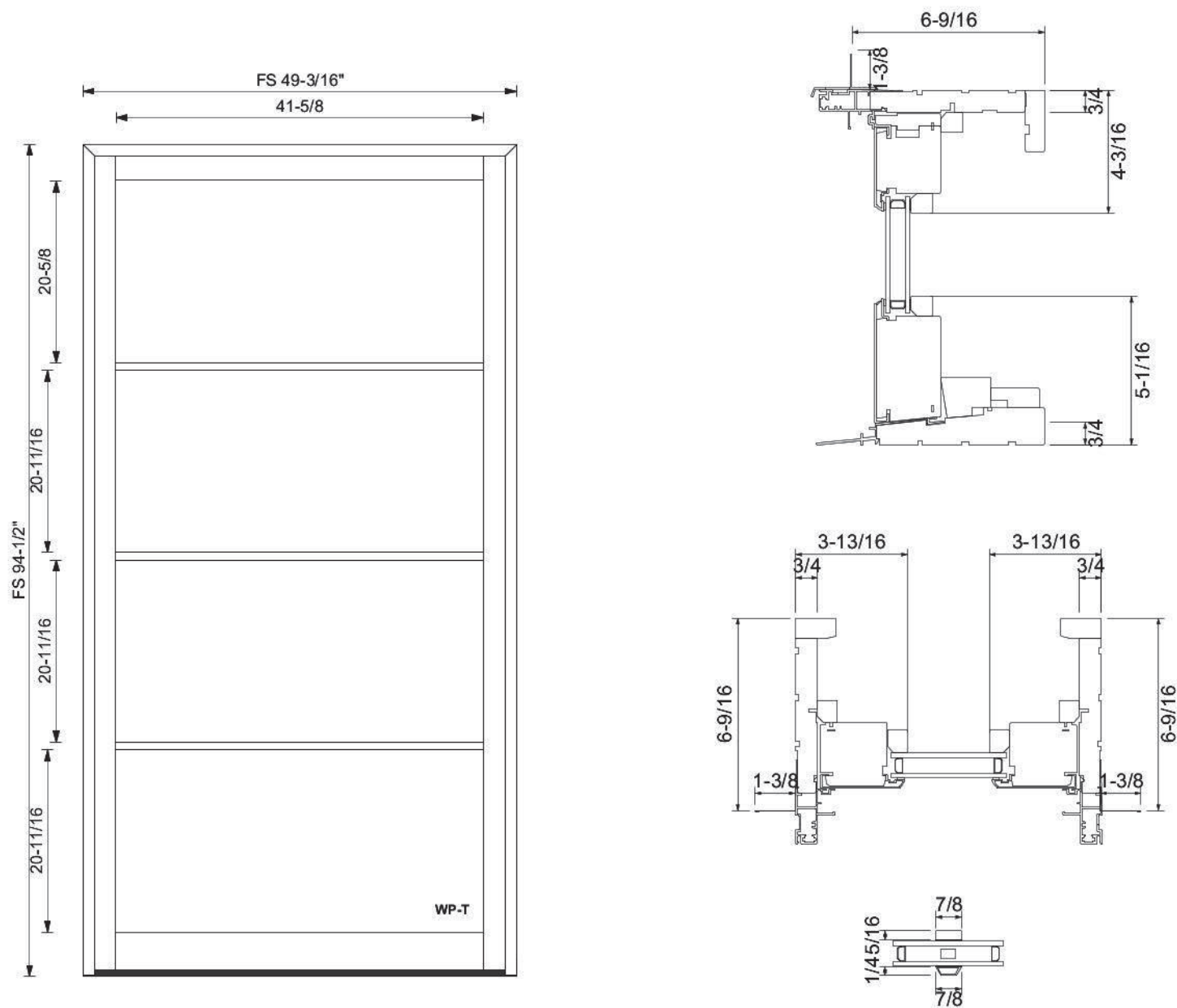
Company: **Loewen Window Center Of Maryland**

Date:  
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WINDOWS AND DOORS





Attribute	Value
Product	44 PATIO DOOR
Exterior Finish	Midnight Bronze Clad (Std)
Style of Unit	Sliding Patio
Glazing Options	Heat Smart Double 272
Glass Thickness	4 MM Glass Thickness
Glass / Insert Panel Type	Clear Glass
Tempered Glass	All Panes Tempered
** Bottom Glazing Options	SQSTP
Glazing Stop Type	Interior Square Glazing Stops
Grille Style	Colonial Grille
Grille Pattern	1W4H Pattern
Exterior Grille Type	Putty Exterior Profile
Interior Grille Type	Square Interior Profile
Vertical Grille Bar Size	Not Required
Horizontal Grille Bar Size	7/8" (22mm)
Exterior Casing	No Exterior Casings Required
Jamb Size of Unit	6 9/16" (166mm)
Wood Species	Douglas Fir
U-value	0.3
Visible Transmittance	0.45
Solar Heat Gain Coefficient	0.27

Quote:  
**QT58973**

Approved by:

Project: 3306 R ST. NW

ID:  
**N**

Item:  
**11**

Quantity:  
**2**

*Note: Structural support may be required around and between mulled units. The size and type to be determined by a structural engineer.*

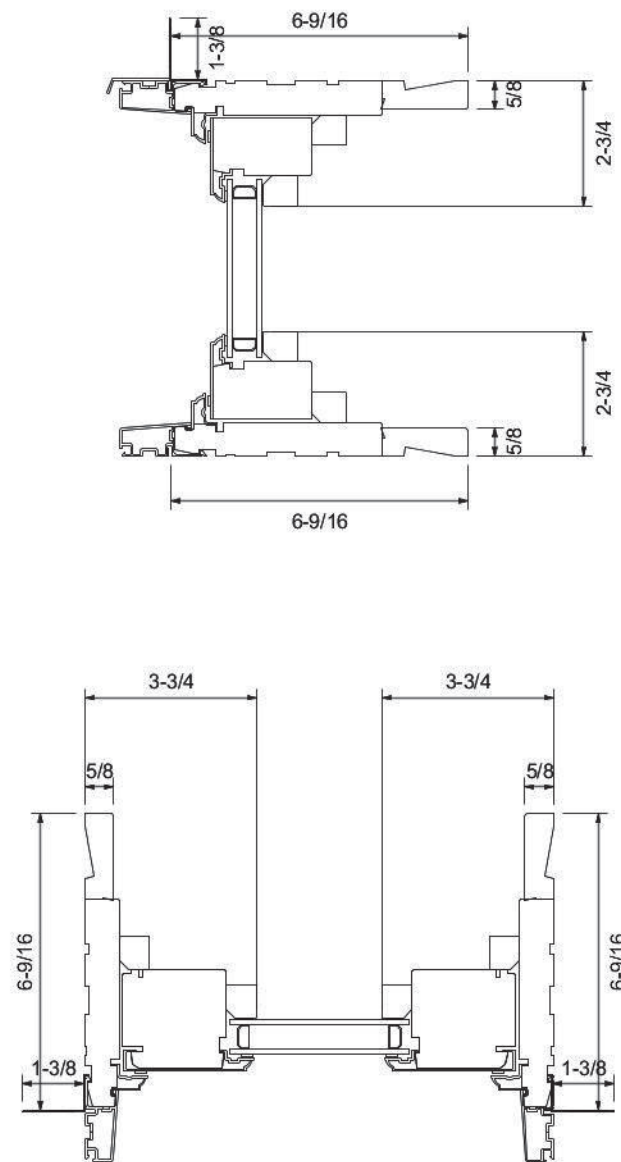
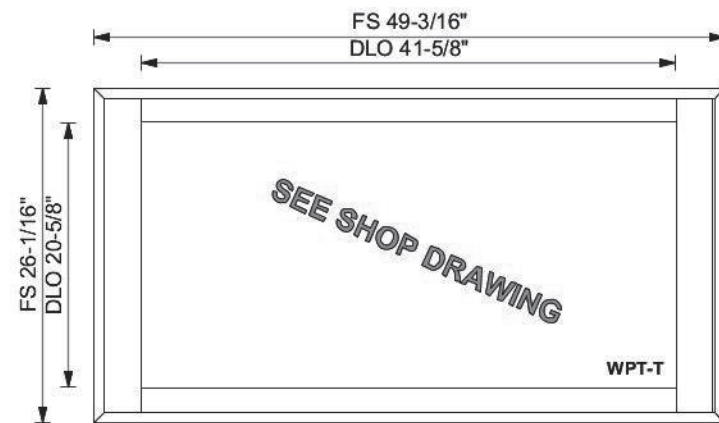
Company: **Loewen Window Center Of Maryland**

Date:  
Jul 20, 2020 10:37 AM



WINDOWS AND DOORS





Attribute	Value
Product	44 PATIO TRANSOM
Exterior Finish	Midnight Bronze Clad (Std)
Style of Unit	To Match Sliding Patio
Glazing Options	Heat Smart Double 272
Glass Thickness	3 MM Glass Thickness
Glass Tint	Clear Glass
Tempered Glass	All Panes Tempered
** Grille Options **	SQSTP
Glazing Stop Type	Interior Square Glazing Stops
Exterior Casing	No Exterior Casings Required
Sill Attachment	No Casing Subsill/Sillnose
Jamb Size of Unit	6 9/16" (166mm)
Wood Species	Douglas Fir
U-value	0.29
Visible Transmittance	0.5
Solar Heat Gain Coefficient	0.29

Quote:  
**QT58973**

Approved by:

Project: 3306 R ST. NW

ID:  
**N**

Item:  
**12**

Quantity:  
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*Note: Structural support may be required around and between mullied units. The size and type to be determined by a structural engineer.*

Company: **Loewen Window Center Of Maryland**

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WINDOWS AND DOORS



