

ABBREVIATIONS

ADD'L	ADDITIONAL	KD	KNOCKDOWN
ADJ	ADJUSTABLE	KO	KNOCKOUT
AF	ABOVE FINISH FLOOR	KV	KILOVOLT
ALT	ALTERNATE	KVA	KILOVOLT-AMPERES
ALUM	ALUMINUM	KW	KILOWATT
APPL	APPLICABLE	LB	POUND
AMP	AMPERE	LF	LINEAR FEET
APPROX	APPROXIMATELY	LH	LEFT HAND
ARCH	ARCHITECTURAL	LTG	LIGHTING
ACT	ACOUSTICAL CEILING TILE	LTS	LIGHTS
		M	MARBLE
BD	BOARD	MAS	MASONRY
BLDG	BUILDING	MAT'L	MATERIAL
BLKG	BLOCKING	MAX	MAXIMUM
B.O.	BOTTOM OF	MEMB	MEMBRANE
BOT	BOTTOM	MFG	MANUFACTURER
BRG	BEARING	MICRO	MICROWAVE
BTWN	BETWEEN	MIN	MINIMUM
		MISC	MISCELLANEOUS
		MO	MASONRY OPENING
		MR	MOISTURE RESISTANT
		MTD	MOUNTED
		MTL	METAL
		MECH	MECHANICAL
		MEZZ	MEZZANINE
		N	NORTH
		NIC	NOT IN CONTRACT
		NO	NUMBER
		NTS	NOT TO SCALE
		OC	ON CENTER(S)
		OFF	OFFICE
		OPNG	OPENING
		OPP	OPPOSITE
		PCF	POUNDS PER CUBIC FOOT
DBL	DOUBLE	PLAM	PLASTIC LAMINATE
DEMO	DEMOLITION	PLYWD	PLYWOOD
DF	DRINKING FOUNTAIN	PL	PLATE
DIA	DIAMETER	FNL	PANEL
DIM	DIMENSION	POL	POLISHED
DN	DOWN	PSF	POUNDS PER SQUARE FOOT
DOWNLTS	DOWNLIGHTS	PTD	PAINTED
DR	DOOR	FS	FULL STATION
DWG	DRAWING	FWR	POWER
		PT	PRESSURE TREATED
		QTY	QUANTITY
EA	EACH	RAD	RADIUS
EJ	EXPANSION JOINT	REC	RECEPTACLE
EL	ELEVATION	REF	REFRIGERATOR
ELEC	ELECTRICAL	REINF	REINFORCING
ELEV	ELEVATOR	REQ'D	REQUIRED
EQUIP	EQUIPMENT	RES	RESILIENT
ETR	EXISTING TO REMAIN	REV	REVISION(S), REVISED
ELEV	ELEVATION	RH	RIGHT HAND
EMC	ELECTRIC WATER COOLER	RM	ROOM
EXH	EXHAUST	RO	ROUGH OPENING
EXIST	EXISTING	SC	SOLID CORE
EXP	EXPANSION	SCWV	SOLID CORE WOOD VENEER
EXT	EXTERIOR	SD	SMOKE DETECTOR
FA	FIRE ALARM	SECT	SECTION
FC	FLOOR COVERING	SEC'Y	SECRETARY
FE	FIRE EXTINGUISHER	SM	SIMILAR
FEC	FIRE EXTINGUISHER CABINET	SPECS	SPECIFICATIONS
FHVC	FIRE HOSE VALVE CABINET	SF	SQUARE FEET
FIN	FINISH	STD	STAINED
FLR	FLOORING	STC	SOUND TRANSMISSION COEFFICIENT
FLUOR	FLUORESCENT	STL	STEEL
F.O.	FACE OF	STOR	STORAGE
FR	FIRE RATING	SYM	SYMMETRICAL
FRM	FRAME	SS	STAINLESS STEEL
FT	FOOT(FEET)	TEL	TELEPHONE
		TEMP	TEMPERATURE
		THK	THICKNESS
		TME	TO MATCH EXISTING
		T.O.	TOP OF
		TRANS	TRANSITION
		TYP	TYPICAL
HC	HOLLOW CORE	UL	UNDERWRITER'S LABORATORY
HCMV	HOLLOW CORE MASONITE VENEER	UNO	UNLESS NOTED OTHERWISE
HCWV	HOLLOW CORE WOOD VENEER	V	VOLTS
HM	HOLLOW METAL	VCT	VINYL COMPOSITION TILE
HORIZ	HORIZONTAL	VEN	VENEER
HVAC	HEATING, VENTILATING AND AIR CONDITIONING	VERT	VERTICAL
		VEST	VESTIBULE
HW	HOT WATER	VIF	VERIFY IN FIELD
HT	HEIGHT	VT	VINYL TILE
HR	HOUR	W	WATTS
		WC	WALL COVERING
IN	INCH	WD	WOOD
INS	INSULATED/INSULATION	WS	WET STACK
INT	INTERIOR	WT	WEIGHT
		W/	WITH
JAN	JANITOR	WH	WATER HEATER
JT	JOINT	YD	YARD
J-BOX	JUNCTION BOX		

GENERAL NOTES

- GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY IN THE DOCUMENTS OR EXISTING CONDITIONS. WORK THAT PROCEEDS WITHOUT NOTIFYING THE ARCHITECT IS AT THE CONTRACTOR'S OWN RISK.
- BEFORE COMMENCEMENT OF ANY WORK THAT CHANGES THE CONTRACT SUM OR CONTRACT TIME, WRITTEN AUTHORIZATION MUST BE OBTAINED FROM THE ARCHITECT. WORK THAT PROCEEDS WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT IS AT THE CONTRACTOR'S OWN RISK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK, THIS INCLUDES BUT IS NOT LIMITED TO:
 - PRE-BID SITE VISIT FOR VERIFICATION OF EXISTING CONDITIONS.
 - FIELD DIMENSIONS AS REQUIRED
 - CONCEALMENT OF MECHANICAL/ELECTRICAL SERVICES BEHIND BUILDING FINISHES UNLESS NOTED OTHERWISE.
 - ALL MEANS AND METHODS
- CONSTRUCTION SHALL CONFORM TO ALL CODES AND REGULATIONS HAVING JURISDICTION FOR THIS PROJECT.
- THE MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS SHALL BE UPDATED AS REQUIRED. GENERAL CONTRACTOR SHALL PROVIDE PROPOSALS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL BY ARCHITECT AND OWNER.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO PROCEEDING. WORK THAT PROCEEDS WITHOUT A PERMIT IS AT THE CONTRACTOR'S RISK.

GENERAL DATA

ADDRESS:	1524 30TH STREET NW, WASHINGTON, DC 20007
LOCATION:	QUADRANT NW / SQUARE 1269 / LOT 0364
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL
ZONING DISTRICT:	R-20
OVERLAY DISTRICT:	GEORGETOWN HISTORIC DISTRICT
BZA / ZC NUMBER:	
NO. DWELLING UNITS:	EXISTING: 1 / PROPOSED: 1
NO. PARKING SPACES:	EXISTING: 0 / PROPOSED: 0
LEFT YARD SETBACK:	EXISTING: 0 FEET / PROPOSED: 0 FEET
RIGHT YARD SETBACK:	EXISTING: 30.5 FEET / PROPOSED: 30.5 FEET
REAR YARD SETBACK:	EXISTING: 5.6 FEET / PROPOSED: 40 FEET
NO. OF STORIES:	EXISTING: 3 / PROPOSED: 3
BUILDING HEIGHT:	EXISTING: 34.5 FEET / PROPOSED: 34.5 FEET
LOT AREA (LA):	EXISTING: 7200 SQUARE FEET / PROPOSED: 7200 SQUARE FEET
GROSS FLOOR AREA (GFA):	EXISTING: 4740 SQUARE FEET / PROPOSED: 4871 SQUARE FEET
FAR (GFA / LA):	EXISTING: .658 / PROPOSED: .677
BUILDING AREA (BA):	EXISTING: 1925 SQUARE FEET / PROPOSED: 2117 SQUARE FEET
LOT OCCUPANCY (BA / LA):	EXISTING: 26.7% / PROPOSED: 29.4%

BUILDING CODES

DC: IRC 2015, TITLE 12B DCMR, DC CONSTRUCTION CODES SUPPLEMENT (2017)

PROJECT SCOPE

EXTERIOR RENOVATION TO REPLACE IN KIND (1) EXISTING WINDOWS AND (2) EXISTING DOORS

PROJECT TEAM

GENERAL CONTRACTOR:	ARCHITECT:	STRUCTURAL ENGINEER:
ZANTZINGER	BARNESVANZE ARCHITECTS, INC.	1200 ARCHITECTURAL ENGINEERS
RICHARD ZANTZINGER	ANKIE BARNES	CHRIS COBB
5141 MAC ARTHUR BLVD NW WASHINGTON, DC 20016	1000 POTOMAC ST NW, SUITE L-2 WASHINGTON, DC 20007	210 N LEE ST, STE 210 ALEXANDRIA, VA 22314
TELE: (202) 363-8501	TELE: (202) 337-7251	TELE: (703) 350-4151

FULL DRAWING INDEX

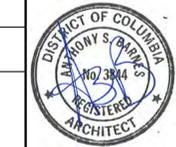
CO-	COVER SHEET
OGB1	PROJECT LOCATION
OGB2	SITE PHOTOS
OGB3	SITE PHOTOS
OGB4	SITE PLAN
A11-	WINDOW AND DOOR SCHEDULES
A12-	WINDOW AND DOOR DETAILS
A41-	REAR ELEVATION
A42-	SIDE ELEVATION
A43-	FRONT ELEVATION



STEINBERG-KUHN RESIDENCE II

1524 30TH STREET, NW
WASHINGTON, DC 20007

1929
BARNES-VANZE
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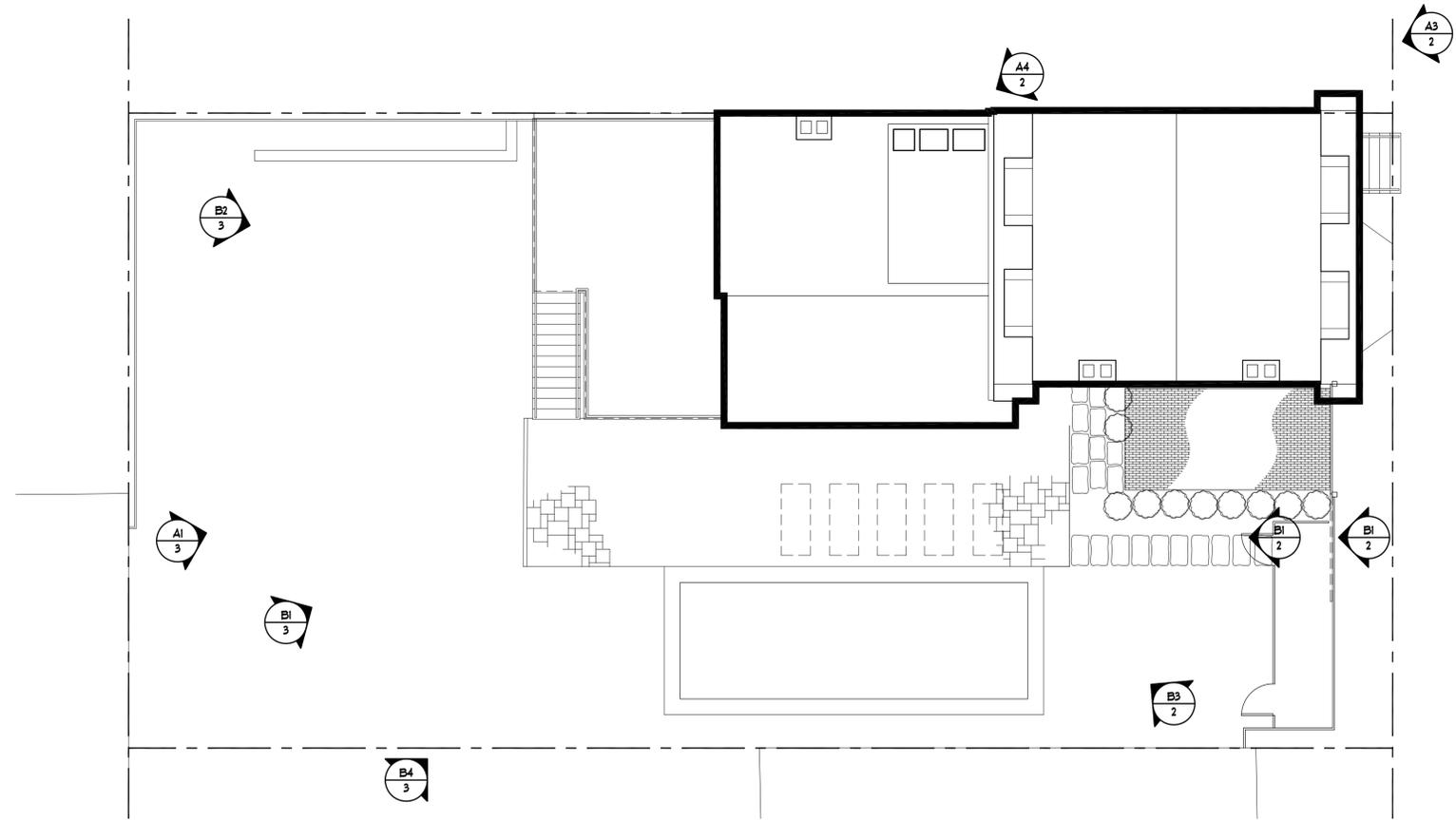
**STEINBERG-KUHN
RESIDENCE II**
1524 30TH STREET, NW
WASHINGTON, DC 20007

DRAWING: COVER SHEET	
ISSUED: WINDOW PERMIT SET (OGB)	
2/7/2021	

CO



A1
OGBI PROJECT LOCATION AND VICINITY MAP
NOT TO SCALE



A2
OGBI EXISTING SITE PLAN AND VIEW LEGEND
NOT TO SCALE



1524 30TH STREET NW
PROPOSED PROJECT

C1
OGBI EXISTING 30TH ST FRONT ELEVATION
NOT TO SCALE

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**STEINBERG-KUHN
RESIDENCE II**
1524 30TH STREET, NW
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DRAWING: PROJECT LOCATION
ISSUED: WINDOW PERMIT SET (OGBI)
2/7/2021

OGB.1

DECK AND YARD WORK IS ONGOING UNDER SEPARATE PERMIT #B2006118
 THESE PHOTOS WERE TAKEN PRIOR TO START OF CONSTRUCTION



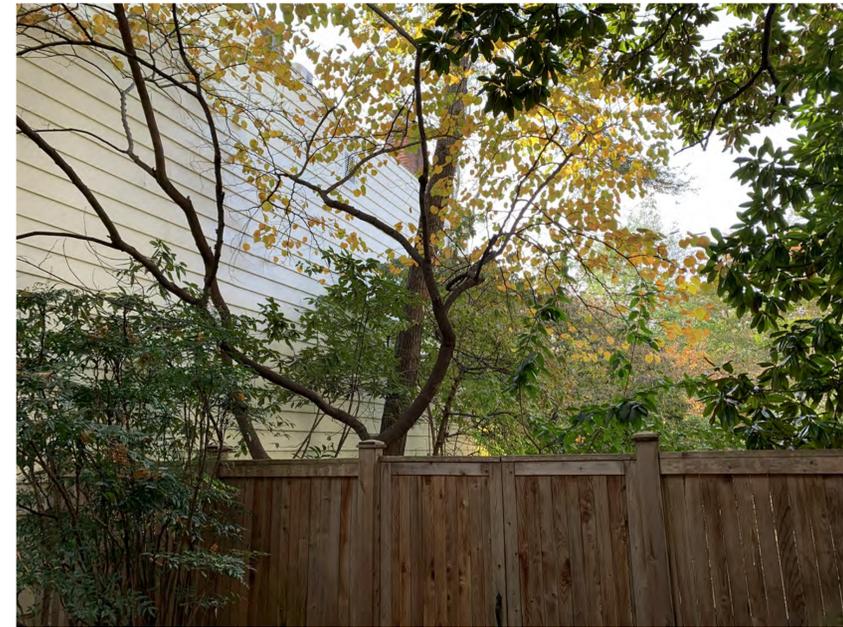
A1 SITE PHOTO
 OBG2 NOT TO SCALE



A2 SITE PHOTO
 OBG2 NOT TO SCALE



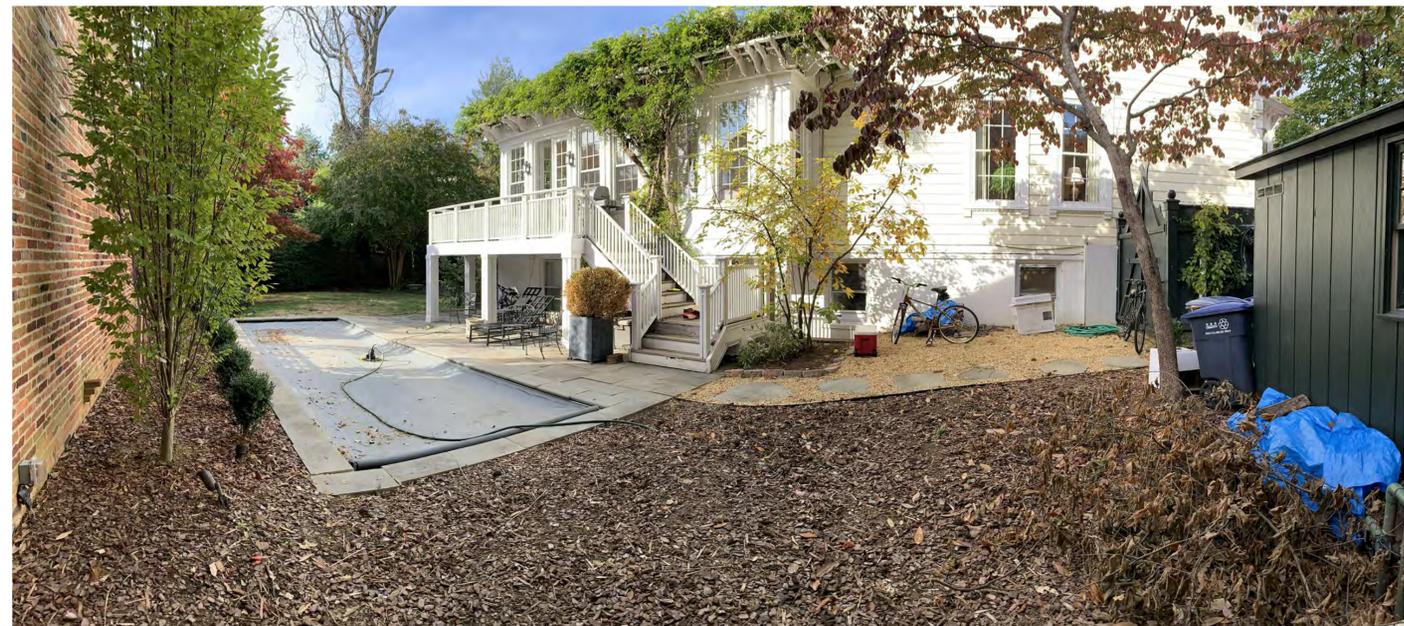
A3 SITE PHOTO
 OBG2 NOT TO SCALE



A4 SITE PHOTO
 OBG2 NOT TO SCALE



B1 SITE PHOTO
 OBG2 NOT TO SCALE



B3 SITE PHOTO
 OBG2 NOT TO SCALE

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DRAWING: SITE PHOTOS

ISSUED:
 2/17/2021

INDOOR PERMIT SET (OGB)

OGB.2

DECK AND YARD WORK IS ONGOING UNDER SEPARATE PERMIT #B2006118
 THESE PHOTOS WERE TAKEN PRIOR TO START OF CONSTRUCTION



A1 SITE PHOTO
 OGB3 NOT TO SCALE



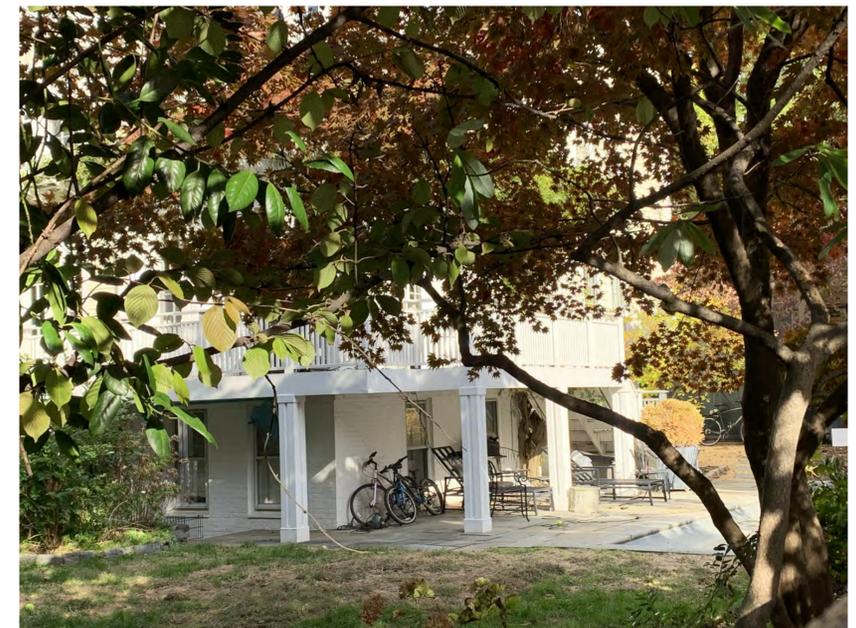
A4 SITE PHOTO
 OGB3 NOT TO SCALE



B1 SITE PHOTO
 OGB3 NOT TO SCALE



B2 SITE PHOTO
 OGB3 NOT TO SCALE



B4 SITE PHOTO
 OGB3 NOT TO SCALE

1929

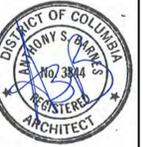


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DRAWING: SITE PHOTOS

ISSUED:

2/17/2021

INDOOR PERMIT SET (OGB)

OGB.3

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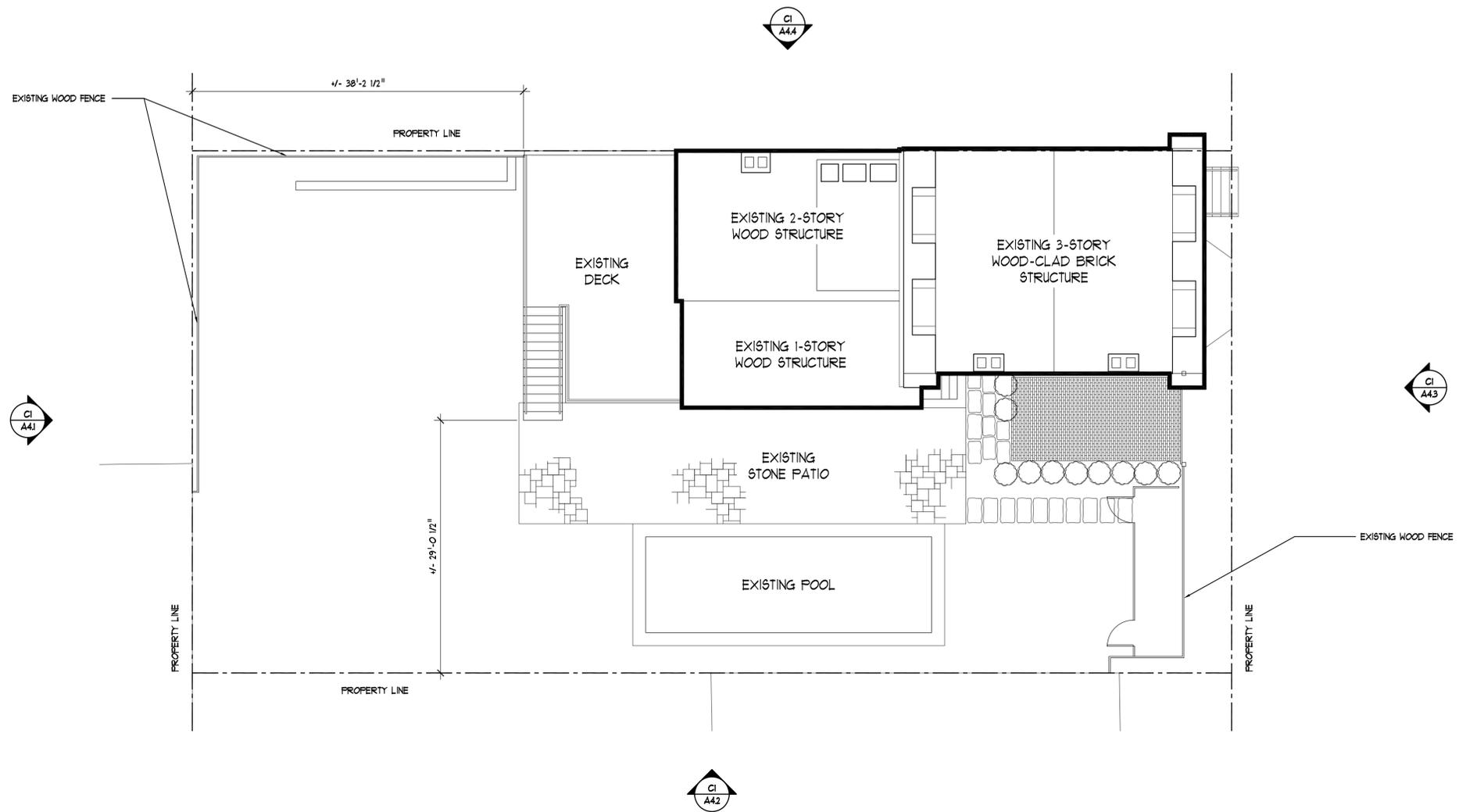


**STEINBERG-KUHN
RESIDENCE II**
1524 30TH STREET, NW
WASHINGTON, DC 20007

DRAWING: EXISTING AND PROPOSED SITE PLANS
ISSUED: 2/7/2021
INDOOR PERMIT SET (OGB)

OGB.4

CI EXISTING SITE PLAN
OGB.4 1/8" = 1'-0" WHEN PRINTED AT 11"x17"
1/8" = 1'-0" WHEN PRINTED AT 22"x36"



Door	Size	Type	Material	Finish Interior	Finish Exterior	Sill	Screen Door	Notes
First Floor								
101	Not Used	-	-	-	-	-	-	
102	4'-1 1/4" x 8'-2 1/4"	A	Wood	PTD	PTD	Aluminum	No	In-swing French Doors, Replace in Kind, Dimensions to be Verified in Field
103	4'-1" x 8'-6 1/2"	A	Wood	PTD	PTD	Aluminum	No	In-swing French Doors, Replace in Kind, Dimensions to be Verified in Field

DOOR TYPE LEGEND:

- A Exterior door: see elevations for design, lite pattern, and adjacent alignments
- B Interior door: raised panel (see notes below)
- C Overhead garage door: see elevations for design and lite pattern
- D Protective door between Garage and house, per code
- E Existing door to be reused

GENERAL NOTES: SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION

- 1 See Specifications for door Allowances, if any.
- 3 Patio doors are based on Pella Architect Series Swinging French Door.
- 6 Windows and exterior doors shall be provided by the same manufacturer.
- 7 Contractor is responsible for coordinating required jamb depths and for providing jamb extensions where necessary for wall thicknesses shown.

INTERIOR DOOR DESCRIPTION:

- 1 Interior doors shall be solid wood, 1 3/4" thick, panel and sticking to match existing, painted.
- 2 All details on interior doors, including hardware and casing, shall match existing.
- 3 All new interior openings that do not receive a door shall still be cased to match the doors, unless noted otherwise on the plans.

EXTERIOR DOOR DESCRIPTION:

- 3 Patio door exteriors shall be standard Western Pine, factory-primed, and field-painted.
- 4 All glass shall be clear, double-pane insulating, tempered, argon filled, low "E". Safety glazing where required by code.
- 5 Grilles shall be simulated divided lights, width to match existing adjacent, with black spacer bar.
- 6 Grille and glazing bead profile shall match existing adjacent.
- 7 Entrance and swing patio doors shall have custom brass interlocking sills and compressible weatherstripping.
- 10 All details on exterior doors, including hardware, casing and muntin style, shall match existing.

HARDWARE NOTES:

- 3 Handle at swing patio doors shall match existing adjacent.
- 5 Swing patio doors shall have a keyed deadbolt.
- 6 Swing patio doors shall have square corner hinges, finish to match existing.

C1 DOOR SCHEDULE
A11 N.T.S.

ALL WINDOW AND DOOR
DETAILS SHALL MATCH
EXISTING

Window#	Model/ Size	Type	Material	Finish	Finish	Code	Notes
First Floor							
101	Not Used	-	-	-	-	-	
102	1'-8" x 6'-3 1/4"	Traditional Double-Hung	Wood	PTD	PTD	-	Double-Hung Window, Replace in Kind, Verify Dimensions in Field
103	1'-8" x 6'-3 1/4"	Traditional Double-Hung	Wood	PTD	PTD	-	Double-Hung Window, Replace in Kind, Verify Dimensions in Field
104	1'-6 3/4" x 6'-3 3/4"	Traditional Double-Hung	Wood	PTD	PTD	-	Double-Hung Window, Replace in Kind, Verify Dimensions in Field
105	1'-6 3/4" x 6'-3 3/4"	Traditional Double-Hung	Wood	PTD	PTD	-	Double-Hung Window, Replace in Kind, Verify Dimensions in Field
106	2'-2 1/2" x 6'-3 3/4"	Traditional Double-Hung	Wood	PTD	PTD	-	Double-Hung Window, Replace in Kind, Verify Dimensions in Field
107	2'-2 1/2" x 6'-3 3/4"	Traditional Double-Hung	Wood	PTD	PTD	-	Double-Hung Window, Replace in Kind, Verify Dimensions in Field
108	2'-2 1/2" x 6'-3 3/4"	Traditional Double-Hung	Wood	PTD	PTD	-	Double-Hung Window, Replace in Kind, Verify Dimensions in Field
109	3'-7" x 6'-3 3/4"	Traditional Double-Hung	Wood	PTD	PTD	-	Double-Hung Window, Replace in Kind, Verify Dimensions in Field
110	2'-2 1/2" x 6'-3 3/4"	Traditional Double-Hung	Wood	PTD	PTD	-	Double-Hung Window, Replace in Kind, Verify Dimensions in Field
111	1'-7" x 6'-3 3/4"	Traditional Double-Hung	Wood	PTD	PTD	-	Double-Hung Window, Replace in Kind, Verify Dimensions in Field
Second Floor							
201	2'-5 1/2" x 5'-0"	Traditional Double-Hung	Wood	PTD	PTD	-	Double-Hung Window, Replace in Kind, Verify Dimensions in Field
202	2'-5 1/2" x 5'-0"	Traditional Double-Hung	Wood	PTD	PTD	-	Double-Hung Window, Replace in Kind, Verify Dimensions in Field
203	2'-5 1/2" x 5'-0"	Traditional Double-Hung	Wood	PTD	PTD	-	Double-Hung Window, Replace in Kind, Verify Dimensions in Field

GENERAL NOTES: SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION

- 1 See Specifications for window Allowances, if any.
- 2 Windows are based on Pella Architect Series. Windows shall be wood - as noted.
- 3 Windows and exterior doors shall be provided by the same manufacturer.
- 4 Head height of windows shall match head height of exterior doors, unless noted otherwise.
- 5 Contractor is responsible for coordinating required jamb depths and for providing jamb extensions where necessary for wall thicknesses shown.

WINDOW DESCRIPTION:

- 1 Window exteriors shall be standard Western Pine, factory-primed, and field-painted - as noted in schedule.
- 2 Window interiors shall be standard Western Pine, factory primed, and field-painted - as noted in schedule.
- 3 Interior and exterior casing and brickmould shall match existing.
- 4 Window sills shall be painted wood to match existing.
- 5 Glass shall be clear, double-pane insulating, argon-filled, low "E" glass. Safety glazing where required by code.
- 6 Grilles shall be simulated divided lites, width to match existing, with black spacer bar.
- 7 Grille and glazing bead profile shall match existing.
- 8 All windows shall be installed with manufacturer's standard screens. Screen frames shall be white. Screens shall be charcoal high transparency.
- 9 All window details, including casing and muntin style, shall match existing.

HARDWARE NOTES:

- 1 For Double-Hung windows provide standard sash lock.
- 2 All exposed hardware shall be metal finish to match existing adjacent, unless noted otherwise.
- 3 Provide samples of all hardware for Architect and Owner review and approval prior to fabrication.

C2 WINDOW SCHEDULE
A11 N.T.S.

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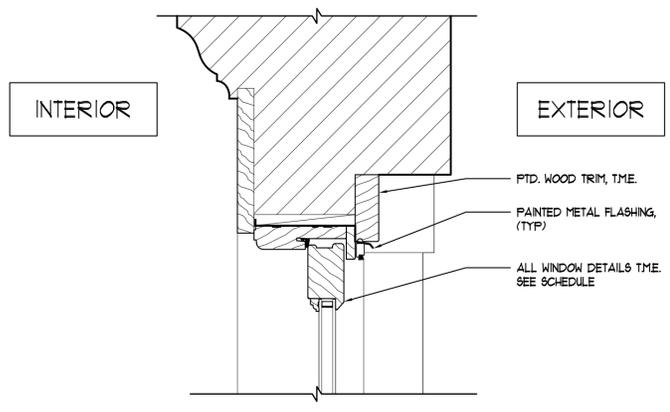


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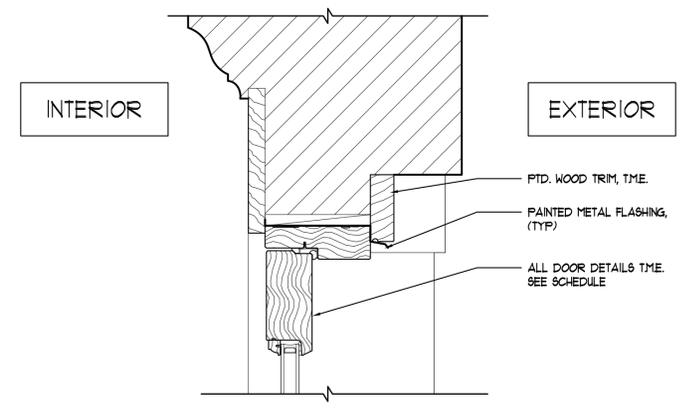
DRAWING: WINDOW AND DOOR SCHEDULES	ISSUED: 2/11/2021	WINDOW PERMIT SET (CGB)			
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A11

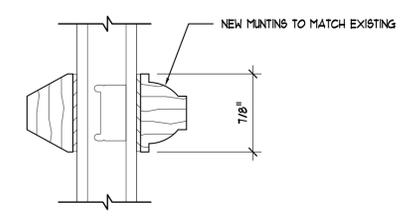
ALL WINDOW AND DOOR DETAILS SHALL MATCH EXISTING



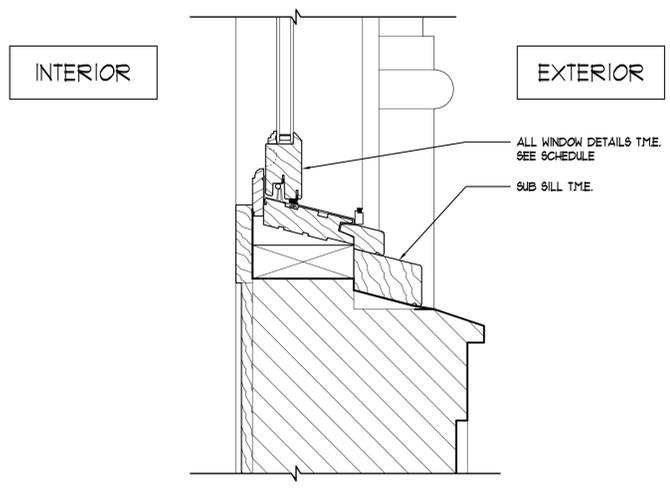
A1 HEAD DETAIL - DOUBLE HUNG
A12 DRAWING SCALE: 3" = 1'-0"



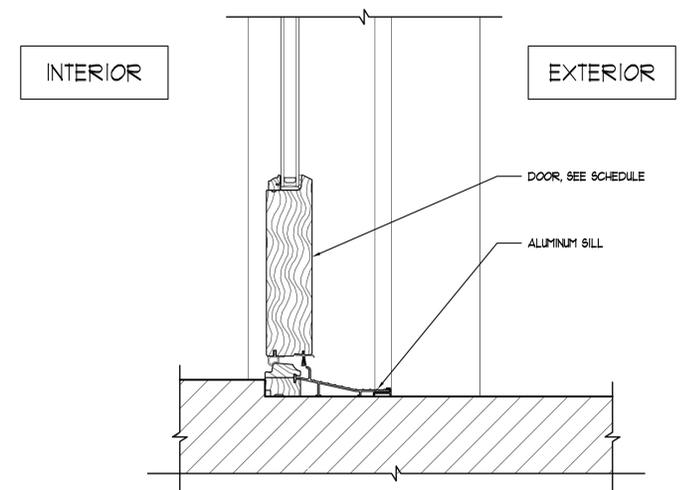
A2 HEAD DETAIL - FRENCH DOOR
A12 DRAWING SCALE: 3" = 1'-0"



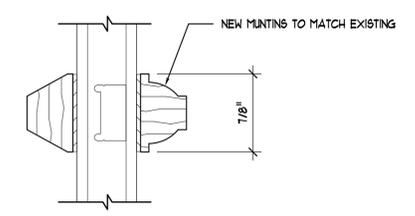
A3 EXISTING MUNTIN DETAIL
A12 DRAWING SCALE: 1'-0" = 1'-0"



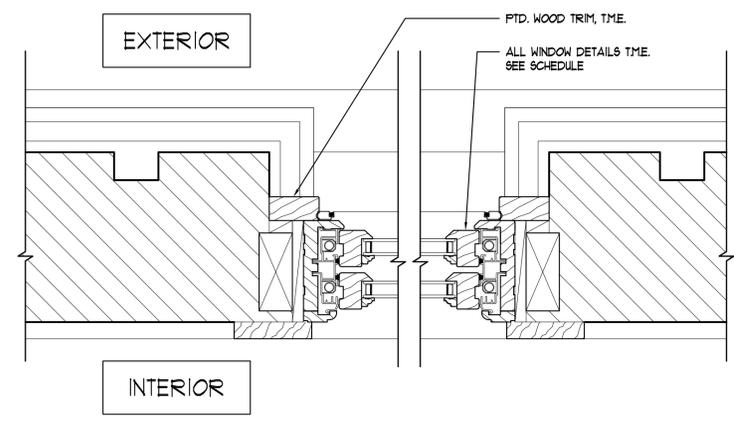
B1 SILL DETAIL - DOUBLE HUNG
A12 DRAWING SCALE: 3" = 1'-0"



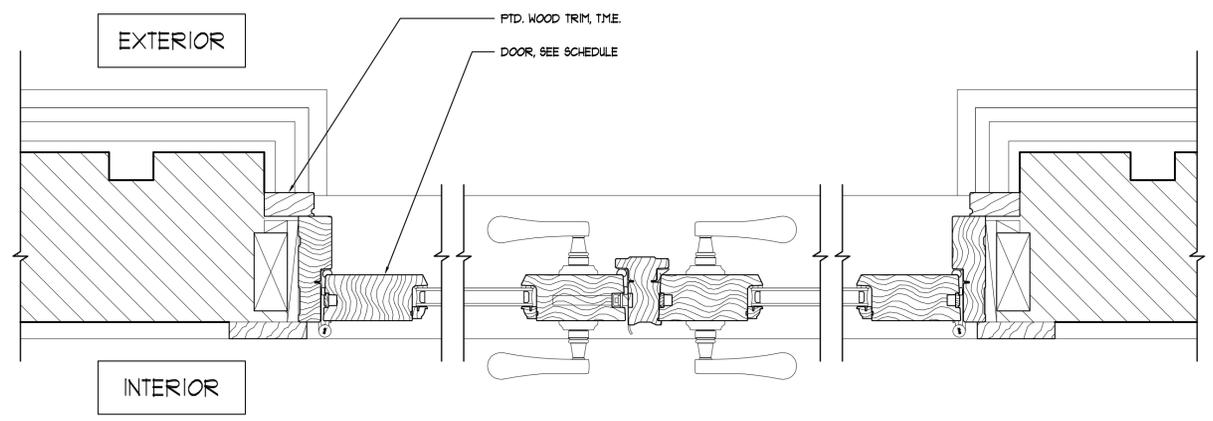
B2 SILL DETAIL - FRENCH DOOR
A12 DRAWING SCALE: 3" = 1'-0"



B3 PROPOSED MUNTIN DETAIL
A12 DRAWING SCALE: 1'-0" = 1'-0"



C1 JAMB DETAIL - DOUBLE HUNG
A12 DRAWING SCALE: 3" = 1'-0"



C2 JAMB DETAIL - FRENCH DOOR
A12 DRAWING SCALE: 3" = 1'-0"

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STEINBERG-KUHN
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1524 30TH STREET, NW
WASHINGTON, DC 20007

DRAWING: WINDOW AND DOOR DETAILS	
ISSUED: WINDOW PERMIT SET (G&B)	
2/7/2021	

A12



A1 EXISTING EXTERIOR ELEVATION
 A4.1 1/8" = 1'-0" WHEN PRINTED AT 22"x36"
 1/16" = 1'-0" WHEN PRINTED AT 11"x17"



THIRD FLR
122'-2-3/4"

SECOND FLR
109'-10-3/4"

FIRST FLOOR
100'-0"

BASEMENT LOWER LEVEL
91'-3"

EXISTING INSULATED WINDOW TO BE REMOVED AND REPLACED IN KIND. TYPICAL OF (4)

EXISTING INSULATED FRENCH DOOR TO BE REMOVED AND REPLACED IN KIND. TYPICAL OF (2)

C1 PROPOSED EXTERIOR ELEVATION
 A4.1 1/4" = 1'-0" WHEN PRINTED AT 22"x36"
 1/8" = 1'-0" WHEN PRINTED AT 11"x17"



B2 PHOTOS OF EXISTING INSULATED WINDOWS - REPRESENTATIVE OF TYPICAL CONDITIONS
 A4.1 NOT TO SCALE

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DRAWING: PROPOSED EXTERIOR ELEVATION
 ISSUED: WINDOW PERMIT SET (CGB)
 2/7/2021

A4.1



A1
 A42
 EXISTING EXTERIOR ELEVATION
 1/8" = 1'-0" WHEN PRINTED AT 22"x36"
 1/16" = 1'-0" WHEN PRINTED AT 11"x17"

THIRD FLR
 122'-2-3/4"

SECOND FLR
 109'-10-3/4"

FIRST FLOOR
 100'-0"

BSMNT LOWER LEVEL
 91'-3"



WINDOW REPLACEMENT PREVIOUSLY
 PERMITTED PER #B2006/18

EXISTING INSULATED WINDOW TO BE
 REMOVED AND REPLACED IN KIND,
 TYPICAL OF (5)

C1
 A42
 PROPOSED EXTERIOR ELEVATION
 1/4" = 1'-0" WHEN PRINTED AT 22"x36"
 1/8" = 1'-0" WHEN PRINTED AT 11"x17"

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**STEINBERG-KUHN
 RESIDENCE II**
 1524 30TH STREET, NW
 WASHINGTON, DC 20007

DRAWING: PROPOSED EXTERIOR ELEVATION
 ISSUED:
 2/7/2021 WINDOW PERMIT SET (CGB)

A4.2



A1
 A43
 EXISTING EXTERIOR ELEVATION
 1/8" = 1'-0" WHEN PRINTED AT 22"x36"
 1/16" = 1'-0" WHEN PRINTED AT 11"x17"

THIRD FLR
 122'-2-3/4"

SECOND FLR
 109'-10-3/4"

FIRST FLOOR
 100'-0"

BSMT LOWER LEVEL
 91'-3"

PROPERTY LINE

PROPERTY LINE



EXISTING INSULATED WINDOW TO BE REMOVED AND REPLACED IN KIND.

C1
 A43
 EXTERIOR ELEVATION
 1/4" = 1'-0" WHEN PRINTED AT 22"x36"
 1/8" = 1'-0" WHEN PRINTED AT 11"x17"

1929



BARNES-VANZE

ARCHITECTS INC.

1000 Potomac Street, N.W.
Suite L-2
Washington, D.C. 20007

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DRAWING: PROPOSED EXTERIOR ELEVATION

ISSUED:

2/7/2021 WINDOW PERMIT SET (CGB)

A4.3

RE: OG # 21-109_HPA # 21-203 1524 30th Street

Sydney Katz <SKatz@barnesvanze.com>

Mon 3/1/2021 1:28 PM

To: Mary Catherine Bogard <mcbogard@cfa.gov> 5 attachments (6 MB)

image001.jpg; image002.jpg; image003.jpg; image004.jpg; image005.jpg;

Hi Mary Catherine,

Attached please find photos of the second floor windows you mention. As you can see they are double glazed.

Thanks,
Sydney**SYDNEY DAVENPORT KATZ** AIA, LEED AP
Associate**BVA**BarnesVanze Architects Inc
1000 Potomac St NW Suite L-2 Washington DC 20007
202 337 7255 barnesvanze.com

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From: Mary Catherine Bogard <mcbogard@cfa.gov>
Sent: Friday, February 26, 2021 1:45 PM
To: Sydney Katz <SKatz@barnesvanze.com>
Subject: Re: OG # 21-109_HPA # 21-203 1524 30th Street

Hi Sydney,

Thank you for following up. The only question I had, was are the existing rear second floor windows single-glazed? Do you have photos of those windows (windows 201, 202, and 203)? I ask because they look like they are located on the historic ell of the house and could be original, but it is really difficult for me to tell for sure. Any information you have would be helpful.

Thank you,

Mary Catherine Bogard
Historic Preservation Specialist | U.S. Commission of Fine Arts
401 F Street NW Suite 312 Washington, DC 20001









