

# 1805 Wisconsin

## Conceptual Design

OGB Submission

February 11, 2021



**BEYER  
BLINDER  
BELLE**

**FORTIS**



# EXISTING BUILDING

## Photos



01



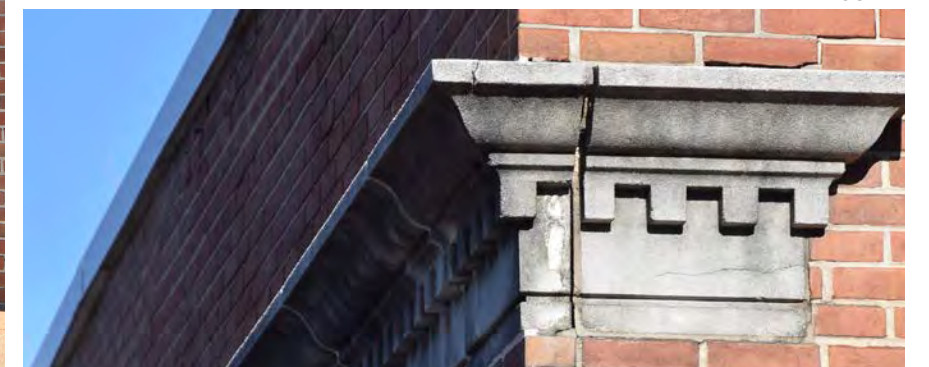
02



05



03



04





# NEIGHBORHOOD

## Photos/ Location Plan





# SITE ELEVATIONS

## Wisconsin Ave



Wisconsin Ave Elevation looking west



Wisconsin Ave Elevation looking east



# CONTEXT BUILDING COMPARISON

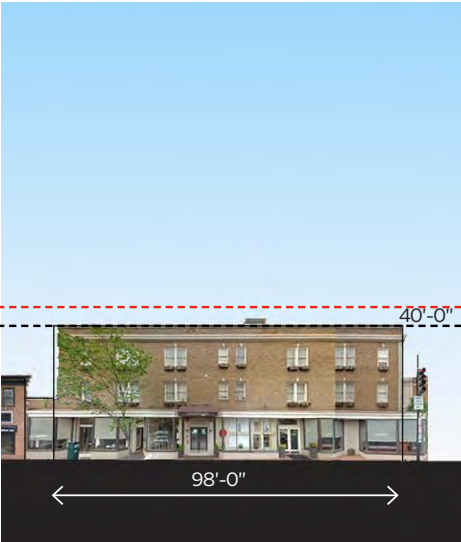
## Wisconsin Ave



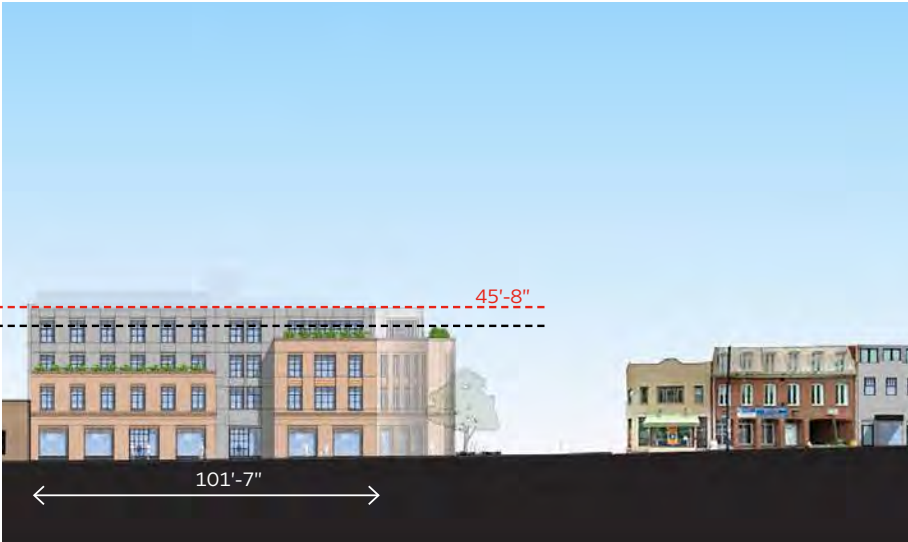
1700 Wisconsin Elevation



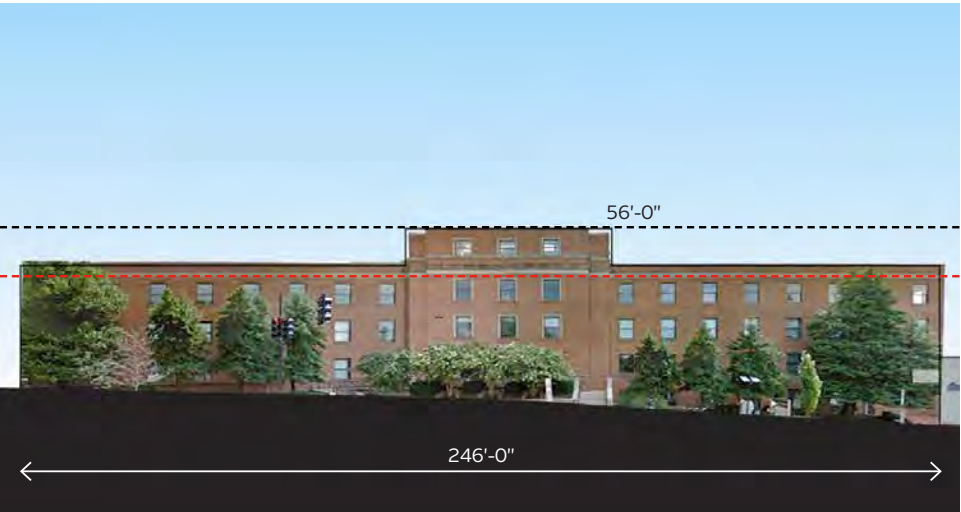
1805 Wisconsin Elevation



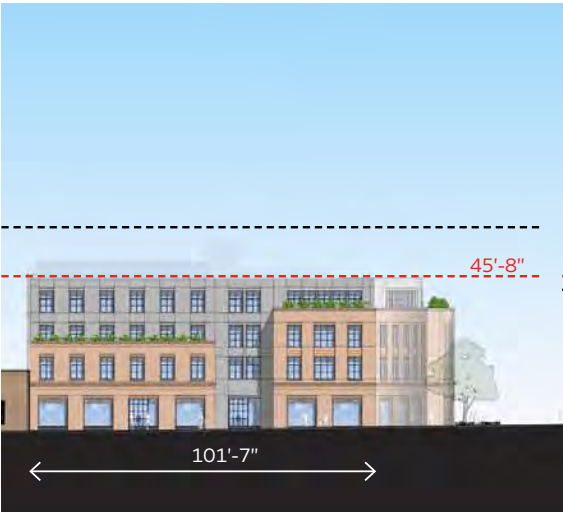
1834 Wisconsin Elevation



1805 Wisconsin Elevation



2001 Wisconsin Elevation



1805 Wisconsin Elevation



Safeway Elevation



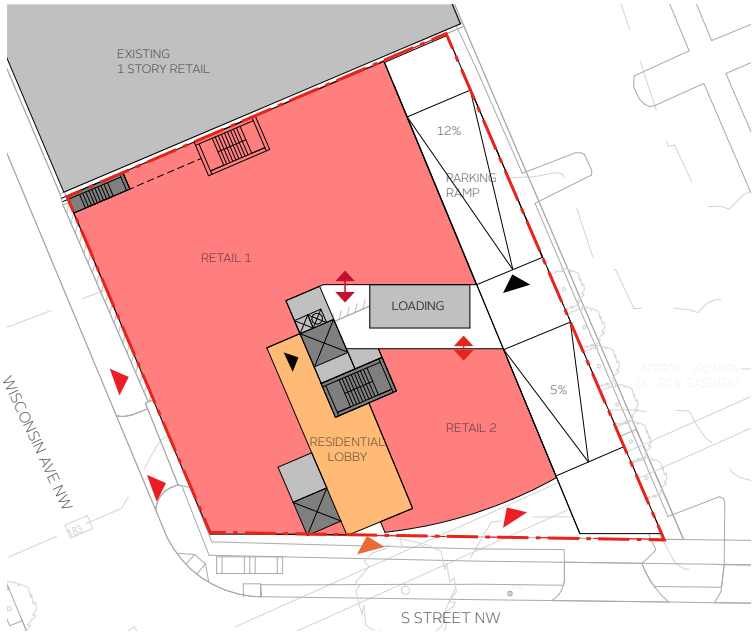
1805 Wisconsin Elevation



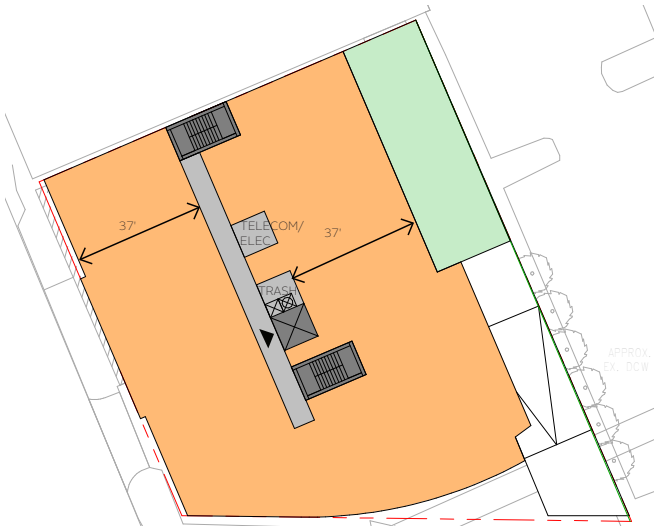
**OPTION 1**



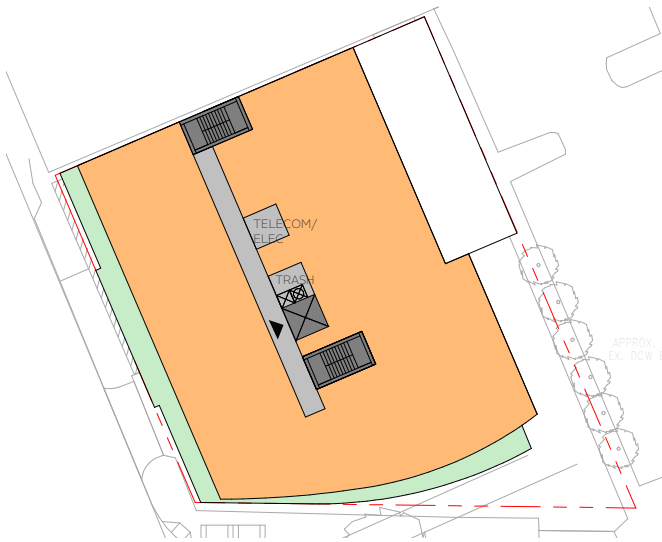
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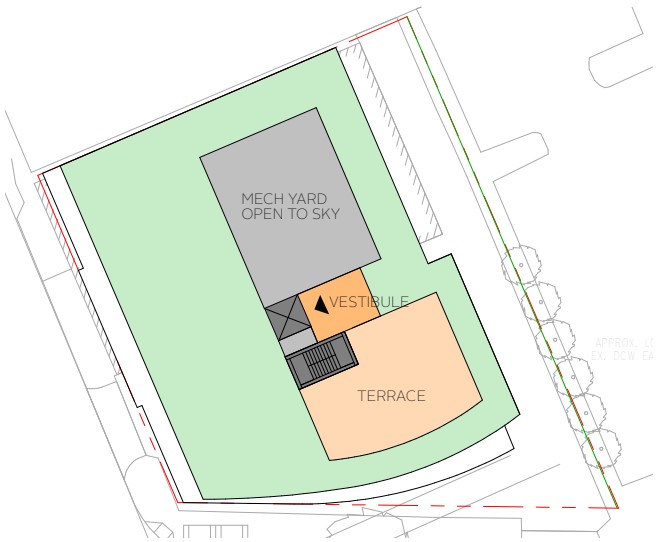
GROUND FLOOR



FLOORS 2-3



FLOOR 4



ROOF



# OPTION 1

## Elevations

- ⊕ ROOF (T.O. PARAPET)  
45'-8"
- ⊕ FOURTH FLOOR  
35'-0"
- ⊕ THIRD FLOOR  
24'-4"
- ⊕ SECOND FLOOR  
14'-8"
- ⊕ GROUND FLOOR  
0'-0"



WISCONSIN AVE ELEVATION

- ⊕ ROOF (T.O. PARAPET)  
45'-8"
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S STREET ELEVATION



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S STREET ELEVATION



# OPTION 1

## Wisconsin Ave Perspective





# OPTION 1

## S Street Perspective





# OPTION 1

## Photo Montage at Wisconsin Ave





# OPTION 1

## Photo Montage at S Street





# OPTION 1

## Photo Montage Looking South on Wisconsin

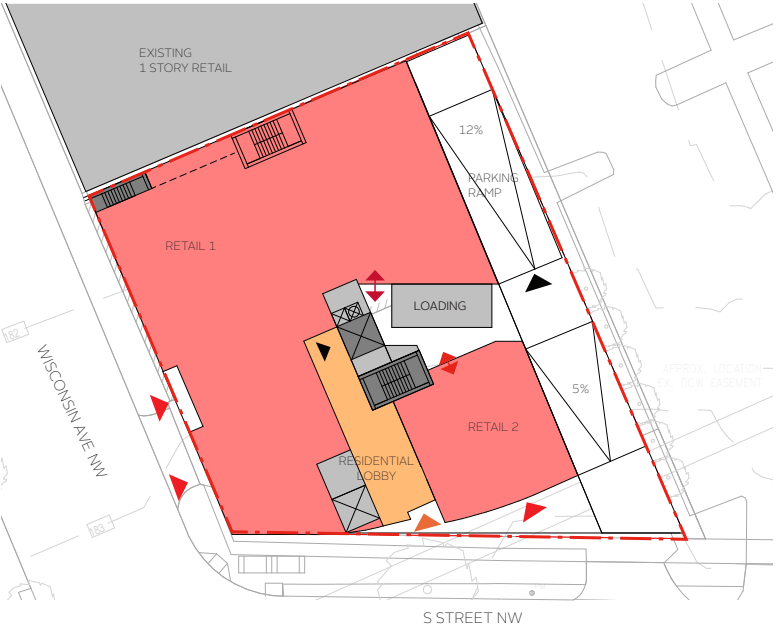




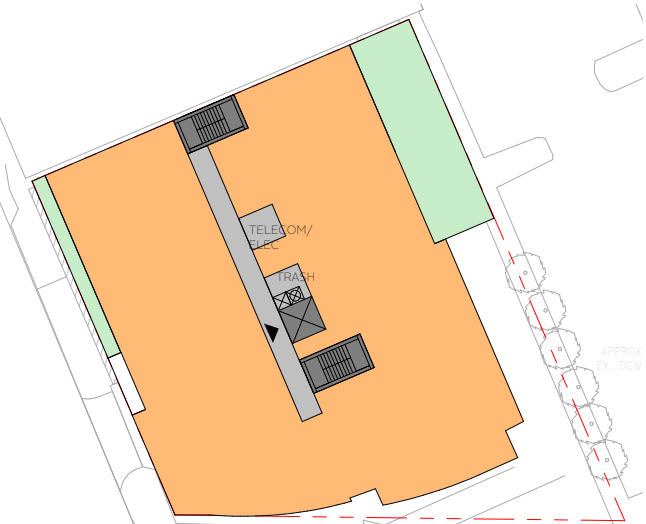
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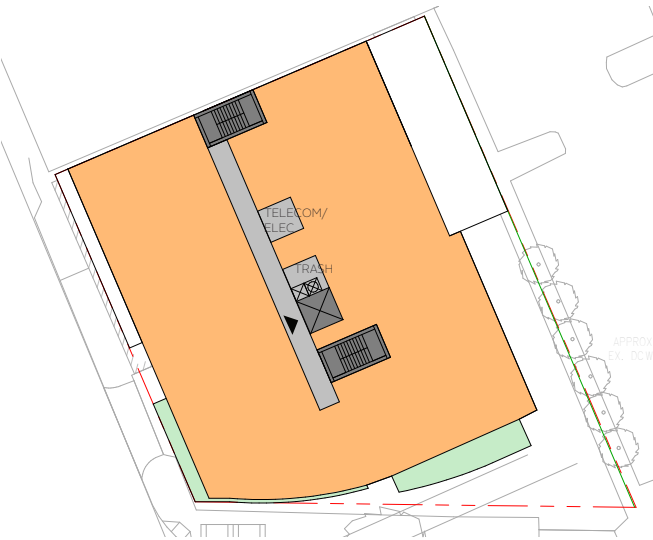
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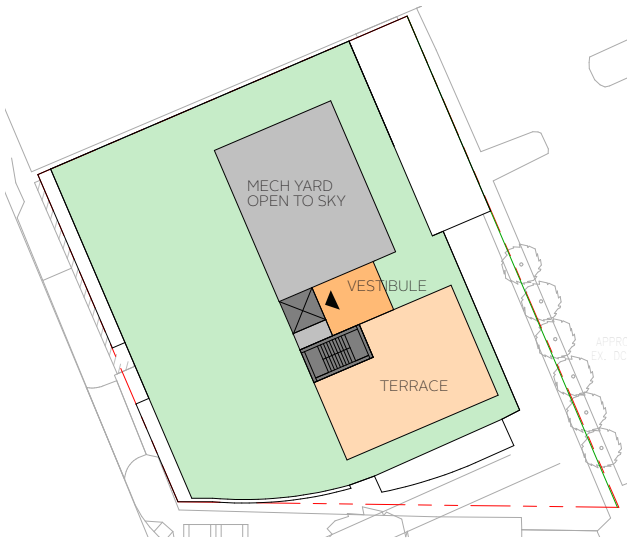
GROUND FLOOR



FLOORS 2-3



FLOOR 4



ROOF



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45'-8"
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S STREET ELEVATION



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S STREET ELEVATION



# OPTION 2

## Wisconsin Ave Perspective





# OPTION 2

## S Street Perspective





# OPTION 2

## Photo Montage at Wisconsin Ave





# OPTION 2

## Photo Montage at S Street





## OPTION 2

### Photo Montage Looking South on Wisconsin

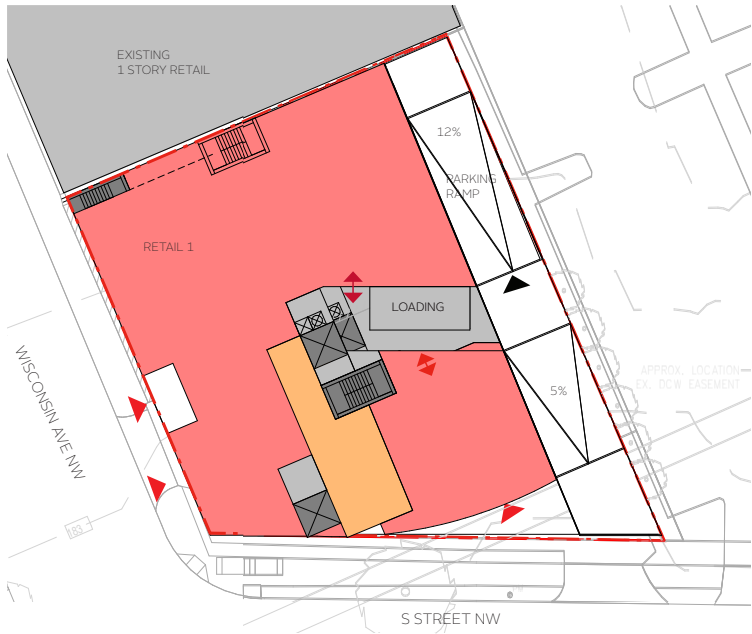




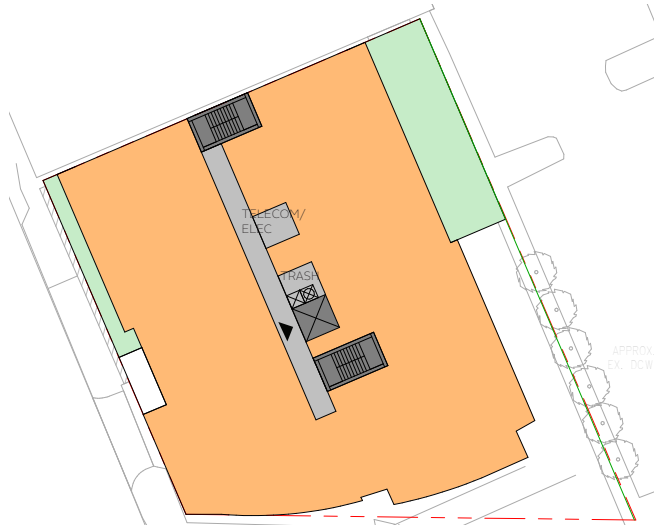
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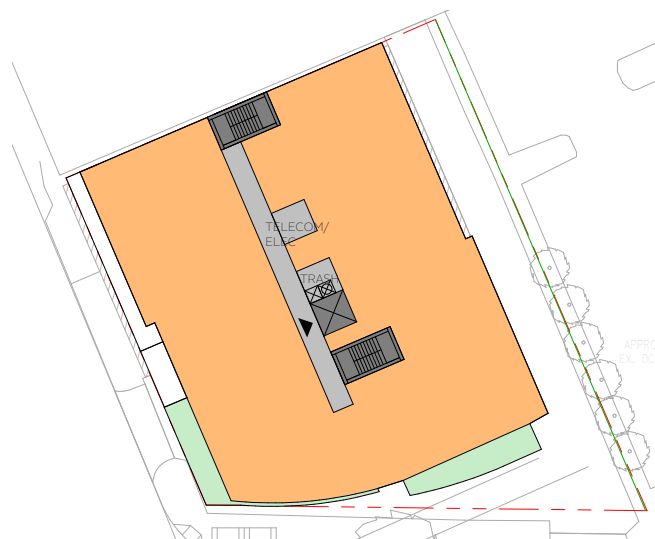
OPTION 3



GROUND FLOOR



FLOORS 2-3



FLOOR 4



ROOF



# OPTION 3

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0'-0"



WISCONSIN AVE ELEVATION

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0'-0"



WISCONSIN AVE NW

S STREET ELEVATION



# OPTION 3

## Elevations

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S STREET ELEVATION



# OPTION 3

## Wisconsin Ave Perspective





# OPTION 3

## S Street Perspective





# OPTION 3

## Photo Montage at Wisconsin Ave





# OPTION 3

## Photo Montage at S Street





# OPTION 3

## Photo Montage Looking South on Wisconsin





# SUMMARY

## OPTION 1



WISCONSIN AVE ELEVATION



S STREET ELEVATION

## OPTION 2



WISCONSIN AVE ELEVATION



S STREET ELEVATION

## OPTION 3



WISCONSIN AVE ELEVATION



S STREET ELEVATION



## Attachment A: Historic Analysis



Figure 1 – 2020 Image, Google Street View

### **1805 Wisconsin Avenue, NW**

#### **History:**

1805 Wisconsin Avenue, NW is a one-story masonry (brick & stone) commercial building that sits on a corner lot (Square 1299, Lot 319) with frontage on Wisconsin Avenue, NW and S Street, NW.

The present building is the result of the original construction in 1933 of a 40' wide by 100' deep building and a later (post 1968) 20' wide by 100' deep addition to the side (South).

- **1933 Building:** Designed by architect Julius Weng and constructed by builder Samuel Alpher for owner Joseph Friedman at an estimate cost of \$10,000.
  - Three-bay wide symmetrical composition with center double door entrance flanked by fixed multi-pane storefront windows. Simple detailing including a cast stone cornice and sills, wood panels at the base of the windows and wood columns at the entrance surround. Single shed awning spanning the first-floor fenestration with lettering on the valance.
- **Post 1968 Addition:** Unknown architect, builder, and owner, as well as cost.
  - Two-bay wide asymmetrical composition with single door entrance flanked by a single fixed multi-pane storefront window. The addition shares the same detailing as the original building, including the cast stone cornice, wood panel at the base of the window and wood columns at the entrance surround, as well as a single shed awning. The side (South) elevation facing the surface parking lot consists of four punched openings in-filled with brick and with cast stone headers and sills as well as a service entrance with cast stone header.





*Figure 2 -1998 Photograph, Georgetown Neighborhood Library – Peabody Room*

### **Analysis:**

- The footprint of the original 40' x 100' **1933 Building** remains in-place at the site, albeit with considerable alterations that result in a profound change to its appearance and loss of architectural integrity.
- A later, as evidenced by the aerial photographs and measurements of the existing front elevation by the project team, 20' addition was added to the building (**Post 1968 Addition**).
- As such, the existing front elevation consists of the original 40' width plus the later 20' width from the addition.
- Further evidence of the later 20' addition is visible at the rear elevation where the **Post 1968 Addition** is clad in concrete block, while the original **1933 Building** is clad in brick, and by the parapet wall separating the two.
- As part of this expansion / addition to the building, the refacing of the original **1933 Building** in the Colonial Revival style along with the **Post 1968 Addition** occurred. The original architectural composition / design of the front elevation is not known; however, it is apparent that the existing façade is not original to the date of construction (1933).
- Given that the addition dates from after 1968, and that the front elevation was refaced as part of this project, the only intact elevation of the original **1933 Building** that falls within the "Period of Significance" for the Georgetown Historic District looks to be rear one.
- In addition, the rear elevation of the **1933 Building** appears to show a light-colored brick on what was the side (South) elevation, which may have also been used for the original front elevation.



### **Consultation with DC Historic Preservation Office (HPO):**

- As part of the initial review of the history of the building and site, the project team consulted with the HPO to have their input on whether, given the apparent alterations to the building over the years, the proposed demolition / razing of the building would constitute a “demolition” under the DC Historic Preservation Law.
- The HPO undertook additional research on the building and site and reached the conclusion that given the extent of the alterations that they would no longer consider it to be a “Contributing Building” in the Georgetown Historic District with has a “Period of Significance” of 1765-1950.

### **Recent review of work by the Old Georgetown Board (OGB) and Commission of Fine Arts (CFA):**

- 2011 for “Awning and sign scheme for Sherwin-Williams Paints”

No objection to issuance of permit for replacement shed awning covered with blue woven fabric with open sides extending no more than 1'-4" from edge of windows and with lettering on valance reading 'Sherwin-Williams Paints' as shown in supplemental drawings dated 14 January 2011, which matches design scheme of adjacent storefront at 1803 Wisconsin Ave. A single awning is appropriate in this case due to the different placement of the heads of windows and door.

- 2011 for “Alterations to storefront” (1803 Wisconsin Avenue):

No objection to issuance of permit for proposed alterations to window openings on south facade, including bricked-in window openings with recessed panel to match existing brick and retention of cast stone heads and sills, replacement service doors at rear, and removal of exposed electric conduits and light fixtures over windows as shown in supplemental drawings dated 21 January 2011, which indicate replacement of front door to match existing. Replacement of multi-light shop window was NOT approved and was deleted from this permit application. No new light fixtures are included in this permit application.

- 2011 for “Awning and sign for Next Day Blinds (1803 Wisconsin Avenue):

No objection to issuance of permit for replacement shed awning covered with black woven fabric with open sides extending no more than 1'-4" from edge of window and door, and to lettering on valance reading 'Next Day Blinds' and logo on shed as shown in supplemental drawings dated 12 and 21 January 2011, which match design scheme of adjacent storefront at 1805 Wisconsin Ave. A single awning is appropriate in this case due to the different placement of the heads of the window and door. No new light fixtures are included in this permit application.



# Research with the staff at the Georgetown Neighborhood Library – Peabody Room:



Figure 3 – 1937 Baist Map (showing the footprint of the original 1933 Building)

OFFICE OF THE INSPECTOR OF BUILDINGS  
DISTRICT OF COLUMBIA

PERMIT *June 26, 1933*

Nº 164029 *Build* PERMIT

THIS IS TO CERTIFY That *Joseph Friedman*  
has permission to *build one 1 story brick & stone*  
*store*  
*as per plans*

Premises No. *1807 Wis Ave NW* Lot *02* Square *1299*

Width of Building *40'* Length *100'* Height *19'-6"* Cost \$ *10,000*

In accordance with application and plans on file in this office, and subject to the Building Regulations of the District of Columbia, the right being reserved to enter and examine the buildings during operations conducted under authority of this permit, and to require any change in construction that may be necessary to insure sufficient structural strength, or safety from fire. Work authorized under this permit must be begun within six months of date or permit automatically becomes void and cannot be renewed. IF NO WORK IS BEGUN under authority of this permit application for refund must be made prior to expiration date.

NOTE

Projections beyond the building line are not authorized by this permit, unless expressly stated herein. This permit does not authorize the installation of any electric wiring, nor the connection of any electrical apparatus.

Walls shall not be erected to a height greater than one foot (1' 0") above footings until their correct location is verified by the Surveyor, D. C., in accordance with Paragraph C, Part 2, Section 11, of the Building Regulations, D. C.

Party walls are subject to the rights of adjoining owners in all squares located outside the City of Washington (as defined in the Building Regulations, D. C.).

Storage of building materials on public space is prohibited unless specifically authorized by permit.

Permit Fee, \$ *34-*

Deposit No. *6705* Amount, \$ *40-*

The above amounts have been paid to the Collector of Taxes, D. C. *Quell*

Noted by *[Signature]* Building Dept.

By *[Signature]* JOHN W. OEHMANN, Inspector of Buildings, Permit Clerk.

Figure 4 – 1933 Building Permit, Georgetown Neighborhood Library – Peabody Room



HWS  
(Answer all questions with ink)  
**APPLICATION FOR PERMIT TO BUILD**  
(NEW BUILDING)

**Owner's name** JOSEPH FRIEDMAN **Lot No.** 803  
**Premises number** 1807 WISCONSIN AVE. N.W. **Square No.** 1299  
**Purpose of building** STORE **Material of building** BRICK-STONE FRONT  
**How many buildings?** ONE **Stories high?** ONE **Estimated cost \$** 10,000  
**Number of rooms** ONE **Number of families** NO **Number of bricks** 75M.  
**Cement** 50 (cu. yds.) **Cubic contents of each building** 84,800

**To The Inspector of Buildings:**  
The undersigned hereby applies for permission to build by the following specifications:  
**Name of builder** SAMUEL ALPHER **Address** 1207 FARRAGUT ST. N.W.  
**Name of architect** JULIUS WENIG **Address** 917-15TH ST. N.W.  
Have dimensions of all buildings and yards been properly indicated on plat? YES  
Will any part of building be used for commercial purposes? YES - ALL PARTS  
Will there be any projections beyond the building line? NO  
If so, check below:  
Main steps NO Areas NO  
Marquees NO  
Vaults NO  
Area steps NO  
Submit separate application for projections (see note on back).  
Size of lot: Width 100'-0" Depth 125'-0" 136.71  
Wall bearing YES Skeleton NO  
Height of building at front center, from sidewalk to highest point of roof 19'-6"  
Height of terrace above sidewalk NO GRADE Height of first floor above sidewalk 6"  
Give MATERIAL and THICKNESS of external walls: Foundation to 1st floor 12"  
1st to 2d 12" 2d to 3d 12" 3d to 4th 12" 4th to 5th 12"  
Give MATERIAL and THICKNESS of party walls: Foundation to 1st floor NO PARTY WALLS  
1st to 2d 12" 2d to 3d 12" 3d to 4th 12" 4th to 5th 12"  
Will the roof be pitch, mansard, or flat? FLAT Roof covering SLAG  
Will the front wall project beyond the front walls of other buildings in block? NO  
Will building be wired for electricity? YES How will building be heated? HOT AIR FURNACE  
Number and type of elevators NO ELY. Have elevator plans been filed? YES  
Is there a sidewalk, curb, or improved roadway in front of proposed building? YES  
Has the curb grade been obtained from the Engineer of Highways? YES Alley grade? NO ALLEY  
Has a certificate of parking been obtained from the Superintendent of Parking? YES

**Approval of plumbing plans must be obtained from the Plumbing Inspector before this application will be considered by the Inspector of Buildings.**

I hereby certify that I have the authority to make the foregoing application.  
Samuel Alpher  
(Signature of owner)

By Joseph Friedman  
Samuel Alpher  
1207 Farragut St. N.W.  
7301-82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100  
(Signature of architect)

See supplementary instructions on back of this application.

**RECEIVED FOR PERMIT**  
JUN 23 1933  
SAMUEL TAPP  
INSPECTOR OF BUILDINGS

**SUBJECT TO PLANS FILED 6/22 1933**

**TO BE FILLED IN BY CLIENT**  
USE DISTRICT 12  
HEIGHT DISTRICT 60  
AREA DISTRICT 12  
Fee \$34.00  
Date received 6/27/33

**COMPLIES WITH REQUIREMENTS OF ZONING REGULATIONS**

Figure 5 - 1933 Building Permit, Georgetown Neighborhood Library – Peabody Room







Surveyor's Office  
 DISTRICT OF COLUMBIA  
 Washington, D. C., 6 26, 1933

Plat, for Building Permit of Pt 1st 802 59 1244  
 Recorded in Book 38 111 page 343  
 S.O. 523.97

Scale: 1 inch = 30 feet

Pt 1st 802 surveyed per dotted line  
 CCW  
 Surveyor's Office, D.C.

Wisconsin Ave  
 S Street  
 Pt 802  
 Paving Lot  
 125.0  
 140.0  
 10.0  
 15.0  
 Note: Face of wall 19' from line

Furnished to Samuel Alpher  
 I, Joseph Friedman  
 Surveyor, District of Columbia.  
 Per CCW

We'll hereby certify that I am  
 shown the owner of all the land outlined in color on this plat; that all  
 existing improvements are shown thereon and are correctly placed; that  
 all proposed buildings or construction, or parts thereof, including covered  
 porches, are correctly shown and agree with plans accompanying this  
 application; that the foundation plan as shown hereon is drawn accu-  
 rately to the same scale as the property lines shown on this plat; and that  
 by reason of the proposed improvements to be erected as shown hereon  
 the use of any lot or provision is not decreased to an area less than is  
 required by zoning regulations for light and ventilation.

Figure 7 -1933 Building Permit, Georgetown Neighborhood Library – Peabody Room



APPLICATION FOR DRIVEWAY APPROVAL

Applicant Sam'l Alpha Address 1207 Farragut St 193  
Known as premises 1807 Wis Ave (on S + Wis Ave)  
Lots 802 Square 1299  
Character of building Driveway to private parking  
Plat of driveway to be approved (may be attached)

Blue print on file

No obstructions

Samuel Alpha

TO THE INSPECTOR OF BUILDINGS:

Driveway as above will be authorized for service of structure to be erected under building permit at above location on application by owner and deposit of cost of necessary changes to public structures.

Recommended  
[Signature]  
Inspector of Buildings

OK 6/23/33  
[Signature]

U. S. GOVERNMENT PRINTING OFFICE: 1933 16-228

Figure 8 - 1933 Building Permit, Georgetown Neighborhood Library - Peabody Room

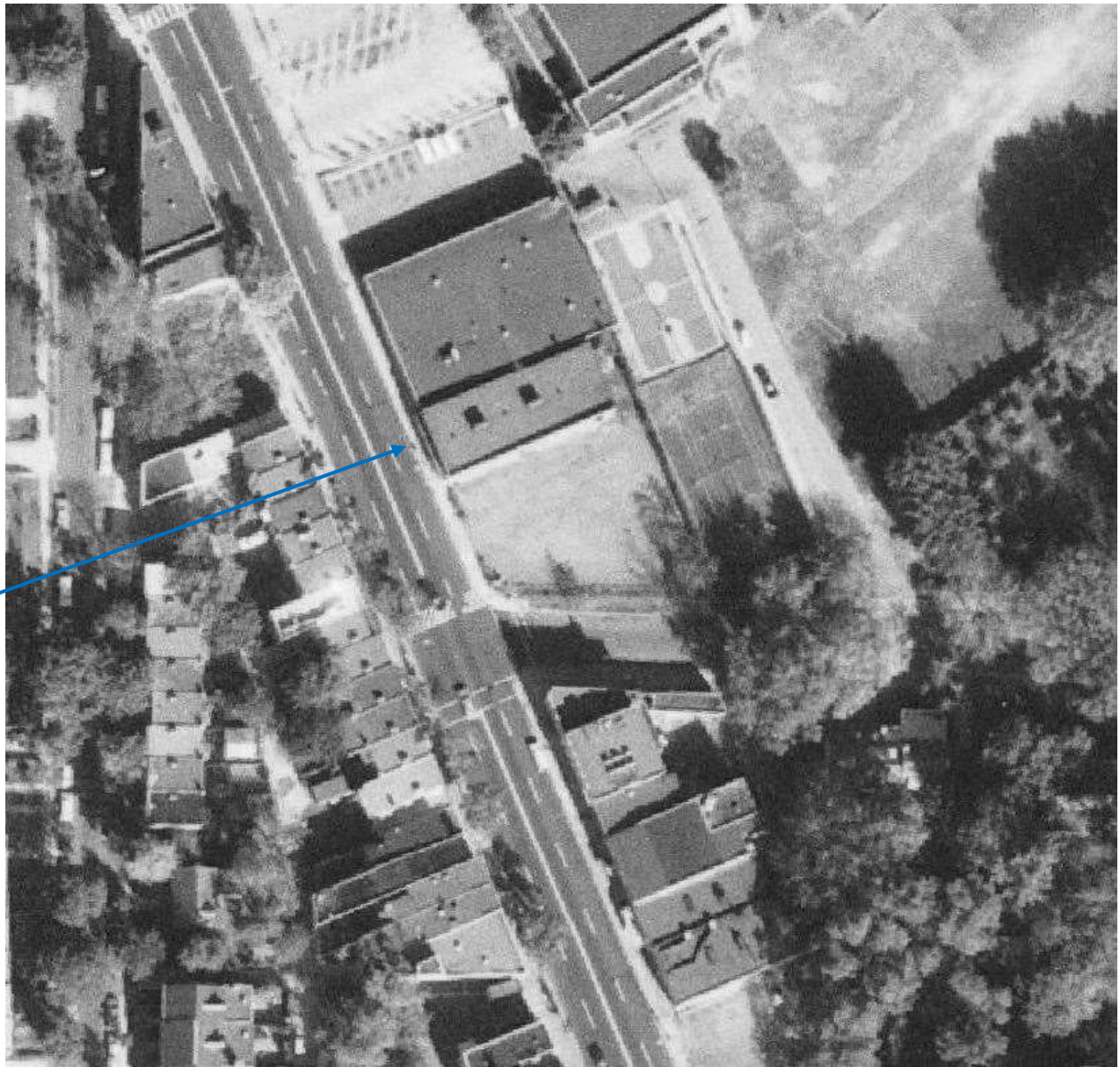


## Aerial Photographs:



*Figure 9 – 1951 Aerial Photograph (showing the footprint of the original 1933 Building)*





*Figure 10 - 1968 Aerial Photograph (showing the footprint of the original [1933 Building](#))*





Figure 11 - 2020 Aerial Photograph (showing the footprint of the original 1933 building and Post 1968 Addition)



**Photographs of Rear Elevation:**



1933  
Building:  
Brick Section

Post 1968  
Addition:  
Concrete  
Block  
Section

*Figure 12 – 2020 Photograph (showing rear (East) elevation)*





1933  
Building  
Brick Section

Post 1968  
Addition:  
Concrete  
Block  
Section

*Figure 13 – 2020 Photograph (showing rear (East) elevation)*