

PROJECT DATA

BUILDING ADDRESS:	1515 WISCONSIN AVE NW WASHINGTON DC, 20007		
BUILDING OWNER:	1515 WISCONSIN AVENUE LLC		
ZONE:	MU-4	LOT: 0044	SQUARE: 1271
USE GROUP:	MIXED USE		
NUMBER OF STORIES EXISTING:	3 + CELLAR		
NUMBER OF STORIES PROPOSED:	3 + CELLAR		
FIRE SPRINKLER:	YES - FULLY SPRINKLED		
SCOPE OF WORK:	ADDITION AND RENOVATION OF AN EXISTING MIXED USE BUILDING. NEW 3RD FLOOR REAR ADDITION. PROPOSED 6 UNIT APARTMENTS W/ MERCANTILE ON THE FIRST FLOOR STREET SIDE.		
GREEN AREA RATIO:	.03		
LOT SF:	2,601 SF		
BUILDING FOOTPRINT:	EXISTING: 1,954 SF	PROPOSED: 2,104 SF	
LOT OCCUPANCY:	ALLOWABLE: 60% EXISTING: 75% PROPOSED: 81%		
FLOOR AREA RATIO:	ALLOWABLE: 2.5 EXISTING: 1.33 PROPOSED: 1.92		

DRAWING LIST

ARCHITECTURAL	
A001	PROJECT INFORMATION, DRAWING LIST AND LOCATION MAP
A002	EXISTING PHOTOS
A003	EXISTING PHOTOS
A004	LOCATION MAP
A200	SITE PLAN - EXISTING
A201	SITE PLAN - PROPOSED
A201a	REAR YARD SETBACK DIAGRAM
A202	EXISTING PLANS
A203	PROPOSED PLANS
A203a	AXONOMETRIC VIEWS
A204	PROPOSED SECTION
A205	EXISTING AND PROPOSED ELEVATIONS
A206	EXISTING AND PROPOSED ELEVATIONS
A207	EXISTING AND PROPOSED ELEVATIONS
A208	EXISTING AND PROPOSED ELEVATIONS
A209	P STREET RENDERING



1 | BLOCK SITE PLAN  
SCALE 1" = 60'-0"



1515 WISCONSIN AVE NW



VIEW 4: FROM 32ND ST NW



VIEW 5: P ST NW



VIEW 6: FROM Q ST NW



VIEW 1: FROM WISCONSIN AVE NW



VIEW 2: FROM WISCONSIN AVE NW



VIEW 3: FROM WISCONSIN AVE NW

1515 WISCONSIN AVE NW

1515 WISCONSIN AVE NW

EXISTING EXTERIOR CONDITION PHOTO: SEE FRONT SHEET FOR VIEW LOCATIONS

GRONNING  
architects

WISCONSIN AVE: CFA PACKAGE

1515 WISCONSIN AVE NW, WASHINGTON DC 20007

926 N STREET NW - REAR - WASHINGTON, DC 20001 T: 202.223.7059 www.gronningarchitects.com

EXISTING PHOTOS

A002

3/17/2021 10:06:52 AM



1515 WISCONSIN AVE NW



1515 WISCONSIN AVE NW



1517 WISCONSIN AVE NW





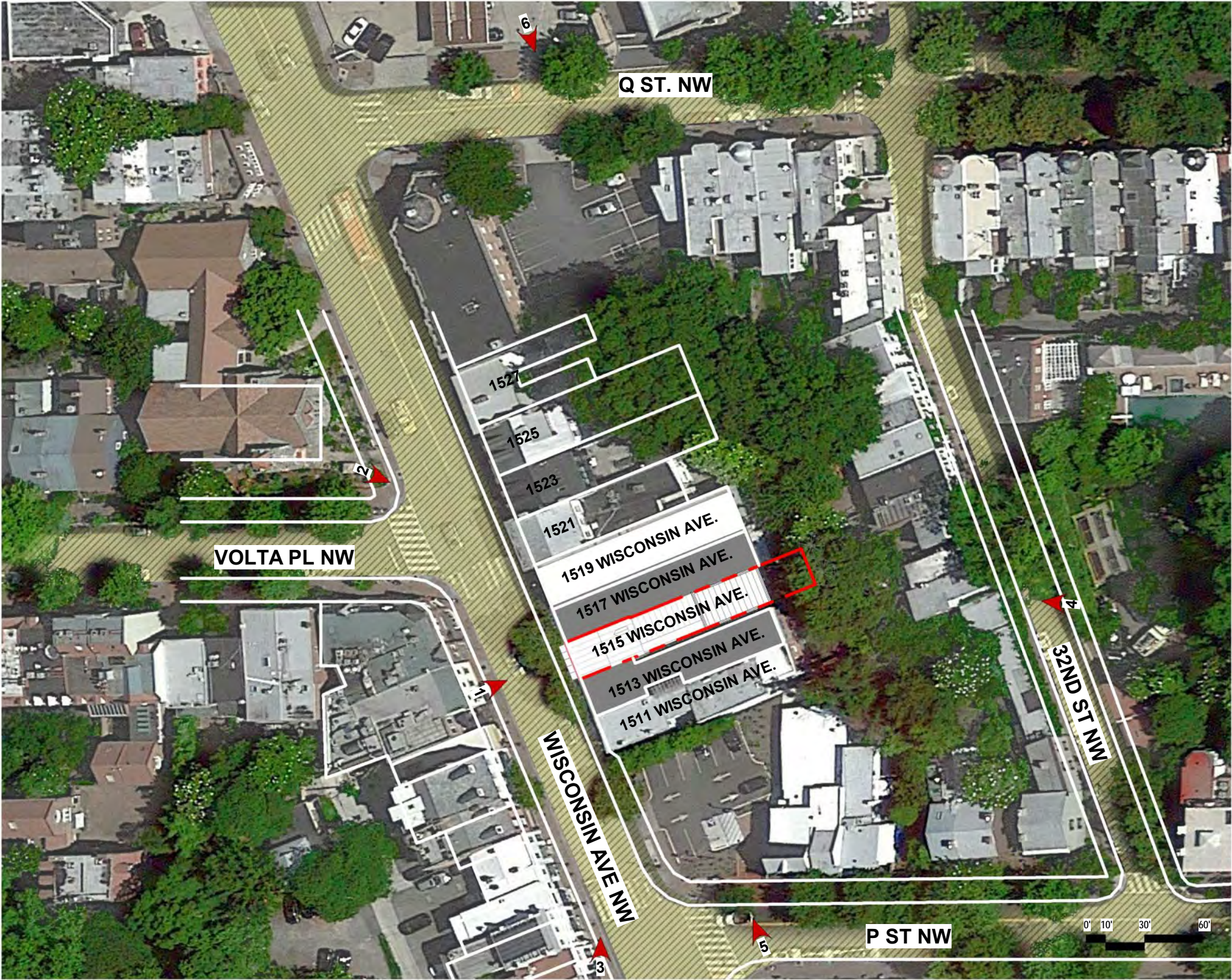
#

EXISTING PHOTO VIEW LOCATION

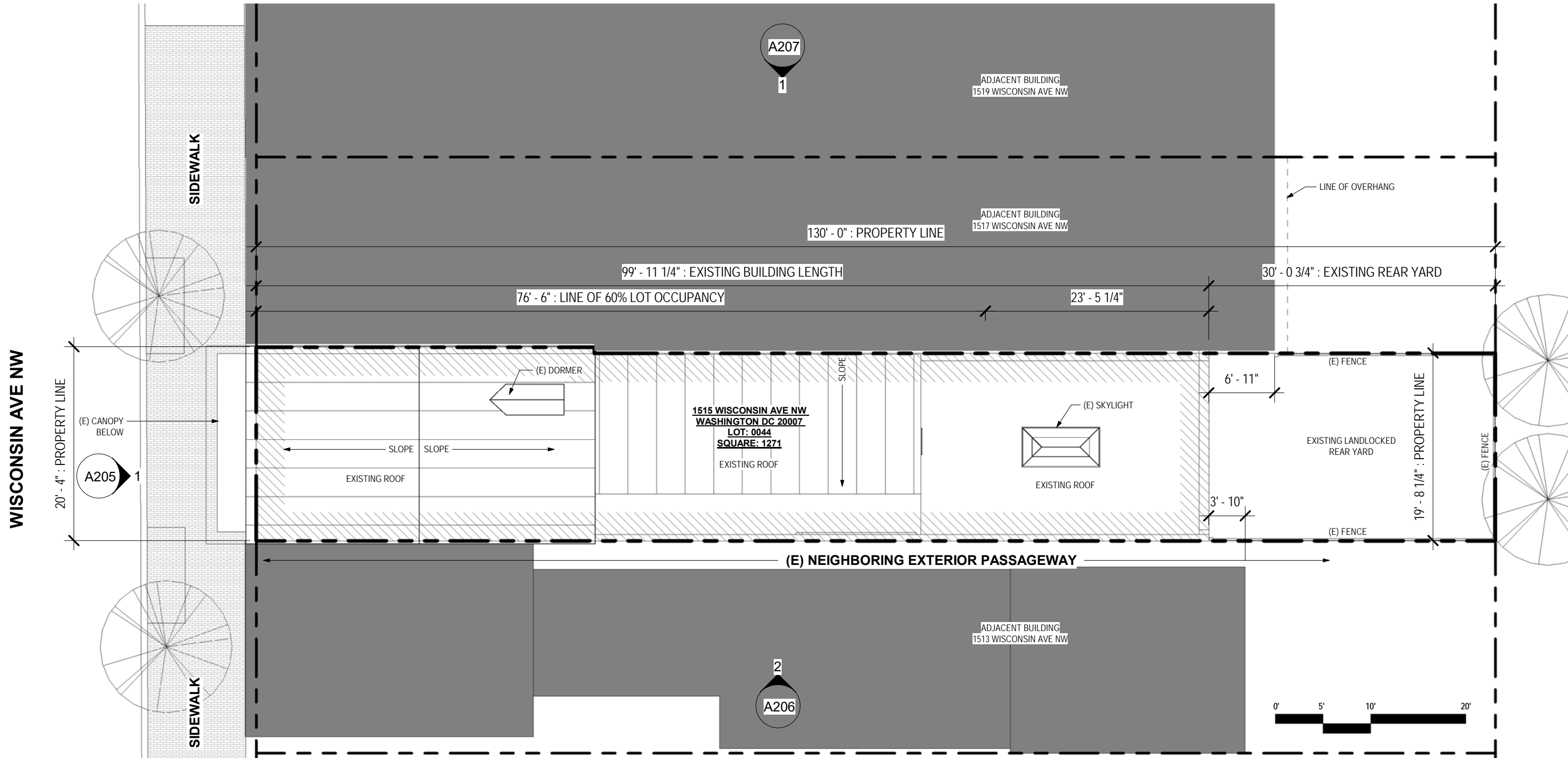
---

PROPERTY LINE

LOCATION MAP LEGEND

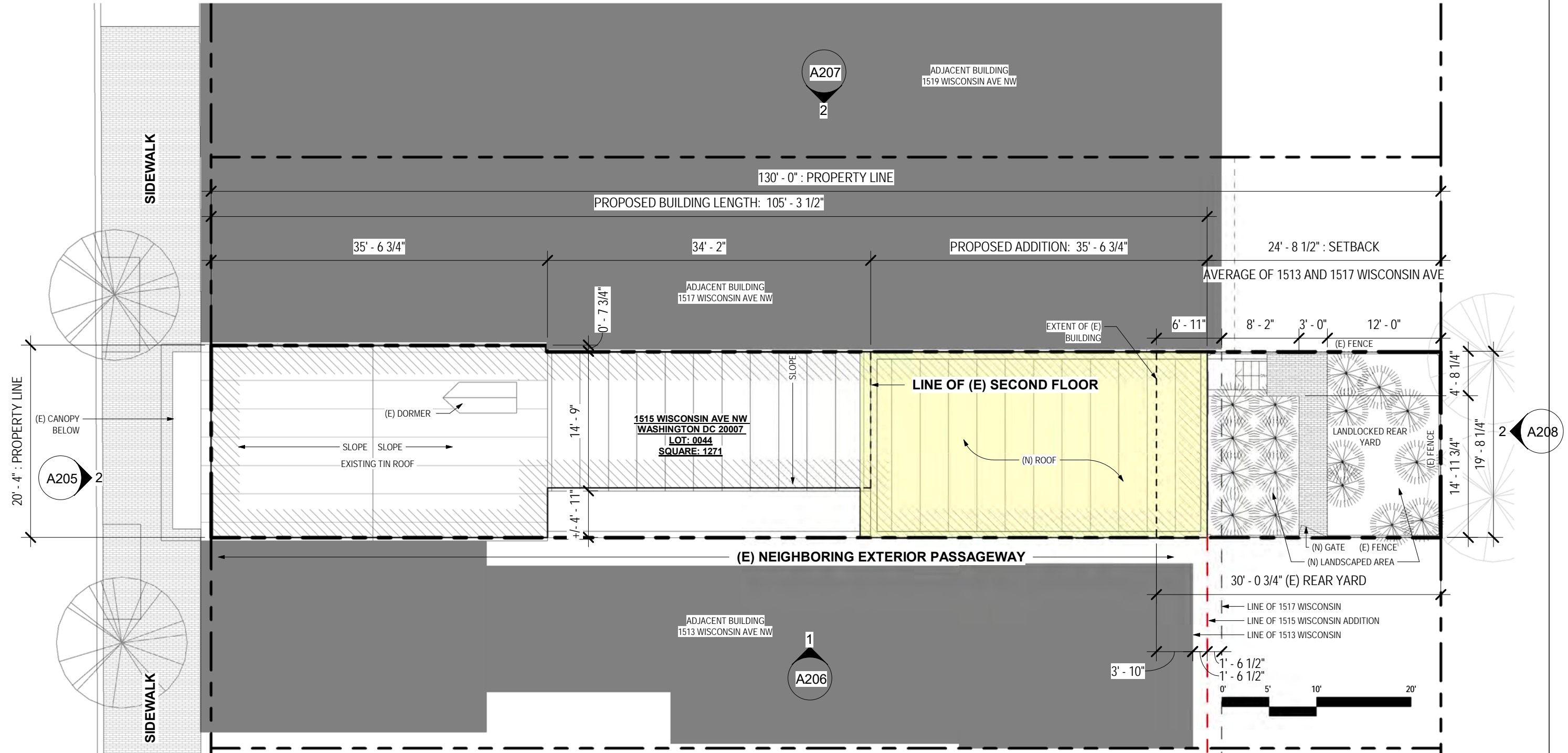






**1 | SITE PLAN - EXISTING**  
 A204 | SCALE 3/32" = 1'-0"

WISCONSIN AVE NW



1 | SITE PLAN - PROPOSED

A204 | SCALE 3/32" = 1'-0"

GRONNING  
architects

WISCONSIN AVE: CFA PACKAGE

1515 WISCONSIN AVE NW, WASHINGTON DC 20007

926 N STREET NW - REAR - WASHINGTON, DC 20001 T: 202.223.7059 www.gronningarchitects.com

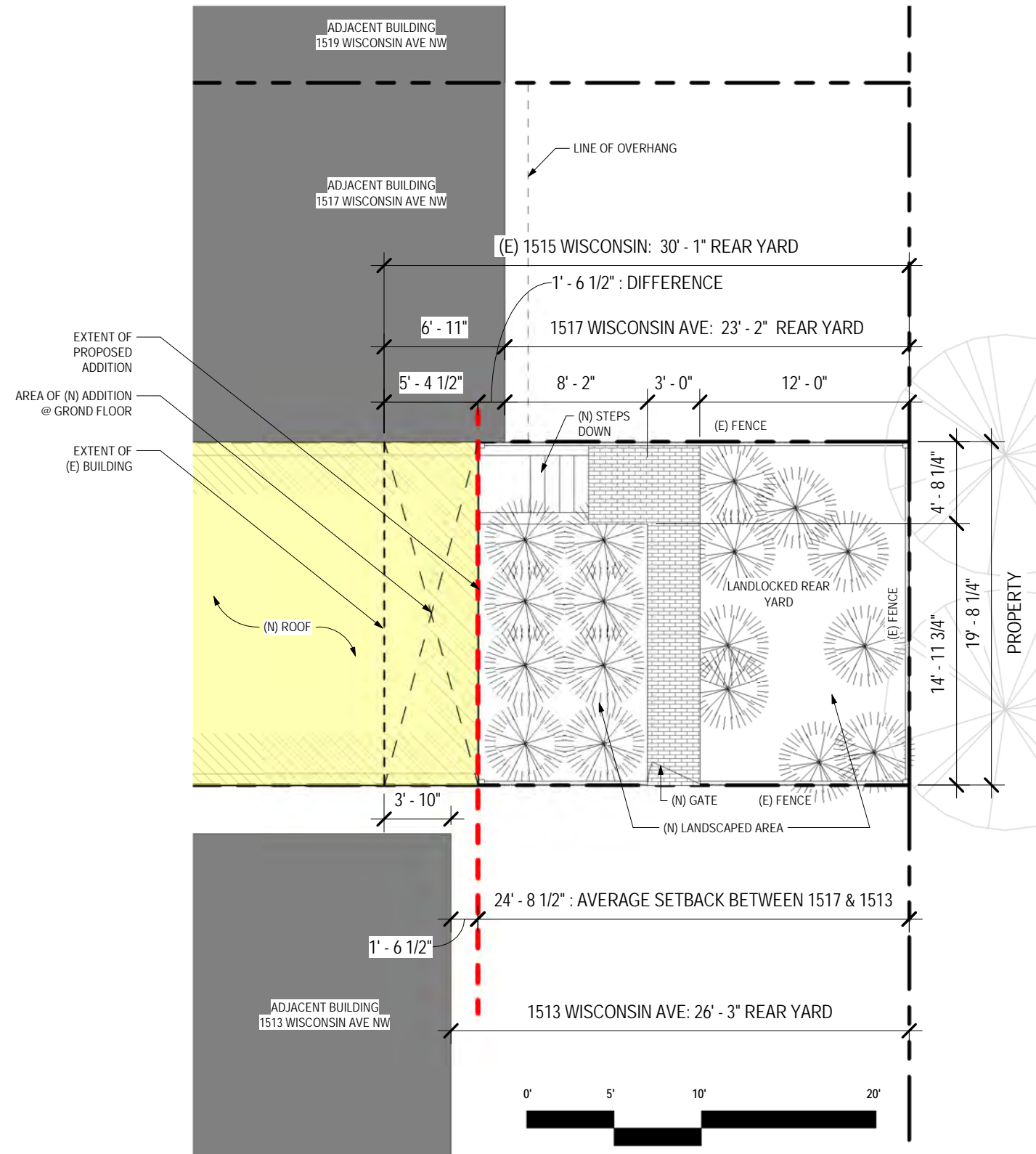
SITE PLAN - PROPOSED

A201

3/17/2021 10:07:07 AM

# DRAWING LEGEND

- ADJACENT BUILDINGS
- AREA OF NEW ADDITION
- PROPERTY LINE
- MEDIAN REAR YARD SETBACK



## 2 | SITE PLAN - REVISED PROPOSED

A204 | SCALE 1/8" = 1'-0"

GRONNING  
architects

WISCONSIN AVE: CFA PACKAGE

1515 WISCONSIN AVE NW, WASHINGTON DC 20007

926 N STREET NW - REAR - WASHINGTON, DC 20001 T: 202.223.7059 www.gronningarchitects.com

REAR YARD SETBACK DIAGRAM

A201a

3/17/2021 10:07:08 AM

ZONING ANALYSIS

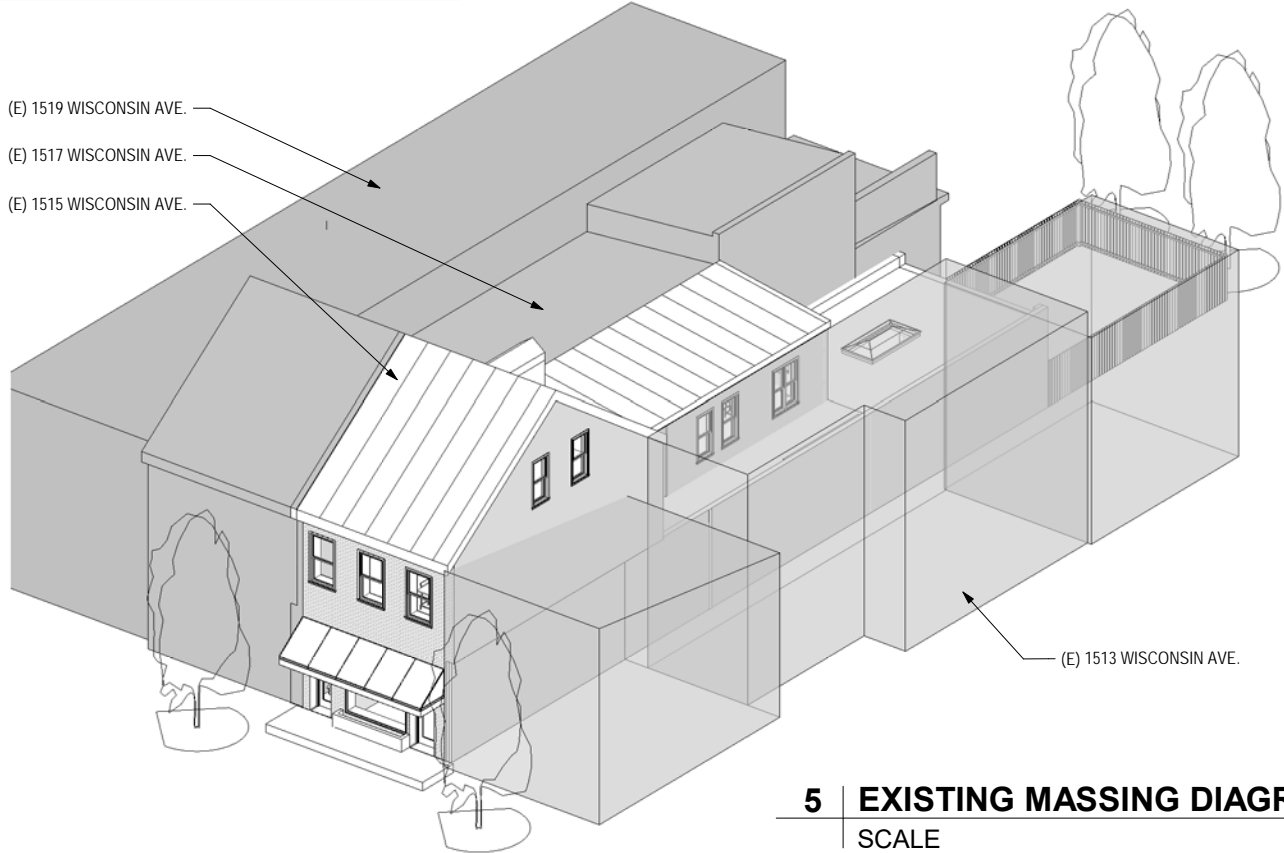
EXISTING LOT SIZE	2,601 SF
ALLOWED LOT OCCUPANCY	60% = 1,560 SF
EXISTING LOT OCCUPANCY	75% = 1,954 SF
ALLOWED FAR	2.5 = 6,502.5 SF
EXISTING FAR	+/- 1.33 = 3,460 SF
ADDITION SIZE BY RIGHT	+/- 1.16 = 3,042.2 SF

DRAWING LEGEND (DEMO)

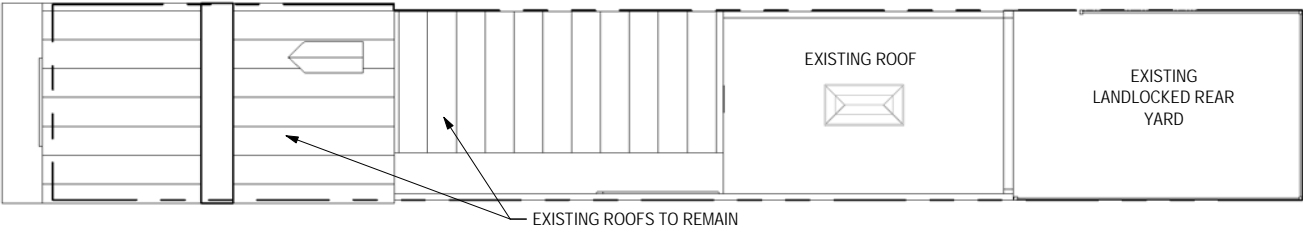
- EXISTING CONSTRUCTION
- EXISTING CONSTRUCTION TO BE REMOVED
- PROPERTY LINE

EXISTING GFA

CELLAR	635 SF
GROUND FLOOR	1,954 SF
2ND FLOOR	1,202 SF
3RD FLOOR / ATTIC	304 SF
TOTAL	4,095 SF
TOTAL W/OUT CELLAR	3,460 SF = FAR +/- 1.33

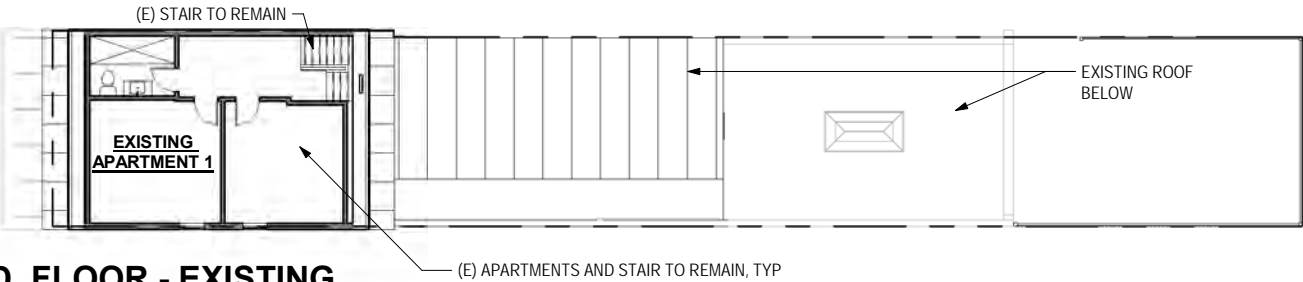


5 | EXISTING MASSING DIAGRAM  
SCALE



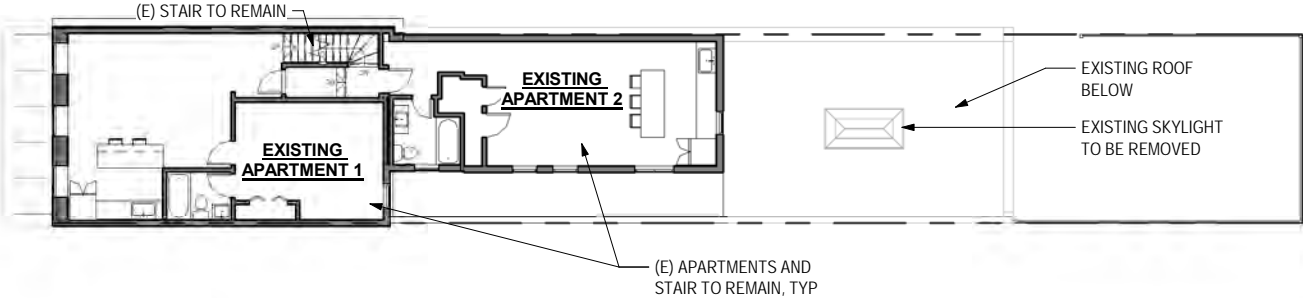
6 | ROOF PLAN - EXISTING

A204 | SCALE 1" = 20'-0"



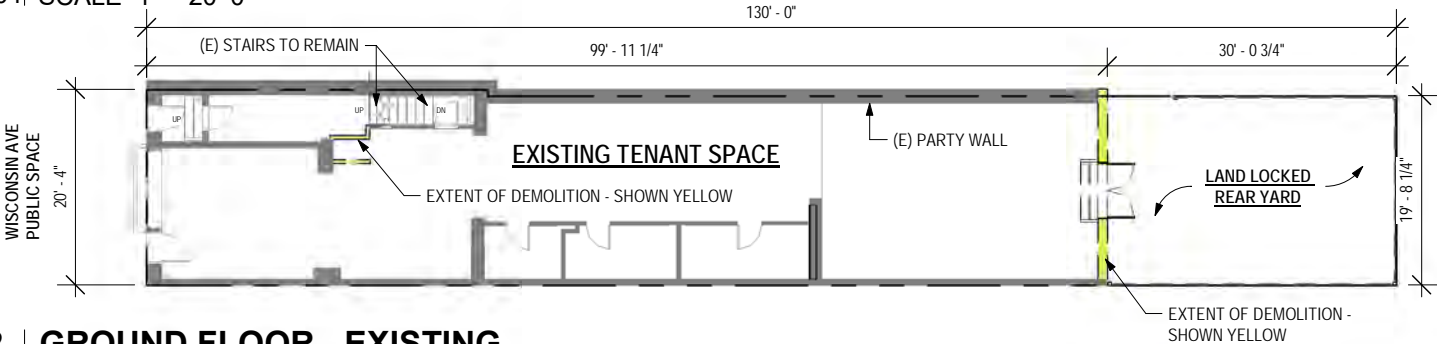
4 | 3RD FLOOR - EXISTING

A204 | SCALE 1" = 20'-0"



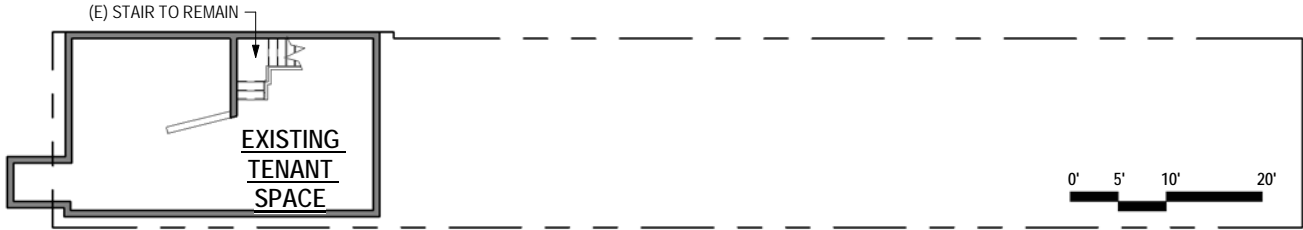
3 | 2ND FLOOR - EXISTING

A204 | SCALE 1" = 20'-0"



2 | GROUND FLOOR - EXISTING

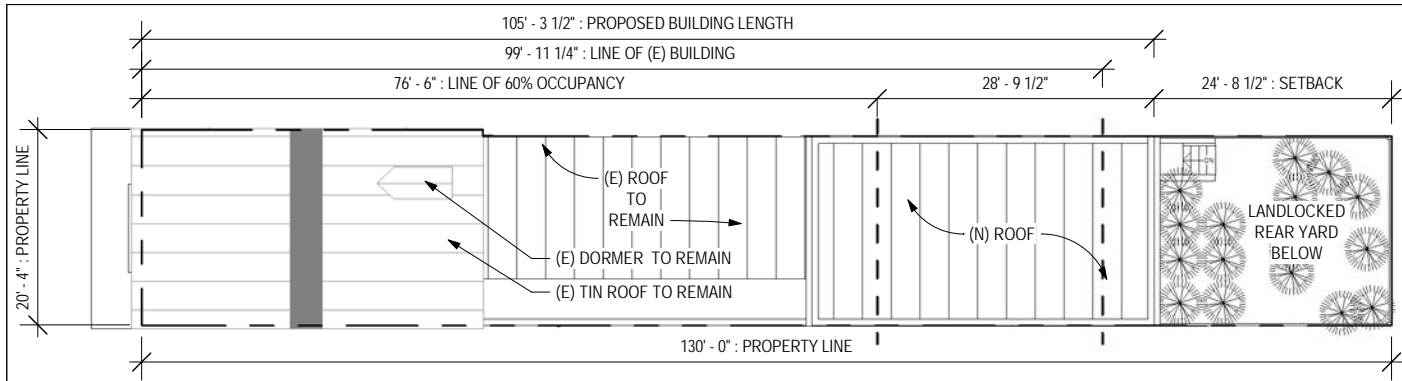
A204 | SCALE 1" = 20'-0"



1 | CELLAR - EXISTING

A204 | SCALE 1" = 20'-0"





## 6 | ROOF PLAN - PROPOSED

A204 | SCALE 1" = 20'-0"

### PROPOSED NEW BUILDING GFA

CELLAR	635 SF
GROUND FLOOR	2,104 SF
2ND FLOOR	1,901.89 SF
3RD FLOOR	1,003.89 SF
TOTAL	5,644.78 SF
TOTAL W/OUT CELLAR	5,009.78 SF = FAR +/- 1.92

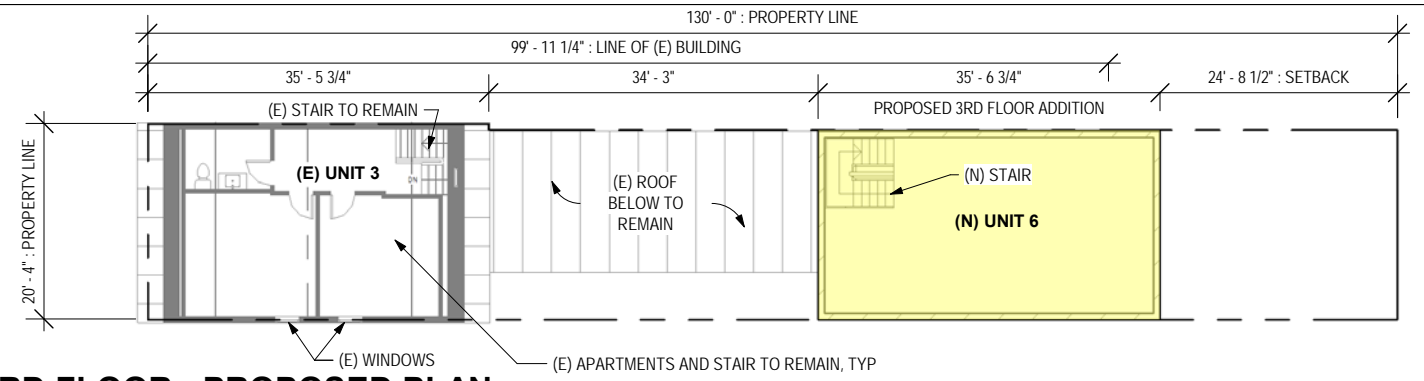
### NEW ADDITION ONLY GFA

CELLAR	0 SF
GROUND FLOOR	105 SF
2ND FLOOR	699.89 SF
3RD FLOOR	699.89 SF
TOTAL ADDITION SF	1,504.78 SF

THE NEW ADDITION IS 43.5% OF THE EXISTING SQUARE FOOTAGE

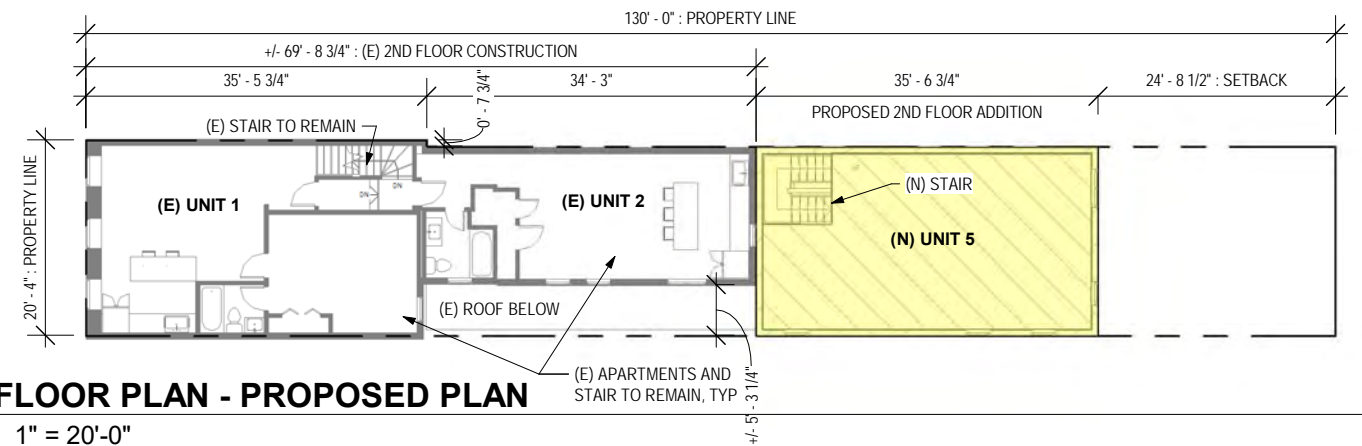
### DRAWING LEGEND

	EXISTING CONSTRUCTION
	NEW CONSTRUCTION
	AREA OF NEW ADDITION
	PROPERTY LINE



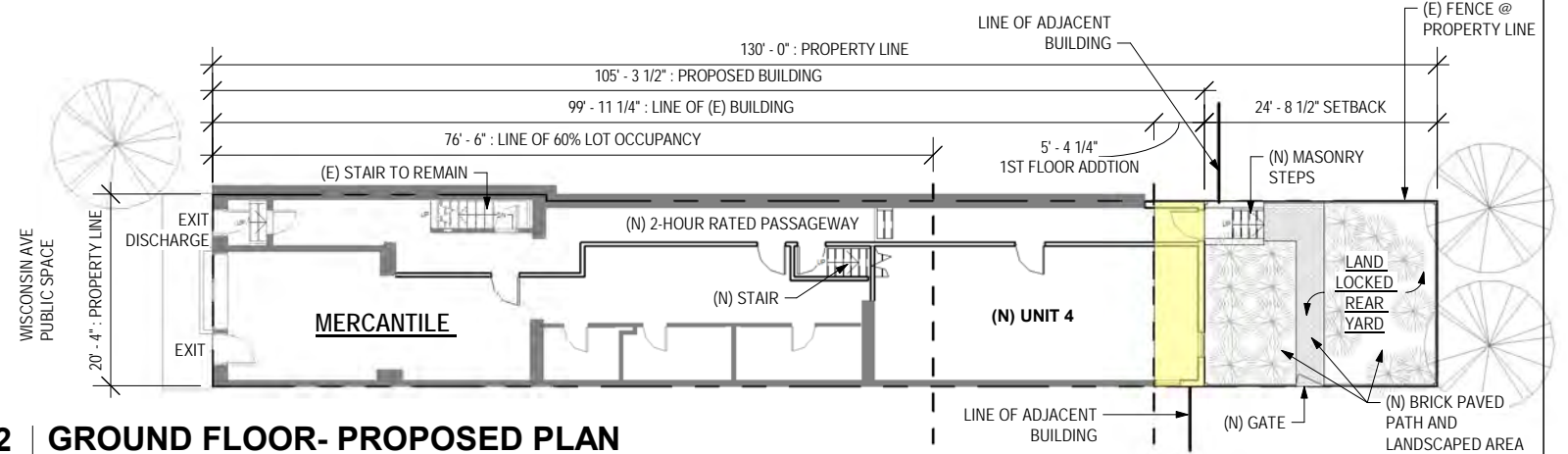
## 4 | 3RD FLOOR - PROPOSED PLAN

A204 | SCALE 1" = 20'-0"



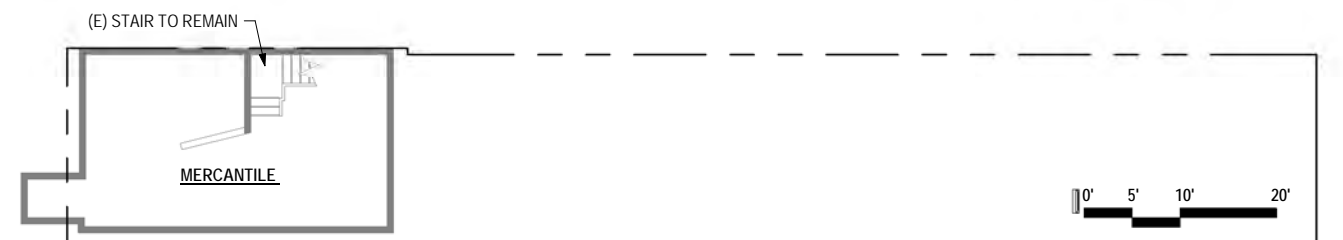
## 3 | 2ND FLOOR PLAN - PROPOSED PLAN

A204 | SCALE 1" = 20'-0"



## 2 | GROUND FLOOR- PROPOSED PLAN

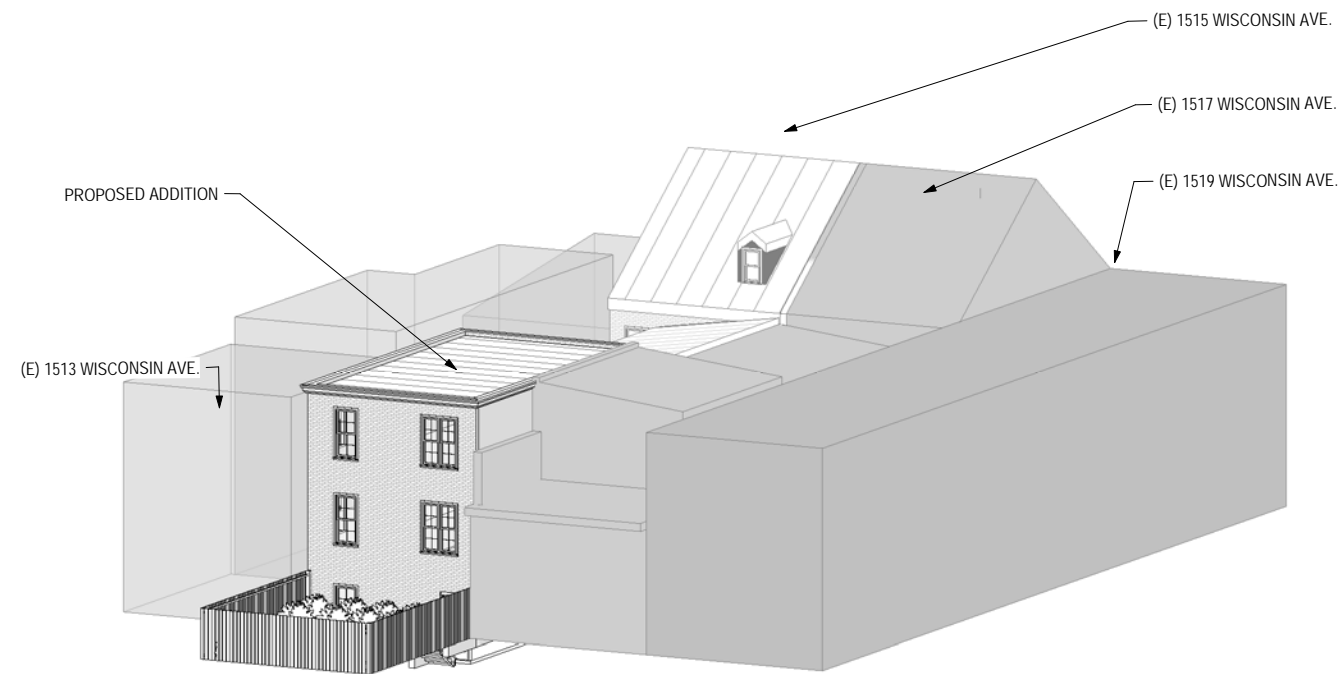
A204 | SCALE 1" = 20'-0"



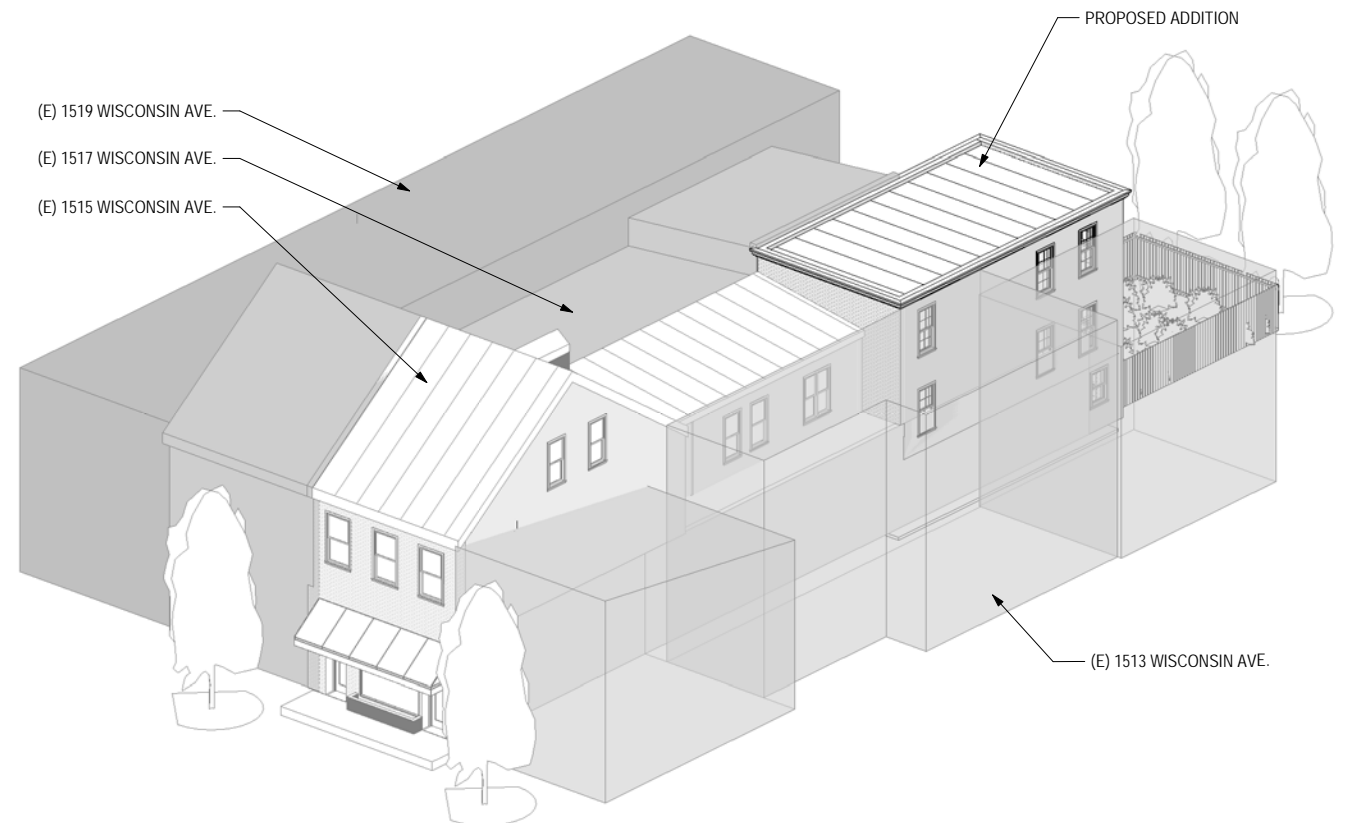
## 1 | CELLAR - PROPOSED PLAN

A204 | SCALE 1" = 20'-0"



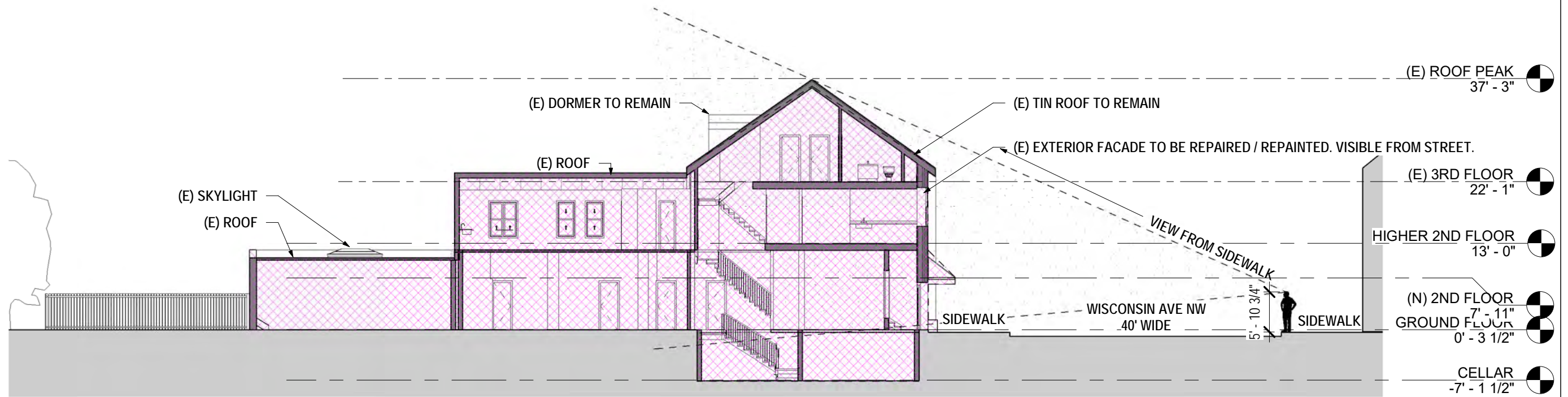


**2 | AXON VIEW - REAR**  
SCALE



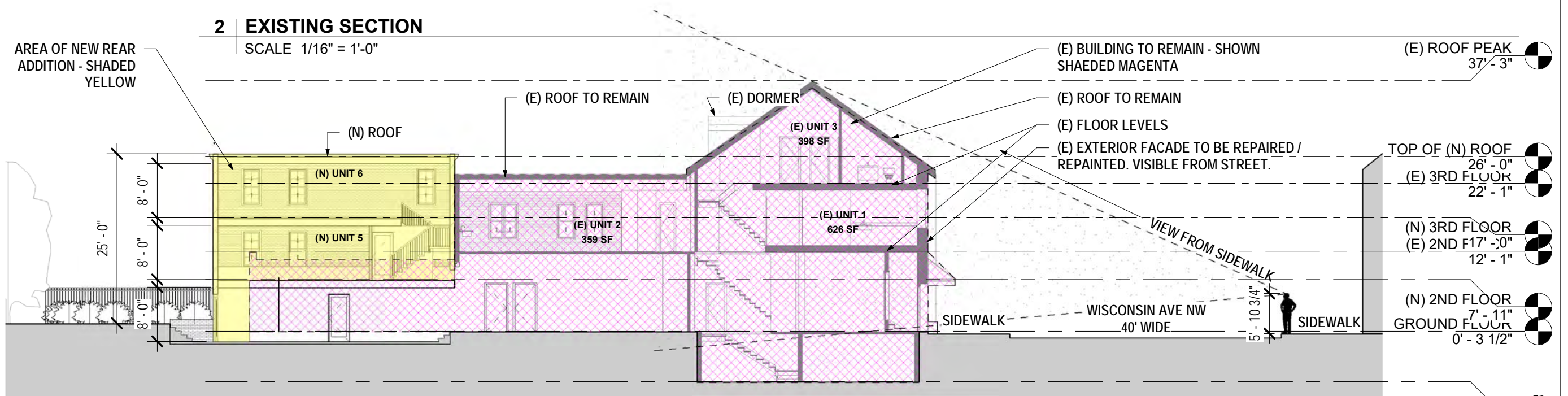
**1 | AXON VIEW - FRONT**  
SCALE





## 2 | EXISTING SECTION

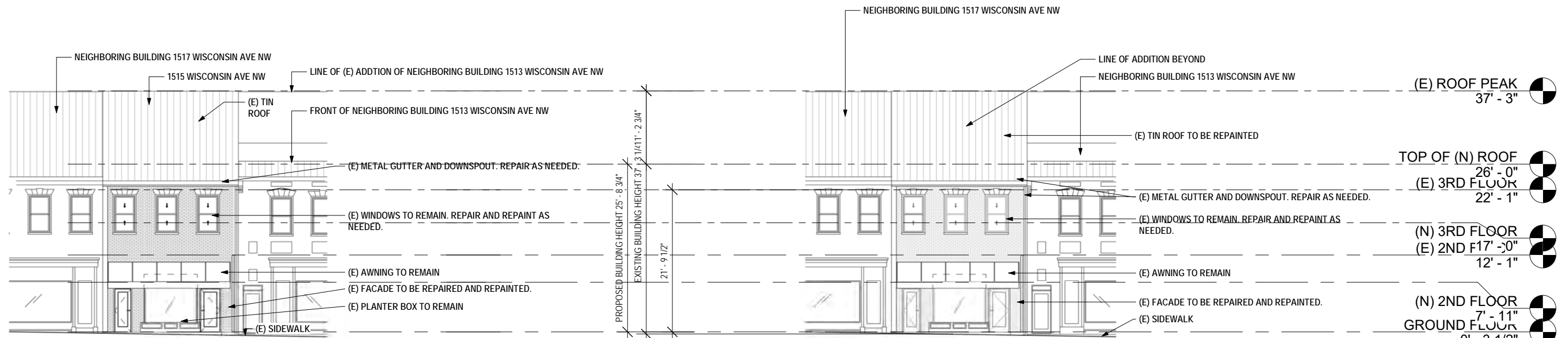
SCALE 1/16" = 1'-0"



## 1 | PROPOSED SECTION

SCALE 1/16" = 1'-0"





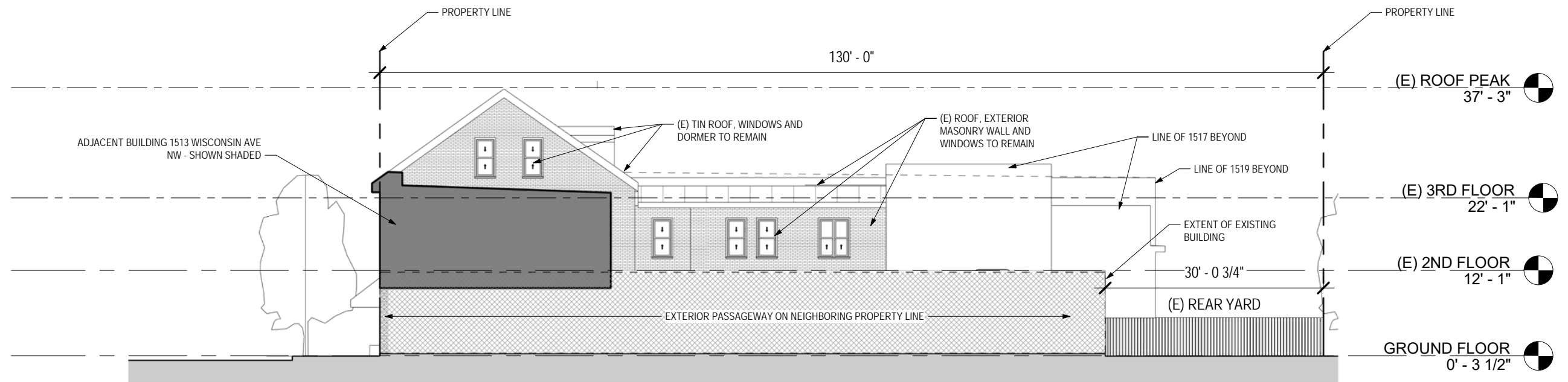
**1 | EXISTING FRONT ELEVATION**

A200 | SCALE 1/16" = 1'-0"

**2 | PROPOSED FRONT ELEVATION**

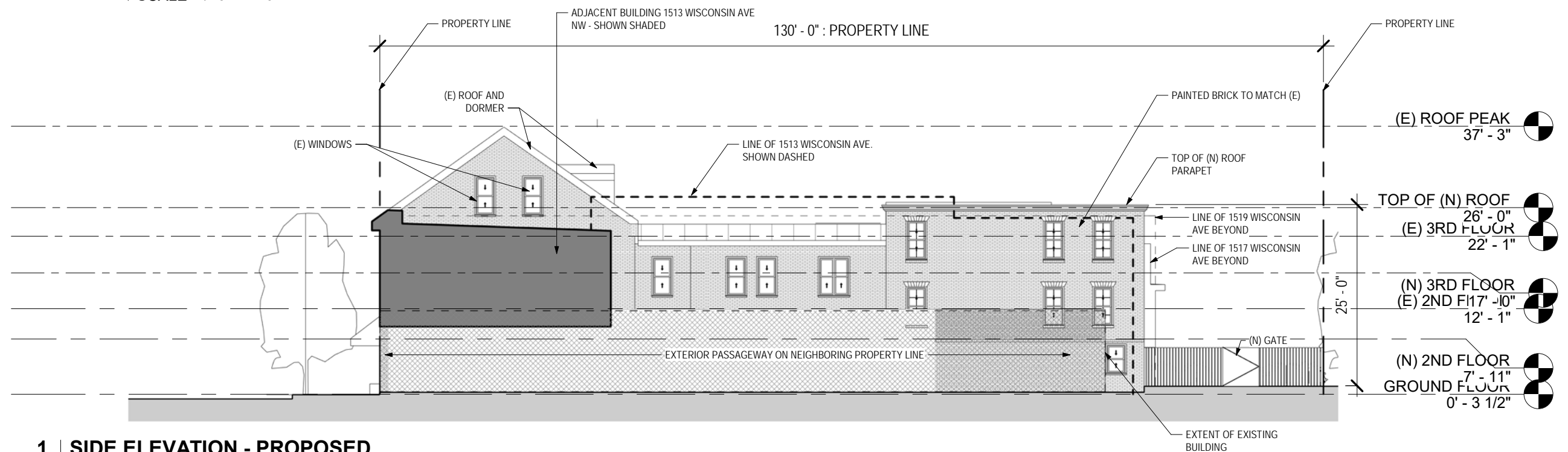
A201 | SCALE 1/16" = 1'-0"





## 2 | SIDE ELEVATION - EXISTING

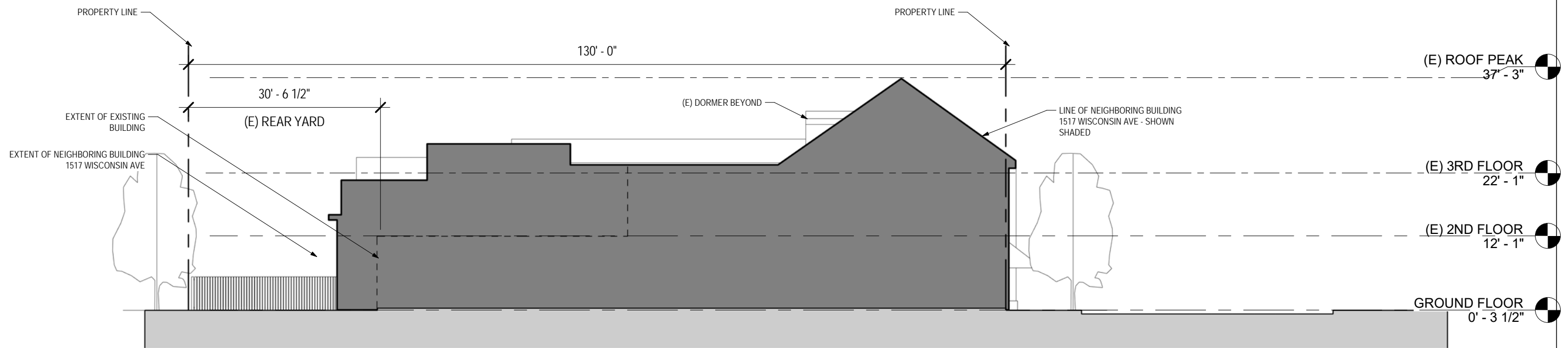
A200 | SCALE 1/16" = 1'-0"



## 1 | SIDE ELEVATION - PROPOSED

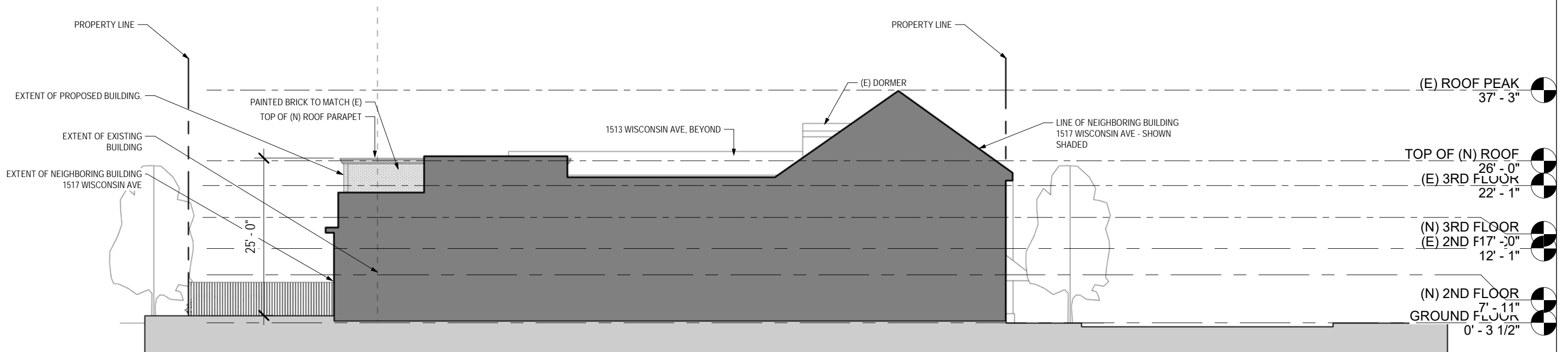
A201 | SCALE 1/16" = 1'-0"





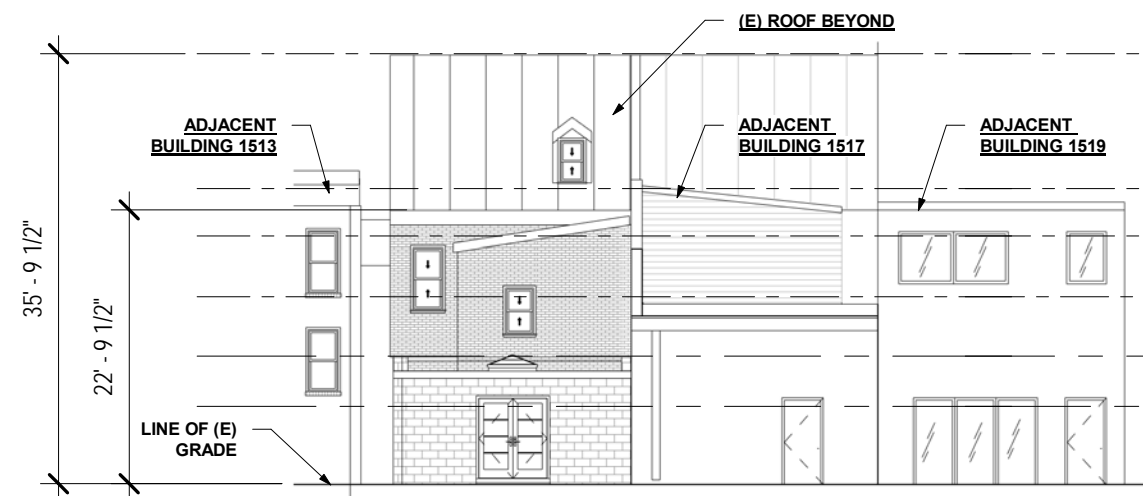
## 1 | SIDE ELEVATION 2 - EXISTING

A200 | SCALE 1/16" = 1'-0"



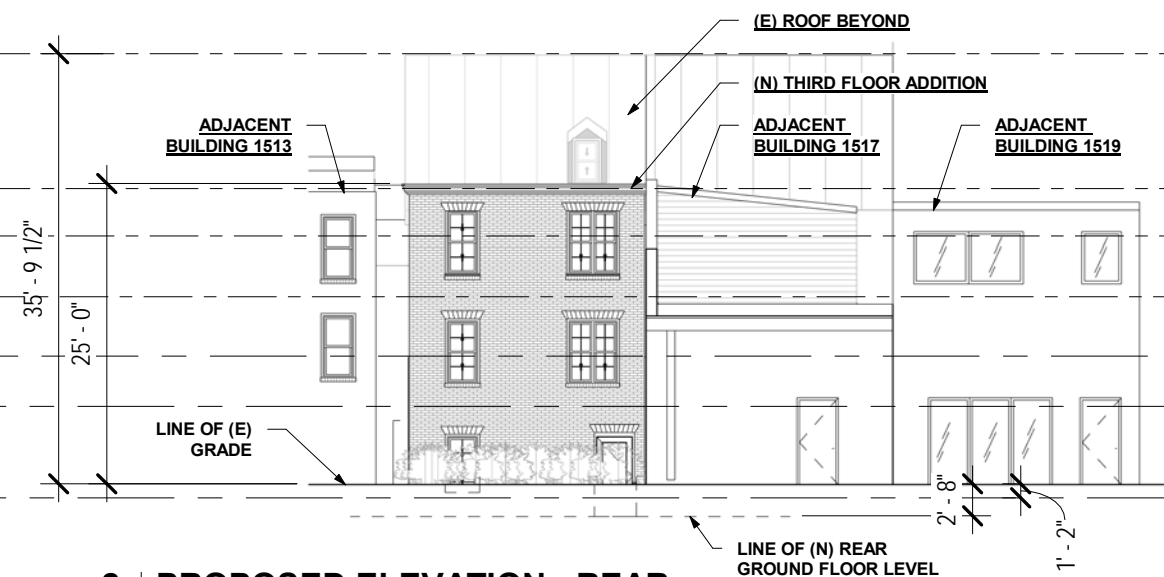
## 2 | SIDE ELEVATION 2 - PROPOSED

A201 | SCALE 1/16" = 1'-0"



**1 | EXISTING ELEVATION - REAR**

SCALE 1/16" = 1'-0"



**2 | PROPOSED ELEVATION - REAR**

A201 | SCALE 1/16" = 1'-0"

(E) ROOF PEAK	37' - 3"
TOP OF (N) ROOF	26' - 0"
(E) 3RD FLOOR	22' - 1"
(N) 3RD FLOOR	26' - 0"
(E) 2ND FLOOR	12' - 1"
(N) 2ND FLOOR	7' - 11"
GROUND FLOOR	0' - 3 1/2"





1515 WISCONSIN AVE.  
EXISTING ROOF VISIBLE  
FROM P STREET