



1 FRONT ELEVATION



2 BLOCK PLAN

PROJECT DESIGNED TO THE FOLLOWING CODES:
DISTRICT OF COLUMBIA CONSTRUCTION CODES SUPPLEMENT OF 2013
2012 IRC - INTERNATIONAL RESIDENTIAL CODE, AMENDED BY RESIDENTIAL
CODE SUPPLEMENT OF 2013
2011 NFPA NEC - ELECTRIC CODE
2010 NFPA 13D - SPRINKLER SYSTEMS IN ONE AND TWO FAMILY DWELLINGS
2012 INTERNATIONAL ENERGY CONSERVATION CODE, AMENDED BY ENERGY
CONSERVATION CODE SUPPLEMENT OF 2013
ALL DRAWINGS TO COMPLY WITH IECC IN ACCORDANCE WITH BUILDING CODE
SUPPLEMENT OF 2013

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SCOPE OF WORK

- NEW SOLID WOOD PANEL SHUTTERS WITH OPERABLE HARDWARE TO REPLACE EXISTING INOPERABLE LOUVERED SHUTTERS ON EAST (FRONT) ELEVATION
- REMOVE NORTH PLANTER AND CREATE DEDICATED FOOTPATH TO FRONT DOOR - STONE PAVERS SET INTO COBBLESTONE
- CREATE PARTIAL FRONT YARD WITH METAL FENCING/ GATES ON LOW BRICK BASE
- NEW FRONT (EAST) BASEMENT WINDOW WELL WITH LARGER EGRESS WINDOW
- NEW SOLID WOOD AND METAL GATE AT SIDE COURT
- NEW ADDITION TO REPLACE EXISTING ADDITION IN SIDE COURT
- REMOVE EXISTING WEST (REAR) WOOD DECK
- NEW ONE STORY REAR ADDITION WITH TERRACE TO REPLACE WOOD DECK AND EXPAND BASEMENT
- NEW WEST (REAR) ELEVATION WITH PAINTED SHIPLAP SIDING AND NEW WINDOWS AND DOORS
- INTERIOR RENOVATIONS

DISTRICT OF COLUMBIA
CHRISTIAN M. ZAPATKA
ARCH 101066
LICENSED
ARCHITECT

Architect Attestation Statement
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PROJECT:

LAYCOCK RESIDENCE
1408 35TH STREET, NW
WASHINGTON, DC 20007
SQ: 1247 LOT: 0125

DRAWING TITLE:

COVER SHEET

SUBMISSION:

PERMIT

DATE: MARCH 11, 2021

SCALE: NTS = 1'-0"

0001



1 DRIVEWAY/ NORTH PLANTER



2 FRONT STEPS/ DRIVEWAY



3 PLANTERS/ DRIVEWAY



4 EXISTING EAST (FRONT) ELEVATION
INOPERABLE LOUVERED SHUTTERS



5 DRIVEWAY/ GATE TO SIDE COURT



6 GATE TO SIDE COURT



7 DRIVEWAY TOWARDS 35TH ST NW

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SQ: 1247 LOT: 0125

DRAWING TITLE:

PHOTO SHEET

SUBMISSION:

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DATE: MARCH 11, 2021

SCALE: NA = 1'-0"

0002



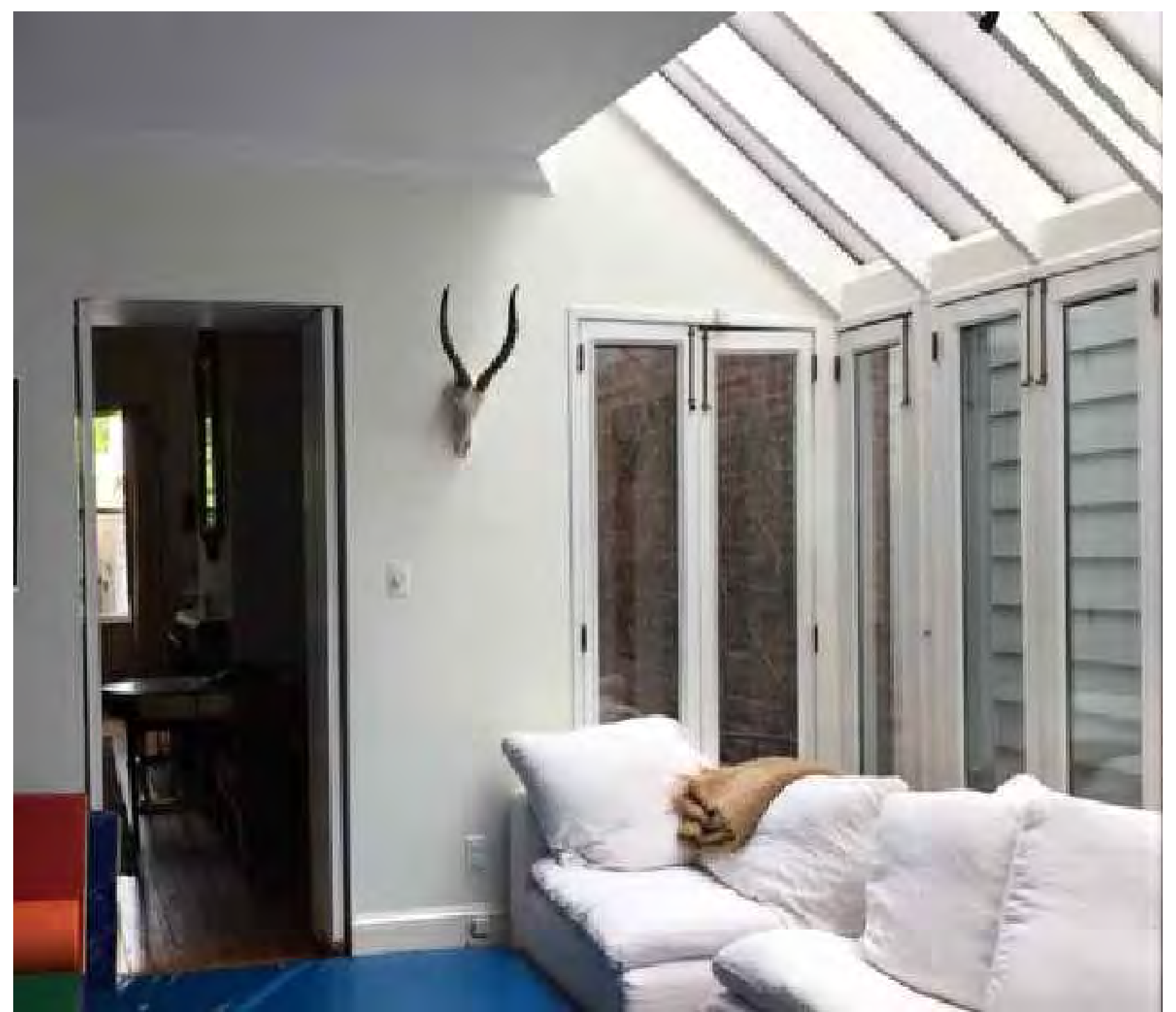
1 SIDE COURT GATE (TO BE REPLACED)



2 SIDE COURT/ EXISTING ADDITION



3 EXISTING ADDITION



4 INTERIOR VIEW OF EXISTING ADDITION



5 SIDE COURT/ EXISTING ADDITION ABOVE



6 SIDE COURT/ EXISTING ADDITION ABOVE



7 SIDE COURT/ NEIGHBORING WALL



8 SIDE COURT/ EXISTING ADDITION ABOVE

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WASHINGTON, DC 20007
SQ: 1247 LOT: 0125

DRAWING TITLE:

PHOTO SHEET

SUBMISSION:

PERMIT

DATE: MARCH 11, 2021

SCALE: NA = 1'-0"

0003



1 EXISTING WEST (REAR) ELEVATION



2 EXISTING WEST (REAR) WOOD DECK AND STAIRS



3 EXISTING NORTH WALL OF REAR ADDITION



4 EXISTING SOUTH WALL OF REAR ADDITION



5 PARAPET ABOVE FIRST FLOOR KITCHEN ADDITION



1 SECOND FLOOR HALLWAY, TOWARDS REAR STAIR BETWEEN FIRST AND SECOND FLOOR



2 REAR STAIRWAY BETWEEN FIRST AND SECOND FLOOR



3 UNDERSIDE OF REAR STAIRWAY BETWEEN FIRST AND SECOND FLOOR

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SQ: 1247 LOT: 0125

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PHOTO SHEET

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SCALE: NA = 1'-0"

0004



1 EAST (FRONT) ELEVATION CIRCA 1960's



2 WEST (REAR) 1982 ADDITION



3 REAR SWIMMING POOL

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SQ: 1247 LOT: 0125

DRAWING TITLE:

HISTORIC
PHOTO SHEET

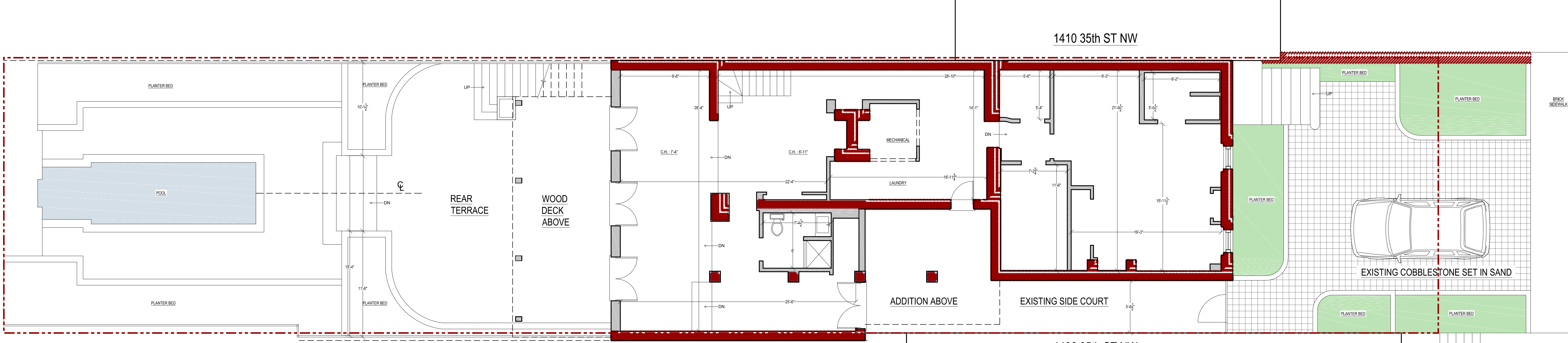
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DATE: MARCH 11, 2021

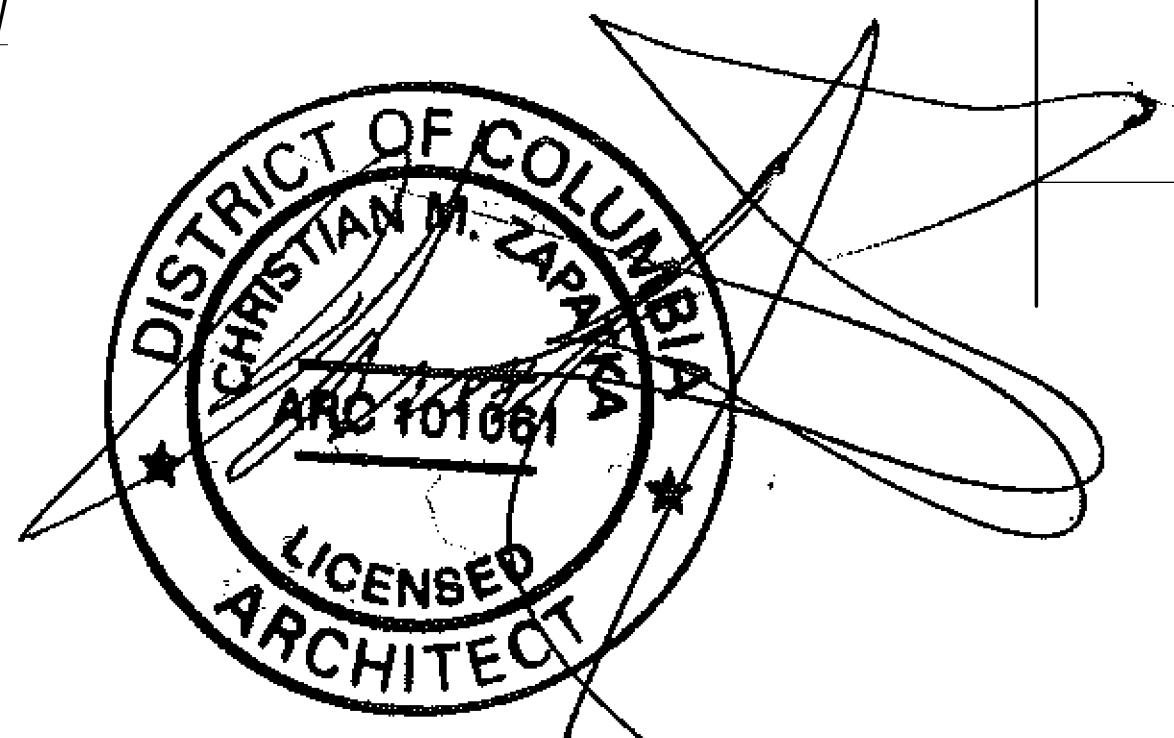
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0005

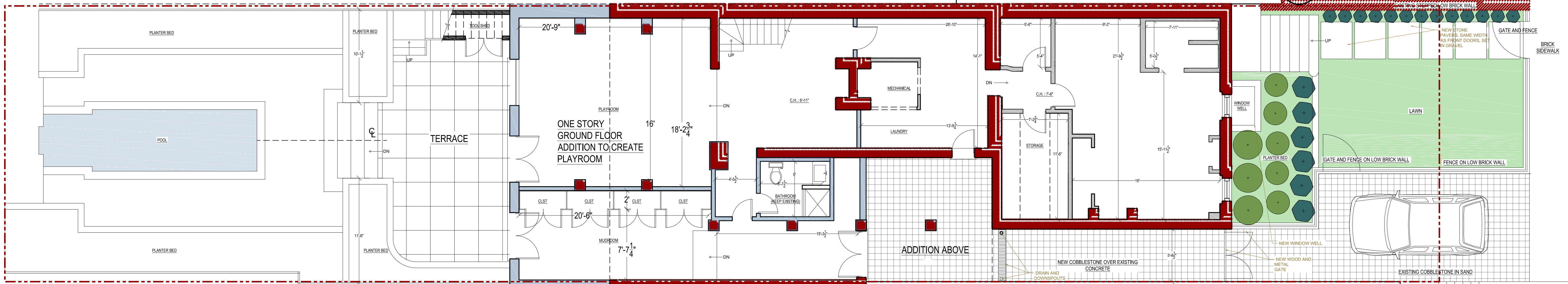


1 EXISTING

EXISTING BRICK NEW BRICK



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2 PROPOSED

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SQ: 1247 LOT: 0125

DRAWING TITLE:

EXISTING
AND
PROPOSED
SITE
PLANS

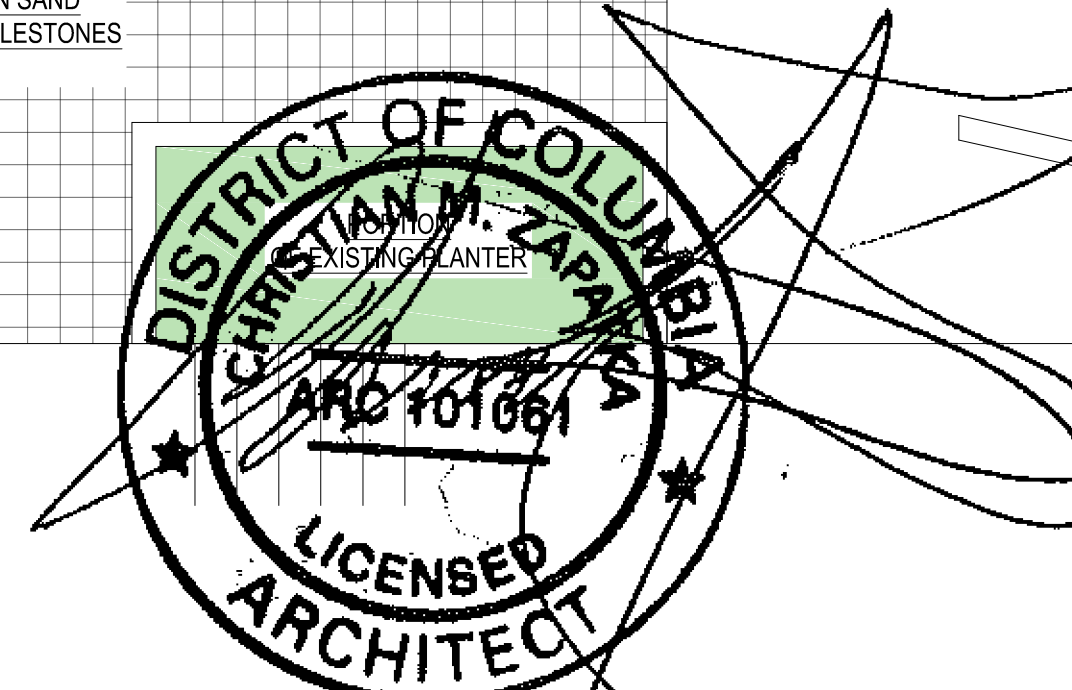
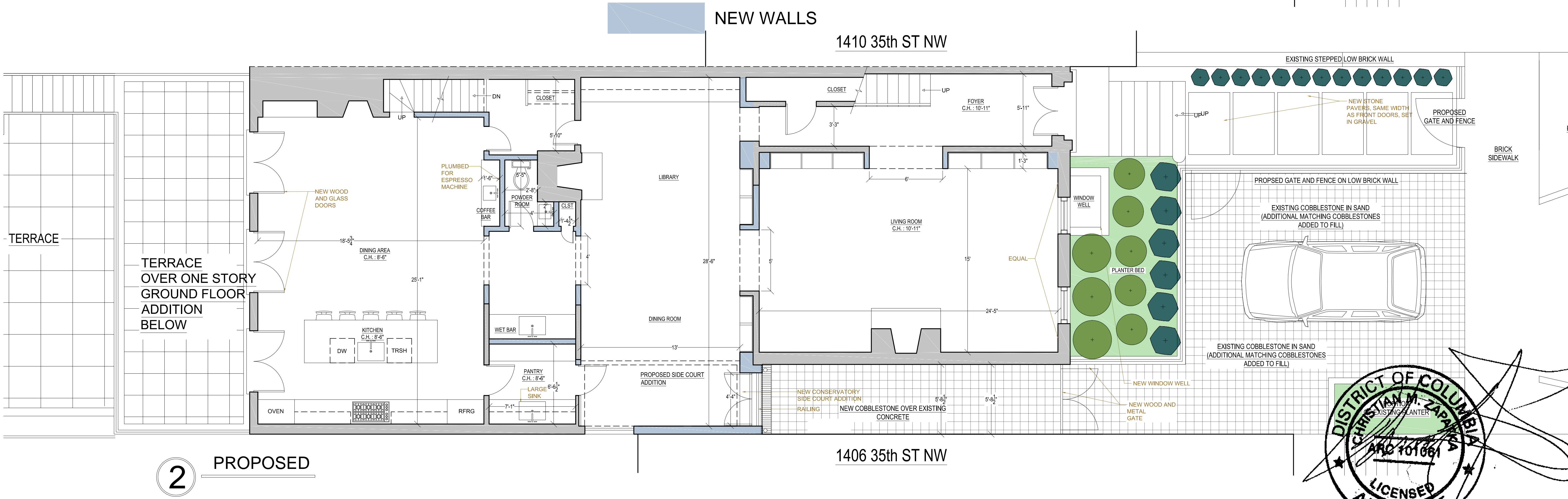
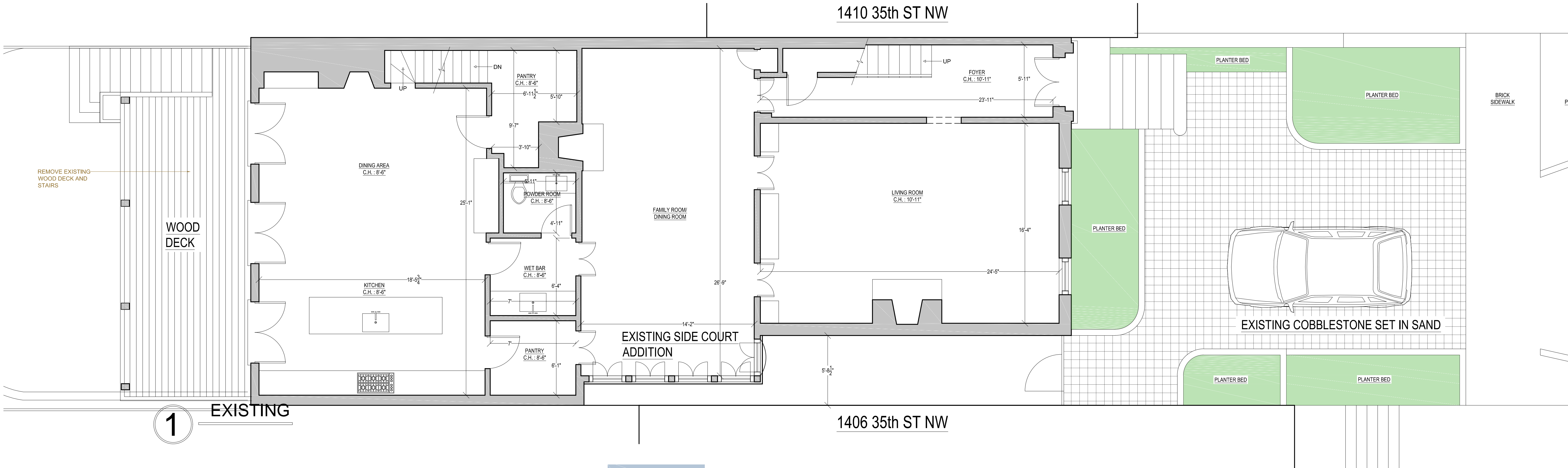
SUBMISSION:

PERMIT

DATE: MARCH 11, 2021

SCALE: 3/32" = 1'-0"

A000



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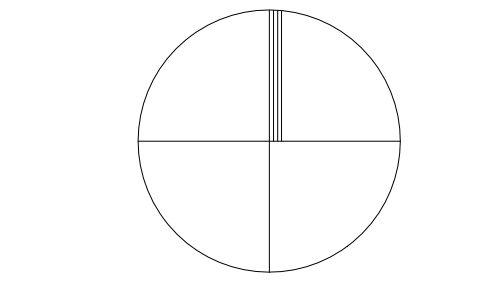
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**LAYCOCK
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1408 35TH ST, NW
WASHINGTON, DC 20007
SQ: 1247 LOT: 0125



DRAWING TITLE:

**EXISTING
AND
PROPOSED
FIRST FLOOR
PLANS**

SUBMISSION:

PERMIT

DATE: MARCH 11, 2021

SCALE: 1/8" = 1'-0"

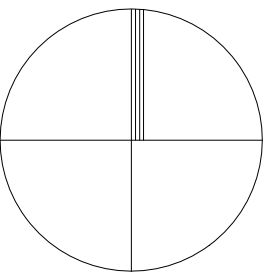
A101

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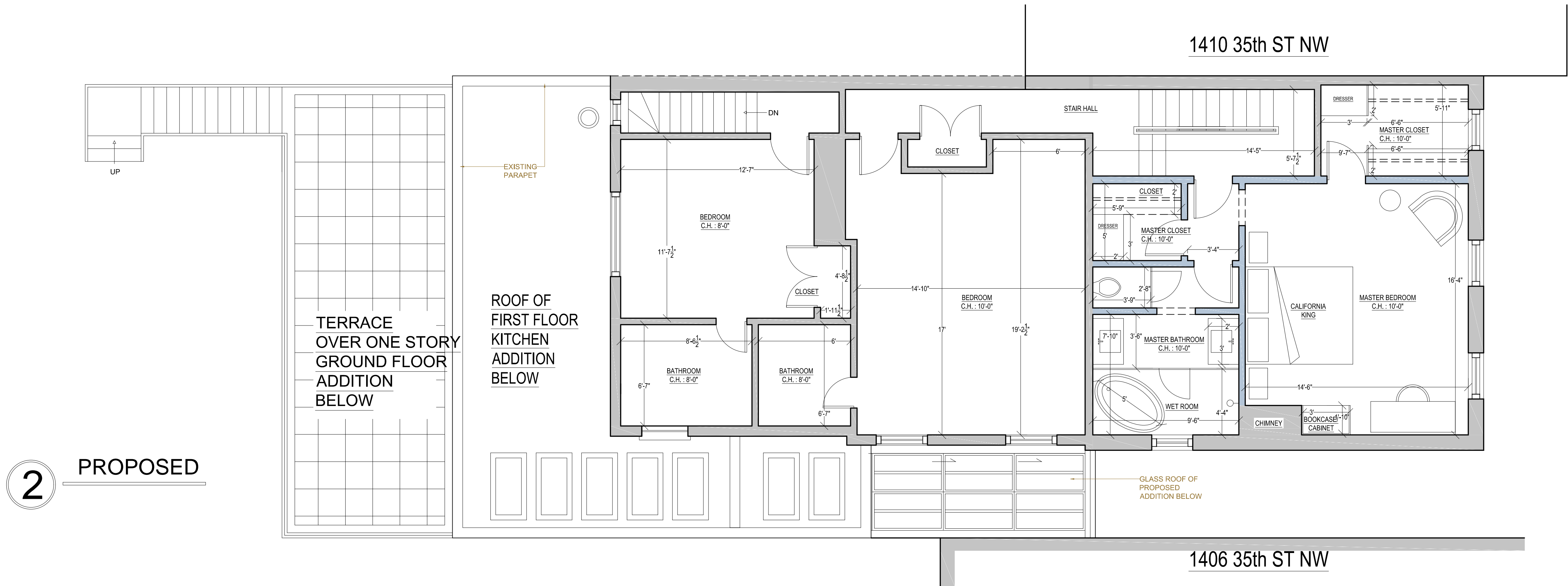
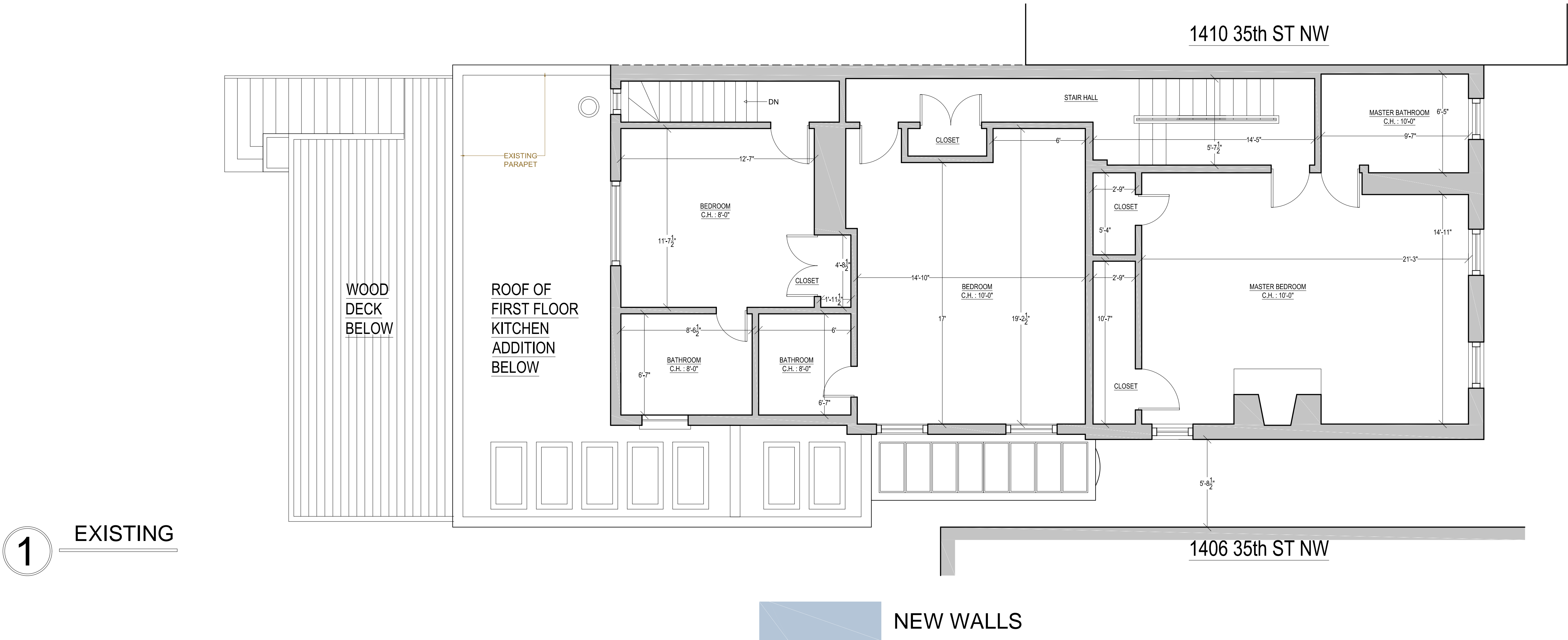
**EXISTING
AND
PROPOSED
SECOND FLOOR
PLANS**

SUBMISSION:

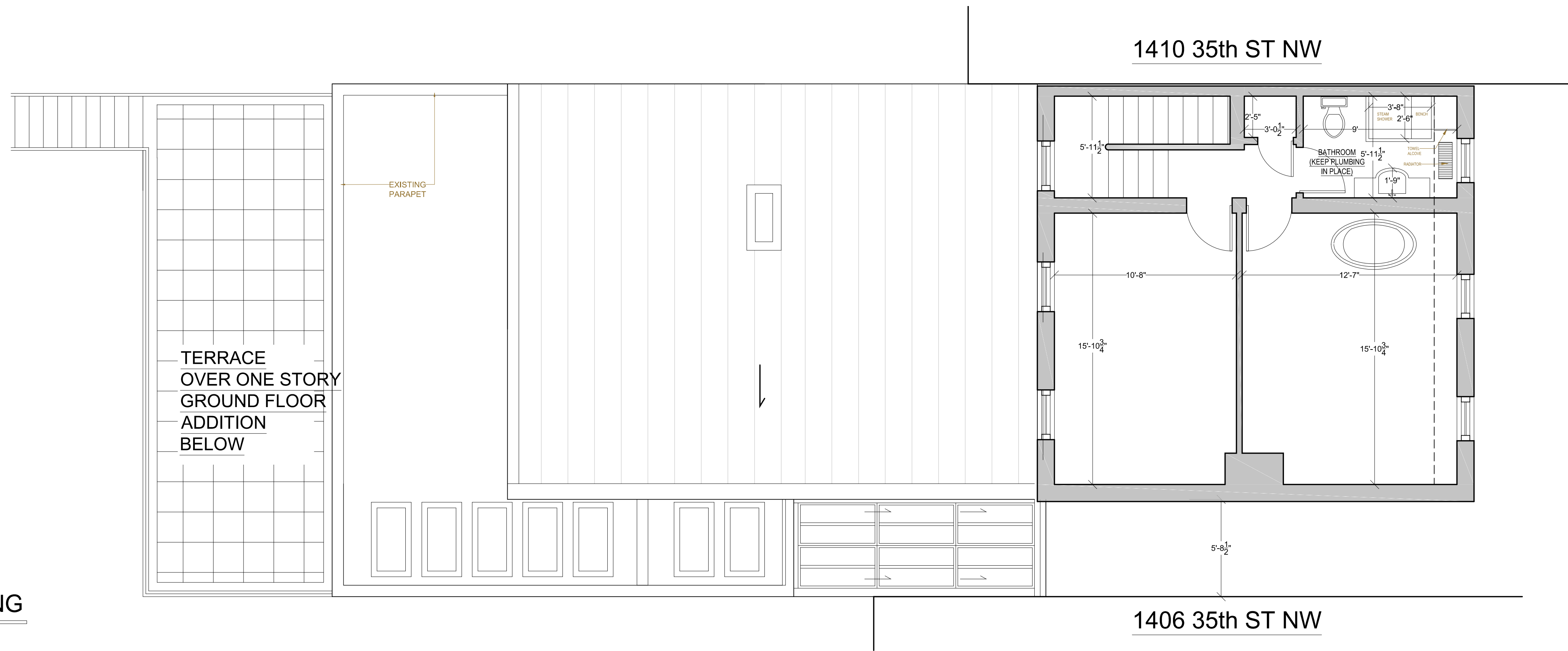
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DATE: MARCH 11, 2021
SCALE: 1/8" = 1'-0"

A102



1 EXISTING



THIRD FLOOR TO REMAIN UNCHANGED

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1408 35TH ST, NW
WASHINGTON, DC 20007
SQ: 1247 LOT: 0125

DRAWING TITLE:

**EXISTING
AND
PROPOSED
THIRD FLOOR
PLANS**

SUBMISSION:

PERMIT

DATE: MARCH 11, 2021

SCALE: 1/8" = 1'-0"

A103

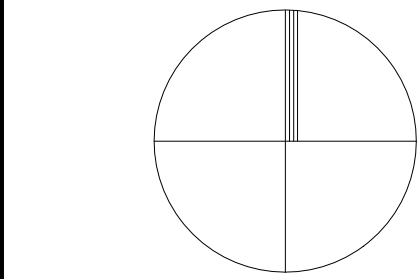
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WASHINGTON, DC 20007
SQ: 1247 LOT: 0125



DRAWING TITLE:

EXISTING
AND
PROPOSED
ROOF
PLANS

SUBMISSION:

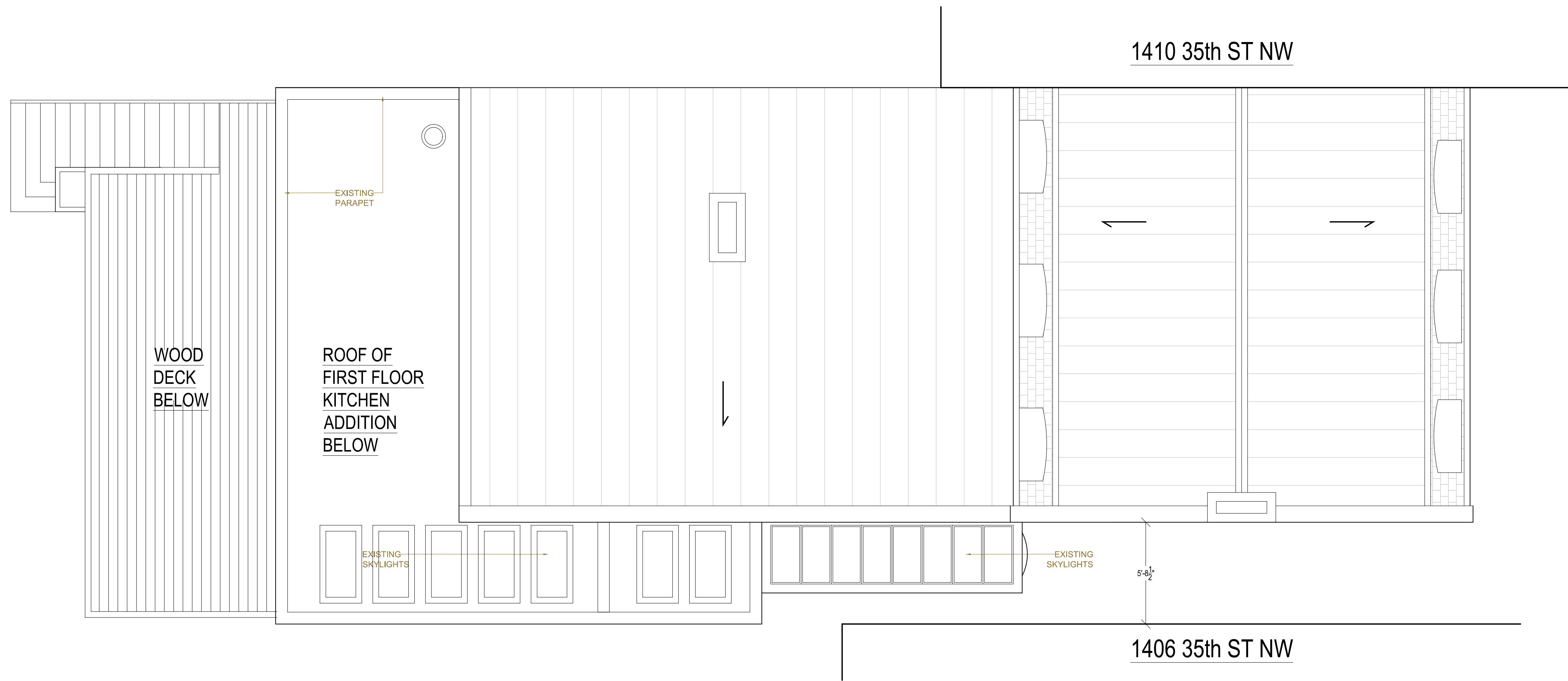
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DATE: MARCH 11, 2021

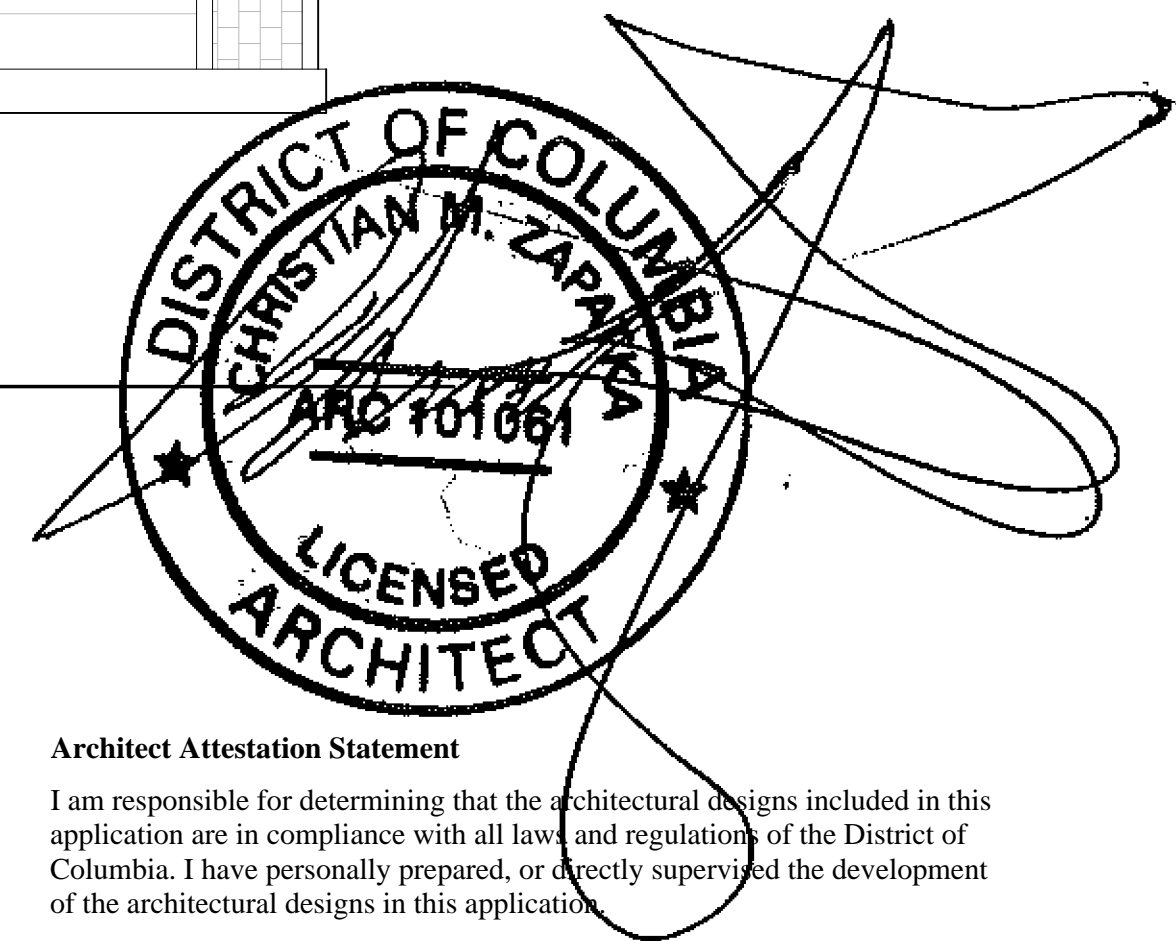
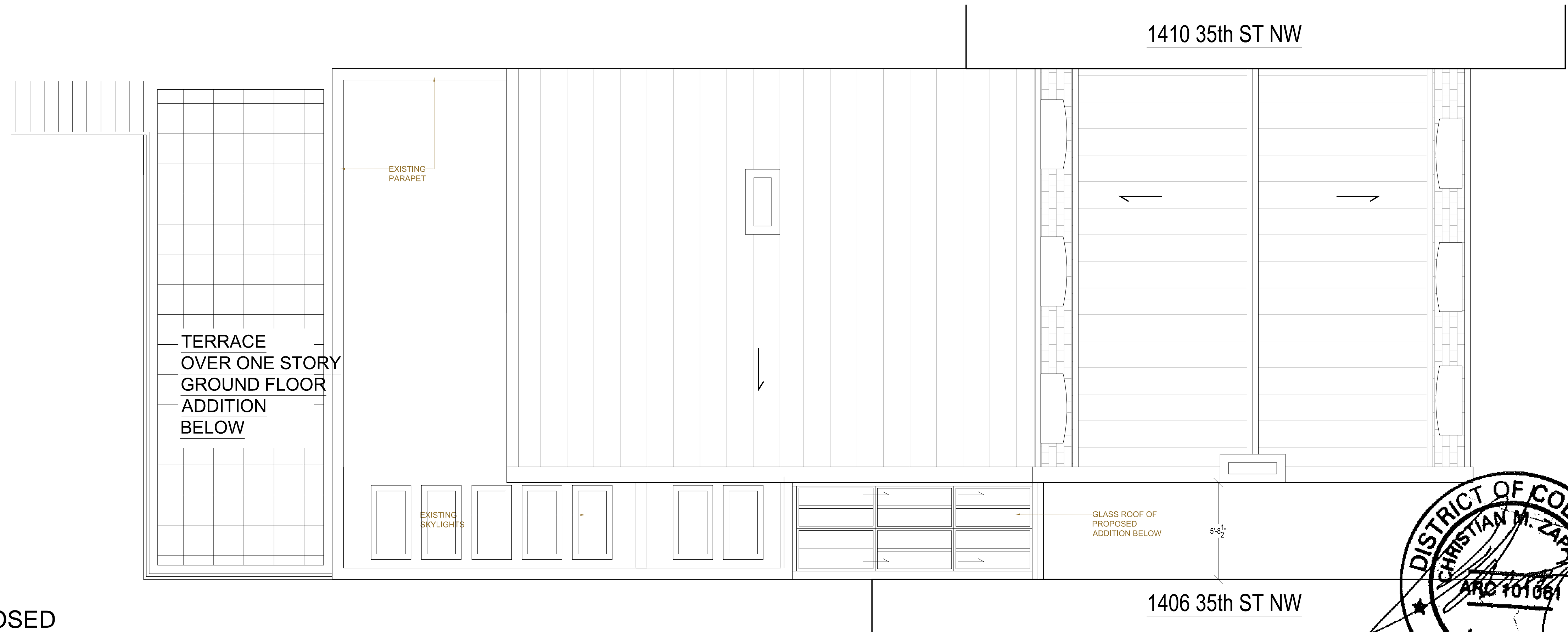
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A104

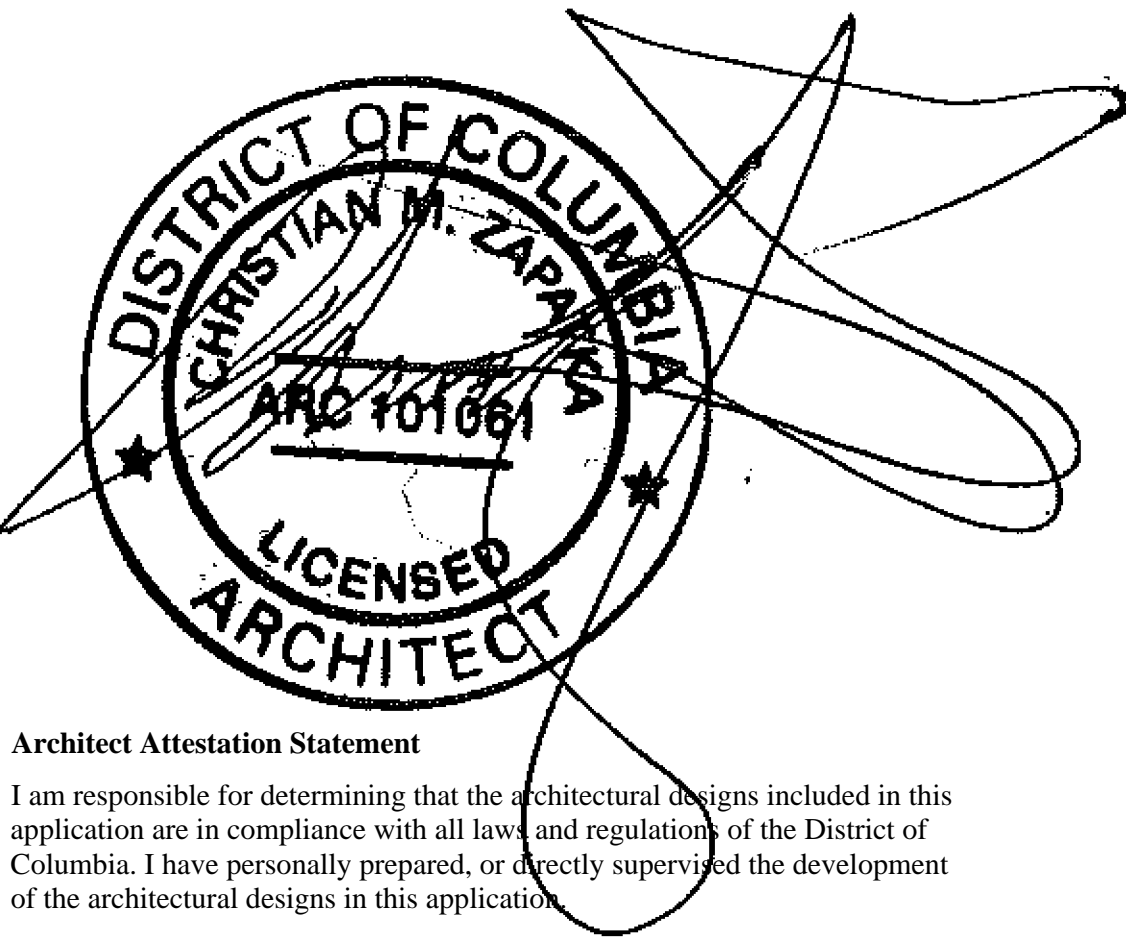
1 EXISTING



2 PROPOSED



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1 EXISTING



2 PROPOSED

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PROJECT:

**LAYCOCK
RESIDENCE**

1408 35TH ST, NW
WASHINGTON, DC 20007
SQ: 1247 LOT: 0125

DRAWING TITLE:

**EXISTING
AND
PROPOSED
EAST (FRONT)
ELEVATIONS**

SUBMISSION:

PERMIT

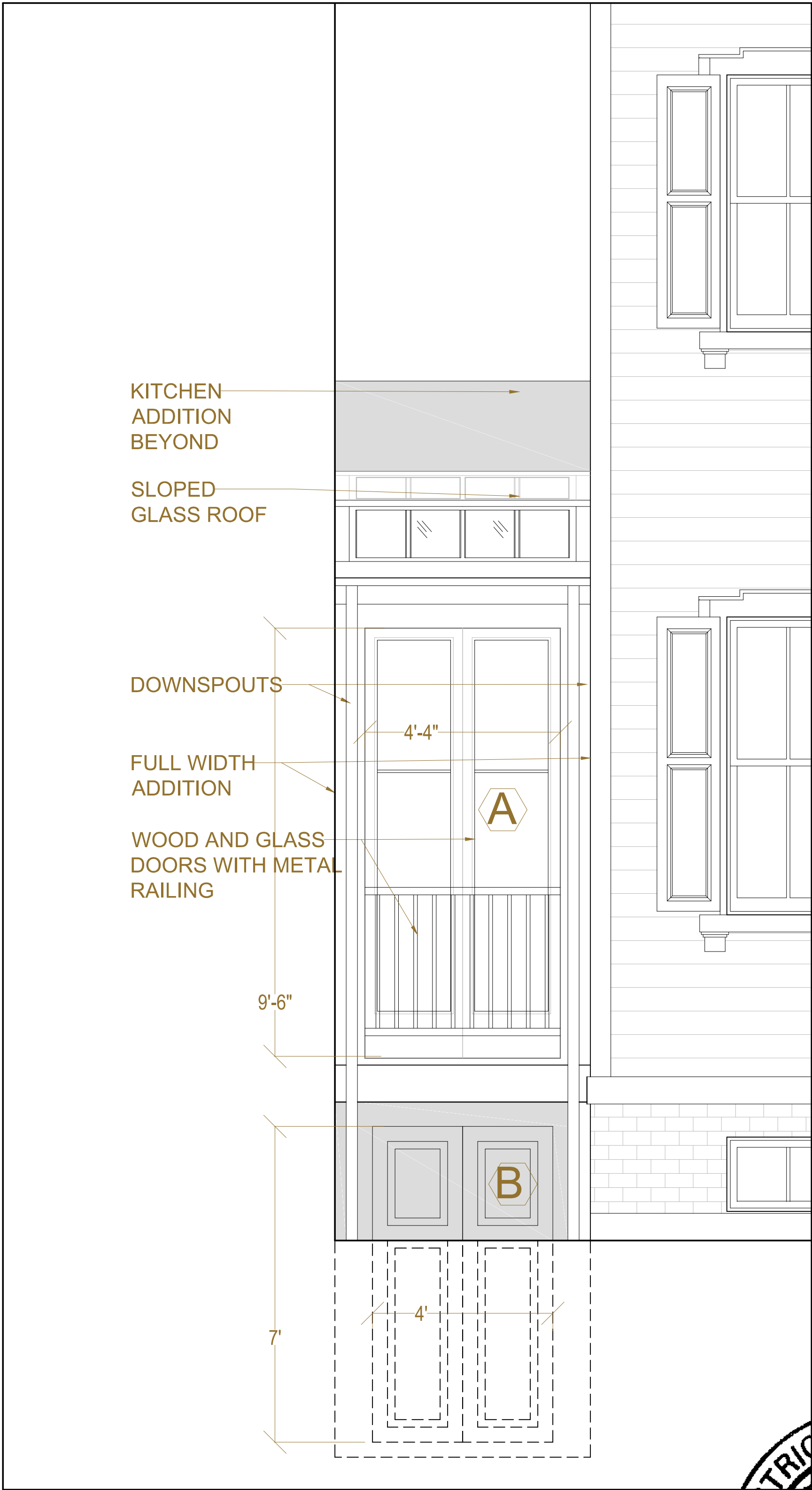
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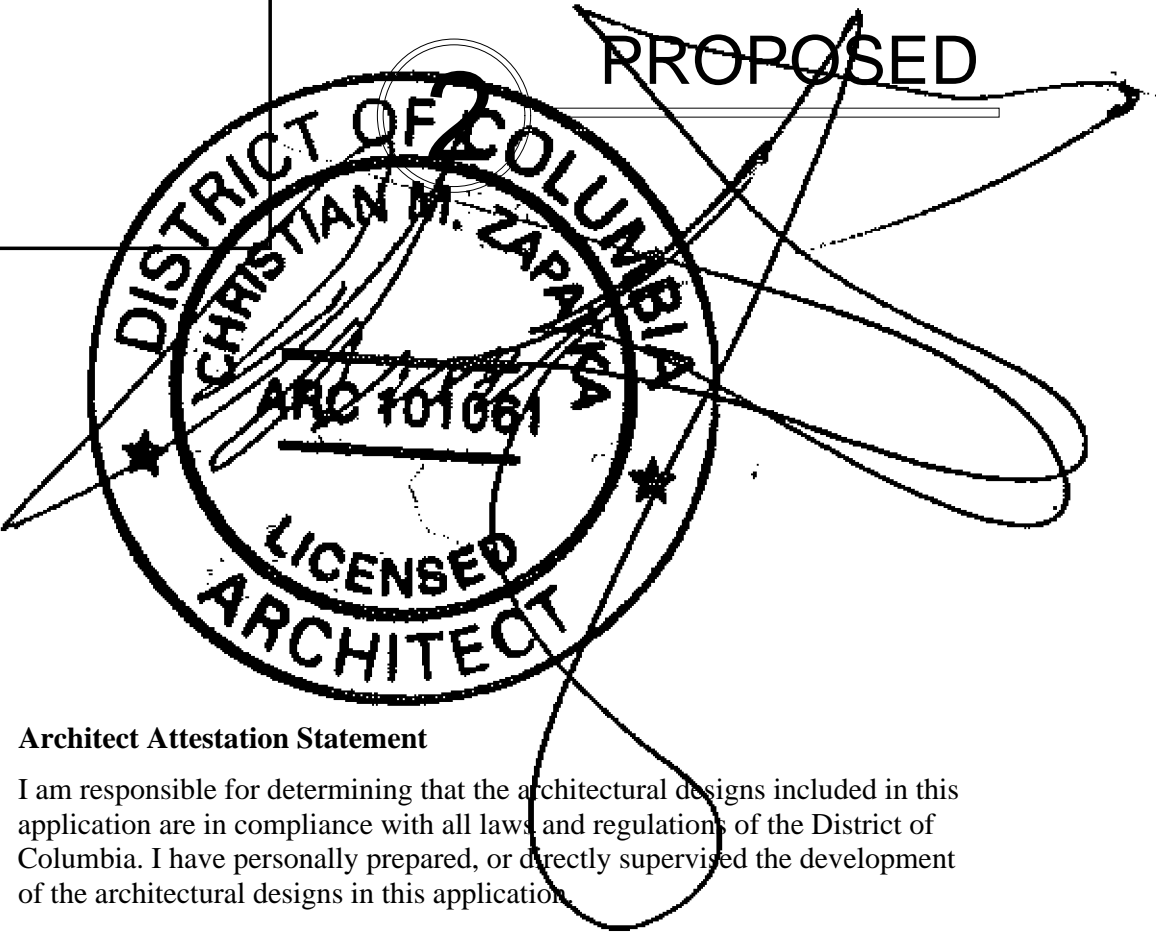
A200.1



1 EXISTING



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PROJECT:

LAYCOCK
RESIDENCE

1408 35TH ST, NW
WASHINGTON, DC 20007
SQ: 1247 LOT: 0125

DRAWING TITLE:

EXISTING AND
PROPOSED
SIDE COURT
ADDITION

SUBMISSION:

PERMIT

DATE: MARCH 11, 2021

SCALE: = 1'-01/8"

A200.2



1 EXISTING



2 PROPOSED

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PROJECT:

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WASHINGTON, DC 20007
SQ: 1247 LOT: 0125

DRAWING TITLE:

EXISTING
AND
PROPOSED
WEST (REAR)
ELEVATIONS

SUBMISSION:

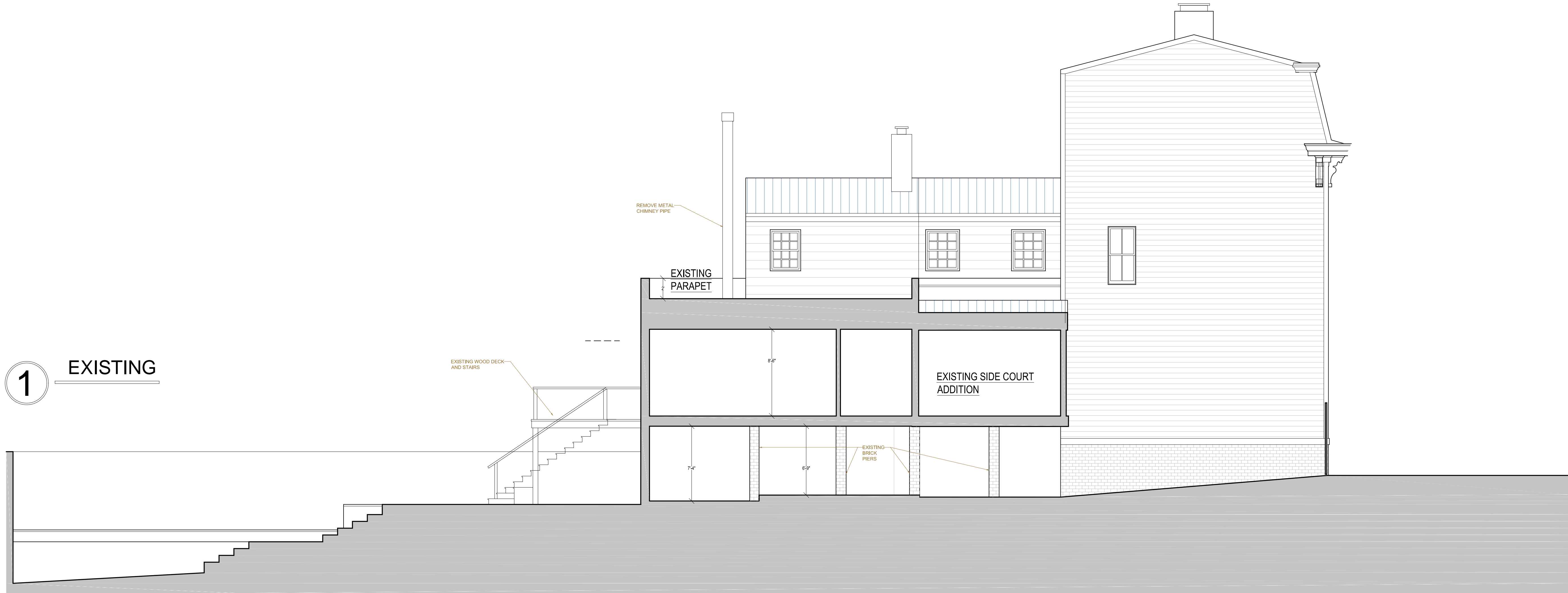
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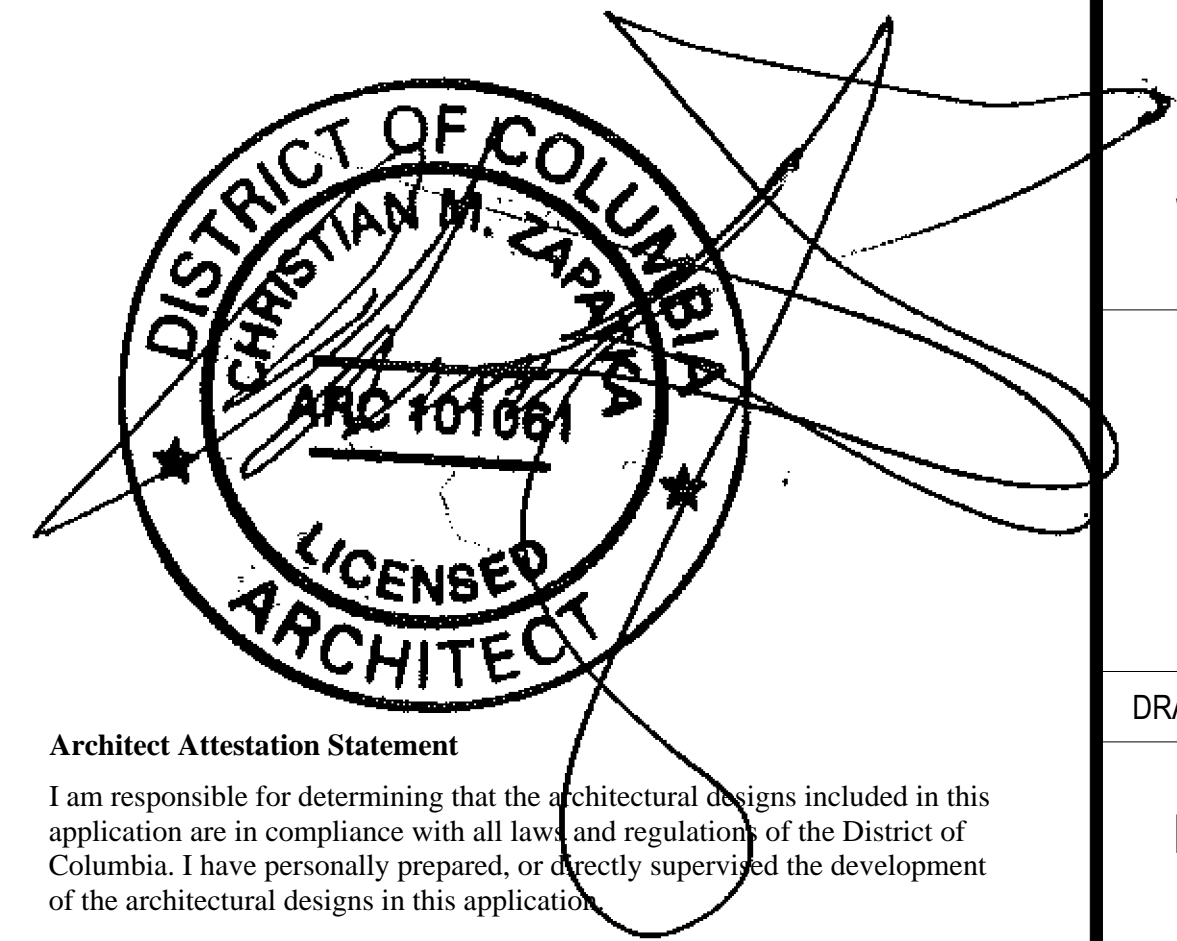
SCALE: 1/8" = 1'-0"

A201

1 EXISTING



2 PROPOSED



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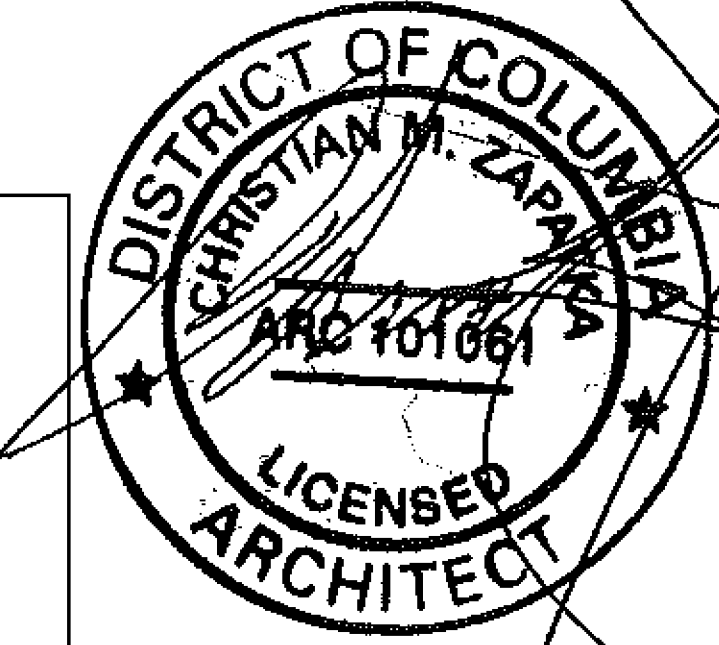
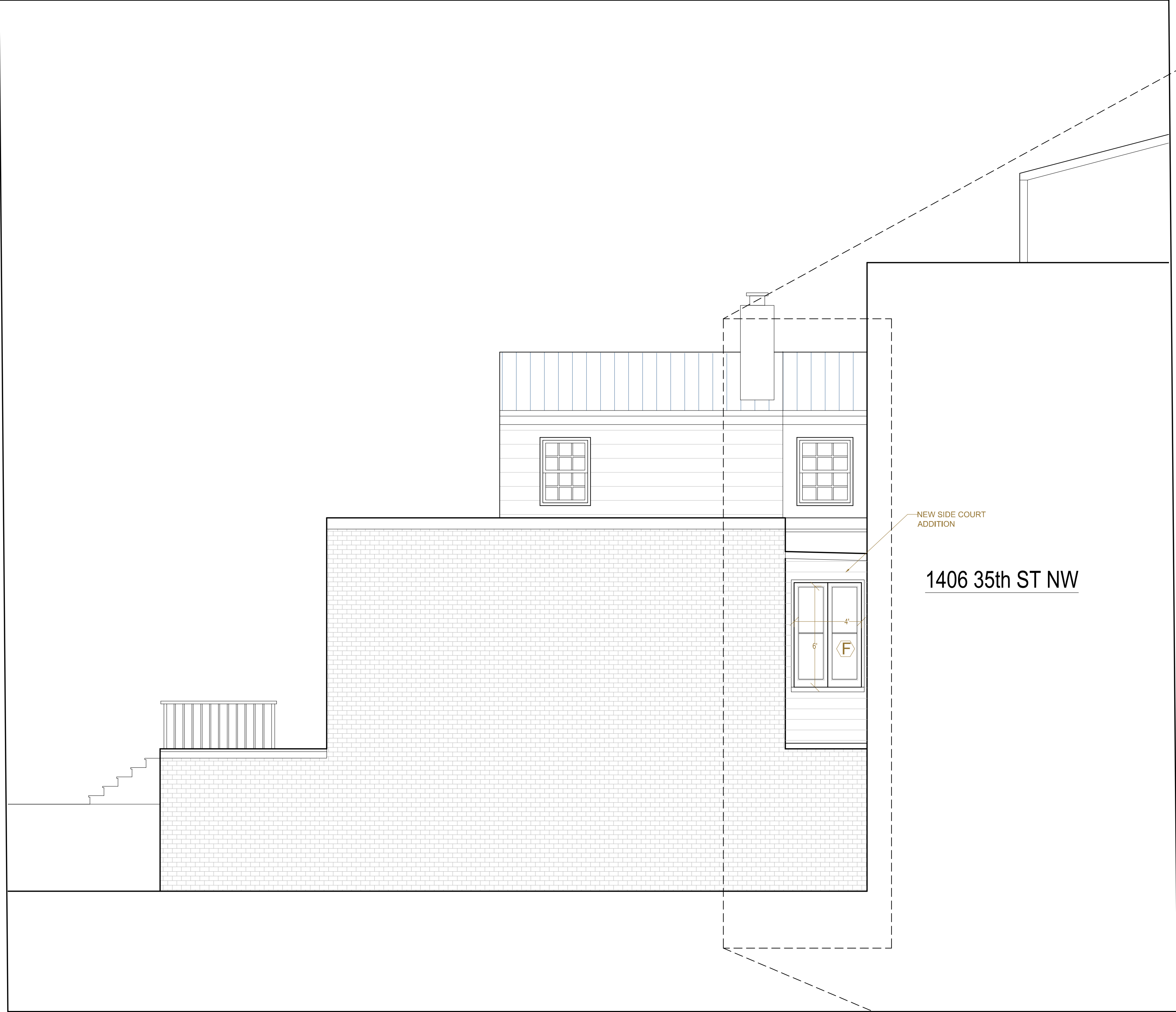
DRAWING TITLE:
**EXISTING
AND
PROPOSED
SECTION**

SUBMISSION:

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DATE: MARCH 11, 2021
SCALE: 3/32" = 1'-0"

A202.1



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**LAYCOCK
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1408 35TH ST, NW
WASHINGTON, DC 20007
SQ: 1247 LOT: 0125

DRAWING TITLE:

**PROPOSED
SIDE-COURT
ADDITION
SOUTH ELEVATION**

SUBMISSION:

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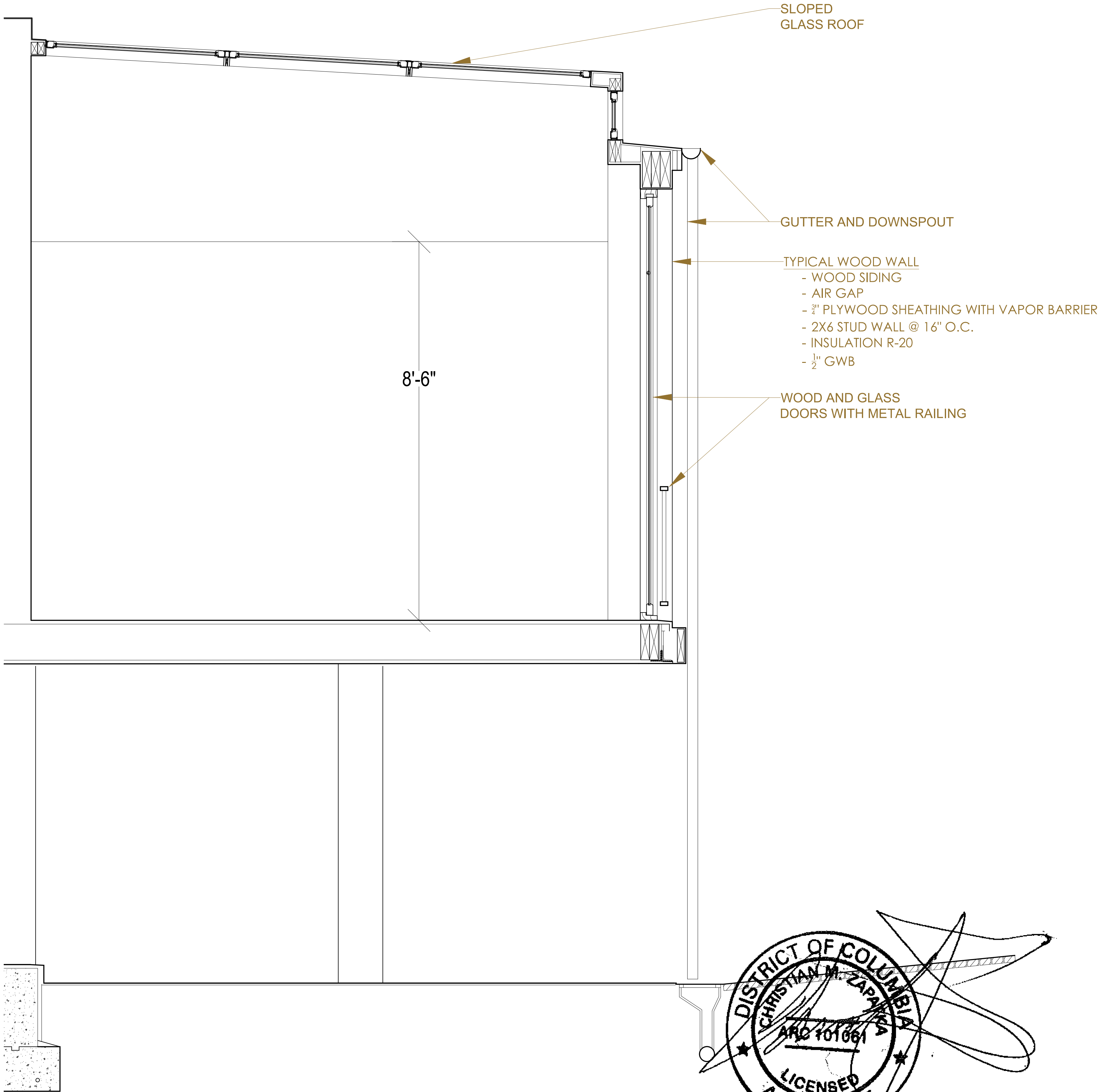
DATE: MARCH 11, 2021

SCALE: 1/8" = 1'-0"

A202.2

TABLE R402.4.1.1 AIR BARRIER and INSULATION INSTALLATION		
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stair or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum.
	The junction of the top plate and top of exterior walls shall be sealed. Knee walls shall be sealed.	Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing and skylights and framing shall be sealed.	
Rim joists	Rim joists shall include the air barrier.	Rim Joists shall be insulated.
Floors (including above-garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of the subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.
Crawl Space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided, instead of floor insulation, insulation shall be permanently attached to the crawlspace walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	
Narrow cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC-400.



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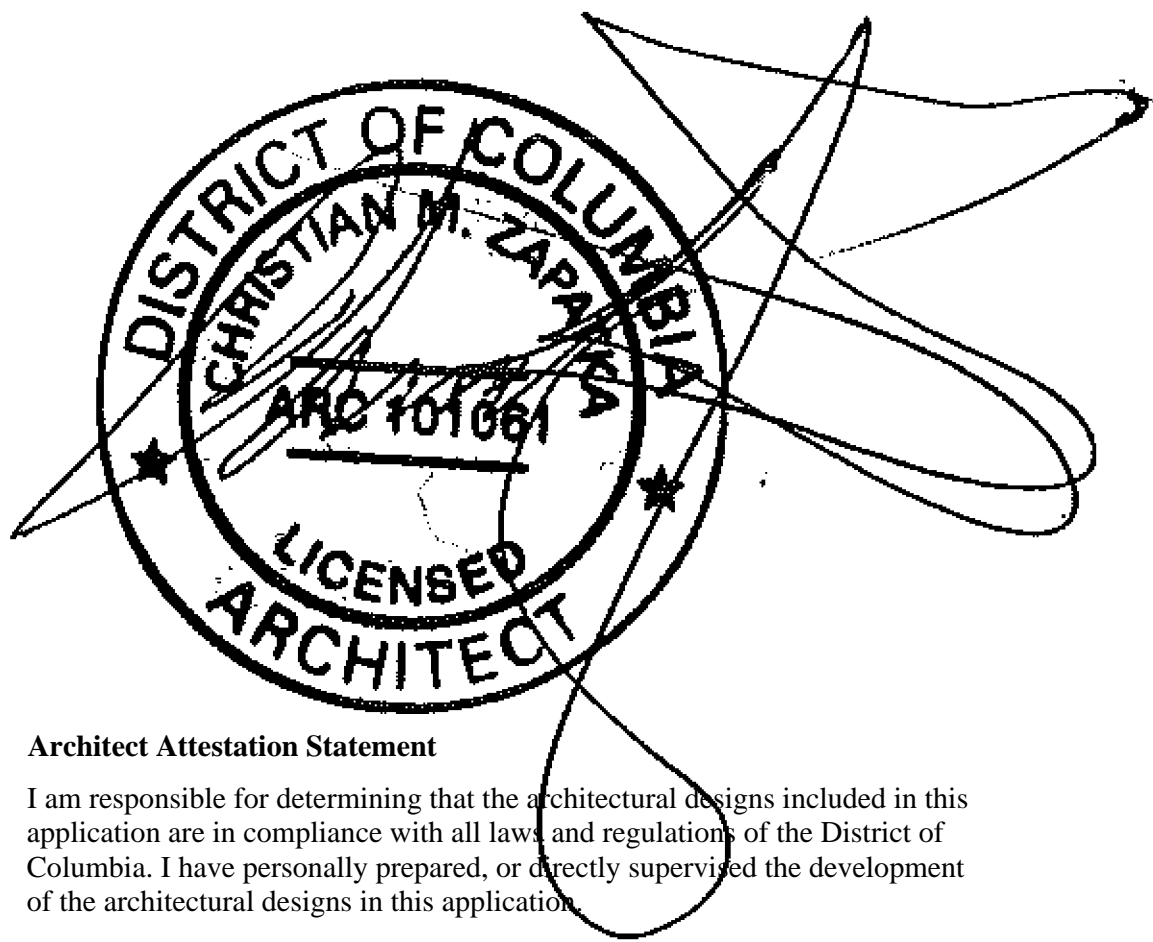
**PROPOSED
SIDE-COURT
ADDITION
DETAILS**

SUBMISSION:

PERMIT

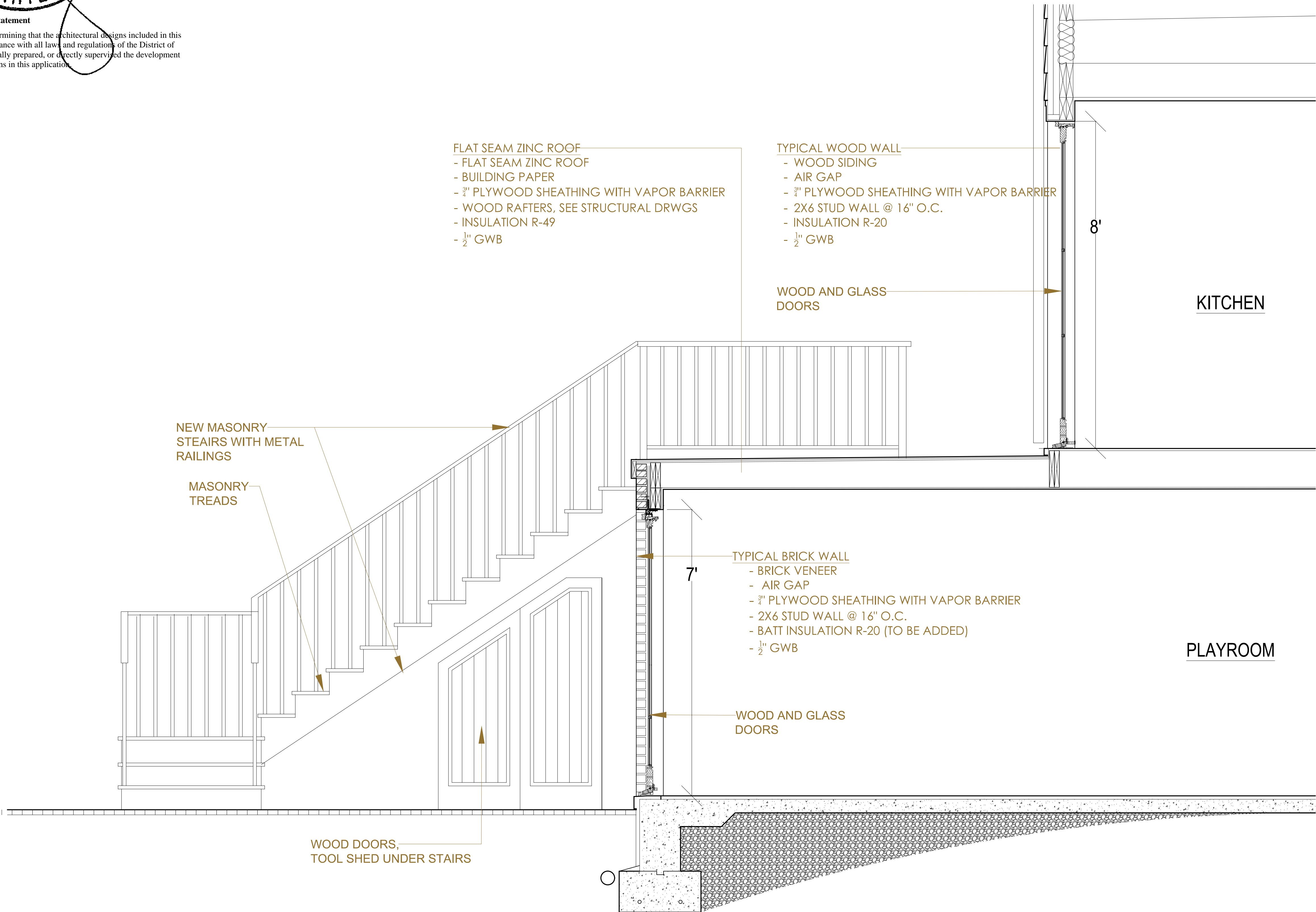
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SCALE: 1/2" = 1'-0"

A300



Architect Attestation Statement

I am responsible for determining that the architectural designs included in this application are in compliance with all laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the development of the architectural designs in this application.



CHRISTIAN ZAPATKA ARCHITECT, PLLC

1666 33rd STREET NW WASHINGTON DC 20007 202 333 2735

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PROJECT:

LAYCOCK
RESIDENCE

1408 35TH ST, NW
WASHINGTON, DC 20007
SQ: 1247 LOT: 0125

DRAWING TITLE:

PROPOSED
REAR ADDITION
DETAILS

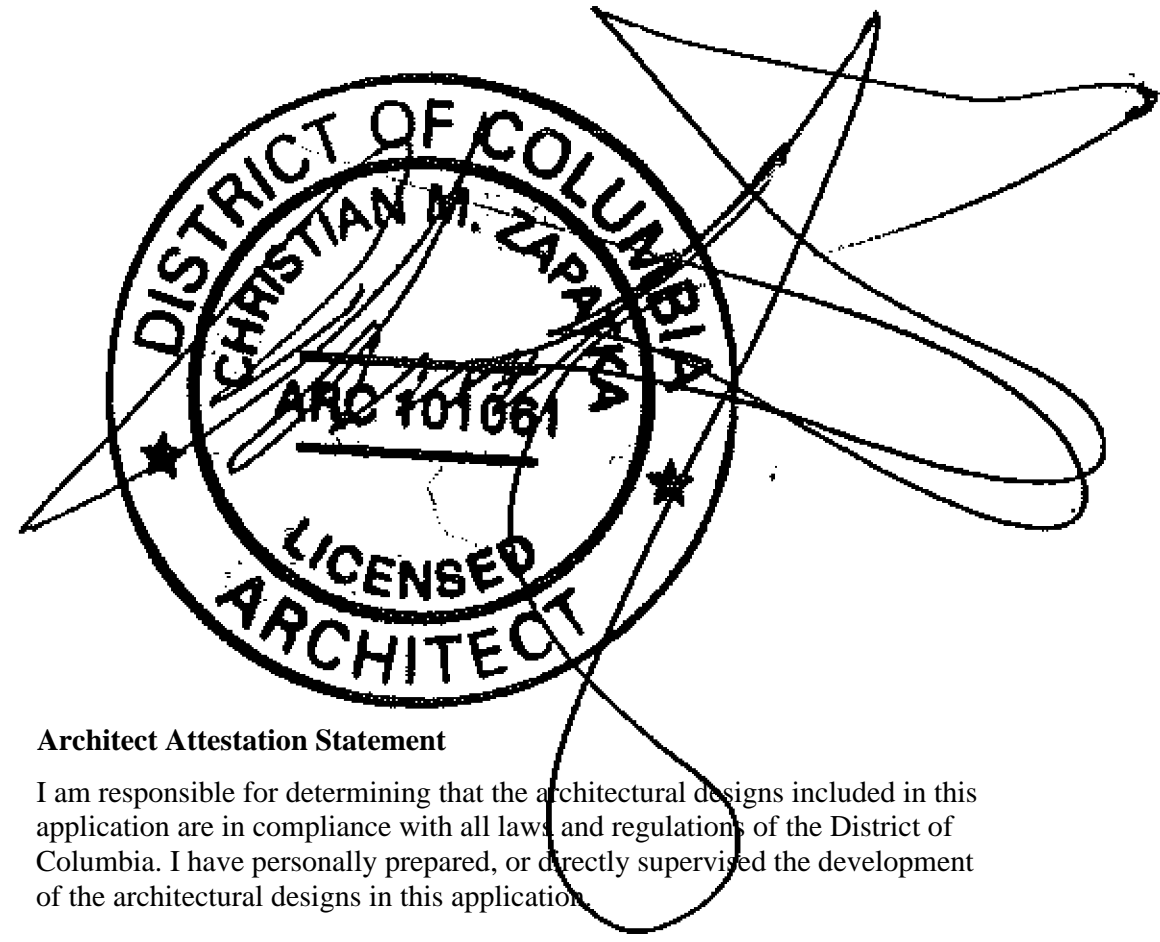
SUBMISSION:

PERMIT

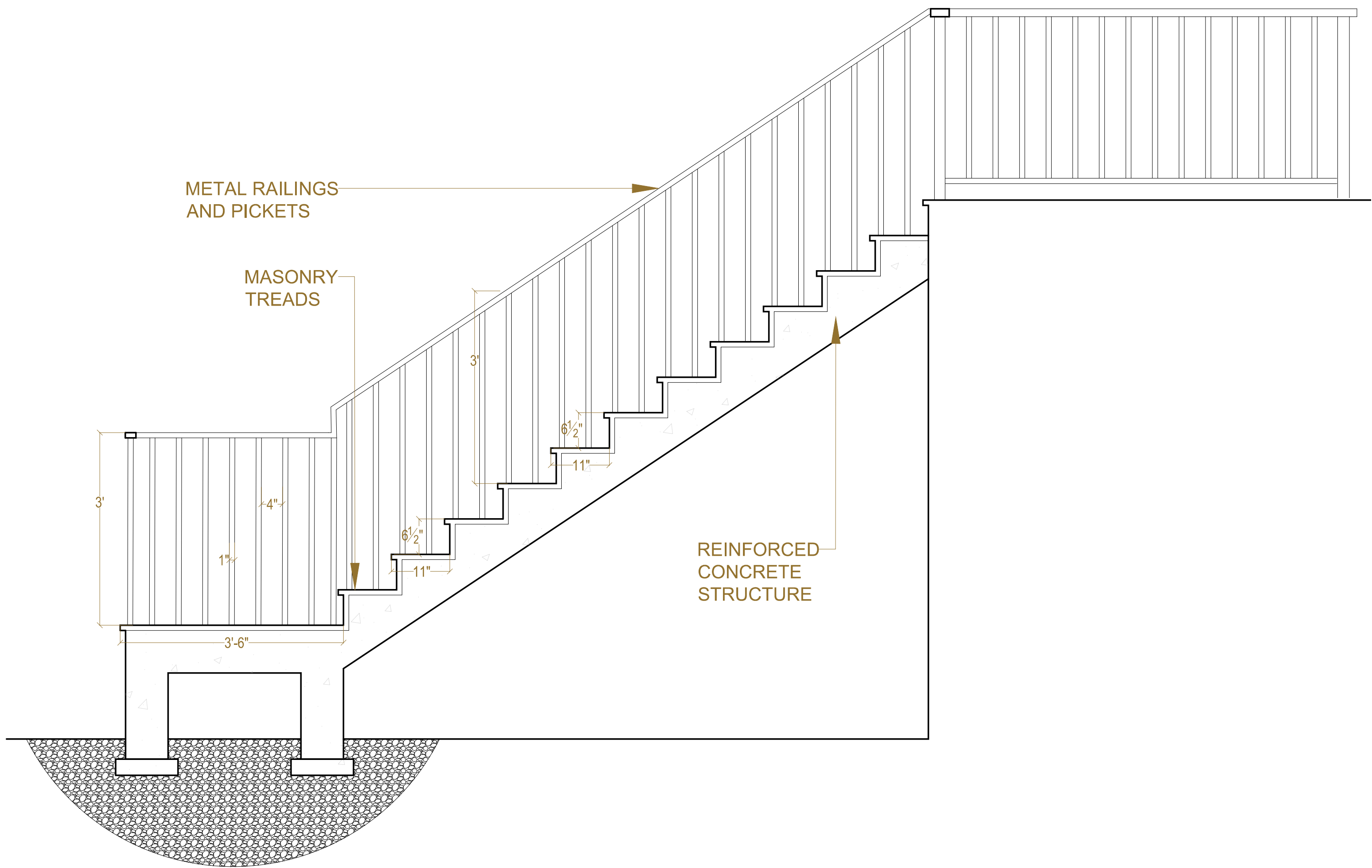
DATE: MARCH 11, 2021

SCALE: 1/2" = 1'-0"

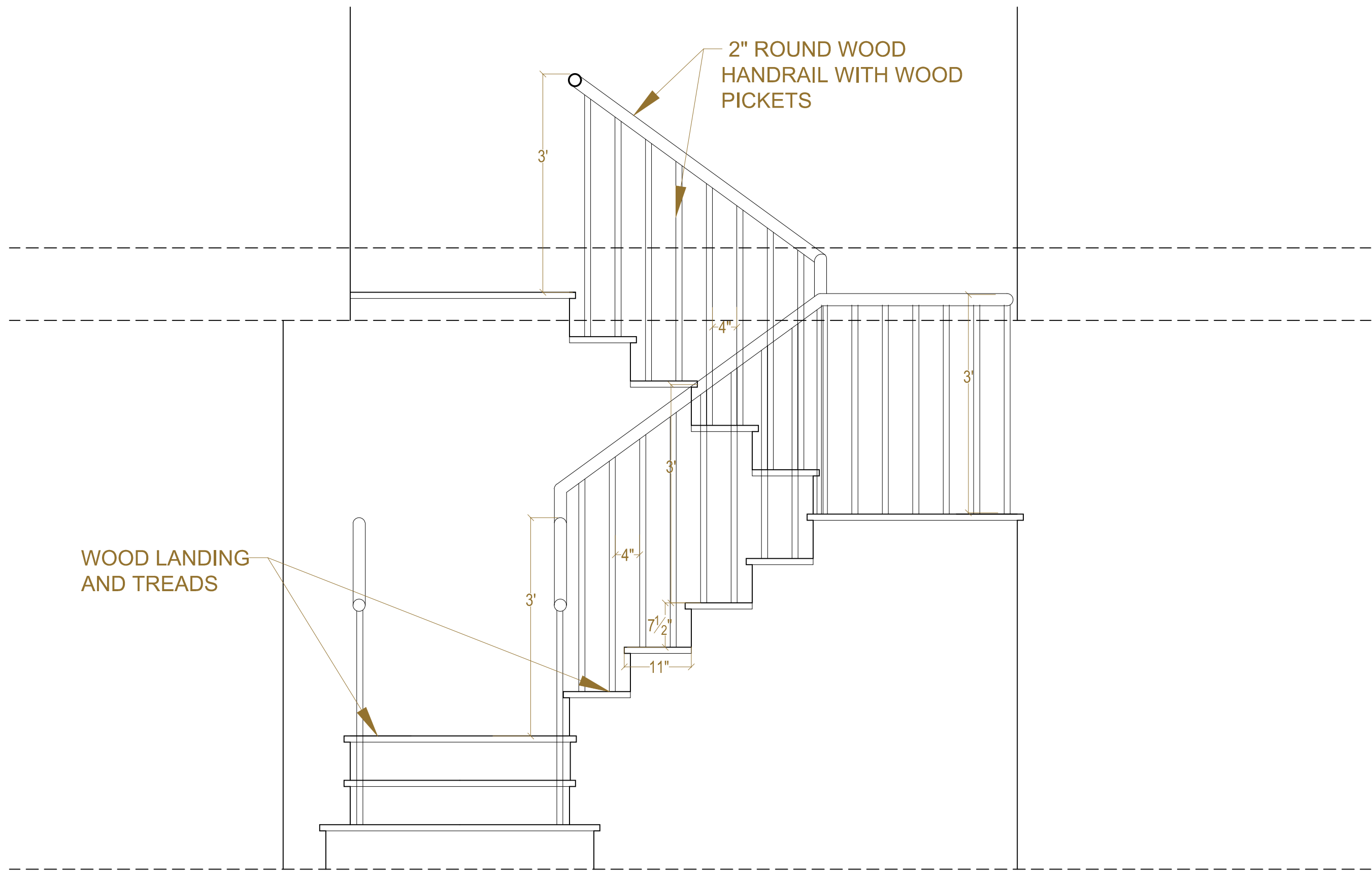
A301



Architect Attestation Statement
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1 REAR TERRACE STAIRS



2 STAIRS FROM BASEMENT TO FIRST FLOOR

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PROJECT:

**LAYCOCK
RESIDENCE**

1408 35TH ST, NW
WASHINGTON, DC 20007
SQ: 1247 LOT: 0125

DRAWING TITLE:

**PROPOSED
STAIR
DETAILS**

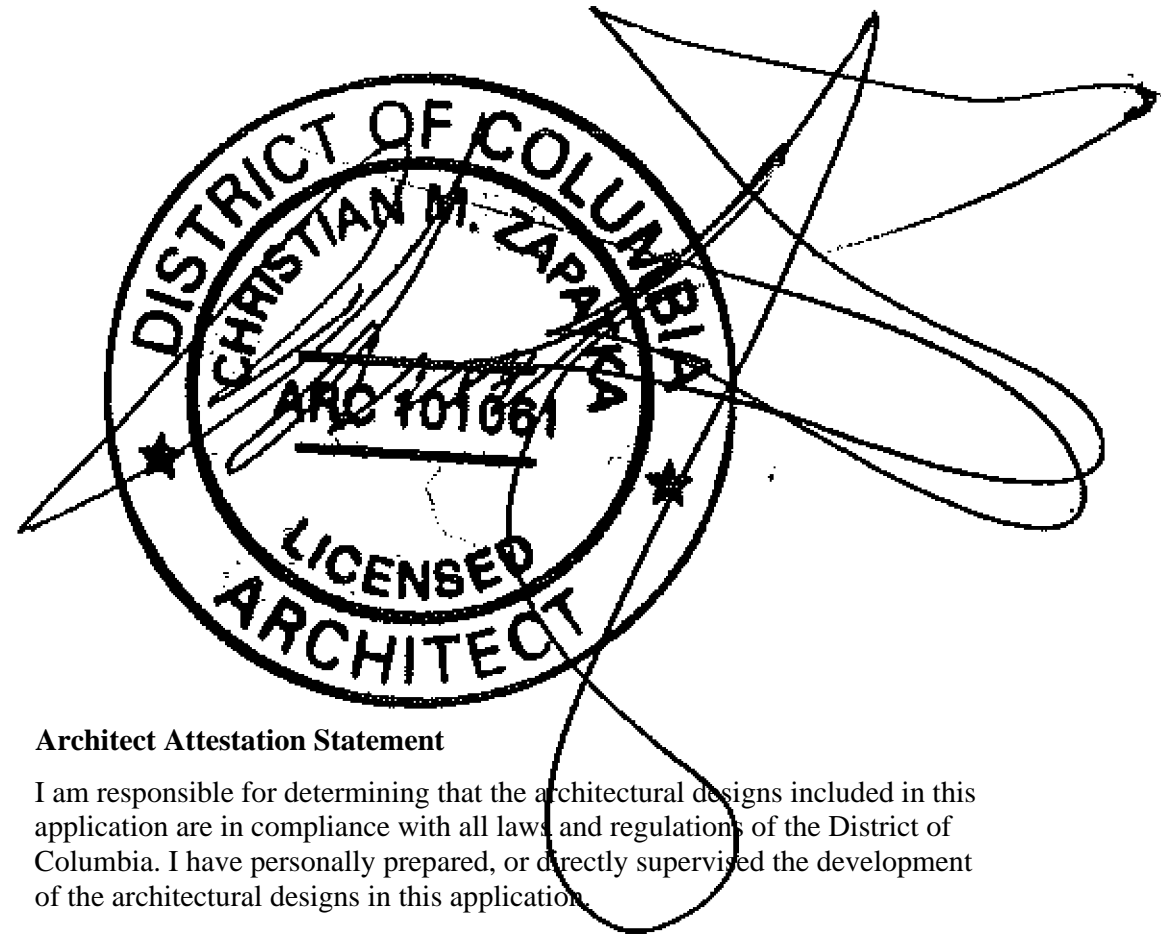
SUBMISSION:

PERMIT

DATE: MARCH 11, 2021

SCALE: 1/2" = 1'-0"

A302



Architect Attestation Statement

I am responsible for determining that the architectural designs included in this application are in compliance with all laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the development of the architectural designs in this application.

WINDOW/ DOOR	QUANTITY	WINDOW / DOOR MANUFACTURER	WINDOW / DOOR TYPE	(R.O.) ALL DIMENSIONS TO BE VERIFIED IN FIELD		FINISH		FIRE RATING	GLAZING	U-VALUE	SHGC
				WIDTH	HEIGHT	EXT	INT				
A	1		WOOD, MULTI-LIGHT FRENCH DOORS AND FIXED SIDELIGHTS	4'-4"	7'-0"	PAINTED	PRIMED		SINGLE	0.30	0.40
B	1		WOOD, MULTI-LIGHT FRENCH DOORS AND FIXED SIDELIGHTS	4'-0"	7'-8"	PAINTED	PRIMED		SINGLE	0.30	0.40
C	1		WOOD ,MULTI-LIGHT, CASEMENT	2'-6"	4'-0"	PAINTED	PRIMED		SINGLE	0.30	0.40
D	3		WOOD, MULTI-LIGHT FRENCH DOORS	4'-8"	8'-0"	PAINTED	PRIMED		SINGLE	0.30	0.40
E	3		WOOD, MULTI-LIGHT FRENCH DOORS	4'-8"	7'-0"	PAINTED	PRIMED		SINGLE	0.30	0.40
F	1		WOOD ,MULTI-LIGHT, CASMENT	4'-0"	6'-0"	PAINTED	PRIMED		SINGLE	0.30	0.40

NOTE: ALL GLAZING TO BE LOW-E 270 ARGON

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PROJECT:

LAYCOCK
RESIDENCE

1408 35TH ST, NW
WASHINGTON, DC 20007
SQ: 1247 LOT: 0125

DRAWING TITLE:

WINDOW
AND
DOOR
SCHEDULE

SUBMISSION:

PERMIT

DATE: MARCH 11, 2021

SCALE: 1/2" = 1'-0"

A303