

# ABRAHAM-WOOD RESIDENCE



PERSPECTIVE SHOWN FOR ILLUSTRATION ONLY - NOT FOR CONSTRUCTION

## FINAL CONSTRUCTION DRAWINGS

Any Owner/Tenant Requested Changes to these drawings after the date indicated below may affect delivery of the space. Changes may also cause additional design and/or construction cost which is the direct responsibility of the Tenant. The Tenant is advised to pay particular attention to these drawings as minor changes may have taken place since the "MASTERPLAN". These changes, if any, would have been caused by verification of actual field conditions.

Signature \_\_\_\_\_ Name (Printed) \_\_\_\_\_ Date \_\_\_\_\_

## SCOPE OF WORK

Interior renovation of existing residential single family home and repairing existing exterior historical elements.

## PROJECT DIRECTORY

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## SHEET INDEX

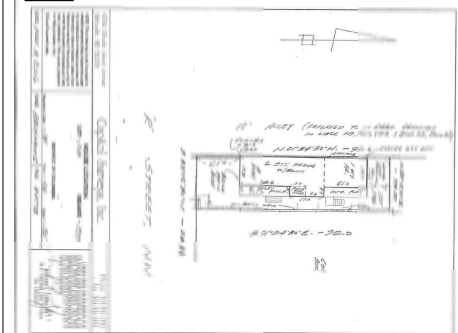
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## BASE BUILDING INFORMATION

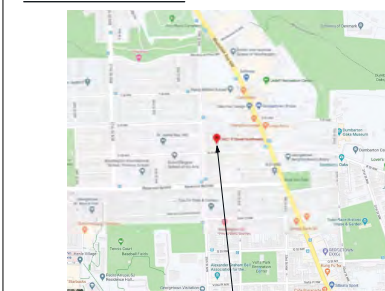
**Project Address:** 3421 R St. N.W.  
Washington, D.C. 20007  
**Use Group:** R - (Residential)  
**Construction Type:**  
**Building Number of Stories:** 2 Stories (Plus Basement)  
**Building Area:** 1,632 s.f.  
**Lot Size:** 2,495 s.f.  
**Zoning:** R-20

**Code References:** 2015 International Building Code  
2015 International Property Maintenance Code  
2015 International Green Construction Code  
2015 International Energy Conservation Code  
2015 International Fire Code  
2015 International Mechanical Code  
2015 International Plumbing Code  
2015 International Fuel Gas Code  
2015 International Residential Code  
2014 National Electrical Code

## PLAT



## LOCATION MAP



**PROJECT SITE:**  
**3421 R St. N.W.**  
**Washington, D.C. 20007**



N.T.S.

ARCHITECT



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SUITE 200  
WDC 20009  
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Consultant

Stamp



Project Title

**ABRAHAM/WOOD RES.**  
3421 R St. N.W.  
Washington, D.C. 20007

Drawing Title

**Cover Sheet and Site Plan**

12/16/20

08/24/20

03/31/20

Date

Issue Notes

Project ID

1904

Scale

As Indicated

**0001**

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## CONVENTIONS

- Existing walls on floor plan shown shaded. See keys on each sheet for additional symbols.
- Details are casually keyled once (on the plans or elevations when they first occur) and are typical for similar conditions throughout unless noted otherwise (U.N.O.).
- "Typical" or "TYP" means for all similar construction. U.N.O.
- Do not scale drawings; dimensions govern always.
- Large scale details govern over small scale details.
- All vertical dimensions shown are to or from finished floor level, U.N.O.
- All dimensions shown on plans are from finish to finish, U.N.O.
- "Align" means that similar components of construction, as indicated by the drawings, must be straight and in line, and any joints or seams, must be concealed and invisible to the eye or touch.
- "Provide" means provide and install, U.N.O.

## GENERAL NOTES

- FORMA Design, Inc. is the Owner's architect and shall be referred to as such in these documents. FORMA Design, Inc. shall control and interpret all items requiring clarification. Direct all inquiries to FORMA Design, Inc., not the Owner.
- The terms "General Contractor," "Contractor" and "G.C." are used interchangeably and refer to the General Contractor charged with the overall responsibility for the construction, and contracted to the Owner as such.
- Work shall include all labor, assemblies, and finish work including all parts and materials necessary to make a complete, inclusive, properly working and finished installation.
- The General Contractor shall be responsible for obtaining all permits, inspections, approvals and certificates required by law and necessary for a proper completion of all work required by these documents.
- The G.C. shall conform to all laws, ordinances, rules, regulations and codes applicable to the location of the project.
- All Contractors shall view the project to familiarize themselves with site conditions prior to bidding or construction. By submitting a bid, the Contractor and its Subcontractors are certifying that they have visited the site and have reviewed in their bid any additional items of construction that may be required due to existing site conditions.
- The General Contractor shall be responsible for verifying existing conditions and reviewing and checking all contract documents and drawings prior to commencement of work. If there are any conflicts, discrepancies, or questions regarding these or other coordination issues, the General Contractor shall be responsible for obtaining a clarification from the architect before proceeding with the work in question or any related work.
- Contractor shall field measure all distances and dimensions prior to commencement of new work or ordering materials. Any deviations to the contract documents shall be reported to the Architect prior to proceeding with that portion of work. Drawings are not to be scaled for dimensions or sizes. Verify all dimensions in the field.
- The General Contractor shall be responsible for the coordination of the various trades involved for the completion of the project, including those contracted direct by the Owner.
- All dimensions and descriptions on construction drawings are complementary. The Contract Documents are conceptual in nature, showing physical relationships of the various elements and systems of construction, and their conjunction with other portions of work. It is the intent of the Contract Documents that all elements and systems, including mechanical, electrical and plumbing, be complete and functional, and provide the intended or specified performance, and be installed in strict accordance to manufacturers written instructions. All contractors shall provide all incidental items and parts necessary to achieve this requirement.
- All contractors shall perform high quality, professional work. Materials shall be joined to uniform, accurate fits, producing neat straight lines, free of seams, overlaps, and imperfections. All exposed materials appropriately level, plane, and of accurate right angles or flush with adjoining materials. Work of each trade shall meet or exceed all national standards by that trade except where the contract Documents are more stringent. In such cases, work shall meet or exceed the standards established by the Contract Documents.
- The General Contractor shall cooperate and coordinate with other contractors performing work at the job site that is not in the General Contractor's contract.
- When information regarding work not included in the General Contractor's contract is inadequate to provide complete and accurate coordination with the General Contractor's work, it shall be to the General Contractor's responsibility to request further instruction before proceeding with the work in question or any related work.
- Furnishings are not part of the General Contractor's contract unless noted otherwise.
- Provide blocking in partitions as required for all items attached to wall including cabinet and millwork. All rough carpentry, blocking, and miscellaneous wood framing shall be fire retardant treated in accordance with all applicable codes and requirements.
- Identify delivery times for all items and place the orders for the long lead time items so as not to delay the project.
- The Contractor shall take all precautionary steps to protect and secure the Owner's, and Contractor's facilities. Any damage or loss of the property occasioned by or arising from acts of the Contractor shall be the responsibility of the Contractor, and the Contractor hereby indemnifies and holds harmless the Owner therefrom.
- Prior to proceeding with any work that may result in additional cost or additional time to the project, the Contractor shall determine the additional cost or time (if the exact cost or time cannot be determined, the Contractor shall make his best reasonable estimate and an estimate of the worst case) and submit the additions to the Architect for approval. Should the Contractor fail to advise the Architect prior to proceeding with the work, additional cost or time will not be approved.
- Building sprinkler system shall be modified to accommodate project layout and comply with county codes. Unless noted otherwise, the Contractor or its subcontractor shall prepare all documents necessary to obtain a sprinkler permit, inspections and approvals. Layout of sprinkler heads in critical areas such as reception areas, conference/board rooms, gypsum board ceilings and soffits, etc., to be approved by the Architect prior to proceeding with work.
- Contact the building manager prior to starting work to obtain all rules and regulations for use of, and construction in the property. Coordinate with the building manager on the hours of building operation, noise restrictions, necessary blockades and safety barriers, dust and moisture control, use of building dock and elevator, use of toilet rooms and utilities, placement of trash container and hours of transport and removal, utility use and hours utilities may be interrupted if necessary and prior notification requirements, parking for construction workers, and any other items that will affect the location of the building or its Owners. The Contractor shall confine his apparatus, delivery and storage of materials, and the operations of his workmen to limits defined by the building management.
- The Contractor shall schedule all work to avoid interruptions to normal operations of other building tenants. All disruptive work shall be scheduled and coordinated with the building management.
- The Contractor shall use and protect the existing building and existing finishes scheduled to remain in a manner which will not soil, deface or damage the existing facilities, finishes or fixtures in any fashion. Provide protective materials as necessary. Damage by the Contractor shall be repaired or replaced by the Contractor to the complete satisfaction of and at no cost to the Owner. After any work has been completed within any occupied space(s), the Contractor shall clean the space of all construction dust, tools, stains and debris.
- Do not alter, load or penetrate the existing structure in any manner which may compromise its integrity.

## GENERAL NOTES - Cont.

- Remove all construction debris as required to maintain a clean environment and to prevent the possibility of accident or injury. Coordinate removal work with Building Management.
- Any and all materials and installation methods used in the modification of the existing roof system shall be in conformance with the requirements of the roof warranty.
- Highlights of electrical, data and communication outlets when surrounded by or abutting millwork shall be confirmed with the Architect.
- Floor mounted outlet locations must be confirmed with the Owner and Architect before cord drilling.
- Contact Architect for clarification if existing outlet heights or locations do not match that indicated in the drawings.
- Replace existing electrical devices and cover plates to match those specified. Contact the Architect prior to proceeding with replacement.
- Contractor to X-ray slab prior to cord drilling for any penetration. Coordinate X-ray times and techniques with building management.
- Downlights, sprinkler heads, smoke detectors and exit signs shall be located in the center of the ceiling tile.
- Placement of wall or ceiling access panels shall be reviewed with the Architect.
- Provide fire extinguishers as required by code.
- Protect newly installed material, millwork, built-ins, and finishes, as well as existing surfaces not requiring work, and any items (furniture, etc.) requiring storage in the space.
- The Contractor shall provide a final professional cleaning of the entire space after construction and punch list items are complete and prior to occupancy of the space by the Owner. All trash, construction debris, tools, etc. shall be removed by the Contractor as soon as possible from the site/36. Upon completion of the work, all facilities shall be in full use without defect.
- Upon completion of the work, warranties shall be assigned to the Owner by the Contractor. Any Contractor or Subcontractor performing the work shall be responsible for the replacement or repair of any and all work done which becomes defective within 1 [one] year after substantial completion of the work, without additional charge to the Owner or architect. The Contractor or Subcontractor shall be responsible for all costs or corrections, including additional expenses, expenses from damages in connection with the removal or replacement of the work or any part of the work or any part of the building which may be damaged thereby. This warranty shall in no way void any manufacturer's warranties on materials or equipment for which the normal warranty period exceeds one year.
- All tenant space keys must be keyed into building master key system per building management specifications and approved.
- Prior to final payment, the Contractor shall assemble original copies of all new equipment and materials, warranties and operational information and deliver to the building manager (as appropriate) in a neatly indexed and labeled 3-ring binder.

## PARTITIONS

- Dimensions taken to face of gyp. board unless otherwise noted.
- All new partitions shall be per detail P-1 unless otherwise noted.
- All dimensions marked "clear" shall be maintained.
- No partitions shall vary more than 1/8" in surface plane in 10 feet in any direction.
- Partitions shall be centered on window mullions and be perpendicular to the exterior wall unless noted otherwise on the drawings.
- All partitions abutting existing building columns or walls shall align new finish face with existing unless otherwise indicated. Remove existing gypsum board as necessary for a smooth finish with no visible transition from existing to new gypsum board.
- Contractor shall mark all wall layout locations before construction and obtain Architect's approval of the chalk line layout of the partitions prior to proceeding with framing.
- Galvanized steel may be used in lieu of fire retardant wood blocking. Provide 4" wide 16 gauge flat galvanized backing for all walling blocking, millwork and hardware. Backing shall span at least three studs.
- Provide bracing above ceiling height partitions as required for installation of doors to other items to prevent vibration or movement of the partition or other item.
- Partition assemblies and bracing shall be installed around any aboveceiling interferences encountered such as ducts or sprinkler lines so as to maintain the integrity of the assembly.
- Provide appropriate metal trim accessories for gypsum board as recommended by U.S.G. or specified on these drawings.
- Where new partition is indicated to align with existing condition, remove center bead to provide a smooth transition.
- Unless noted otherwise or required by an indicated UL design, match gypsum board thickness for new partitions with thickness of existing gypsum board.\*
- Any partition containing water or waste lines shall be constructed with moisture resistant gypsum board.
- Any partition with the finish shall be constructed with moisture resistant gypsum board.
- Any partition with the finish shall be constructed with cementitious fiber backer board.
- All partition joints shall be taped, spackled, and sanded smooth with no visible joints and made ready to receive specified finishes. Any existing gypsum board must be refinished to be smooth and ready to receive specified finish.

## FINISHES

- Submit samples of all specified finishes and colors for Architect's approval prior to execution of the work.
- FORMA Design, Inc. is the sole interpreter of the aesthetic match of the contract samples they possess, and their acceptance or rejection of the samples offered is final. Tenant shall compensate the architect for travel expenses to inspect samples, if required.
- Starting of finish work shall indicate application's acceptance of substance.
- Ensure all surfaces (new & existing) to receive finishes are clean, true and free of irregularities. Do not proceed with work until satisfactory conditions have been corrected.
- All existing surfaces shall be restored to appear as new, ready to receive specified finish, or finished to match the adjacent surface. Patch, fill and sand smooth all previous irregular paint finishes, gauges, holes, cracks and dents to match adjacent surface for a uniform final finish on all existing surfaces.
- The thickness of new finishes shall match the thickness of adjoining existing finishes.
- Level existing concrete floor slabs as minimally necessary to provide a level surface varying no more than 1/8" in 10'-0". Should extensive leveling be required notify Architect after demolition to address the issue as necessary.
- Upon receipt from the manufacturer, the installer shall inspect all materials for defects, flows, shipping damage, correct color and pattern. Damaged or incorrect materials shall be returned to the manufacturer for immediate replacement.
- Where two floor finishes meet at a doorway, the transition must occur on the centerline of the door in its closed position.
- Extend floor finish under open-bottomed and raised bottom obstructions. Extend finish into closets and alcoves of areas indicated, unless another floor finish is indicated for such space.
- Apply rubber or vinyl base where scheduled to walls, doors and other permanent fixtures in rooms or areas where specified. Install base in as long lengths as practicable. Tightly bond base to backing throughout the length and height of each piece, with continuous contact at horizontal and vertical surfaces. All rubber or vinyl base corners to be pre-molded.
- Provide trimless, flush access hatch in gypsum board ceiling as required for mechanical and electrical access. Confirm size, style and location with Engineer and Architect.
- Repair any damage in metal or wood window sills after removal of existing partitions. Finish newly exposed and repaired sills to match existing.
- Crack perimeter window sill, repair any cracks or damage to perimeter gypsum board and paint.
- After completion of the project and just prior to the final inspection of the work, thoroughly clean floors and accessories. Apply wax and buff hand surface flooring with the type of wax, number of coats, and buffing procedure in compliance with the flooring manufacturer's instructions. Coordinate wiring and buffing with building management.
- Prior to occupancy, the Contractor shall clean all new and existing surfaces of dust, debris, loose construction material and equipment.
- Maintenance Materials: Deliver usable scraps of carpet, wall covering, VCT and other finish materials to Owner's designated storage space, properly packaged (paper-wrapped) and identified.

## PAINT

- Unless otherwise noted, provide minimum 2-coat paint systems over appropriate primer coat as specified for each substrate. Refer to finish schedule for colors and finish qualities.
- All paint to be applied in accordance with manufacturer's instructions. Sand lightly between coats to achieve required finishes. Allow each coat of finish to dry before the following coat is applied unless directed otherwise by the manufacturer. Fill cracks, gauges, and other imperfections of surfaces with latex filler, sand smooth and flush with surface.
- Materials to arrive at jobsite in original, new, unopened containers bearing the manufacturers name, trade name and label number. Store on site in strict accordance with manufacturers instructions.
- All painting to be done under final lighting conditions.
- Finished painted surfaces shall be of uniform color and appearance without drips runs or smudges.
- Where grilles and diffusers occur in ceiling or wall, confirm with the Architect prior to painting to match adjacent surface.
- Remove or otherwise protect finish hardware, accessories, plates, lighting fixtures and similar items before painting.
- Do not paint any moving parts of operating units, code-required labels, and equipment identifications.
- Paint areas behind moveable slats (e.g. inside cabinets, and backs of access panels) Coordinate with architect prior to start of work.
- Repair or refinish painted surfaces damaged by subsequent work.
- Provide owner with stock of at least one full gallon of each color of paint and stain used in the work. Clearly label content and location where used.

## DOORS & FRAMES

- Frames shall have no exposed fasteners.
- Provide a minimum of four rubber mutes per frame.
- Undercut doors as required to operate smoothly over finished floor. Maximum undercut shall be 1/4" unless noted on Mechanical drawings. Finish bottom of doors after undercutting. Sand smooth all door edges prior to staining or painting. Paint or stain all edges, including top and bottom.
- Where overhead doors are indicated install doors on non-crossover sides of doors.
- Rekey all locks. Coordinate keying with building management and Owner.
- Install heavy duty double coat hooks at 5'-6" AFF on office side of all office doors.
- Crack all hollow metal frames to the wall with a thin bead of paintable caulk.
- Provide a sealer on all hardware subject to tarnish.

## ARCHITECTURAL MILLWORK

- The G.C. will be responsible for making certain that the millwork items are not delivered until areas are sufficiently dry so that the millwork will not be damaged by excessive changes in moisture content. All delivered units shall match the final approved shop drawings and samples. Units which are mended, chipped, damaged shall be repaired to the complete satisfaction of the Client. Units shall be protected during shipment and installation. After installation of units in their proper location, all protection shall be removed and all surfaces thoroughly cleaned to the complete satisfaction of the Client.
- Before proceeding with the millwork, the manufacturer is to obtain field measurements and verify dimensions and provide shop drawings details to ensure an accurate fit. Any variance found in the field must be brought to the attention of the Architect.
- Submit shop drawings and samples of material finishes, including veneer flitch samples, of all architectural millwork provided by the General Contractor and all millwork fabricators/suppliers prior to fabrication. Shop drawings shall show field verified dimensions, methods of support and attachment.
- The General Contractor and the architectural millwork supplier shall cooperate with the Owner's equipment suppliers to coordinate efforts and provide all necessary wood blocking to insure completion of work.
- Installed millwork to be plumb, level, true and straight with no distortions. Shim as required using concealed shims.
- All millwork will be manufactured to AIA/Custom grade. Appropriate details and materials shall be used.
- Anchor millwork to bulkhead blocking. Secure for grooves, shipping and blocking with countersunk concealed fasteners and blind nailing, as required, for a complete installation.
- Scribe and cut work to fit adjoining work and refinish cut surfaces or repair damaged finish at cuts.
- For all millwork indicating plastic laminate exterior finished surfaces, provide base laminate sheet unless otherwise noted.
- Plastic laminate work surfaces, shelves and vertical corner supports to be 3/4" plywood edge banded or industrial grade particle board, ANSI LAM-3, minimum density 45 PSF unless otherwise noted. Other components to be 3/4" MDF or 3/4" edge banded plywood.
- Plastic laminate shall be as specified on finish schedule. Minimum thickness:
- Casework shall be constructed using 3/2" panel system.
- Exposed surfaces of wall cabinets to have plastic laminate surfaces. See elevations and/or schedule for specifications.
- Base cabinets shall have laminate toes kick unless otherwise specified. Melamine base will not be allowed.
- Shelving to be 3/4" white melamine unless noted otherwise.\*
- Fasteners used during installation shall be finished with PVC adhesive caps.
- Provide 5mm hollow at 32mm O.C. for adjustable shelves. Provide one adjustable shelf per cabinet - type. Shelf not required in sink base cabinets.
- Drawers drawn if shown on the elevations. All exposed faces and edges to have plastic laminate surfaces. See elevations and/or finish schedule for specifications. Drawer boxes shall be constructed of Baltic Birch plywood with clear lacquer finish.
- Cabinet doors shall be fabricated using full partial overlay construction as dictated by configurations shown on elevations. Doors to have plastic laminate on all exposed surfaces and edges. See elevations and/or finish schedule for specifications.
- Provide two concealed hinges per door. Hinges to be fabricated by Grass or Blum and shall have 125 degree opening, self-closing. Provide clear plastic door bumpers.
- Pulls on doors and drawers shall be wire pulls unless otherwise noted.
- Doors and drawers shall be adjusted to provide consistent reveals: 1/8" maximum width.\*
- Countertops to be secured to base cabinets in multiple locations and be plumb, square and level.
- Back and side splashes to be secured tight to wall and counter.
- Provide Accurate steel ball bearing drawer slides.
- Contractor shall provide final cleaning of all drawers, cabinets and surfaces as part of the complete installation.
- Repair damage or defective millwork whenever necessary. If millwork can be adequately repaired, it shall be replaced to the satisfaction of the client.
- Melamine assemblies shall incorporate color matched PVC cap edging etc. and only used where indicated on the plan.
- Paint finish millwork shall be constructed of paint solid wood or edge banded plywood or edge banded particle board properly stained, sealed, primed, and ready to receive finish coat.
- Plywood telephone back boards to be grade A/C, fire retardant treated, and painted to match the adjacent wall.

## ACOUSTICAL CEILING INSTALLATION

- All new ceilings, the Contractor shall be responsible for the design and verify that the ceiling layout shown on the drawings can be accommodated and verify all clearances as required for all lighting fixtures, duct work and sprinklers before proceeding with any installation. Report any discrepancies to the Architect prior to proceeding.
- In existing ceilings, prior to installation of any light fixtures the Contractor shall verify that all light fixtures can be placed per the lighting layout. Report any conflicts to the Architect for resolution before proceeding with any ceiling work.
- Should a conflict occur between the Architectural and Engineering drawings, the Contractor shall contact the Architect for resolution.
- Where existing grid is to remain, Contractor shall inspect the grid after demolition work is completed. Replace damaged grid sections which have holes or are bent with a new section of grid extending between the nearest perpendicular members.
- Ceiling shall be true, flat, straight and regular. Provide stabilizer bars as required to distribute load equally over two or more runners.
- Level ceiling to within 1/8" in 12 feet in any direction. Level with longer wire taut and plumb, without linking or bending longer wires. Ceiling height shall match existing unless noted otherwise.
- Install max. lengths of edge molding at intersection of ceiling and vertical surface. Miter all corners.
- Coordinate installation with electrical, mechanical and sprinkler requirements.
- Existing ceiling tile in perfect condition may be reused. Dispose of damaged, discolored or warped tile. Install new tile in a balanced fashion such that any room or area contains only new or only reused ceiling tile. Do not mix new and used tile in any one space or room.
- Use directional pattern units in single direction.
- Install ceiling tile hold down clips or partitions with cut ceiling tiles.
- Regular ceiling tile to be cut and fitted snug against partitions. Do not shim the grid to allow ceiling tile to pass over top of partition.
- All future trim (lighting, speaker, HVAC grilles, etc.) shall be metal and painted to match adjacent ceiling finish. Plastic trim is not acceptable unless approved by the Architect.

ARCHITECT	
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Consultant	
Stamp	
Project Title	ABRAHAM/WOOD RES. 3421 R St. N.W. Washington, D.C. 20007
Drawing Title	
Notes	
12/16/20	CD's for permit
08/24/20	CD's for pricing
03/31/20	CD Review
Date	Issue Notes
Project ID	1904
Scale	As Indicated
0002	
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NOTE: SOME ITEMS WILL NOT PERTAIN TO THIS PROJECT

1. Schedule installation of wall coverings as late as possible to prevent damage during construction and movement of materials. Protect as necessary for the remainder of the construction period.  
Damaged wall covering will not be accepted.
2. Abrasive wear covering immediately by removing them from packaging in the installation area no less than 24 hours before application.
3. Remove or otherwise protect finish hardware, accessories, plates, lighting fixtures, and similar items before application of wall covering.
4. Prime and seal substrates in accordance with the wall covering manufacturer's recommendations for type of substrate. Apply a surface underlayment to gypsum wallboard which will permit subsequent removal of wall covering without damage to paper facing.
5. Verify that colors, patterns and dye lots of wall coverings are those specified before beginning installation.
6. Place panels consecutively in the order called for on rolls, filling spaces above and below openings. Hang by inserting adhesive strips except on match patterns.
7. Apply adhesive to the back of the wall covering and place in accordance with manufacturer's instructions.
8. Seams: Install seams behind, and at least six inches away from corners. Horizontal seams will not be permitted. Overlap seams and doubleback to assure tight closure.
9. Roll, brush or use a broad knife to remove air bubbles, wrinkles, blisters and air of the defects. Cut wall covering evenly to the edges of wall penetrations.
10. Trim openings as required to provide uniformity and pattern match.
11. Clean wall covering of adhesive, dust, dirt and all other contaminants."
12. When patching existing wall covering, remove existing wall covering to nearest corner. Start installation of new wall covering at this corner.

1. Schedule installation of decorative plaster as late as possible to prevent damage during construction and movement of materials. Protect as necessary for the remainder of the construction period.
2. During decorative plaster installation, do not be accepted.
3. Remove or otherwise protect finish hardware, accessories, lighting fixtures, and similar items before application of decorative plaster.
4. Prime and seal substrate in accordance with the decorative plaster installer's/manufacturer's recommendation for types of substrate and finish types.
5. The ultimate quality of decorative plaster finish depends upon the skill of the installer. The minimum installation qualifications are at least five installations of finishes similar to the type specified.
6. Submit, prior to final contract award, documentation of installer's qualifications.
7. Upon award of contract, and prior to submittal of final installation, the installer is to provide for the architect's review two 8"x10" samples from substrate square to verify that paint colors for decorative plaster match those specified and to illustrate range of color and texture to be expected in finished work.
8. Decorative plaster installation will proceed without architect approval of installation and verification samples.
9. During installation of decorative plaster a 2"x4" sample of each specified finish is to be applied as a location specified by the architect. The sample is to use final material and techniques to be expected in the completed work. Tools to proceed only after approval of sample. Sample may be incorporated into final work.
10. All joints and cover plates on walls receiving decorative plaster are to be finished to match the wall.
11. All doors and frames in walls receiving decorative plaster finish are to receive decorative finish—U.O.N.
12. Base at walls receiving decorative plaster finish are to be a 1" pinegrade wood finished to match wall—U.O.N.
13. Final plaster surface to be free of dust, dirt and all other contaminants.

1. All glass shall be either tempered or laminated safety glass.
2. All floor glass to be 3M Scotchfloat film.
3. Coordinate with the Architect to select color/type of the glass to be filmed.
4. Film patterns per door drawings provided. Provide shop drawings and a 12" x 12" film sample for Architect's review and approval.
5. Where a Glass is specified, graphics shown on the drawings are for pricing purposes only.
6. Protect the glass and film glass for the duration of construction to prevent any damage. Do not allow the installation of the glass, trim, sash or other items to scratch the glass or scratch or mark the surface or surface. Any damage will be completely repaired or the glass will be replaced.
7. The surface of the glass shall align across any joints. Adjust or replace any panels that do not align.
8. The joints and sashes shall be aligned and adjusted or replace any panels that do not align.
9. All glass doors shall align with adjoining glass when the door is in the closed position. Adjust or replace any doors that do not align.
10. Protect the glass from damage during the duration of construction. Remove protection and provide a final cleaning and polish at project closeout. Any metal that cannot be polished free of defects, blemish, finger prints, etc. is to be replaced.

- 1. The Owner and FORMA Design, Inc. will consider substitutions of products in place of those specified, under the following conditions:**

  - a. The substituted product or product line must be equal or less costly to the Contractor or Subcontractor, cannot be delivered in time to meet the construction schedule.**
  - b. A formal request must of the substitution documenting completely the above reason. Include complete data on the proposed substitution, substantiating compliance with the Contract Documents including product identification and description, performance, and test data references and samples where available and an itemized comparison of the proposed substitution with the product originally specified, with data relating to contract time schedule, design, and artistic effect where applicable.**
- 2. A substitution submitted is a representation by the Contractor that:**

  - a. The Contractor has personally investigated the substitution and has determined that it is equal or superior in all respects to that specified.**
  - b. The Contractor will provide the same warranty for the product specified.**
  - c. The product data presented is true and includes all related costs for this project but excludes Architect's redesign costs, and that the Contractor waives all claims for additional costs related to the substitution that may subsequently become apparent.**
- 3. The contractor will coordinate the installation of the proposed substitute, making such changes as may be required for the work to be completed in all respects.**

- 1. Ceramic tile pattern to be set on patterns indicated on the drawings. Contractor to submit master set pattern layout for Architect's review prior to fabrication of tile.
- 2. Lay out all tile fields centered. Avoid use of tiles less than 1/2 size. In general, tiles will be 1/8" grout joints.
- 3. Nominal dimension of the tile shall be as indicated on the finish schedule.
- 4. Ceramic and stone tile are to be scheduled by a single source for consistent color and characteristics
- 5. Where stone (marble or granite) is scheduled, all exposed surfaces will be polished.
- 6. Provide all design details, materials and accessories including cover and bullnose that match color and finish of adjoining tile.
- 7. Include inside and outside shapes as required by specific location.
- 8. Provide 3/16" expansion joint (sawed, broad breaker type) at 24 feet to 36 feet on center per tile manufacturer's recommendation.
- 9. Provide a positive slope to the surface for the floor drain.
- 10. Setting Material: unmodified thin mortar installed shall comply with ANSI A108.1
- 11. Grout: comply with ANSI A108.6, A108.9 and A108.10. Color: As Noted on drawings. Polyblend standard or designer series by Custom Building Product. Color to be selected by the Architect from samples provided by the Contractor.
- 12. Workmanship
  - a. Comply with ANSI A108, and the "Handbook for Ceramic Tile Installation" of the Tile Council of America
  - b. Use products in strict accordance with recommendations and directions of manufacturer's.
  - c. All cut edges shall be made smooth before installation.
  - d. Proportion all mixes in accordance with ANSI standard specifications.
  - e. All the work shall be done of good room temperature completion.
- 13. Maintain a minimum of 50 degrees °F room temperature during and for 7 days after completion of tile work.
- 14. Apply sealer coat on all grout joints (floor & wall tile) to prevent staining. Apply sealer immediately after grout set as recommended by the manufacturer.
- 15. Prohibit load and wheel traffic from floor prior to at least 7 days after grouting is completed.
- 16. Supply extra 2% of each tile type and color in used in clean marked containers for Owner's future use.

2. See Engineer's drawings for specifications and extent of work.
3. Relocate any uprinder head that interferes with partition or lighting layout.
4. Locate sprinkler heads centered in ceiling lines in both directions and not in conflict with HVAC, lighting, ceiling or code requirements.
5. Locations of all electrical, telephone and data outlets, light fixtures, etc. shall be shown on architectural power and reflected ceiling plans. Refer to mechanical and electrical drawings for circuiting, routing, switch and thermostat locations.
6. If there are any conflicts or questions regarding Locations of lights, diffusers, outlets, etc., or other coordination of items, the Contractor shall obtain clarification from the architect before proceeding with the affected work or related portions of the work.
7. All power and signal locations are to be marked for review the architect at the time of the partition layout review.
7. All dimensions are to center of outlets, U.N.O.
8. Electrical, telephone, CBT outlets are to be mounted vertically, straight, and level. U.N.O. All outlets are to be sealed with acoustical sealant.
9. All outlets shown back-slab shall be grouped in pairs and offset a [six] inches minimum U.N.O.
10. All necessary ductwork supports shall be provided.
11. Outlets or switches shown together shall be mounted straight, level, and to the same height, as close together as possible.
12. When no dimensions are shown, or given in feet only, the location of telephone/power outlets is not critical and may vary +/- 1/2 inches (vertical) and may vary +/- 10 inches (horizontal). When dimensions are given in feet and inches, the location is critical, and may vary +/- 3 (three) inches horizontally on wall-mounted outlets except for the outlet locations, any changes to which must be approved by the architect.
13. Do not scale outlet locations from plans.
14. All built-in plumbing fixtures shall be provided by the plumbing supplier/subcontractor. U.N.O.
15. Plumbing supplier shall also provide the information for necessary cabinets to the miltwork supplier, stone vendor, etc. as may apply.
16. Where electrical work is specified in conjunction with miltwork, lamps and fixtures shall be provided by the electrical supplier, or contractor, as agreed upon. Cutouts for switches, outlets, and accessories shall be provided by the miltwork supplier, and are to be coordinated with the electrical supplier.
17. Architect movement, on an balance report shall be provided to architect's and engineer's review.
18. Prior to final hoodwork, Contractor shall request the architect to review locations of electrical fixtures for possible adjustments. (Adjustments to be within 2'-0" in one direction and 4'-0" in the other direction.)
19. Contractor shall seal floor penetrations for maintain a fire rating.
20. Contractor to provide fire extinguishers in recessed cabinets and any others and values required.
- See Engineer's drawings.

1. G.C. shall submit Shop Drawings for review by Architect in accordance with the requirements of the Contract Documents. Shop Drawings shall show the design dimensions, and clearly indicate in large letters the location of the work and the methods of assembly, fitting, and installation. Shop drawings, fabrications, reinforcements and all other pertinent data and information as required. Any variation from Architect's drawings must be clearly noted on a variation from the requirements. Each submittal shall be made in a timely fashion to allow for sufficient review and avoid any delay in construction.
2. The portion of the work necessary for the submittal to commence until the required submittal has been reviewed and approved by the Architect.
3. Provide three sets of blue or black line prints and one set paper reproducible prints for all shop drawings. Provide three sets of product data, samples, and/or literature when required. The reproducible set will be returned with comments and stamps attached.
4. The General Contractor shall submit to the Architect all shop drawings and action details on the items before submitted to FORMA Design, Inc.
5. The architect will review submittals with reasonable promptness after the General Contractor has made his review. Architect's review is for conformance to the design concept of the project and for conformance with published industry standards. Review of a single item shall not constitute or imply review of an entire assembly in which the item functions. Incomplete or excessively erroneous submittals will be returned to the General Contractor without review, and any delay, thereby, will be the responsibility of the Contractor.
6. The Architect's review of submittals is not a representation of the Contractor of the responsibility to comply with the requirements of the Contract Documents. Such review shall not relieve the Contractor of responsibility for errors and omissions in any submittal.
7. Each submittal shall be clearly identified, stamped, and action noted, and signed by the Contractor, indicating whether the submittal is in conformance with the Contract Documents. Where not in conformance, the exact nature and location of the error shall be indicated on the submittal.
8. If Contractor desires to install products without submittal approval, the Contractor shall be fully responsible for the replacement of such products.
9. Within 10 (ten) working days of the award of the contract, submit, for architect's review, a schedule for all materials and equipment to be used in the project. The schedule shall be confirmed by the suppliers. This submittal is essential to ensure that long lead time items will not adversely affect the construction schedule.
10. The presence of an architectural representative does not imply concurrence or approval of the work. The Contractor shall still follow the Architect's design and obtain approval.
11. Required submittals, however, are not limited to:

[illegible]

A	AND	GND.	GROUND	T.
B	ANGLE	GRADE	GRADE	T.B.
C	AT	GYP.	GYPSUM	T.B.C.
CL	CENTERLINE	GWB.	GYPSUM WALL BOARD	TEL.
CR	CRACKER			TER.
PERP.	PERPENDICULAR	H.B.	HOSE BIE	T.G.
CH	CHANNEL	H.C.	HOLLOW CUB	T.H.
#	FOOT OR NUMBER	HDWD.	HARDWOOD	T.O.
ACT	ACOUSTICAL CEILING TIE	HDWE	HARDWARE	T.O.P.
A.D.	AREA DRAIN	HEWR	HOLLOW METAL	T.V.
ADJ.	ADJUSTABLE	H.M.	HORIZONTAL	T.W.
A.F.F.	ABOUT FINISH FLOOR	HR	HOUR	TYP.
AGGR.	AGGREGATE	HT	HEIGHT	UNF.
AL	ALUMINUM	HEGT.	HEIGHT	U.O.N.
APPROX.	APPROXIMATE			U.O.N.
ARCH.	ARCHITECTURAL	ID.	INSIDE DIMENSION (DIM.)	U.O.N.
ASB.	ASBESTOS	INSUL	INSULATION	V.C.T.
ASPH.	ASPHALT	INT.	INTERIOR	V.C.T.
BC	BACK OF CURB	JANIT.	JANITOR	W.F.
BD	BOARD	JT.	JOINT	W.F.
BTUM	BITUMINOUS	KIT.	KITCHEN	W.F.
BLDG.	BUILDING	LAB	LABORATORY	W.F.
BULK.	BULKHEAD	LAM.	LAMINATE	W.F.
BUCG.	BUILDING	LAV.	LABORATORY	W.F.
BM	BEAM	LCK.	LOCKER	W/W
B.O.	BOTTOM OF	LT	LIGHT	W/W
BOT.	BOTTOM			W/W
B.R.	BULLET RESISTANT	MAX.	MAXIMUM	W/W
B.T.	BACK TO BACK	M.C.	MEDICINE CABINET	W.P.
CAB.	CABINET	MECH.	MECHANICAL	W.P.
CB	CALCULUS	MEMB.	MEMBRANE	WSCT.
CEM.	CEMENT	MTL	METAL	WSCT.
CHER.	CERAMIC	MFR.	MANUFACTURER	
CIR.	CIRCUIT	MH	MANHOLE	
C.J.	CONSTRUCTION JOINT	MINUM	MINIMUM	
CL	CONCRETE LINE	MIR	MIRROR	
CLB.	CEILING	MISC.	MISCELLANEOUS	
CLD.	CLOSET	M.O.	MASONRY OPENING	
CLR.	CLEAR	MTD.	MOUNTED	
CMU	CONCRETE MASONRY UNIT	MUL.	MULCH	
COL	COLUMN			
CONC.	CONCRETE	NEW	NEW	
CONSTR.	CONSTRUCTION	N.I.C.	NOT IN CONTRACT	
CONT.	CONTINUOUS	NO. or #	NUMBER	
CORR.	CORROSION	NUMBER	NUMBER	
CTSK	CONCRETE SKIN	NO.	NUMBER	
CUL	CULVERT	NO.	NUMBER	
CHTR.	CERAMIC TILE	NOM.	NOMINAL	
CT	CERAMIC TILE	N.T.S.	NOT TO SCALE	
CTR.	CENTER	O.A.	OVERALL	
DBL.	DOUBLE	OBSC.	OBSCURE	
DEPT.	DEPARTMENT	O.C.	ON CENTER	
DET.	DETAIL	O.D.	OUTSIDE (DIMETER) (DIM.)	
DIA.	DIAMETER	OFF.	OFFICE	
DIP.	DIPPER	O.P./C.I.	OWNER PROVIDED, CONTRACTOR INSTALLED	
DRP.	DRAIN	OPNG.	OPENING	
D.O.	DOWN	OPP.	OPPOSITE	
D.O.	DOOR OPENING	P.	PAINT	
DR.	DRAWER	P.A.	PAINTING AREA	
DWR.	DRAWER	PRCST.	PRECAST	
DS.	DOWNSPOUT	PL.	PLATE	
D.S.P.	DRY STANDPIPE	PLAM	PLASTIC LAMINATE	
DWCG.	DRAINAGE	PLAS.	PLASTER	
E	EXISTING	PLWD.	PLYWOOD	
EB	EXISTING	PR	PLYWOOD	
EA	EACH	PT.	POINT	
EJ.	EXPANSION JOINT	P.T.D.	PAPER TOWEL DISPENSER	
EXP.	EXPANSION	P.T.D/R	COMBINATION PAPER TOWEL DISPENSER AND	
EXT.	EXTERIOR	Q.T.	QUARRY TILE	
F.A.	FIRE ALARM	R.	RISER OR RELOCATE	
F.B.	FEAT BAR	RAD.	RADIUS	
F.C.	FACE OF CURB	R.D.	RADIUS	
F.D.	FLOOR DRAIN	R.E.D.	REFER TO ELECTRICAL DRAWINGS	
F.D.	FLOOR DRAIN	REFR.	REFRIGERATOR	
F.D.	FLOOR DRAIN	RGR.	REGISTER	
F.D.	FLOOR DRAIN	REIN.	REINFORCED	
F.D.	FLOOR DRAIN	REQD.	REQUIRED	
F.D.	FLOOR DRAIN	RESL.	RESIDENT	
F.D.	FLOOR DRAIN	RM.	ROOM	
F.D.	FLOOR DRAIN	R.O.	ROUGH OPENING	
F.D.	FLOOR DRAIN	R.O.D.	ROUGH OPENING	
F.D.	FLOOR DRAIN	R.W.I.	RAIN WATER LEADER	

WATER CLOSET  
WOOD  
WITHOUT  
WHERE OCCURS  
WATERPROOF  
WAINSCOT  
WEIGHT

Project Title

Drawing Ti

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Project ID	1904
Scale	As Indicated

Scale	As Indicated
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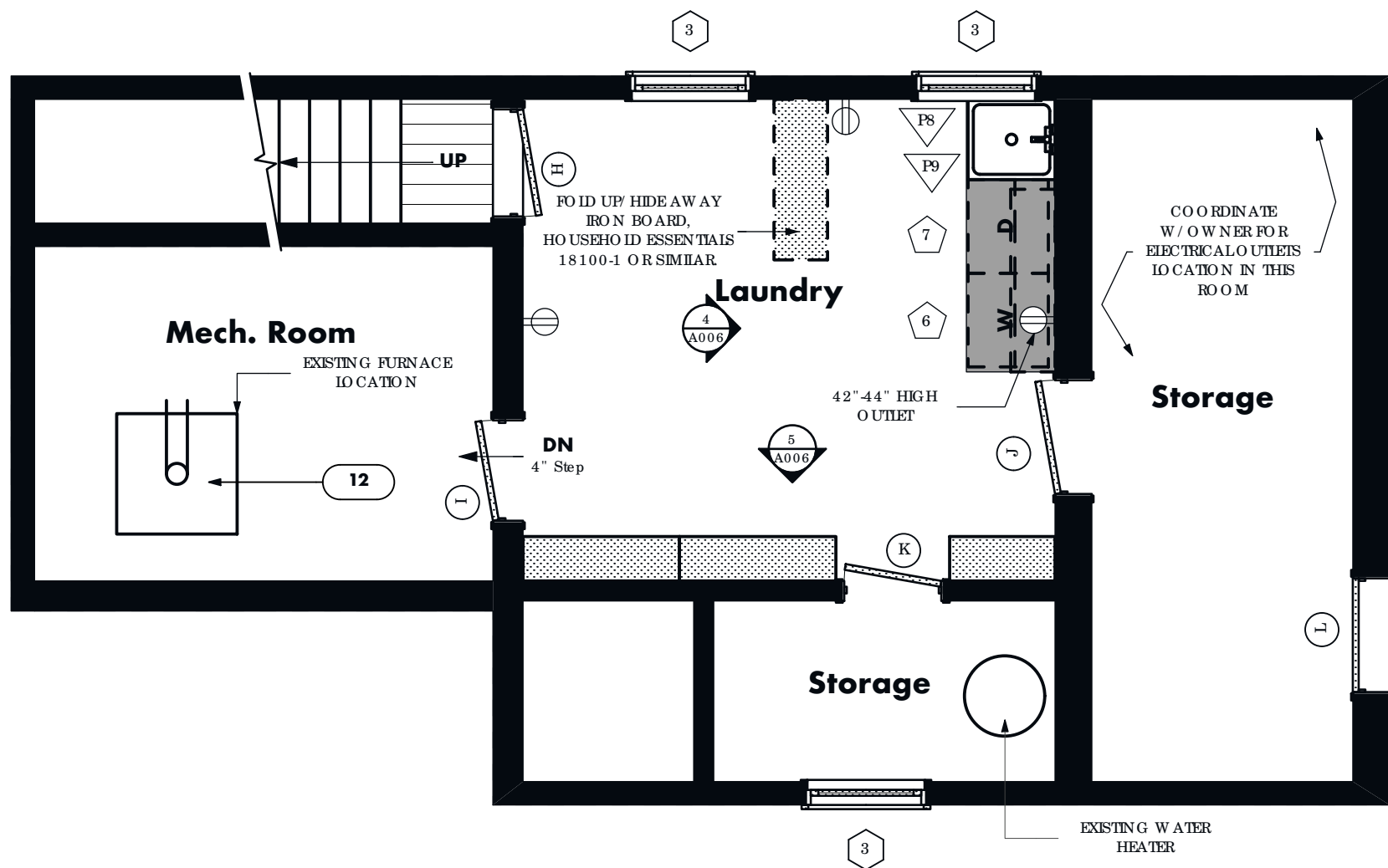
0003

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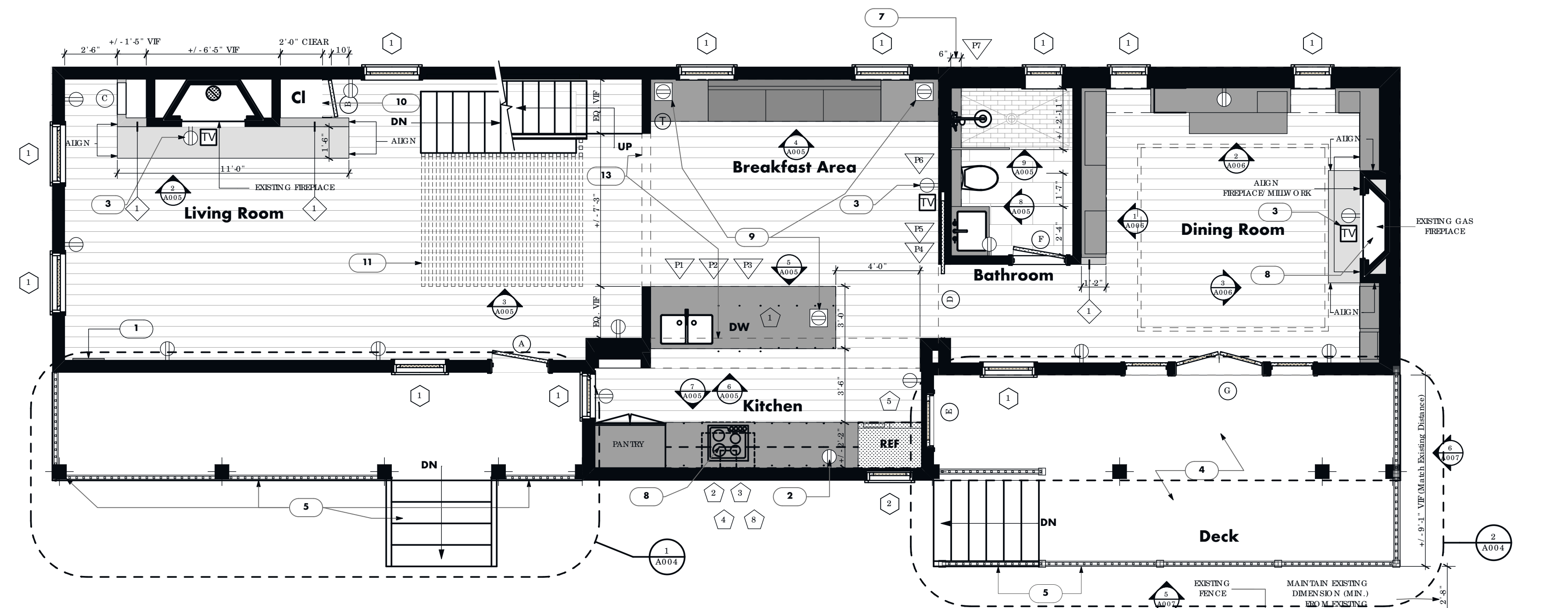
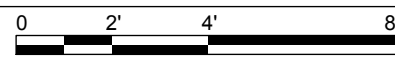
**NOTE: SOME ITEMS WILL NOT PERTAIN TO THIS PROJECT**



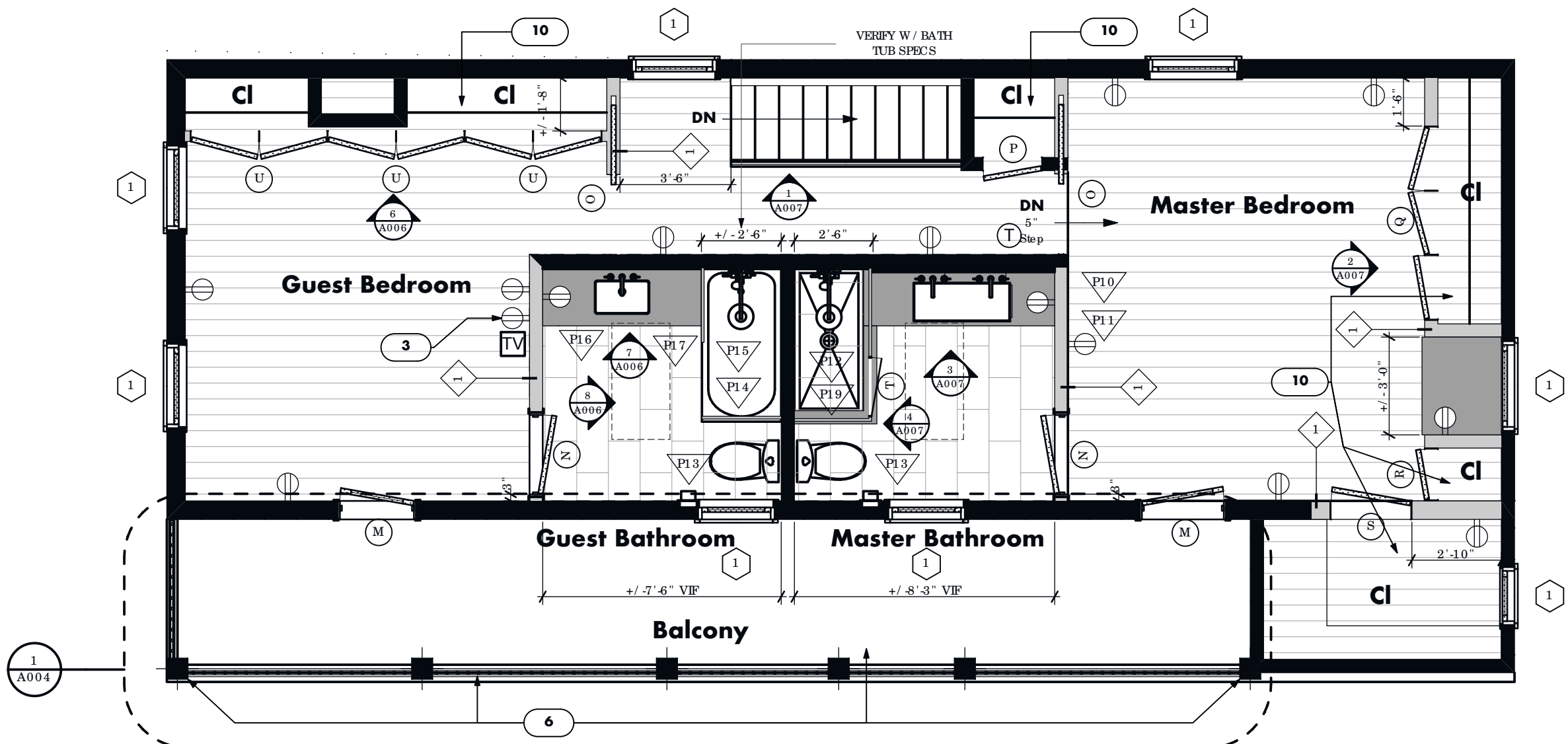
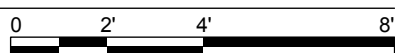




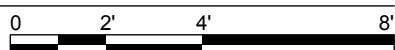
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A001 Lower Level  
SCALE: 1/4" = 1'-0"



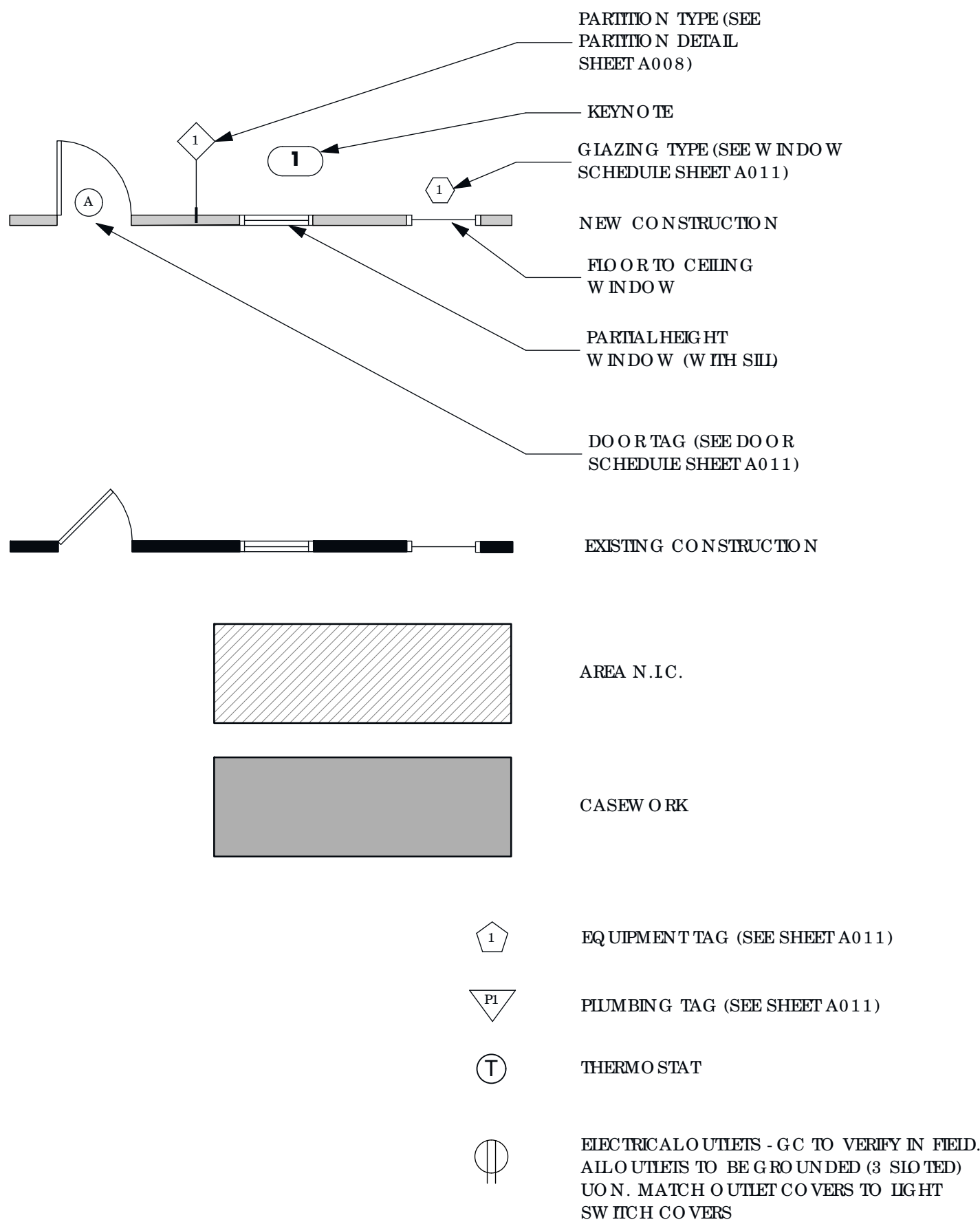
2  
A001 Main Level  
SCALE: 1/4" = 1'-0"



3  
A001 Upper Level  
SCALE: 1/4" = 1'-0"



## DRAWING KEY



## CONSTRUCTION PLAN NOTES

- General Contractor to confirm dimensions on-site. Contact Architect if discrepancy is found between plan dimensions and on-site dimensions.
- Clear/ Min. specified dimensions must be maintain for code compliance or fixture requirements.
- Do not scale dimensions or finish hatches from drawings.
- All outlets/ data/ Telephone to be mounted at 18" aff unless noted otherwise.

## KEY NOTES

- GC to relocate existing electrical panel, verify in field for options of moving electrical panel to mechanical room in basement or leaving in current location and only raising panel to Code requirement height. Install Electrical Panel according to NFPA 70/ 2014 Article 408.
- GC to install wire mold outlets, see Kitchen cabinet section.
- Electrical/ TV outlets to be installed according to height of TV. GC to coordinate w/ AV consultant.
- GC to expand existing deck and relocate stairs (see Demo plan). GC to maintain same finishes and design according to Historical Code. See Sheet A004 for exterior work requirements. See Sheet S001 for Structural requirements.
- GC to provide railings + stairs that match existing, verify in field. See Sheet A004 for exterior work requirements.
- GC repair existing railing+stairs+columns+roof. See Sheet A004 for exterior work requirements.
- 6" Shelf to continue inside shower inclosure, to match counter top finish.
- GC to investigate adding a gas to kitchen cooktop. GC to fix gas fireplace, Owner was told by previous contractor that gas line needs to be thicker, GC to investigate gas lines in/ coming to the house.
- Mocket flip/ pop up outlets. Breakfast area, GC to use PG873 (3 Power) Power Grommet, white finish. Kitchen Island, GC to use PCS103B EE Kitchen Counter pop up outlets - Push mount, white finish. GC to provide specs for approval.
- Closets to have shelves and rods installed by GC. Except bedroom closets, GC to coordinate w/ Owners closet providers (installation by GC could be required, GC to verify w/ Owner).
- Walnut Slat Accent wall+dropped ceiling, see elevation+section.
- GC to coordinate w/ Owner regarding changing the air conditioning/ heating system to two zones, upper level (1 zone) and main level/ basement (2nd zone). Minimize ductwork to provide higher ceiling height in all levels, remove any unused ductwork VIE.
- GC to coordinate w/ Structural drawings see sheet S002 regarding the structural requirements for existing beams/ JST locations.

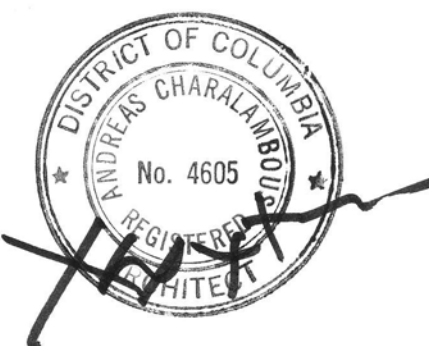
ARCHITECT

FORMA  
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1524 UST NW  
SUITE 200  
WDC 20009  
202 265 2625  
FAX 265 9588

Consultant

Stamp



Project Title

**ABRAHAM/WOOD RES.**  
3421 R St. N.W.  
Washington, D.C. 20007

Drawing Title

**Construction/Power Plan**

05/ 19/ 21  
03/ 09/ 21  
12/ 16/ 20  
08/ 24/ 20  
03/ 31/ 20

Historic Review Update  
BIDG., DEPT. REV. #1  
CD's for permit  
CD's for pricing  
CD Review

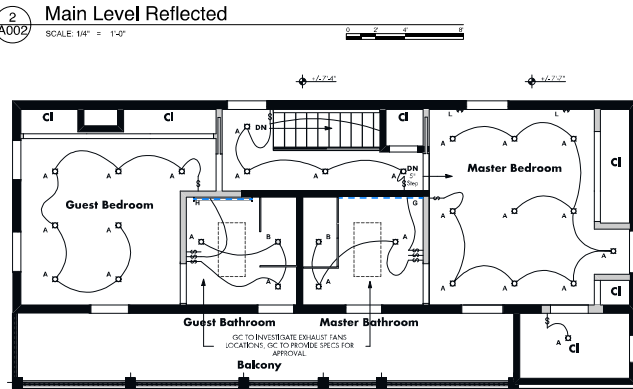
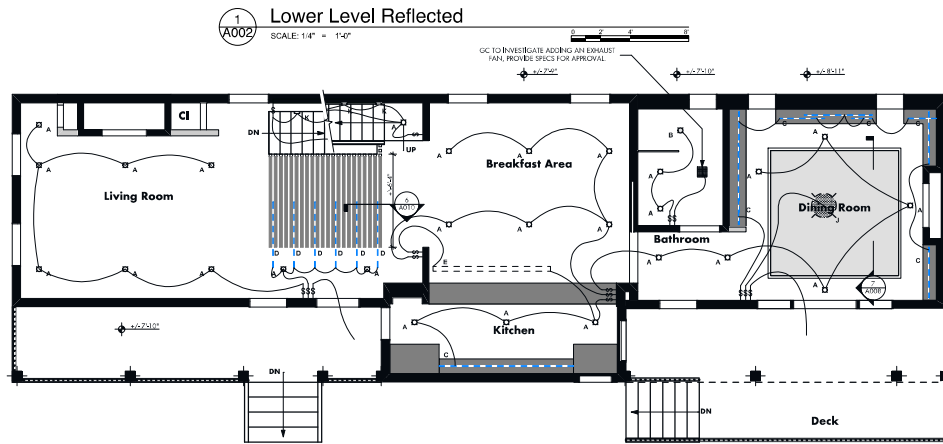
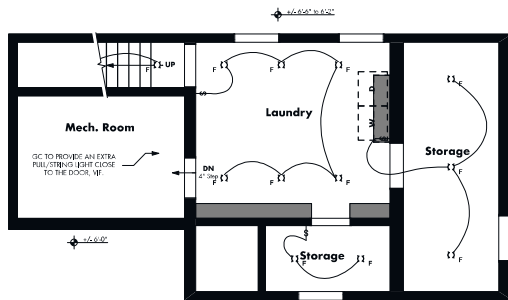
Date Issue Notes

Project ID 1904

Scale As Indicated

A001

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### DRAWING KEY












LIGHT SWITCHES LUTRON DIVA DIMMERS, IN WHITE UNLESS OTHERWISE NOTED.

GYPSUM BOARD CEILING, UNLESS OTHERWISE NOTED. NOTE: GC TO VERIFY CEILING AT BASEMENT LEVEL, AT A MINIMUM LAUNDRY ROOM TO HAVE GYP. CEILING FINISH.

DROPPED/RECESSED CEILINGS SEE SECTIONS.

### REFLECTIVE/ELECTRICAL PLAN NOTES

- Review all lighting locations with architect and owner prior to installation.
- Review all switching locations with architect and owner prior to installation.
- All switches to be mounted at 42" off unless noted otherwise.
- Configured lighting as shown on plan and remove all existing fixtures.
- Patch, paint and repair ceiling at removed fixtures, GC to match quality of current ceiling Gyp. Bd./Plaster boards, VF.
- All dimensions are taken from the centerline of light fixtures U.O.N.
- GC to coordinate w/window shade provider if electrical shades are installed, verify w/Architect.
- Electrician to calculate loads and service size.

LIGHT FIXTURE SCHEDULE							
FIXTURE	ID	QTY.	LOCATION	MANUFACTURER	MODEL	FINISH	NOTES
	A	59	LED RECESSED LIGHTS (THROUGHOUT)	CONTRASTE	ARDITO LED - A4ASR 4" SERIES ULTRA-THIN PROFILE SQUARE ADJUSTABLE REGRESSED TRIM, FLANGELESS TRIM	WHITE	GC TO PROVIDE SPECS FOR APPROVAL
	B	3	LED RECESSED LIGHTS (WET AREAS)	CONTRASTE	ARDITO LED - A4ASF 4" SERIES ULTRA-THIN PROFILE SQUARE REGRESSED SHOWER TRIM, FLANGELESS TRIM	WHITE	GC TO PROVIDE SPECS FOR APPROVAL
	C	1	LED STRIP LIGHTS AT KITCHEN/DINING AREA MILKWORK QUANTITY TO BE VERIFIED BY MILKWORKER.	GC TO PROVIDE OPTIONS			
	D	6	LED STRIP LIGHTS AT ENTRY FOYER FEATURED CEILING.	GC TO PROVIDE OPTIONS			
	E	1	PENDANT LIGHT AT KITCHEN ISLAND				N.I.C PROVIDED BY OWNER INSTALLED BY GC.
	F	12	LED RECESSED LIGHTS AT BASEMENT LEVEL.	GC TO PROVIDE OPTIONS			
	G	1	MASTER BATHROOM MIRROR LED LIGHTS	GC TO PROVIDE OPTIONS			
	H	1	GUEST BATHROOM MIRROR LED LIGHT	GC TO PROVIDE OPTIONS			
	J	1	PENDANT LIGHT AT DINING AREA				N.I.C PROVIDED BY OWNER INSTALLED BY GC.
	K	3	STAIR LIGHTS, TBD. BOTH SET OF STAIRS.	DELTA LIGHT - <a href="http://WWW.DELTALIGHT.US">WWW.DELTALIGHT.US</a>	TORFX - WALL SURFACE APPLICATION		NOTE: AMOUNT OF LIGHTS TBD, TO BE VERIFIED IN FIELD.
	L	2	READING LIGHTS, WALL MOUNTED TBD.				N.I.C PROVIDED BY OWNER INSTALLED BY GC.

ARCHITECT

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WDC 20009  
202 265 2625  
FAX 202 9588

Consultant

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Project Title

**ABRAHAM/WOOD RES.**  
3421 R St. N.W.  
Washington, D.C. 20007

Drawing Title

**Reflected Ceiling Plan**

12/16/20 CD's for permit  
08/24/20 CD's for pricing  
03/31/20 CD Review

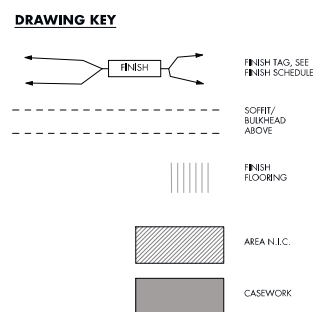
Date Issue Notes

Project ID 1904

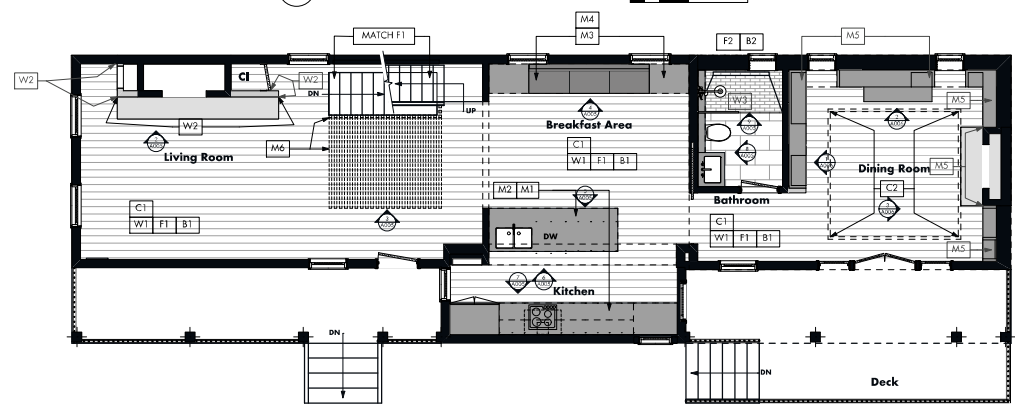
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**A002**

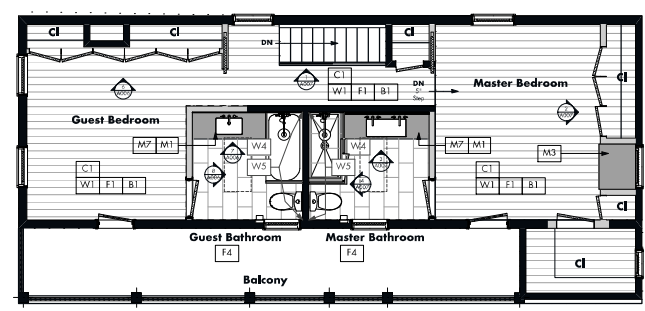
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1  
A003 Lower Level Finish  
SCALE: 1/4" = 1'-0"



2 Main Level Finish



3 Upper Level Finish  
A003 SCALE: 1/4" = 1'-0"

FINISHES SCHEDULE					
Type	Label	Item/Location	Manufacturer	Style/Color	Notes
1. Floor					
	F1	Wood Floors	Carlisle Wide plank Floors	Walnut, B015 Clear Stain	NOTE: Provided by Owner Installed by Contractor. GC to provide owner with amount (left) needed for installation.
	F2	Stone Floors (Main Level Bathroom)	Stone Source - Contact: Tara Gardiner (202.265.5900)	Puzzle Smoke 10"x10"	Match Great Color to Tiles - Provide spec. for Architect's approval
	F3	Concrete Floor (Basement Level)			GC to level existing concrete floors
	F4	Stone Floors (Upper Level Bathrooms)	Stone Source - Contact: Tara Gardiner (202.265.5900)	Shades Wash Down 12"x24"	Match Great Color to Tiles - Provide spec. for Architect's approval
2. Base					
	B1	2" Base to Match F1			See standard partition detail for height of base, sheet A008/1.
	B2	Bathroom walls to be stone./No base needed			
	B3	Basement Base finish TBD.			
3. Wall					
	W1	Walls Throughout	Benjamin Moore Paint	Eggshell / Color TBD.	
	W2	Fireplace Featured Wall	INAX Japanese Tile World Pacific.com	SENTOSUAI porcelain tile HSN/21x12 Black	Match Great Color to Tiles - Provide spec. for Architect's approval
	W3	Stone Walls - Main Level Bathroom	Stone Source - Contact: Tara Gardiner (202.265.5900)	Puzzle Angles 10"x10"	Match Great Color to Tiles - Provide spec. for Architect's approval
	W4	Stone Walls - Upper Level Bathrooms	Stone Source - Contact: Tara Gardiner (202.265.5900)	Shades Down 12"x24"	Match Great Color to Tiles - Provide spec. for Architect's approval
	W5	Stone Wall - Upper Level Bedrooms Featured Walls	Stone Source - Contact: Tara Gardiner (202.265.5900)	Biscuit Note Peak 2"x8"	Match Great Color to Tiles - Provide spec. for Architect's approval
4. Ceiling					
	C1	Ceiling Throughout	Benjamin Moore Paint	Eggshell / Color TBD.	
	C2	Ceiling Recessed Area (See Section)	Benjamin Moore Paint	Eggshell / Color TBD.	
5. Miscellaneous					
	M1	Solid Surface Counter Tops and Backsplashes	TBD		GC to coordinate w/kitchen installers for roughins. NOTE: Bathroom counter tops GC to provide an allowance for Porcelain-on-Kitchen type of countertops
	M2	Kitchen Cabinets (Lower & Upper)	TBD		GC to coordinate w/kitchen installers for roughins
	M3	Walnut Wood Millwork	Custom Millwork		See Elevations and Details
	M4	Cushions	TBD		N.I.C.
	M5	Walnut Wood Millwork	Custom Millwork or prefabricated, TBD		See Elevations and Details for different stain finishes MSJA(A, MSJB) TBD
	M6	Entry Walnut Wood Millwork (Including Ceiling Millwork)	Custom Millwork or prefabricated, TBD		Wood for Wall-Dropped Ceiling design TBD. See section A010/5
	M7	Bathroom Cabinets	Custom Millwork or prefabricated, TBD/NIC		
	M8	Basement Cabinets/Storage	Custom Millwork	Laminate finish - Color TBD.	

ARCHITECT

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**ABRAHAM/WOOD RES.**  
3421 R St. N.W.  
Washington, D.C. 20007

Drawing Title

## Finish Plan

12/16/20	CD's for permit
08/24/20	CD's for pricing
03/31/20	CD Review

03/31/20	CD Review
Date	Issue Notes

Date	Issue Notes
Project ID	1904

Project ID	1904
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Scale	As Indicated
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Scale	As Indicated
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	1990	1991	1992
1. <i>Chlamydia trachomatis</i>	100	100	100
2. <i>Neisseria meningitidis</i>	100	100	100
3. <i>Neisseria gonorrhoeae</i>	100	100	100
4. <i>Streptococcus pneumoniae</i>	100	100	100
5. <i>Haemophilus influenzae</i>	100	100	100
6. <i>Legionella pneumophila</i>	100	100	100
7. <i>Yersinia enterocolitica</i>	100	100	100
8. <i>Salmonella enteritidis</i>	100	100	100
9. <i>Salmonella typhimurium</i>	100	100	100
10. <i>Salmonella dublin</i>	100	100	100
11. <i>Salmonella enteritidis</i>	100	100	100
12. <i>Salmonella enteritidis</i>	100	100	100
13. <i>Salmonella enteritidis</i>	100	100	100
14. <i>Salmonella enteritidis</i>	100	100	100
15. <i>Salmonella enteritidis</i>	100	100	100
16. <i>Salmonella enteritidis</i>	100	100	100
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19. <i>Salmonella enteritidis</i>	100	100	100
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21. <i>Salmonella enteritidis</i>	100	100	100
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68. <i>Salmonella enteritidis</i>	100	100	100
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70. <i>Salmonella enteritidis</i>	100	100	100
71. <i>Salmonella enteritidis</i>	100	100	100
72. <i>Salmonella enteritidis</i>	100	100	100
73. <i>Salmonella enteritidis</i>	100	100	100
74. <i>Salmonella enteritidis</i>	100	100	100
75. <i>Salmonella enteritidis</i>	100	100	100</

**A002**

**A0003**

## ADD

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**NOTE: GC TO INVESTIGATE WATERPROOFING ON THIS SIDE OF THE HOUSE, OWNER REQUESTS WATERPROOFING REPAIRS AROUND THE EXISTING LAUNDRY AREA, VERIFY W/OWNER**  
GC TO REPAIR EXISTING ROOF, DRAINAGE VIF.

GC TO REPAIR UPPER LEVEL EXISTING RAILINGS, DECK AND COLUMNS AS NEEDED (TO MATCH EXISTING).

GC TO REPAIR EXISTING MILLWORK (MATCH EXISTING).

GC TO REPAIR EXISTING RAILINGS, DECK AND COLUMNS (MATCH EXISTING).

GC TO REPAIR EXISTING STAIRS (MATCH EXISTING).

GC TO REPAIR EXISTING BRICKS UNDERNEATH DECK AREAS. GC TO INVESTIGATE OPTIONS (BRICKS OR CONCRETE) TO SEAL SPACE UNDER THE STAIRS TO PREVENT RODENT INTRUSIONS.

1 Exterior Deck Entry Area  
A004



GC TO REPAIR EXISTING ROOF, DRAINAGE AND WALL SIDING

GC TO RENOVATE EXISTING DECK, RAILINGS TO MATCH EXISTING, SEE SHEET A001 FOR NEW LAYOUT.

GC TO INVESTIGATE RAIN WATER RUN OFF INTO THE HOUSE AND PROVIDE OPTIONS TO WATERPROOF LOWER LEVEL WALLS.

2 Exterior Deck Rear Area  
A004



3 Exterior Alley Side and Back of the House  
A004



4 Adjacent Building + Residence  
A004

ARCHITECT

**FORMA**  
DESIGN

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SUITE 200  
WDC 20009  
202 265 2625  
FAX 265 9588

Consultant

Stamp

Project Title

**ABRAHAM/WOOD RES.**  
3421 R St. N.W.  
Washington, D.C. 20007

Drawing Title

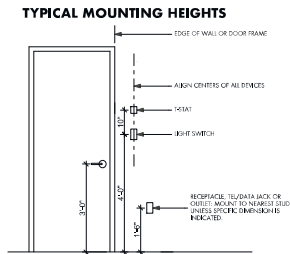
**Exterior Work**

05/19/21	Historic Review Update
03/09/21	BLDG, DEPT. REV. #1
12/16/20	CD's for permit
08/24/20	CD's for pricing
03/31/20	CD Review
Date	Issue Notes
Project ID	1904
Scale	As Indicated

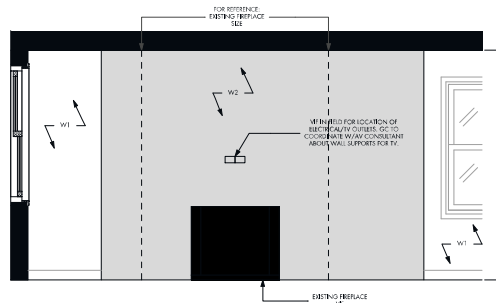
**A004**

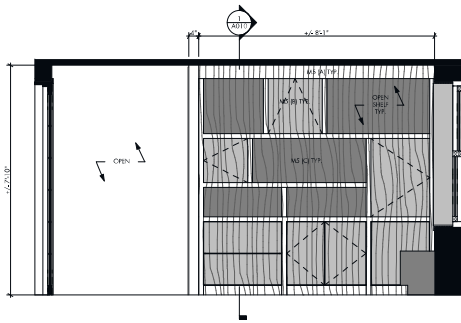
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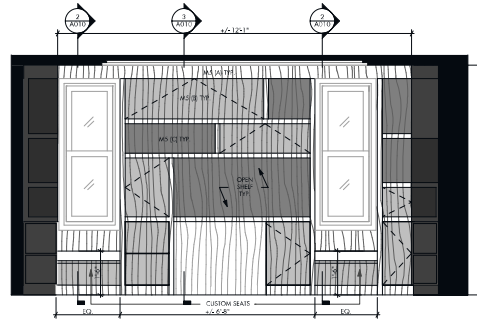


1 Typical Mounting Heights  
SCALE: 1/2" = 1'-0"

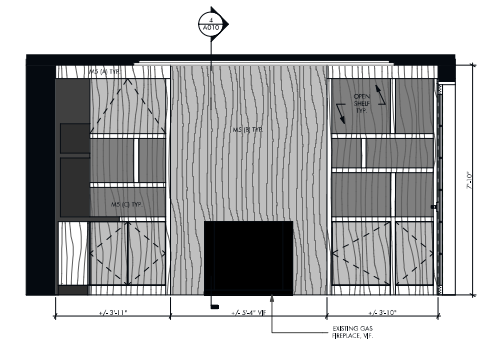




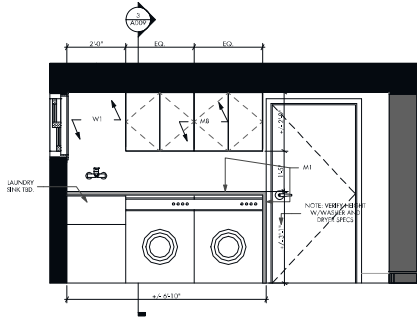
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A006 Dining Area Elev.  
SCALE: 1/2" = 1'-0"



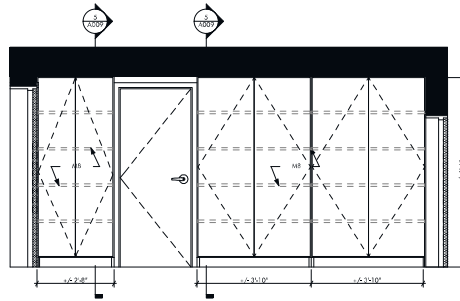
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A006 Dining Area Elev.  
SCALE: 1/2" = 1'-0"



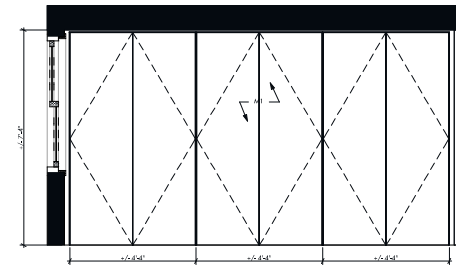
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A006 Dining Area Elev.  
SCALE: 1/2" = 1'-0"



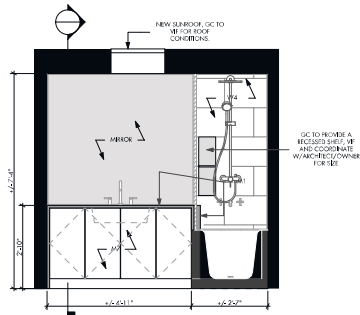
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A006 Laundry Elev.  
SCALE: 1/2" = 1'-0"



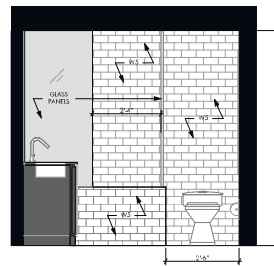
5  
A006 Laundry Elev.  
SCALE: 1/2" = 1'-0"



6  
A006 Guest Bedroom Elev.  
SCALE: 1/2" = 1'-0"



7  
A006 Guest Bathroom Elev.  
SCALE: 1/2" = 1'-0"



8  
A006 Guest Bathroom Elev.  
SCALE: 1/2" = 1'-0"

ARCHITECT  
**FORMA  
DESIGN**

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SUITE 200  
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Project Title

**ABRAHAM/WOOD RES.**  
3421 R St. N.W.  
Washington, D.C. 20007

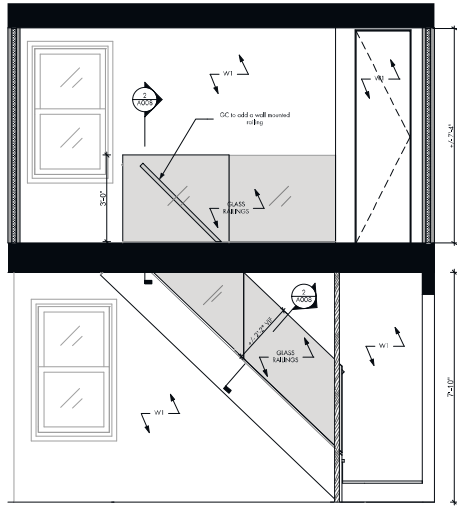
Drawing Title

**Elevations**

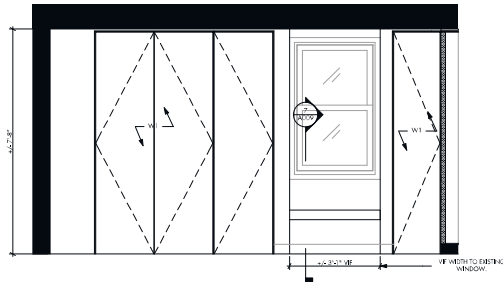
12/16/20	CD's for permit
08/24/20	CD's for pricing
03/31/20	CD Review
Date	Issue Notes
Project ID	1904
Scale	As Indicated

**A006**

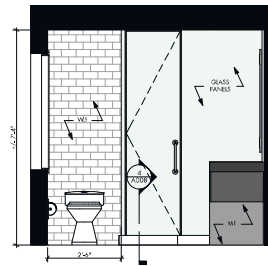
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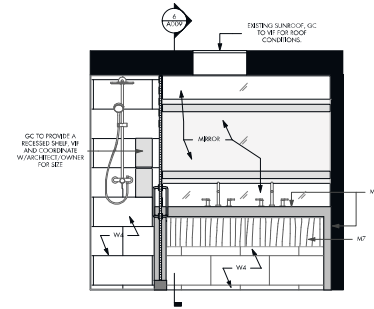
1  
A007 Mail/Upper Level Stairs Elev.  
SCALE: 1/2" = 1'-0"



2  
A007 Master Bedroom Elev.  
SCALE: 1/2" = 1'-0"



4  
A007 Master Bathroom Elev.  
SCALE: 1/2" = 1'-0"



3  
A007 Master Bathroom Elev.  
SCALE: 1/2" = 1'-0"

ARCHITECT  
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Project Title

**ABRAHAM/WOOD RES.**  
3421 R St. N.W.  
Washington, D.C. 20007

Drawing Title

**Elevations**

12/16/20

08/24/20

03/31/20

Date

Issue Notes

Project ID

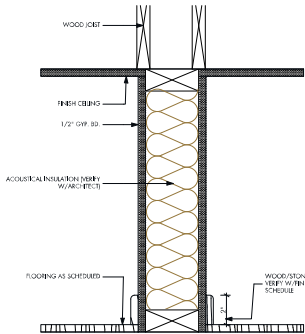
1904

Scale

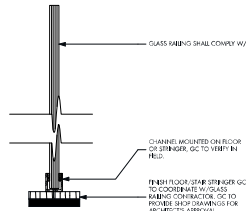
As Indicated

**A007**

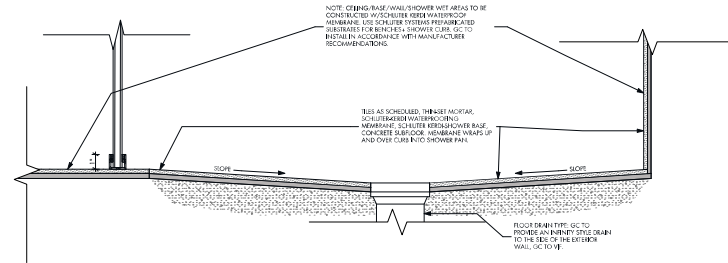
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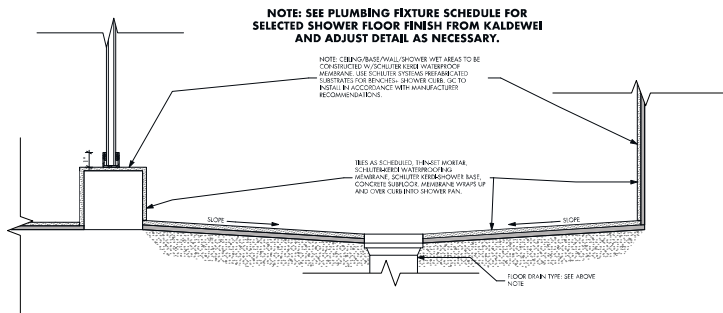
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A008 STANDARD WALL PARTITION  
NOT TO SCALE



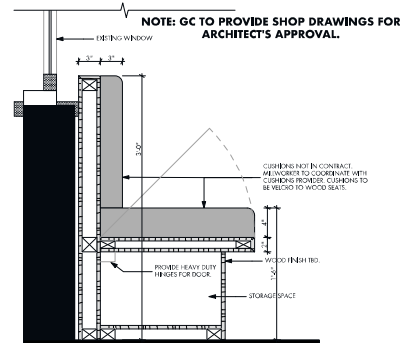
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A008 GLASS RAILING SECTION  
NOT TO SCALE



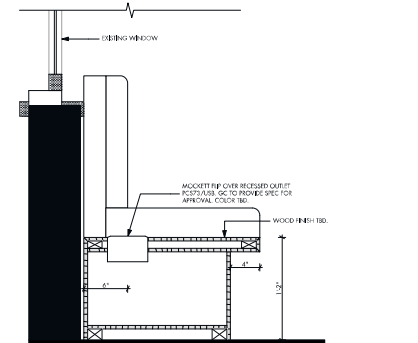
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A008 MAIN LEVEL SHOWER SECTION  
NOT TO SCALE



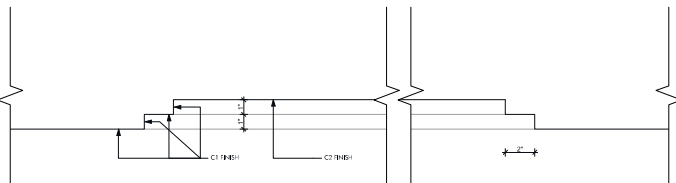
4  
A008 MASTER BATHROOM SHOWER SECTION  
NOT TO SCALE



5  
A008 SECTION @ BREAKFAST AREA MILLWORK  
SCALE: 1 1/2" = 1'-0"



6  
A008 SECTION @ BREAKFAST AREA MILLWORK  
SCALE: 1 1/2" = 1'-0"



7  
A008 RECESSED CEILING SECTION  
NOT TO SCALE



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Project Title

ABRAHAM/WOOD RES.  
3421 R St. N.W.  
Washington, D.C. 20007

Drawing Title

Wall Partition/Millwork  
Sections

12/16/20

08/24/20

03/31/20

Date

Issue Notes

Project ID

1904

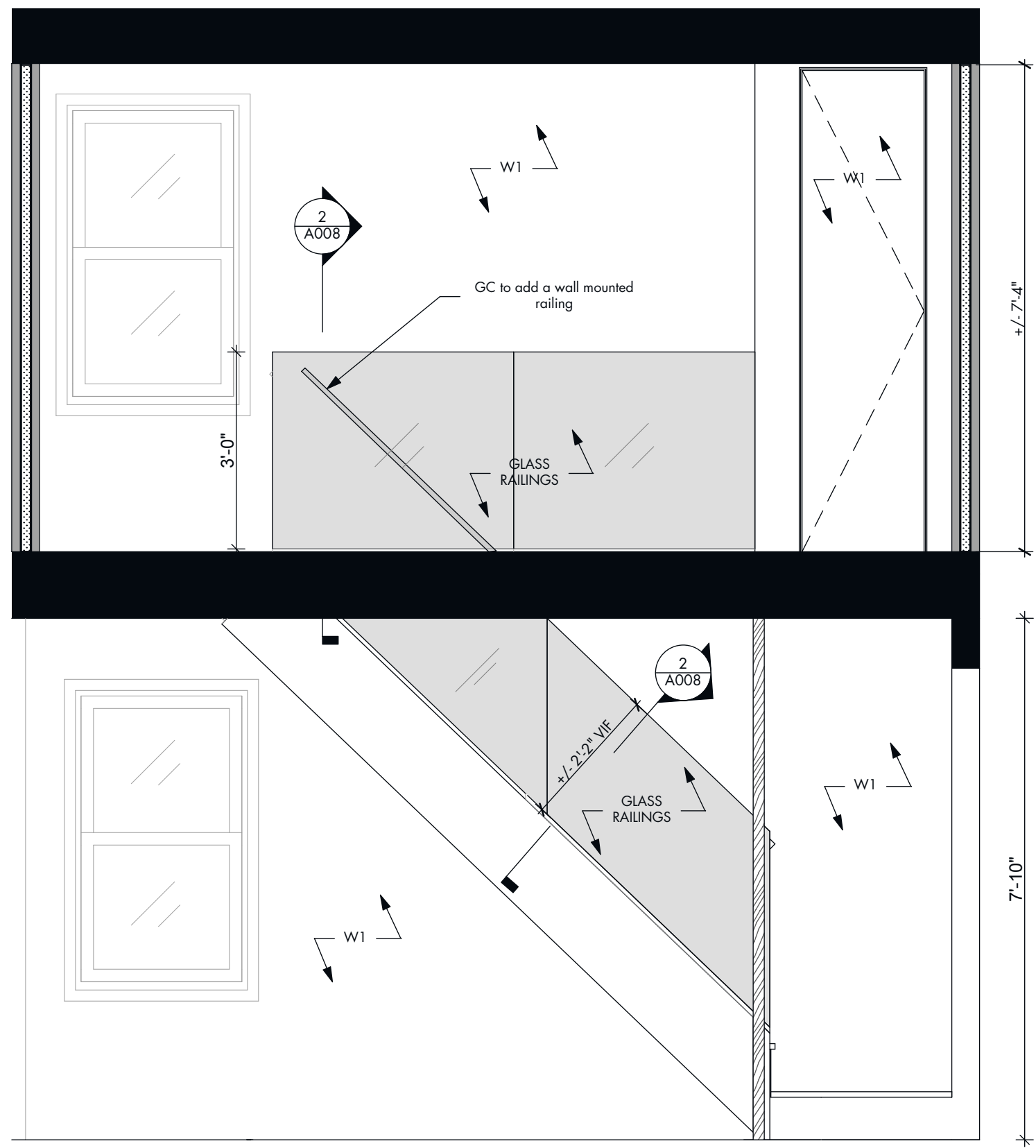
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As Indicated

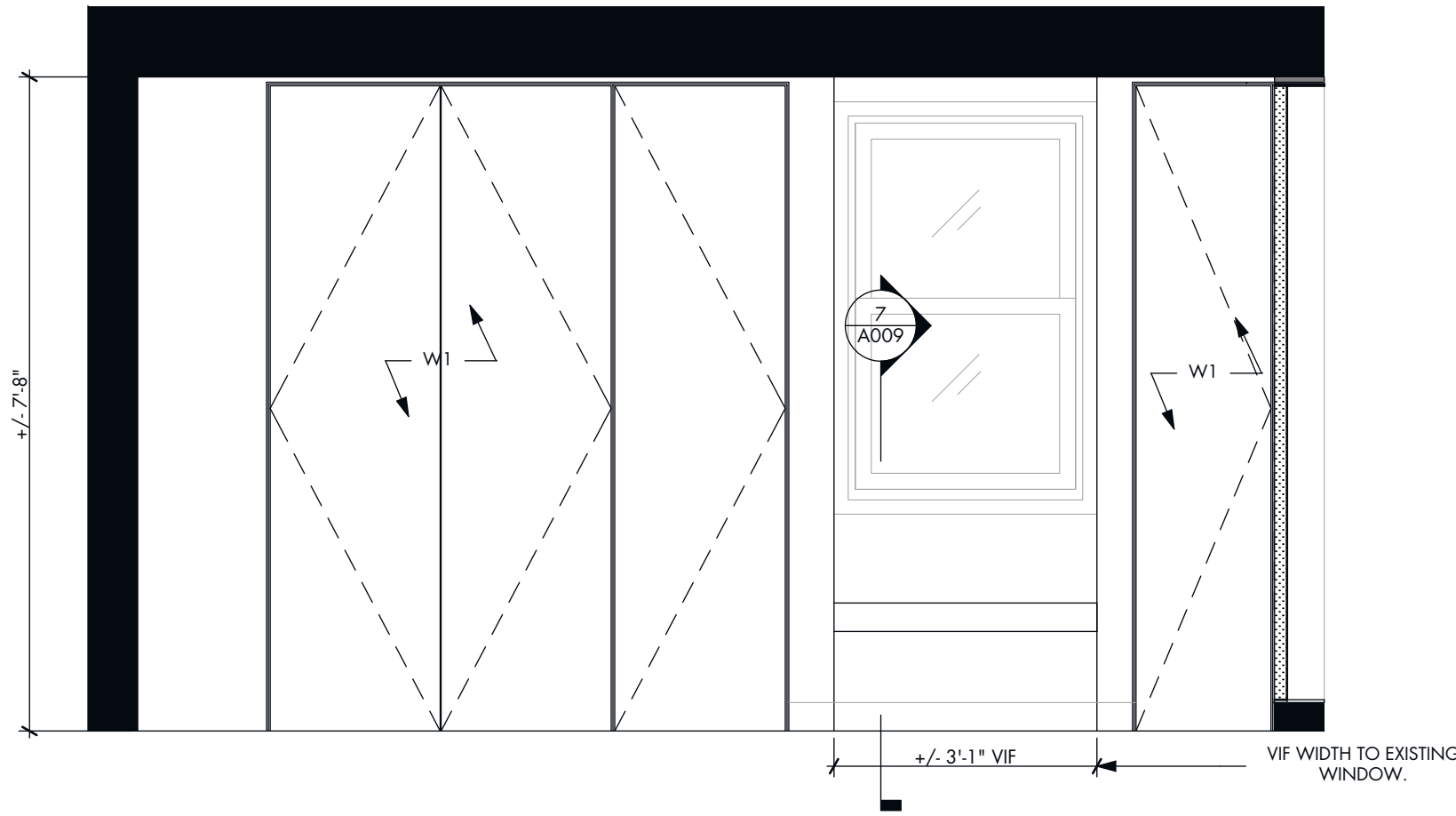
A008

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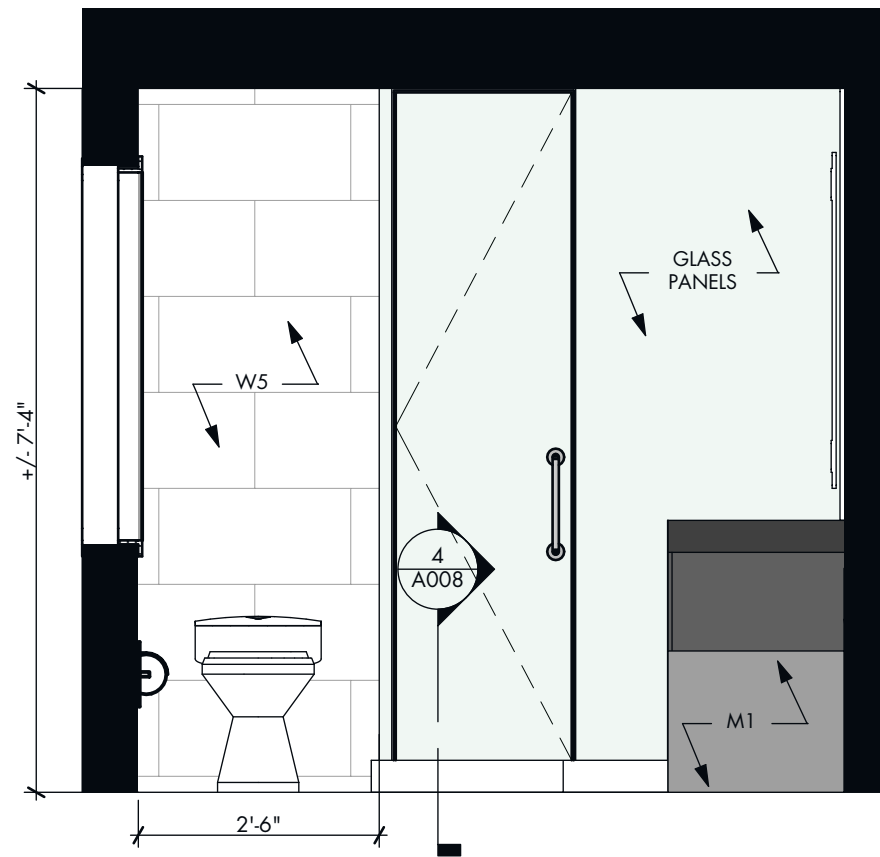




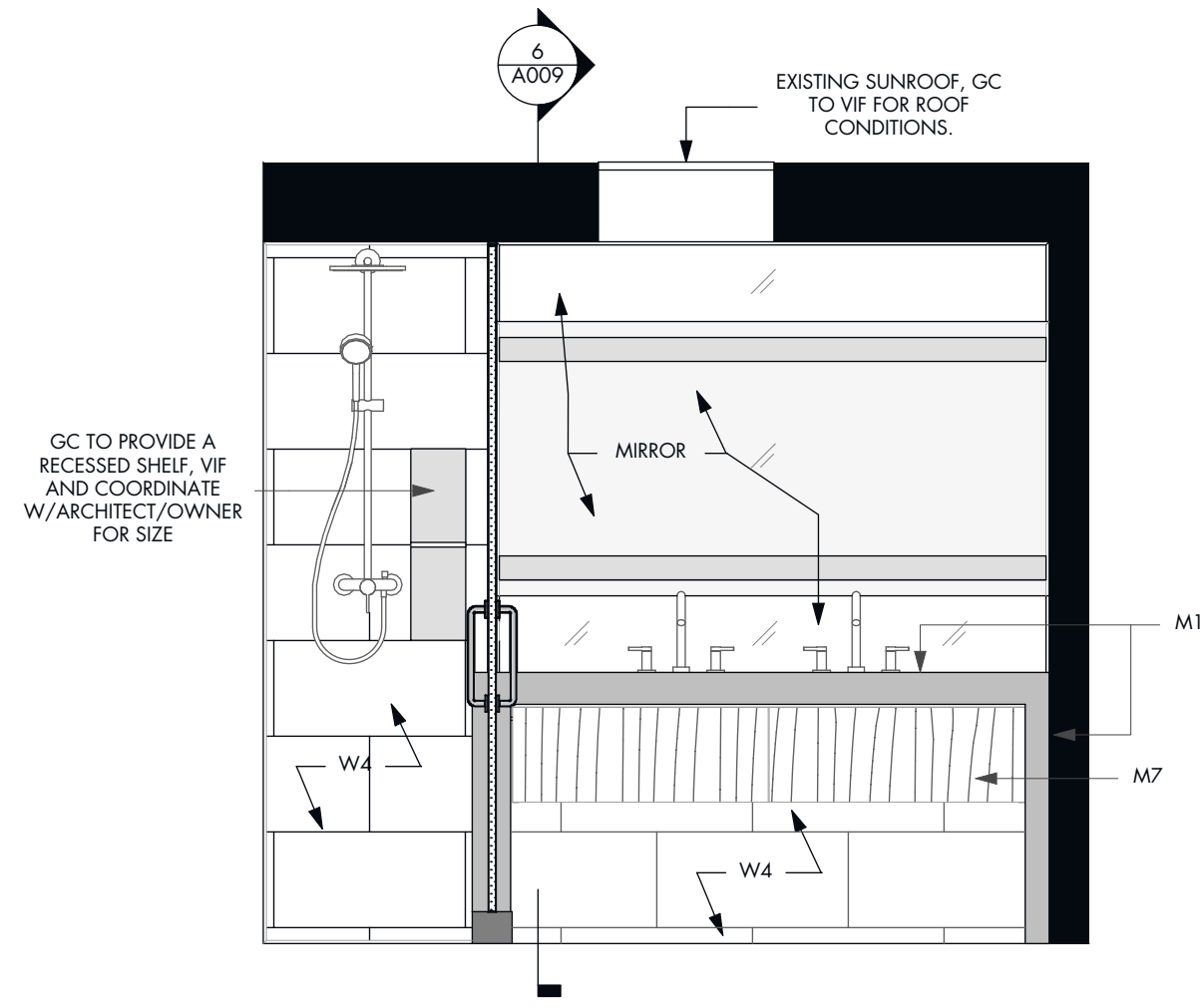
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A007 Mail/Upper Level Stairs Elev.  
SCALE: 1/2" = 1'-0" 0 1' 2' 4'



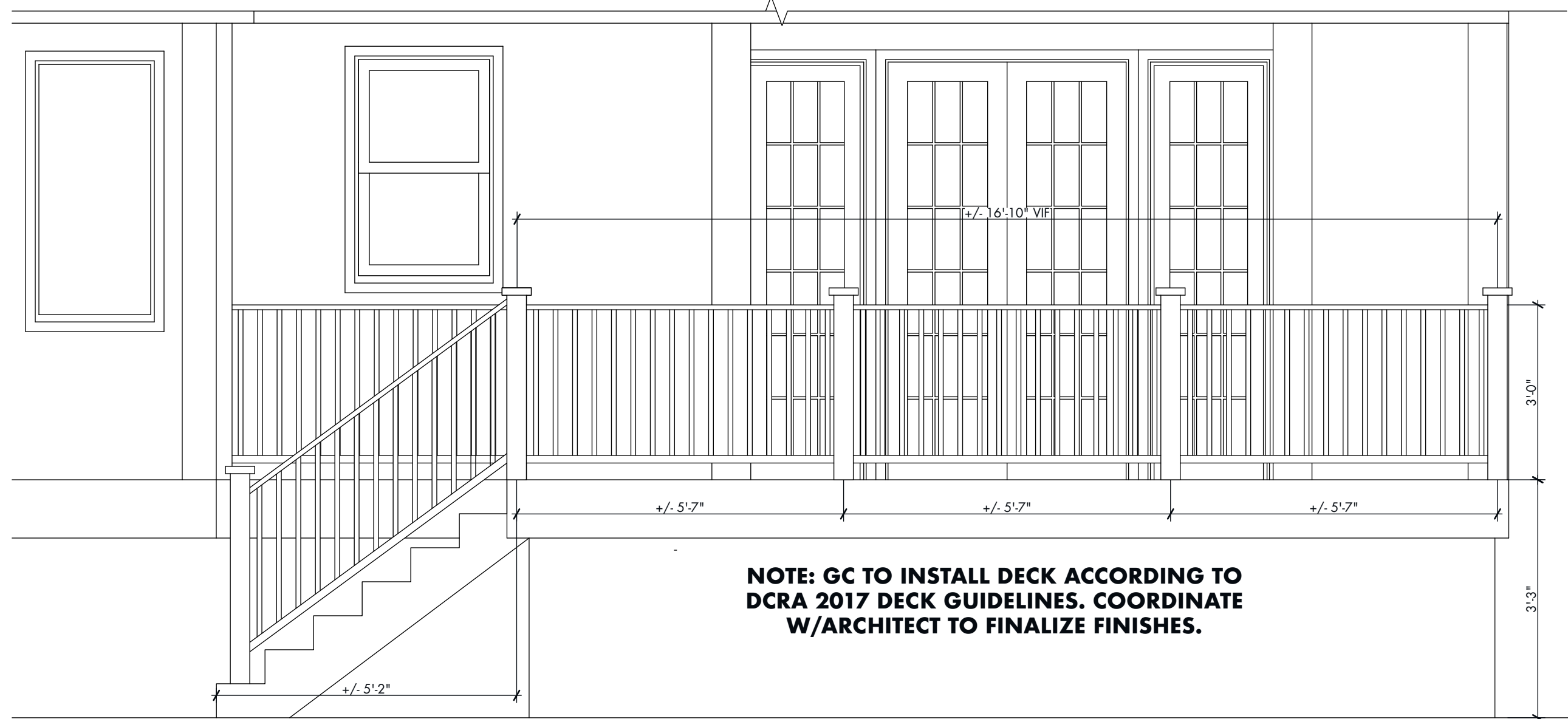
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A007 Master Bedroom Elev.  
SCALE: 1/2" = 1'-0" 0 1' 2' 4'



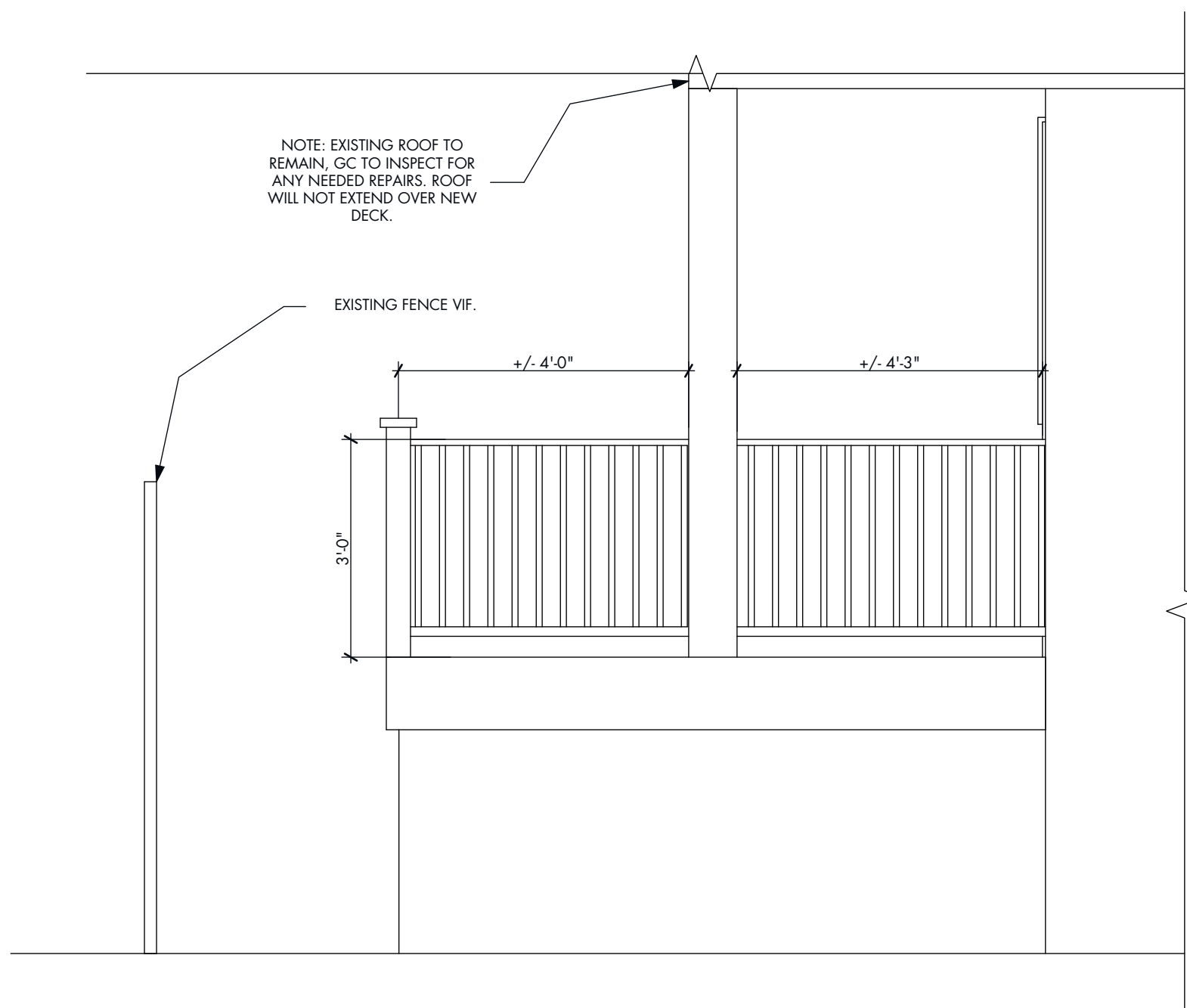
4  
A007 Master Bathroom Elev.  
SCALE: 1/2" = 1'-0" 0 1' 2' 4'



3  
A007 Master Bathroom Elev.  
SCALE: 1/2" = 1'-0" 0 1' 2' 4'



5  
A007 Exterior Deck Elevation  
SCALE: 1/2" = 1'-0" 0 1' 2' 4'



6  
A007 Exterior Deck Elevation  
SCALE: 1/2" = 1'-0" 0 1' 2' 4'

ARCHITECT  
**FORMA  
DESIGN**

1524 UST NW  
SUITE 200  
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202 265 2625  
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Consultant

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Project Title

**ABRAHAM/WOOD RES.**  
3421 R St. N.W.  
Washington, D.C. 20007

Drawing Title

**Elevations**

03/09/21 BLDG, DEPT. REV. #1  
12/16/20 CD's for permit  
08/24/20 CD's for pricing  
03/31/20 CD Review

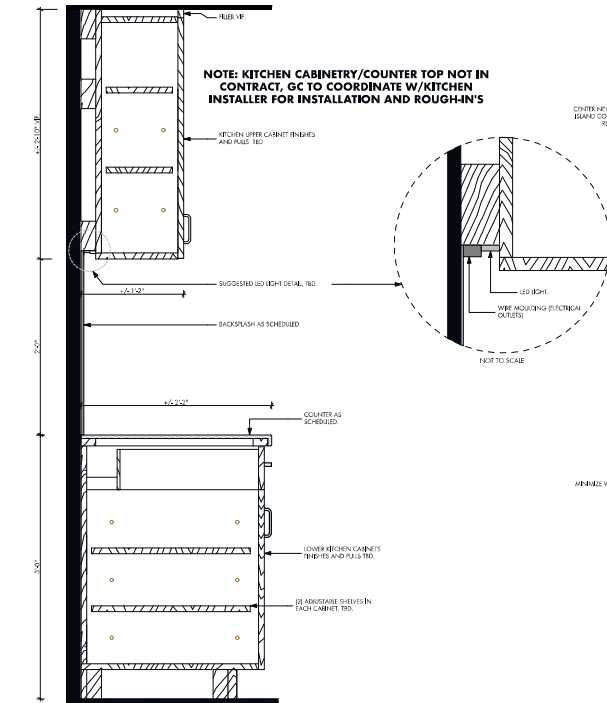
Date Issue Notes

Project ID 1904

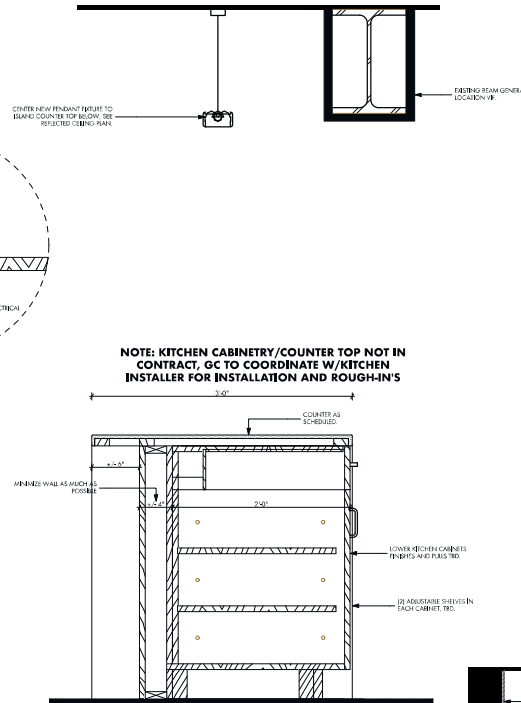
Scale As Indicated

**A007**

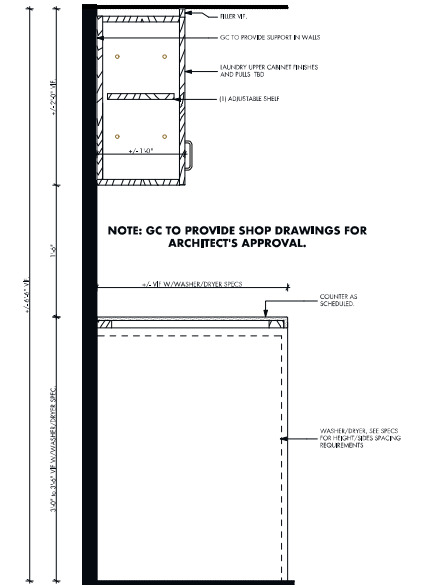
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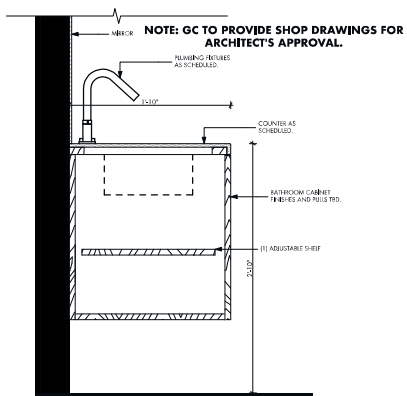
1 KITCHEN CABINETRY SECTION  
SCALE: 1 1/2" = 1'-0"



2 KITCHEN ISLAND SECTION  
SCALE: 1 1/2" = 1'-0"



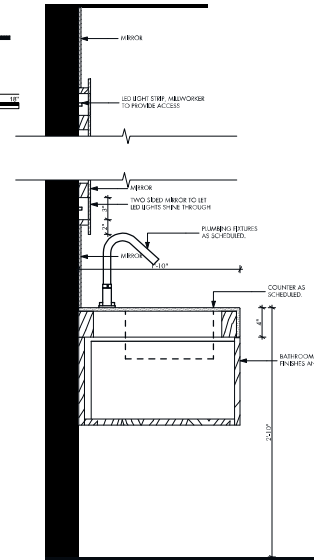
3 LAUNDRY CABINET SECTION  
SCALE: 1 1/2" = 1'-0"



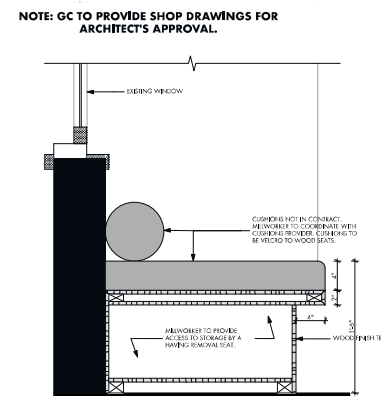
4 BATHROOM CABINET SECTION  
SCALE: 1 1/2" = 1'-0"



5 LAUNDRY ROOM CABINET SECTION  
SCALE: 1 1/2" = 1'-0"



6 MASTER BATHROOM CABINET SECTION  
SCALE: 1 1/2" = 1'-0"



7 BENCH SECTION  
SCALE: 1 1/2" = 1'-0"

ARCHITECT  
**FORMA  
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Project Title

**ABRAHAM/WOOD RES.**  
3421 R St. N.W.  
Washington, D.C. 20007

Drawing Title

**Millwork Sections**

12/16/20

08/24/20

03/31/20

Date

Project ID

Scale

CD's for permit

CD's for pricing

CD Review

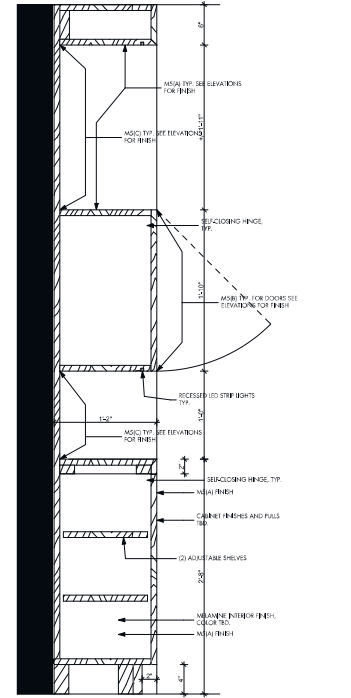
Issue Notes

1904

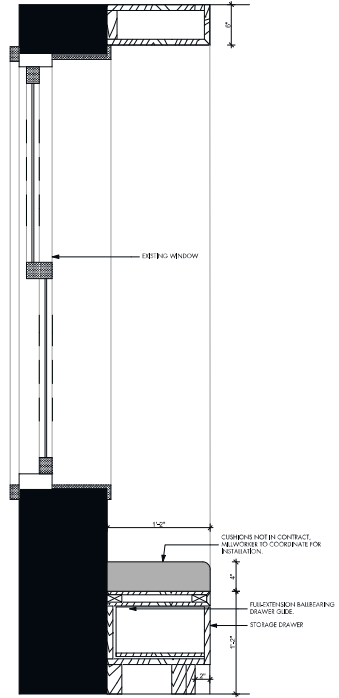
As Indicated

**A009**

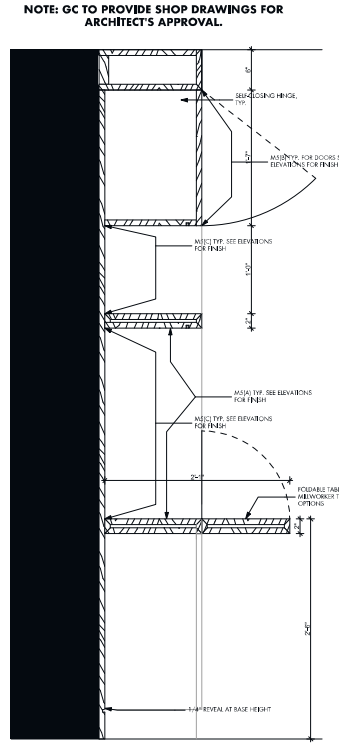
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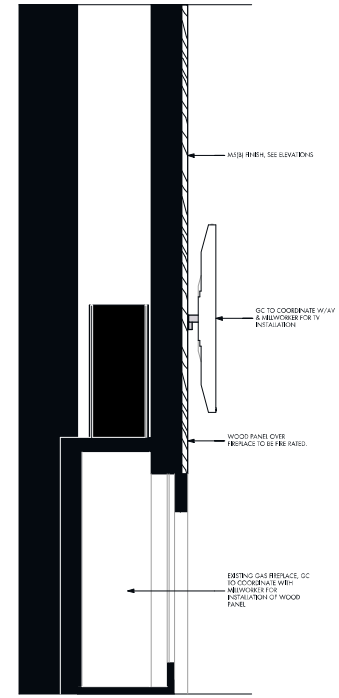
1 DINING RM. CABINERY SECTION  
A010 SCALE: 1 1/2" = 1'-0"



2 DINING RM. CABINERY SECTION  
A010 SCALE: 1 1/2" = 1'-0"

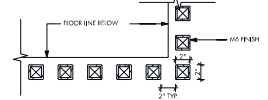


3 DINING RM. CABINERY SECTION  
A010 SCALE: 1 1/2" = 1'-0"

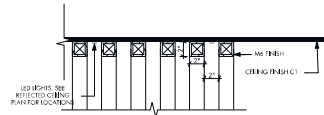


4 DINING RM. CABINERY SECTION  
A010 SCALE: 1 1/2" = 1'-0"

NOTE: GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.



5 PRELIMINARY FEATURED WALL  
A010 SCALE: 1 1/2" = 1'-0"



6 PRELIMINARY FEATURED CEILING  
A010 SCALE: 1 1/2" = 1'-0"

NOTE: GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.

ARCHITECT  
**FORMA  
DESIGN**

1524 U ST NW  
SUITE 200  
WDC 20009  
202 265 2625  
FAX 202 958 9588

Consultant

Stamp



Project Title

**ABRAHAM/WOOD RES.**  
3421 R St. N.W.  
Washington, D.C. 20007

Drawing Title

**Millwork Sections**

12/16/20	CD's for permit
08/24/20	CD's for pricing
03/31/20	CD Review
Date	Issue Notes
Project ID	1904
Scale	As Indicated

**A010**

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DOOR SCHEDULE						
Type	Location	Material	Width	Height	Frame/Trim	Hardware Set
A	Existing Entry Door	SC WOOD	+/- 2'-9" VF	+/- 6'-6" VF		
B	New Closet Door @ Fireplace	SC WOOD	+/- 1'-9" Maximize	+/- 7'-10" VF	No Trim	H2,L4
C	New Fireplace Side Storage Opening	-	+/- 1'-6" Maximize	5'-6"		
D	New Pocket Door @ Kitchen Area	SC WOOD	+/- 5'-6" Maximize	+/- 7'-10" VF	No Trim	H3,L5
E	Existing Exterior Door	SC WOOD	+/- 2'-6" VF	+/- 6'-6" VF		
F	New Bathroom Door	SC WOOD	+/- 2'-6" VF	+/- 7'-10" VF		H1,L2
G	Existing Exterior Double Doors+Sideights @ Dining Area	SC WOOD	VF	VF		
H	Existing Door @ Basement	SC WOOD	+/- 2'-9" VF	+/- 6'-4" VF		
I	Existing Door @ Basement	SC WOOD	+/- 2'-6" VF	+/- 5'-6" VF		
J	Existing Door @ Basement	SC WOOD	+/- 2'-10" VF	+/- 6'-0" VF		
K	New Door @ Basement	SC WOOD	+/- 2'-6" VF	+/- 6'-0" VF		H2,L4
L	Existing Door @ Basement	SC WOOD	+/- 2'-10" VF	+/- 6'-0" VF		
M	Existing Exterior Doors @ Upper level	SC WOOD	+/- 2'-4" VF	+/- 7'-0" VF		
N	New Doors @ Bathrooms @ Upper Level	SC WOOD	2'-6"	+/- 7'-0" VF Match Door "M"		H1,L2
O	New Pocket Doors @ Bedrooms @ Upper Level	SC WOOD	2'-6"	+/- 7'-3" VF Maximize	No Trim	H3,L5
P	New Closet Doors @ Upper level	SC WOOD	+/- 1'-10" VF	+/- 7'-3" VF Maximize	No Trim	H2,L4
Q	New Closet Doors (3) @ Master Bedroom	SC WOOD	6'-0" (2' Doors)	+/- 7'-6" VF Maximize	No Trim	H2,L4
R	New Closet Door @ Master Bedroom	SC WOOD	+/- 1'-6" Maximize	+/- 7'-6" VF Maximize	No Trim	H2,L4
S	New Closet Door @ Master Bedroom	SC WOOD	2'-6"	+/- 7'-3" VF Maximize	No Trim	H2,L4
T	New Glass Shower Door @ Master Bathroom	ALUM / GLASS	2'-0"	+/- 6'-4" VF Maximize	No Trim	L3
U	New (3) Double Closet Doors	SC WOOD	+/- 4'-2" VF (EQ Width Doors)	+/- 7'-3" VF Maximize	No Trim	H2,L4

GC TO PROVIDE SPECS FOR NEW DOORS FOR APPROVAL.

DOOR HARDWARE			
Code	Item	Mfg.	Model
H1	1 1/2 Pair 4 1/2" Hinges		
H2	Pinail Hinges		
H3	Pocket Door Hardware		
L1	Lever Passage Set	Omnia Ind.	#368
L2	Lever Privacy Set	Omnia Ind.	#268 privacy
L3	Roundback metal Door Pulls	Haworth	#1220 3'0" long
L4	Closet Pulls	Moscon	DP3C/2 6" Pulls
L5	Pocket Door Pull	Schlage	#990 Finish TBD
M1	Cylinder Type Floor Stop		
M2	Coat Hook		
DOOR NOTES			
1 Typical hardware finish to be US32 unless otherwise noted.			
2 All doors to receive frame mutes. Provide a minimum of four rubber mutes per frame.			
3 Frames shall have no exposed fasteners.			
4 Margin at door joints in closed position to be 1/8".			
5 Undercut doors as required to operate smoothly over finished floor. Maximum undercut shall be 1/4".			
Finish bottom of doors after undercutting.			
6 Sand smooth all door edges prior to staining or painting. Paint or stain all edges, including top and bottom.			
7 Caulk all frames to the wall with a thin bead of paintable caulk.			
8 Doors and frames at walls receiving specialty finishes or accent paint are to be finished to match adjacent wall			
9 Coordinate keying and security system requirements with owner			

WINDOW SCHEDULE		
Type	Location	Notes
1	Main+Upper Level Existing Windows	Existing Windows to Remain. GC to paint interior side. Exterior Side (Historical, TBD).
2	Existing Window @ Main level Kitchen Area	GC to Covered in the Interior Side, Exterior to be fixed/replace any broken glass panes (Historical, TBD)
3	Basement level Existing Windows	Existing Windows to Remain. GC to paint interior side. Exterior Side to be fixed/replace any broken glass panes (Historical, TBD).

EQUIPMENT SCHEDULE					
ID	ITEM	Quantity	MANUFACTURER	MODEL	NOTES
1	Dishwasher	1			GC to coordinate with/Kitchen Contractor
2	Cooktop	1			GC to coordinate with/Kitchen Contractor
3	Oven	1			GC to coordinate with/Kitchen Contractor
4	Vent - Hood	1			GC to coordinate with/Kitchen Contractor
5	Refrigerator	1			GC to coordinate with/Kitchen Contractor
6	Washer	1			GC to coordinate with/Kitchen Contractor
7	Dryer	1			GC to coordinate with/Kitchen Contractor
8	Microwave	1			location TBD. Coordinate w/Kitchen Contractor.

PLUMBING FIXTURES				
#/ITEM	LABEL	MANUFACTURER	MODEL	NOTE
(1) Kitchen Sink	P1			Provided by Kitchen Installer, TBD.
(1) Kitchen Faucet	P2			Provided by Kitchen Installer, TBD.
(1) Kitchen Trash Disposal	P3			Provided by Kitchen Installer, TBD.
(1) Bathroom Sink	P4	Kaldewei	Cono Undercounter Washbasin Model No. 3087	
(1) Bathroom Faucet	P5	Dorn Bracht	Meta - Single-lever lavatory mixer with drain - PC	Model # 33 302 56000
(1) Toilet	P6	Cielo/Handmade in Italy	Enjoy van EWS - Wall hung WC	Wall Installed Toilet
(1) Bathroom Shower	P7	Dorn Bracht	Meta - Slide Bar Set Handshower	GC to use Dorn Bracht Meta model control elements, provide specs for approval
(1) laundry Sink	P8	Kohler		
(1) laundry Faucet	P9	Kohler		
(1) Master Bath Sink	P10	Kaldewei	Cono Undercounter Washbasin Model No. 3088	
(2) Master Bath Faucets	P11	Dorn Bracht	Meta - Single-lever lavatory mixer with drain - PC	
(1) Master Bath Shower Fixtures	P12	Dorn Bracht	Meta - Shower Thermostat for wall-mounted installation w/ rainhead and hand shower set	GC to use Dorn Bracht Meta model control elements, provide specs for approval
(1) Master Bathroom Toilet	P13	Toto	Washlet G400 - 1.28GPF & 0.9 GPF	SKUMS920CEW/G401
(1) Guest Bath Bathtub	P14	Kaldewei	Cayana - Model No. 747	GC to verify bathtub dimensions will work with glass panel installation and space available
(1) Guest Bath Fixtures Tub/Shower Fixtures	P15			Reuse existing Master Bathroom Fixtures
(1) Guest Bath Sink	P16	Kaldewei	Cono Undercounter Washbasin Model No. 3087	
(1) Guest Bath Faucet	P17	Dorn Bracht	Meta - Single-lever lavatory mixer with drain - PC	
(1) Guest Bathroom Toilet	P18	Cielo/Handmade in Italy	Enjoy van EVA - Back to wall WC	
(1) Master Bathroom Shower Floor	P19	Kaldewei	Cayacoplan Right Version with 48 flange	GC to verify installation requirements for this shower floor with manufacturer. Verify size requirements.

GC TO PROVIDE SPECS FOR APPROVAL. COORDINATE W/OWNERS NOTES INCLUDED W/SET



1524 U ST NW  
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Stamp



Project Title

ABRAHAM/WOOD RES.  
3421 R St. N.W.  
Washington, D.C. 20007

Drawing Title

Schedules

Date

12/16/20

08/24/20

03/31/20

Issue

CD Review

Project ID

1904

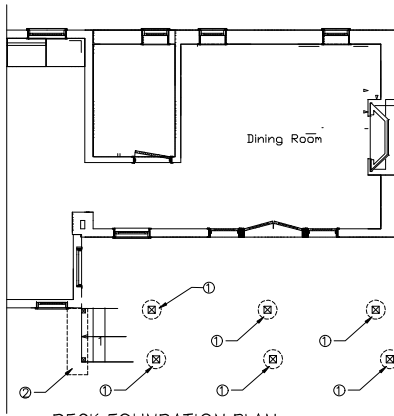
Scale

As Indicated

A011

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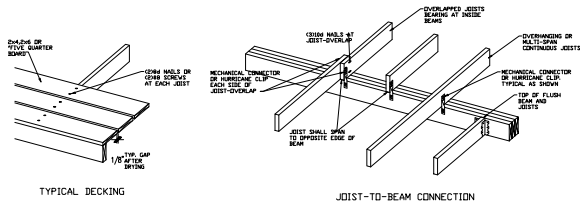




DECK FOUNDATION PLAN  
SCALE: 1/4"=1'-0"

FOUNDATION NOTES

- ① 16" ØX30" MIN DEEP PIER FTG. W/6X6 POST W/SIMPSON LCP66 POST BASE
- ② 48"X24"X8" THICK CONCRETE W/3-#4

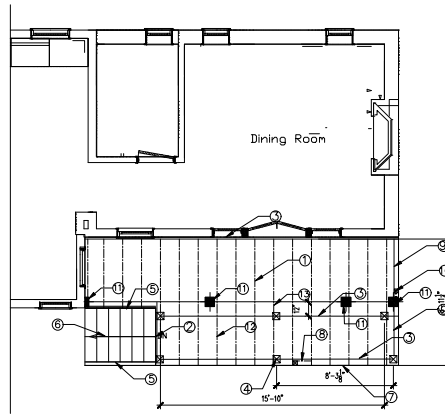


TYPICAL DECKING

JOIST-TO-BEAM CONNECTION



JOIST HANGERS

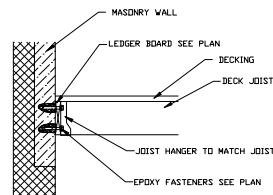


1ST. FL. & DECK FRAMING PLAN  
SCALE: 1/4"=1'-0"

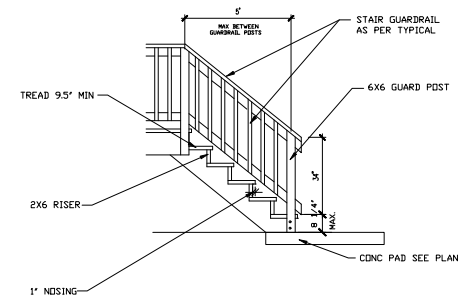
NOTE: ALL LUMBER PRESSURE TREATED

FRAMING NOTES:

- ① 2X8 @ 16" OC, SISTERED WITH EX. JOIST
- ② 2-2X8 BM.
- ③ 2X12 LEDGER CONN. EX. WALL W/3/8" EPOXY BOLTS W/5" EMBED. @ 16" OC, STAGGERED
- ④ 6X6 POST W/ SIMPSON LPCZ POST CAP TYP.
- ⑤ 2-12 STRINGERS (ONE UN-CUT)
- ⑥ 2X12 STRINGER @ MIDDLE
- ⑦ 2X8 CONNECTED TO JOISTS W/SIMPSON H6 CLIPS
- ⑧ 2X8 BLOCKING @ THE BACK SIDE OF HAND RAIL POST
- ⑨ ADDITIONAL JOIST @ BACK SIDE OF HAND RAIL POST
- ⑩ HAND RAIL POSTS SEE ARCH DRAWINGS.
- ⑪ EX. POSTS TO REMAIN REPAIR OR REPLACE IF REQD.
- ⑫ 2X8 @ 16" OC.
- ⑬ CONN. NEW JOIST TO EX. SIMPSON H6 CLIPS

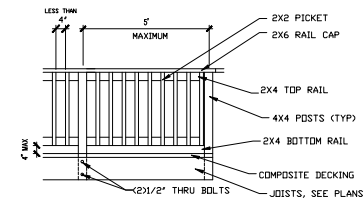


TYP. LEDGER BOARD @ MASONRY WALL



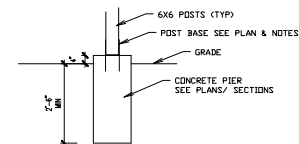
STAIR SECTION

SCALE: NOT TO SCALE  
NOTE: PROVIDE SIMPSON TA92 ANGLES FOR STEP SUPPORT  
ADDITIONAL STAIR SUPPORT NDR SHOWN FOR CLARITY



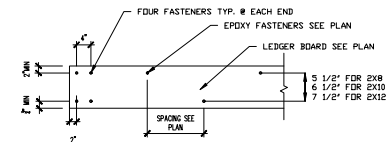
GUARDRAIL SECTION

SCALE: NOT TO SCALE



POST BASE DETAIL

SCALE: NOT TO SCALE



TYP. LEDGER BOARD @ MASONRY WALL

\*STRUCTURAL PLANS CERTIFIED AS  
PROVIDED IN SECTION 106.1.4.1 OF THE D.C.  
CONSTRUCTION CODES\*

ET&A CONSULTING, INC.  
10770 RHODE ISLAND AVENUE  
BELTSVILLE, MD 20705  
301-931-9130

3421 R ST., NW  
WASHINGTON DC 20007

PARTIAL PLANS AND  
NOTES

SEAL



FOR PERMIT 1/11/2021

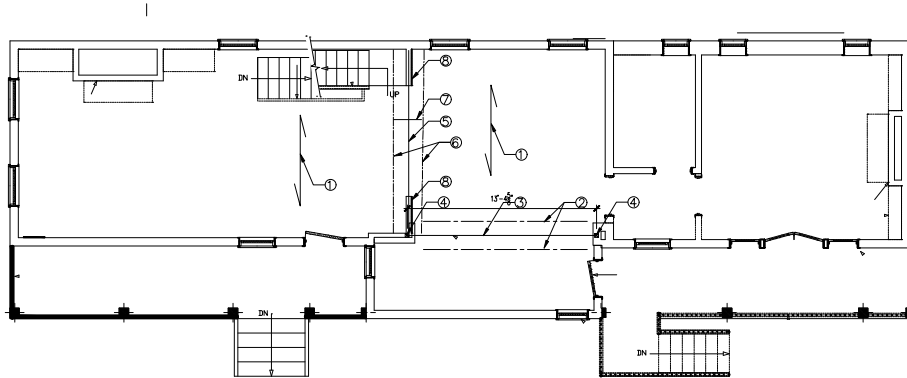
VARIES

PROJECT  
NUMBER

20060

DATE  
DRAWN

S-001



# 1ST FL. & PLAN

SCALE: 1/4"=1'-0"

## FRAMING NOTES:

- DIRECTION OF EX. FRAMING
- PROVIDE TEMPORARY SHORING AS REQUIRED.
- 3-LVL 11" BEAM ABOVE FLUSH FRAME CONNECTED TO EACH OTHER W/ 2-ROW 1/2" Ø SDS SCREWS @ 16" OC, FROM EACH SIDE
- 3-2x6 POST EXTEND TO FOUNDATION WALL BELOW.
- 2-2x12 FULL LENGTH
- EX. FLOOR JST.
- 2X8 BLOCKING @ 16" OC PLACED BETWEEN EX. FLR. JST. CONN. TO NEW BM. W/ SIMPSON H4 CLIPS
- 3/4" THICK OSB PLYWOOD CONNECTED TO ONE SIDE OF WALL SEE TABLE FOR (CSWSP) NAILING PATTERN

METHOD	CONNECTION CRITERIA*	
	Fasteners	Members
1.11	Wood: 2-5d common nails or 2-5d (20") long x 0.113" dia. nails	Wood: per stud and top and bottom plates
WSP, CSWSP, CSK	2-1/2" diameter 1/2" long x 0.113" dia. common nails	Wood: per stud and top and bottom plates
WSP, CSWSP	2-1/2" diameter 1/2" long x 0.113" dia. common nails	Wood: per stud and top and bottom plates
6.6	2-1/2" diameter 1/2" long x 0.113" dia. common nails	Wood: per stud and top and bottom plates
6.6	2-1/2" diameter 1/2" long x 0.113" dia. common nails	Wood: per stud and top and bottom plates
6.6	2-1/2" diameter 1/2" long x 0.113" dia. common nails	Wood: per stud and top and bottom plates

## BUILDING CODE

INTERNATIONAL BUILDING CODE (IBC) 2012 AND DISTRICT OF COLUMBIA CONSTRUCTION CODES SUPPLEMENT OF 2013 DCAM 12A BUILDING CODE.

## DESIGN LOADS

DESIGN LOADS ARE AS FOLLOWS:

ROOF: 30 LBS./SQ. FT.  
DECK: 40 LBS./SQ. FT.  
FLOORS: 40 LBS./SQ. FT.

DESIGN SUPERIMPOSED DEAD LOADS ARE AS FOLLOWS:  
FLOORS & ROOF: 17 LBS./SQ. FT.

## FOOTINGS

1-A GEOTECHNICAL ENGINEERING REPORT HAS NOT BEEN PREPARED. ALLOWABLE SOIL BEARING CAPACITY UTILIZED FOR SPREAD FOOTINGS IS 1500 PSF ON NATURAL SOIL.

3-ALL FOUNDATION SUBGRADES SHALL BE INSPECTED AND APPROVED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER PRIOR TO BEING CONCRETED. FOOTINGS MAY BE LOWERED TO ACHIEVE BEARING CAPACITY, IF REQUIRED, SUBJECT TO REVIEW AND APPROVAL OF THE STRUCTURAL ENGINEER.

## CONCRETE (CAST-IN-PLACE)

1-CONCRETE DESIGN AND DETAILING SHALL CONFORM TO THE REQUIREMENTS OF LATEST 318.

2-MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE.

FOOTINGS: 3000 PSI  
ALL OTHER CONCRETE: 3000 PSI

## LUMBER

1-LUMBER SHALL COMPLY WITH THE REQUIREMENTS OF AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE NATIONAL FOREST PRODUCTS ASSOCIATION'S NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

2-ROOF TRUSSES SHALL BE DESIGNED AND FABRICATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TRUSS PLATE INSTITUTE'S DESIGN SPECIFICATIONS FOR THE LIGHT METAL PLATE CONNECTED WOOD TRUSSES.

3-LUMBER GRADE AND DESIGN VALUES SHALL BE AS FOLLOWS:

LUMBER GRADE	LUMBER GRADE DESIGN VALUES				
	F <sub>b</sub>	F <sub>v</sub>	E	F <sub>t</sub>	F <sub>c</sub>
SP F #2 (STUDS, PLATES, ETC)	975	975	1,200,000	175	1,400,000
2"x6" POSTS (2" x 6")	975	975	1,200,000	175	1,400,000
2"x8" POSTS (2" x 8")	975	975	1,200,000	175	1,400,000
SP P.T. (SALCOIN, ETC)	1,100	1,100	1,200,000	175	1,400,000
SP (NON PT. RISER, PLATE)	1,100	1,100	1,200,000	175	1,400,000
2"x6" POST 2x6	975	975	1,200,000	175	1,400,000
2"x8" POST 2x8	975	975	1,200,000	175	1,400,000
2"x10" POST 2x10	975	975	1,200,000	175	1,400,000
2"x12" POST 2x12	975	975	1,200,000	175	1,400,000
2"x14" POST 2x14	975	975	1,200,000	175	1,400,000
2"x16" POST 2x16	975	975	1,200,000	175	1,400,000
2"x18" POST 2x18	975	975	1,200,000	175	1,400,000
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2"x22" POST 2x22	975	975	1,200,000	175	1,400,000
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2"x158" POST 2x158	975	975	1,200,000	175	1,400,000
2"x160" POST 2x160	975	975	1,200,000	175	1,400,000
2"x162" POST 2x162	975	975	1,200,000	175	1,400,000
2"x164" POST 2x164	975	975	1,200,000	175	1,400,000
2"x166" POST 2x166	975	975	1,200,000	175	1,400,000
2"x168" POST 2x168	975	975	1,200,000	175	1,400,000
2"x170" POST 2x170	975	975	1,200,000	175	1,400,000
2"x172" POST 2x172	975	975	1,200,000	175	1,400,000
2"x174" POST 2x174	975	975	1,200,000	175	1,400,000
2"x176" POST 2x176	975	975	1,200,000	175	1,400,000
2"x178" POST 2x178	975	975	1,200,000	175	1,400,000
2"x180" POST 2x180	975	975	1,200,000	175	1,400,000
2"x182" POST 2x182	975	975	1,200,000	175	1,400,000
2"x184" POST 2x184	975	975	1,200,000	175	1,400,000
2"x186" POST 2x186	975	975	1,200,000	175	1,400,000
2"x188" POST 2x188	975	975	1,200,000	175	1,400,000
2"x190" POST 2x190	975	975	1,200,000	175	1,400,000
2"x192" POST 2x192	975	975	1,200,000	175	1,400,000
2"x194" POST 2x194	975	975	1,200,000	175	1,400,000
2"x196" POST 2x196	975	975	1,200,000	175	1,400,000
2"x198" POST 2x198	975	975	1,200,000	175	1,400,000
2"x200" POST 2x200	975	975	1,200,000	175	1,400,000
2"x202" POST 2x202	975	975	1,200,000	175	1,400,000
2"x204" POST 2x204	975	975	1,200,000	175	1,400,000
2"x206" POST 2x206	975	975	1,200,000	175	1,400,000
2"x208" POST 2x208	975	975	1,200,000	175	1,400,000
2"x210" POST 2x210	975	975	1,200,000	175	1,400,000
2"x212" POST 2x212	975	975	1,200,000	175	1,400,000
2"x214" POST 2x214	975	975	1,200,000	175	1,400,000
2"x216" POST 2x216	975	975	1,200,000	175	1,400,000
2"x218" POST 2x218	975	975	1,200,000	175	1,400,000
2"x220" POST 2x220	975	975	1,200,000	175	1,400,000
2"x222" POST 2x222	975	975	1,200,000	175	1,400,000
2"x224" POST 2x224	975	975	1,200,000	175	1,400,000
2"x226" POST 2x226	975	975	1,200,000	175	1,400,000
2"x228" POST 2x228	975	975	1,200,000	175	1,400,000
2"x230" POST 2x230	975	975	1,200,000	175	1,400,000
2"x232" POST 2x232	975	975	1,200,000	175	1,400,000
2"x234" POST 2x234	975	975	1,200,000	175	1,400,000
2"x236" POST 2x236	975	975	1,200,000	175	1,400,000
2"x238" POST 2x238	975	975	1,200,000	175	1,400,000
2"x240" POST 2x240	975	975	1,200,000	175	1,400,000
2"x242" POST 2x242	975	975	1,200,000	175	1,400,000
2"x244" POST 2x244	975	975	1,200,000	175	1,400,000
2"x246" POST 2x246	975	975	1,200,000	175	1,400,000
2"x248" POST 2x248	975	975	1,200,000	175	1,400,000
2"x250" POST 2x250	975	975	1,200,000	175	1,400,000
2"x252" POST 2x252	975	975	1,200,000	175	1,400,000
2"x254" POST 2x254	975	975	1,200,000	175	1,400,000
2"x256" POST 2x256	975	975	1,200,000	175	1,400,000
2"x258" POST 2x258	975	975	1,200,000	175	1,400,000
2"x260" POST 2x260	975	975	1,200,000	175	1,400,000
2"x262" POST 2x262	975	975	1,200,000	175	1,400,000
2"x264" POST 2x264	975	975	1,200,000	175	1,400,000</



































NO PARKING  
←  
TWO HOUR  
PARKING  
LIMIT ON ZONE 2  
7AM-9PM  
MONDAY-FRIDAY  
→  
ZONE 2 711 PM  
NO LOADING / UNLOADING













BLRA 33C

CONTRACT AGREEMENT

Name of Contractor/Owner DIMITRIOS SALTERIS Contractor's License No. 410520000023

Address of Contractor/ Owner 404 THINBROOK PKWY. ROCKVILLE, MD 20851 Date: 2/10/2021

ADDRESS OF PROPOSED WORK: <u>3421 R Street NW Washington DC 20007</u>	LOT: <u>0105</u> SQUARE: <u>1297</u>
OWNER OF BUILDING OR BUSINESS: <u>Stephen Wood &amp; Julie Abraham</u> <u>CO-TRUSTEES</u>	PHONE No: <u>202 924-6244</u>
DESCRIPTION OF PROPOSED WORK: <u>Remodeling of existing 1st and 2nd floor.</u> <u>Renovation of exterior of the house.</u>	

COST ESTIMATE		
CONSTRUCTION e.g drywall, ceilings, framing, carpentry etc	\$ <u>163,700</u>	
ELECTRICAL	\$ <u>40,500</u>	
MECHANICAL	\$ <u>13,800</u>	
PLUMBING	\$ <u>24,000</u>	
FIRE PROTECTION e.g sprinkler system, fire alarm system, generator etc.	\$ <u>0.00</u>	
DEMOLITION	\$ <u>15,000</u>	
MISC/OTHER (please specify)	\$ <u>68,000</u>	
TOTAL	\$ <u>325,000.00</u>	

The foregoing terms, specifications and conditions are satisfactory and hereby agreed to. You are authorized to work as specified and payment will be made in the amount as outlined. Upon signing this agreement, the owner represents and warrants that he or she is the owner or the authorized agent of the owner of the aforesaid premises and that he or she has read this agreement.

CONTRACTOR	<u>[Signature]</u> <u>DIMITRIOS SALTERIS</u>	Date: <u>2/10/2021</u>
OWNER OF BUILDING/BUSINESS	<u>[Signature]</u> <u>STEPHEN P. WOOD</u> <u>[Signature]</u> <u>JULIE ABRAHAM</u>	Date: <u>FEB 10, 2021</u> <u>FEB 10, 2021</u>

Upon signing this document, the owner and contractor declare that the cost of construction as specified above for the referenced project is true and correct to the best of their knowledge

Please fill out this agreement form in accordance with D.C Construction Code Supplement 2013, Chapter 1 Section 108.3.

**Permit #** B2103740

**Building Address:** 3421 R St. N.W., Washington, DC 20007

**Energy & Green Worksheet Link:**

[https://docs.google.com/spreadsheets/d/13NNtMzWsfiopiDj-LeM8Uj\\_5QQ2PNtY9GnrOMG999Eq/edit?usp=sharing](https://docs.google.com/spreadsheets/d/13NNtMzWsfiopiDj-LeM8Uj_5QQ2PNtY9GnrOMG999Eq/edit?usp=sharing)