

HANNON RESIDENCE

PROPERTY INFORMATION

OWNER: GLENN A. HANNON
glennh@klasonline.com
(410) 404-4048

ADDRESS: 3401 N STREET NW
WASHINGTON, DC 20007

LOT: 0091

SQUARE: 1221

BUILDING DATA

USE GROUP: RESIDENTIAL GROUP R-3

DWELLING UNITS: 1

CONSTRUCTION TYPE: TYPE 5

SPRINKLERED: NO

SMOKE DETECTORS: YES - HARDWIRED & INTERCONNECTED WITH BATTERY BACKUP, ON SEPARATE CIRCUIT FROM MAIN PANEL.

ZONING DATA

GENERAL

ZONING DISTRICT: RESIDENTIAL R-20

WARD: 2

ANC: 2E

SMD: 2E03

LOT

LOT AREA: 3,327 FT²

EXISTING BUILDING AREA: 1,647 FT²

PROPOSED BUILDING AREA: NO CHANGE

MAXIMUM LOT OCCUPANCY: 40.0%

EXISTING LOT OCCUPANCY: 49%

PROPOSED LOT OCCUPANCY: 49%

BUILDING

MAXIMUM HEIGHT: 35 FT (40 IF ADJACENT BUILDING IS ALREADY 40 FT OR GREATER)

EXISTING HEIGHT: 38 FT

PROPOSED HEIGHT: NO CHANGE

MAXIMUM STORIES: 3

EXISTING STORIES: 3 + CELLAR

PROPOSED STORIES: NO CHANGE

SETBACKS

MINIMUM FRONT YARD SETBACK: CONSISTENT W/ AT LEAST ONE ADJACENT PROPERTY

EXISTING FRONT YARD SETBACK: 0 FT

PROPOSED FRONT YARD SETBACK: NO CHANGE

MINIMUM REAR YARD SETBACK: 20.0 FT

EXISTING REAR YARD SETBACK: 18.5 FT

PROPOSED REAR YARD SETBACK: NO CHANGE

MINIMUM SIDE YARD SETBACK: 5.0 FT IF PROVIDED

EXISTING NORTH: 6.33 FT

PROPOSED NORTH: NO CHANGE

EXISTING SOUTH: 6.16 FT

PROPOSED SOUTH: NO CHANGE

APPLICABLE CODES

TITLE 12 DCMR 12A, DC BUILDING CODE ADMENDMENTS (2017)

2015 ICC RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS

2015 ICC FUEL GAS CODE

2014 NATIONAL ELECTRICAL CODE

2015 ICC MECHANICAL CODE

2015 ICC PLUMBING CODE

2015 ICC ENERGY CONSERVATION CODE-RESIDENTIAL

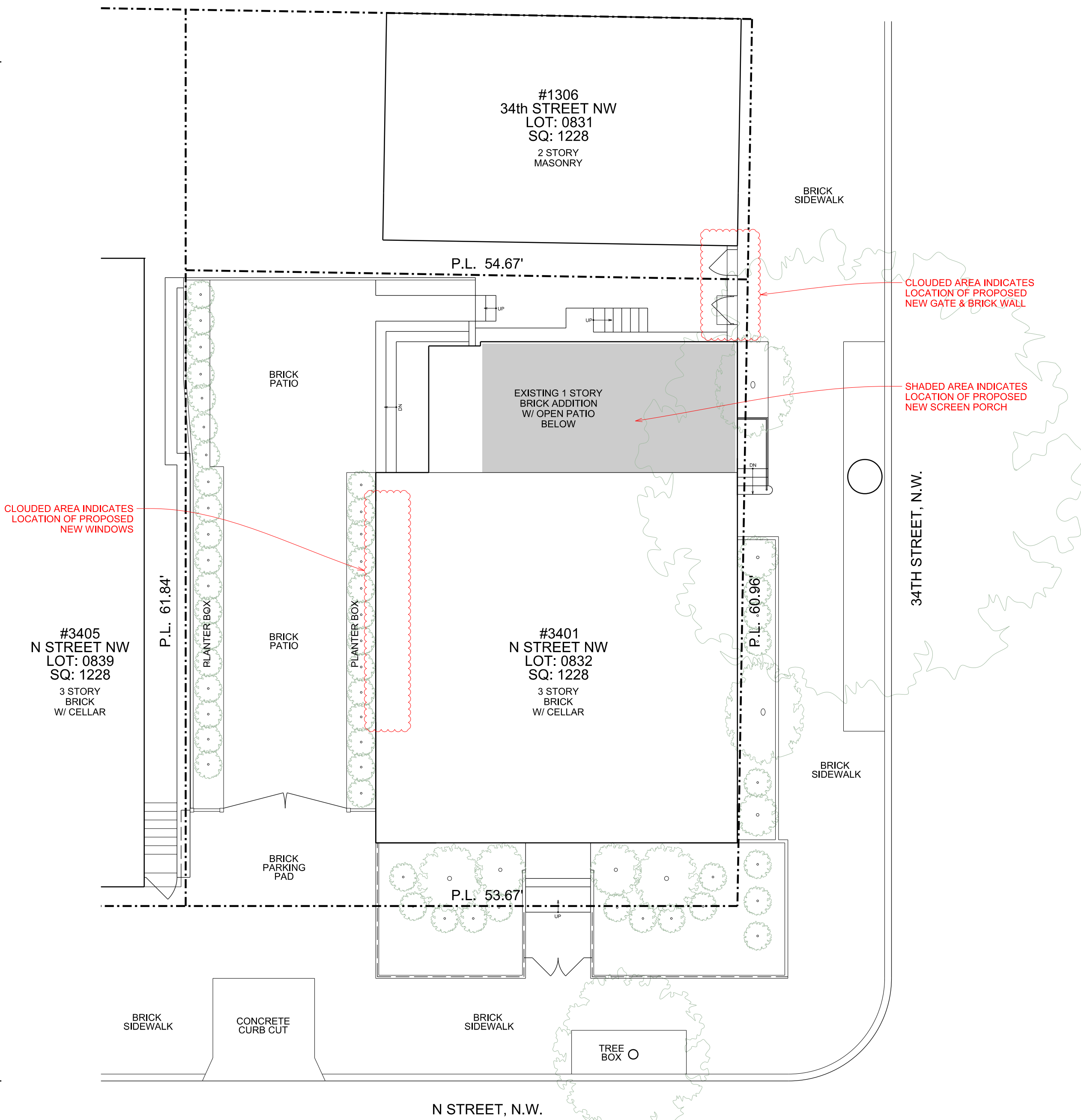
CONSULTANTS

ARCHITECT

OVERMYER ARCHITECTS
CONTACT: DENNIS HORNICK
3213 P STREET NW
WASHINGTON, DC 20007
(202) 333-5596 ext. 6
dennis@overmyerarcitects.com

SCOPE OF WORK

- NEW TWO STORY COVERED SCREEN PORCH OVER EXISTING 1 STORY REAR ADDITION
- NEW INTERIOR STAIRS FROM STAIR LANDING BETWEEN 1ST & 2ND FLOOR TO 2ND FLOOR
- REPLACE EXISTING FIRST FLOOR EXTERIOR DOORS AND TRANSOMS ALONG WEST ELEVATION W/ NEW SINGLE HUNG WINDOWS TO MATCH WINDOWS @ SOUTH ELEVATION
- REBUILD SIDE GATES & WALL AT EAST ELEVATION BETWEEN 3401 N ST NW & 1306 34th ST NW



1
001

SITE PLAN

SCALE: 1/8" = 1'-0"

VICINITY PLAN



AREA MAP

NOT TO SCALE

SHEET INDEX

COVER SHEET

001 COVER SHEET / SITE & VICINITY PLANS

ARCHITECTURAL

A001 EXISTING CELLAR & FIRST FLOOR PLANS

A002 EXISTING & PROPOSED 2ND FLOOR PLANS

A003 EXISTING & PROPOSED 3RD FLOOR PLANS

A004 EXISTING & PROPOSED ROOF PLANS

A005 EXISTING & PROPOSED NORTH ELEVATIONS

A006 EXISTING & PROPOSED EAST ELEVATIONS

A007 EXISTING & PROPOSED WEST ELEVATIONS

A008 EXISTING & PROPOSED BUILDING SECTIONS & DETAILS

A009 EXISTING & PROPOSED SIDE GATE ELEVATIONS & DETAILS

P1 RENDERINGS

P2 PHOTOGRAPHS OF EXISTING CONDITIONS



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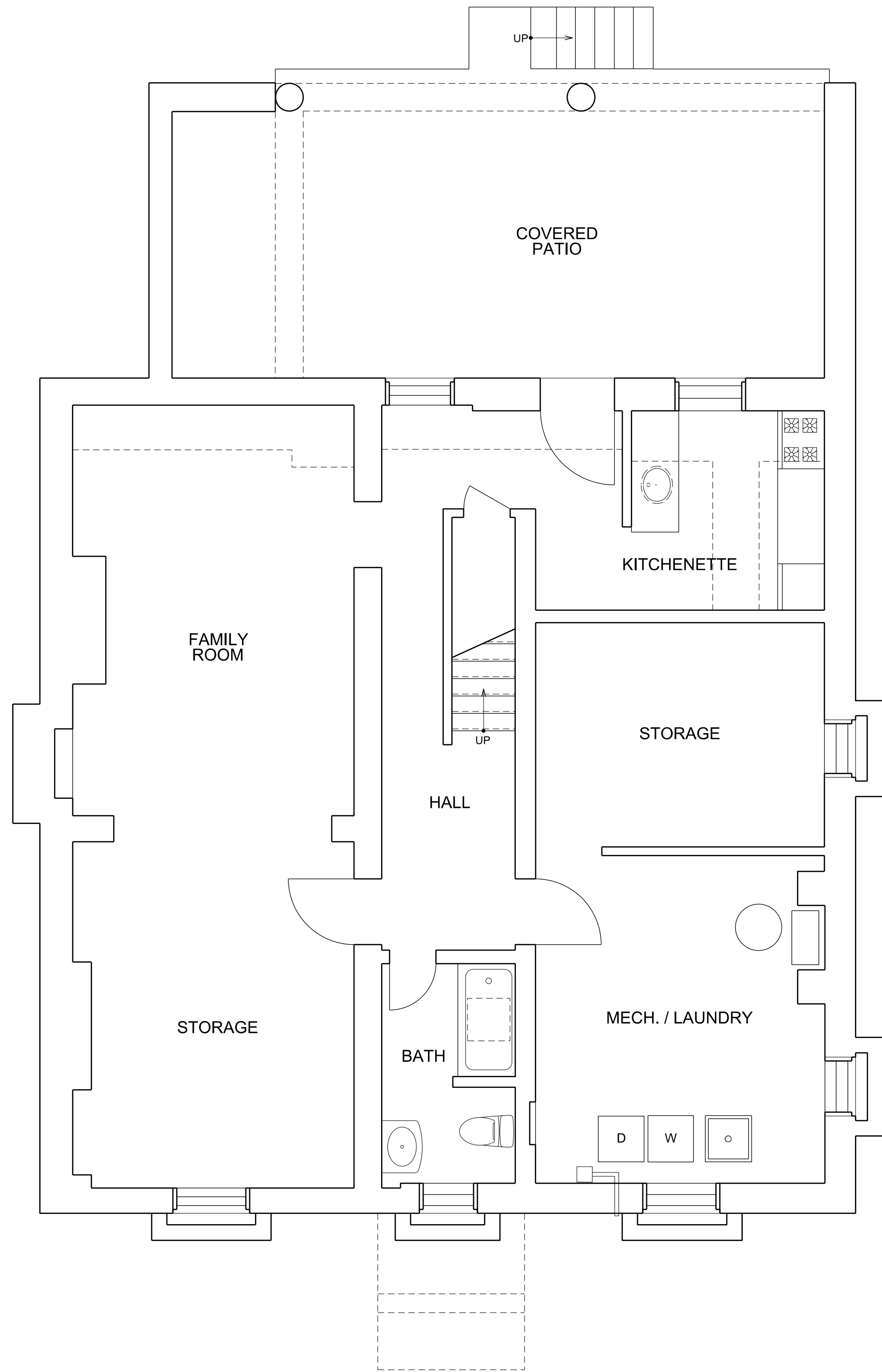
3401 N STREET NW
WASHINGTON, DC 20007

LOT: 0832 SQUARE: 1228

COVER PAGE

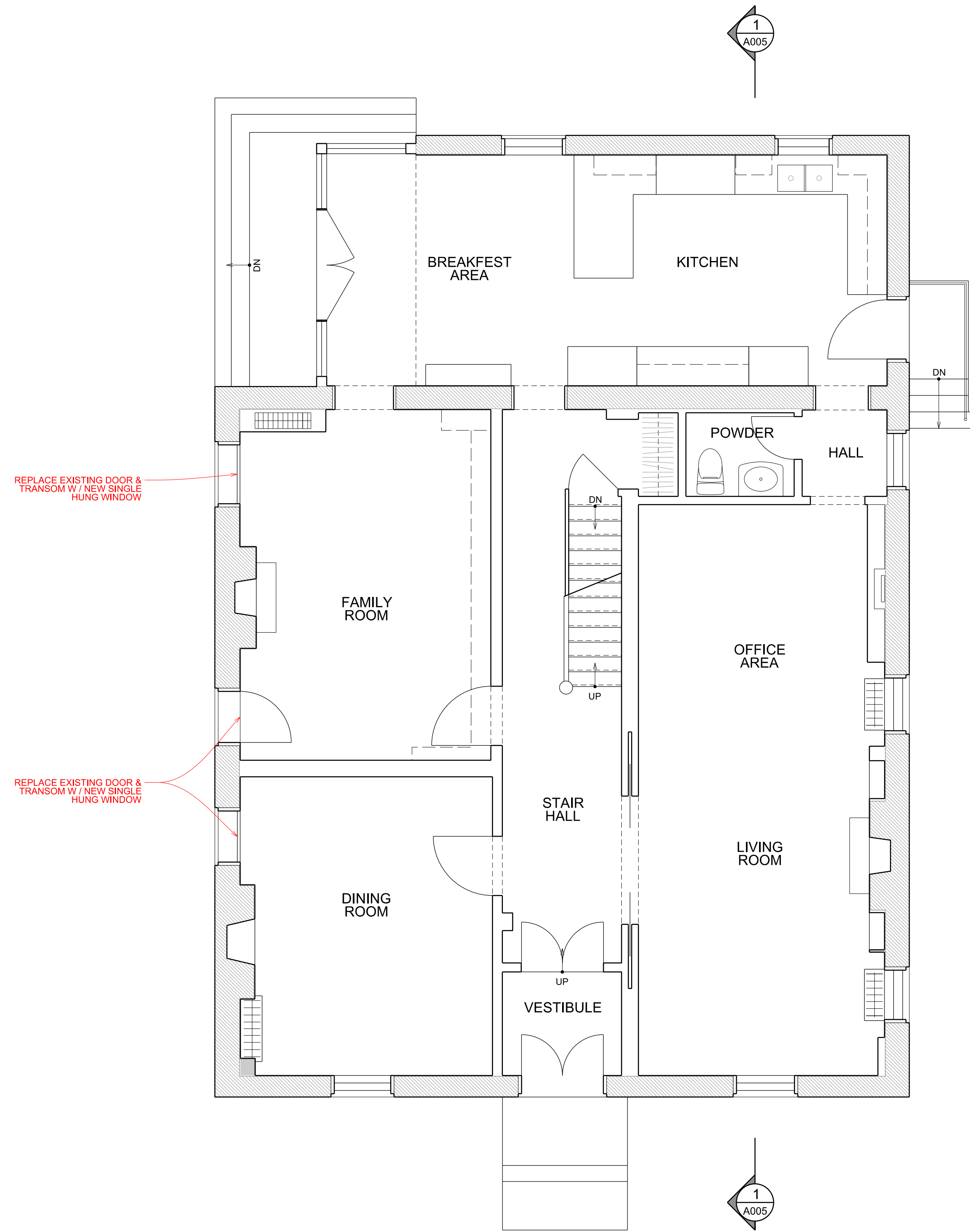
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DATE: 01-20-2022

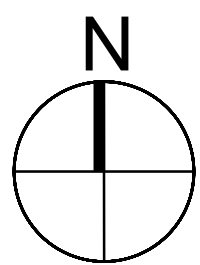
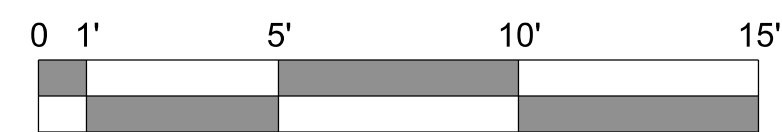


NO CHANGES TO CELLAR PLAN

1
A001
EXISTING CELLAR PLAN
SCALE: 1/4" = 1'-0"



2
A001
EXISTING 1ST FLR PLAN
SCALE: 1/4" = 1'-0"



EXISTING CELLAR & 1ST FLOOR PLANS

A001

DATE: 01-20-2022

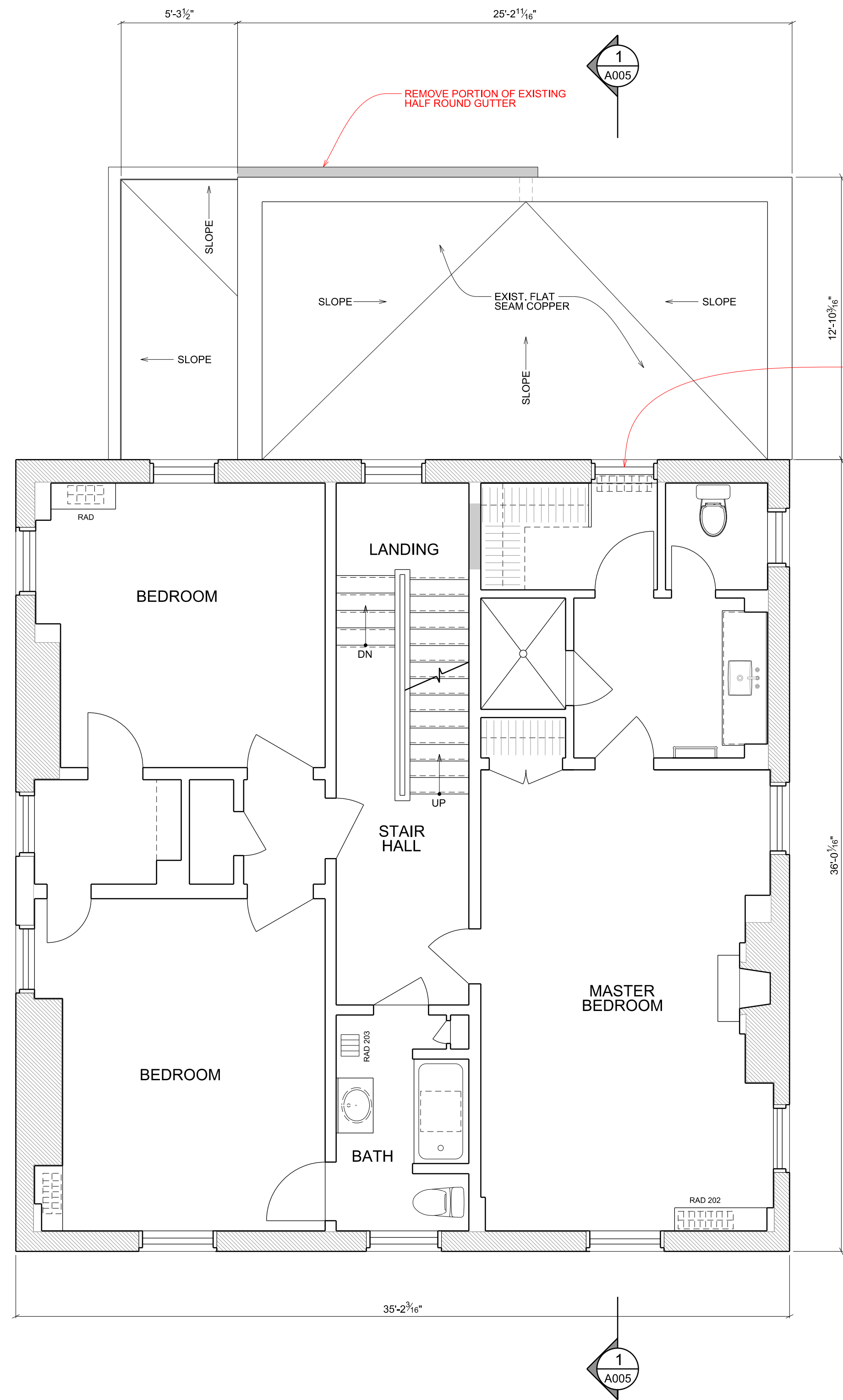
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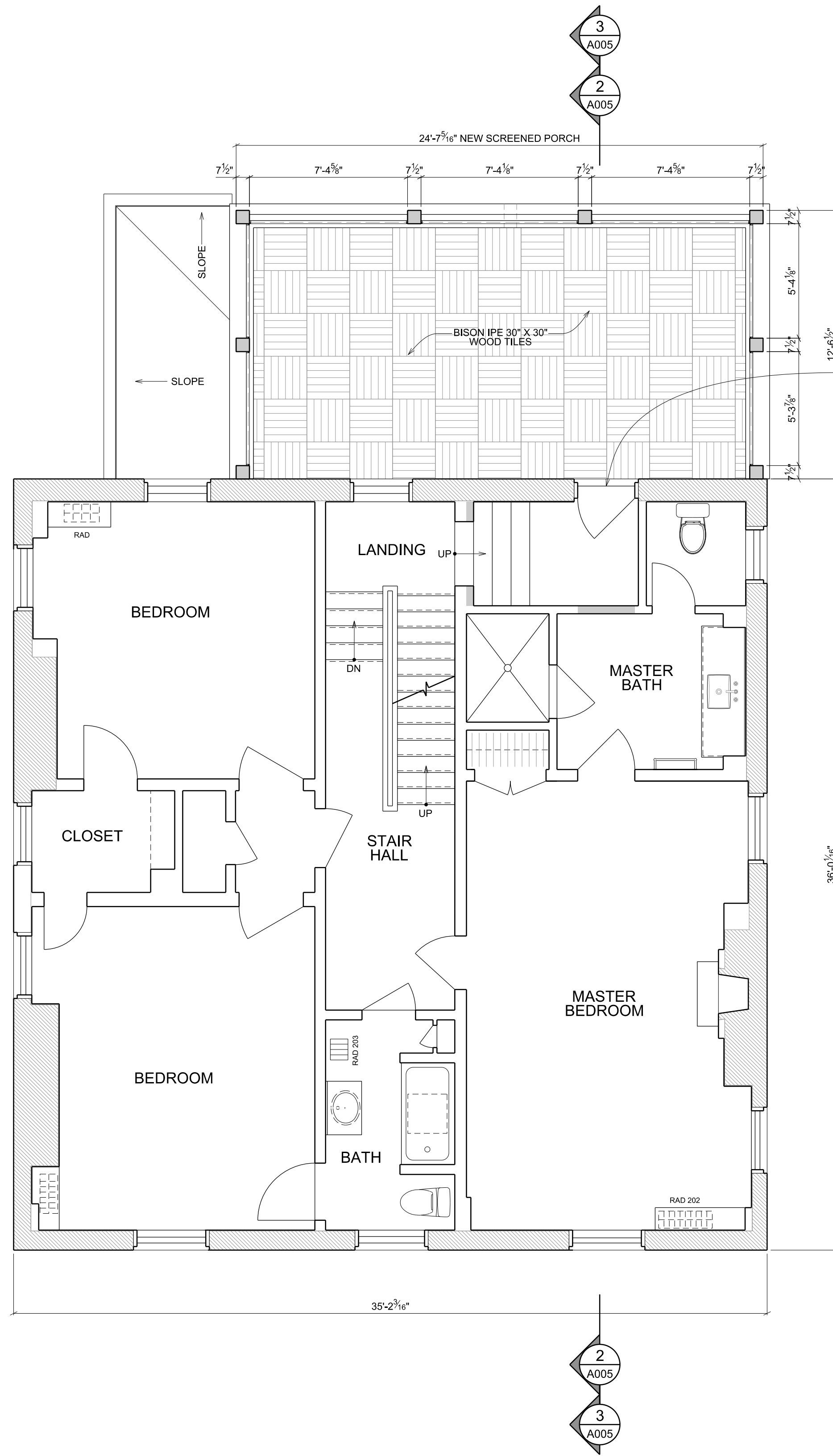
1
A002

EXISTING 2ND FLR PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION

REMOVE WINDOW & CUT DOWN SIDES OF EXISTING MASONRY WINDOW OPENING FOR NEW PROPOSED DOORS

REMOVE PORTION OF EXISTING HALF ROUND GUTTER



2
A002

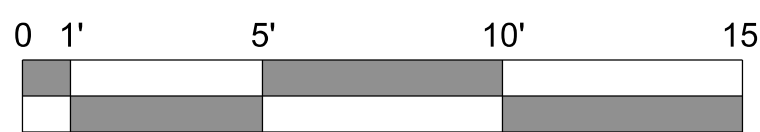
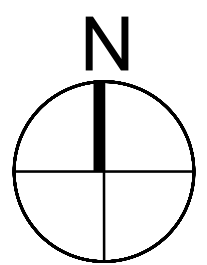
PROPOSED 2ND FLR PLAN
SCALE: 1/4" = 1'-0"

NEW CONSTRUCTION

REMOVE EXISTING WINDOW & CUT DOWN SIDES OF EXISTING MASONRY WINDOW OPENING FOR NEW SINGLE FRENCH DOOR

BISON IPE 30" X 30" WOOD TILES

24'-7 7/8" NEW SCREENED PORCH





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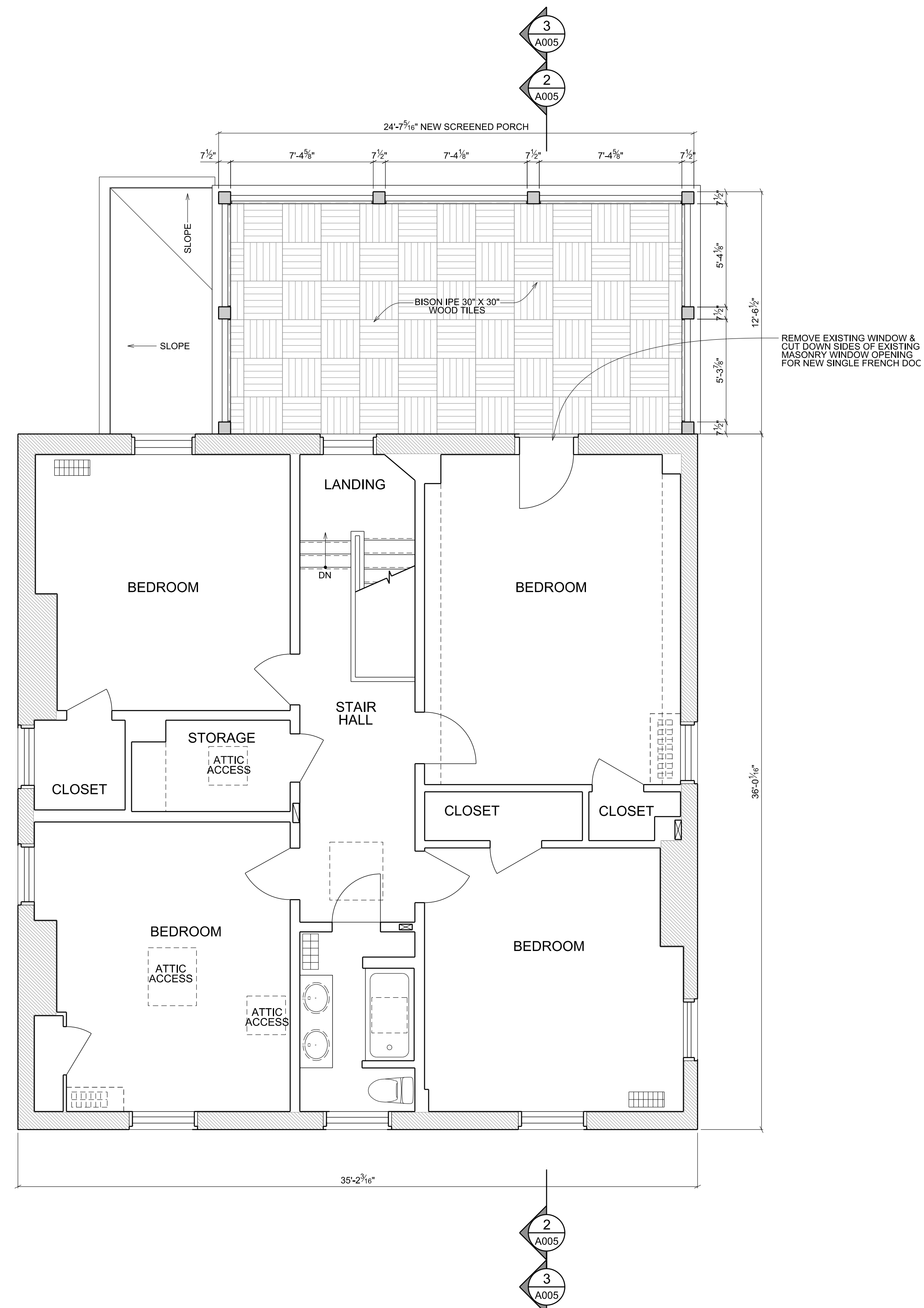
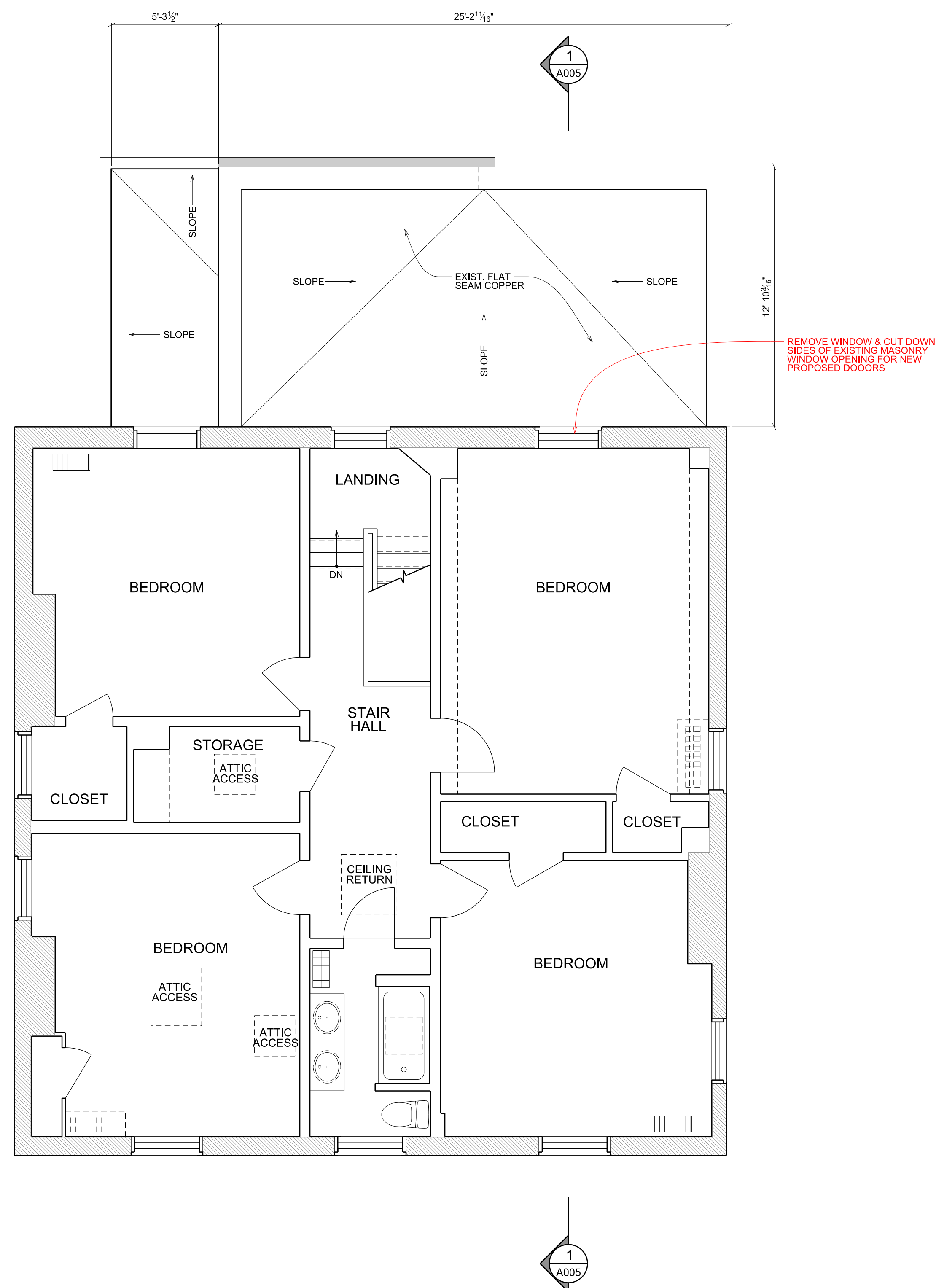
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EXIST. & PROPOSED
2ND FLOOR PLANS

A002

DATE: 01-20-2022



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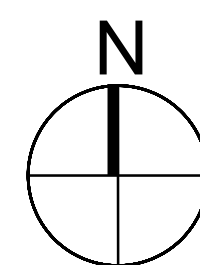
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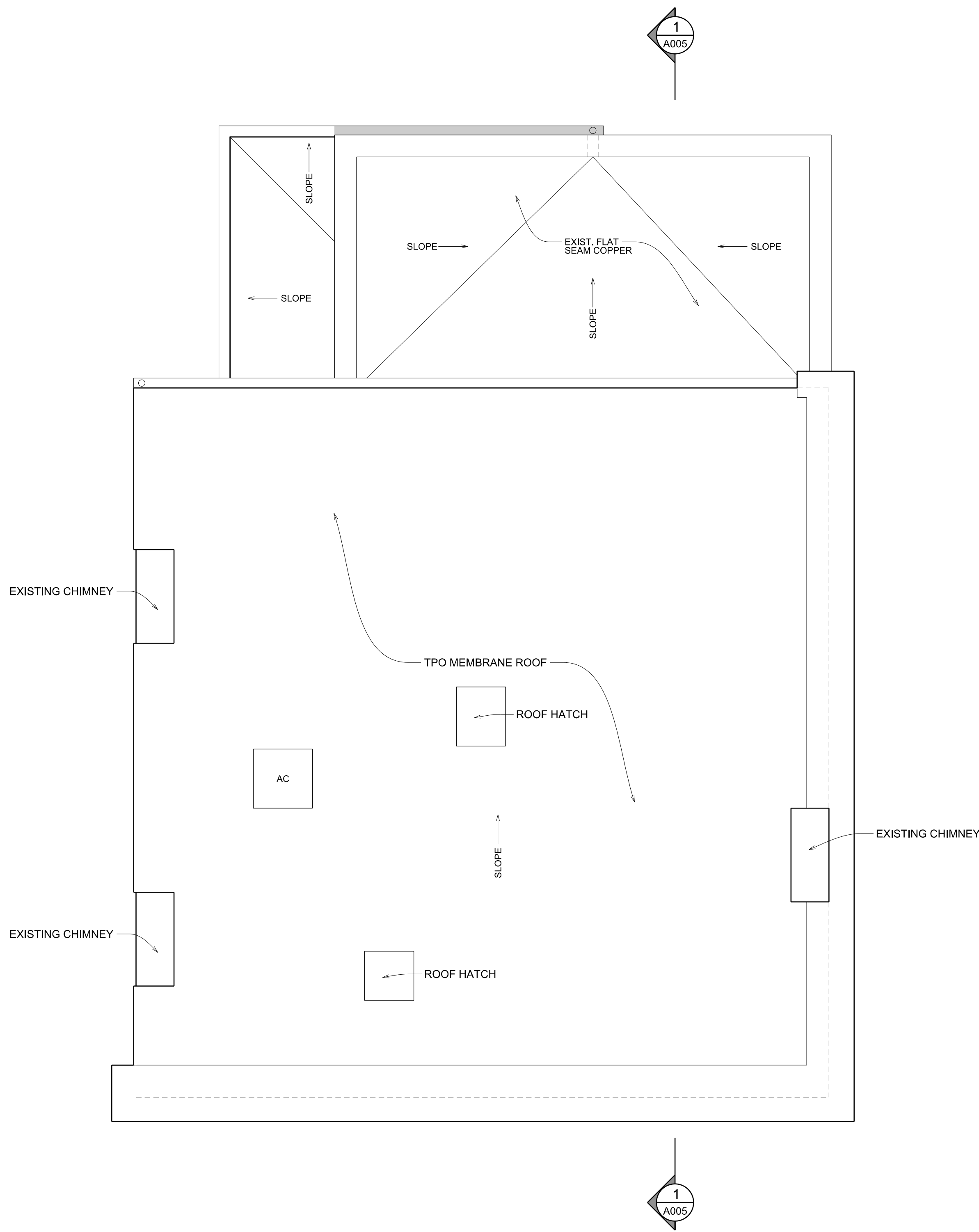
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EXIST. & PROPOSED
3RD FLOOR PLANS

A003

DATE: 01-20-2022

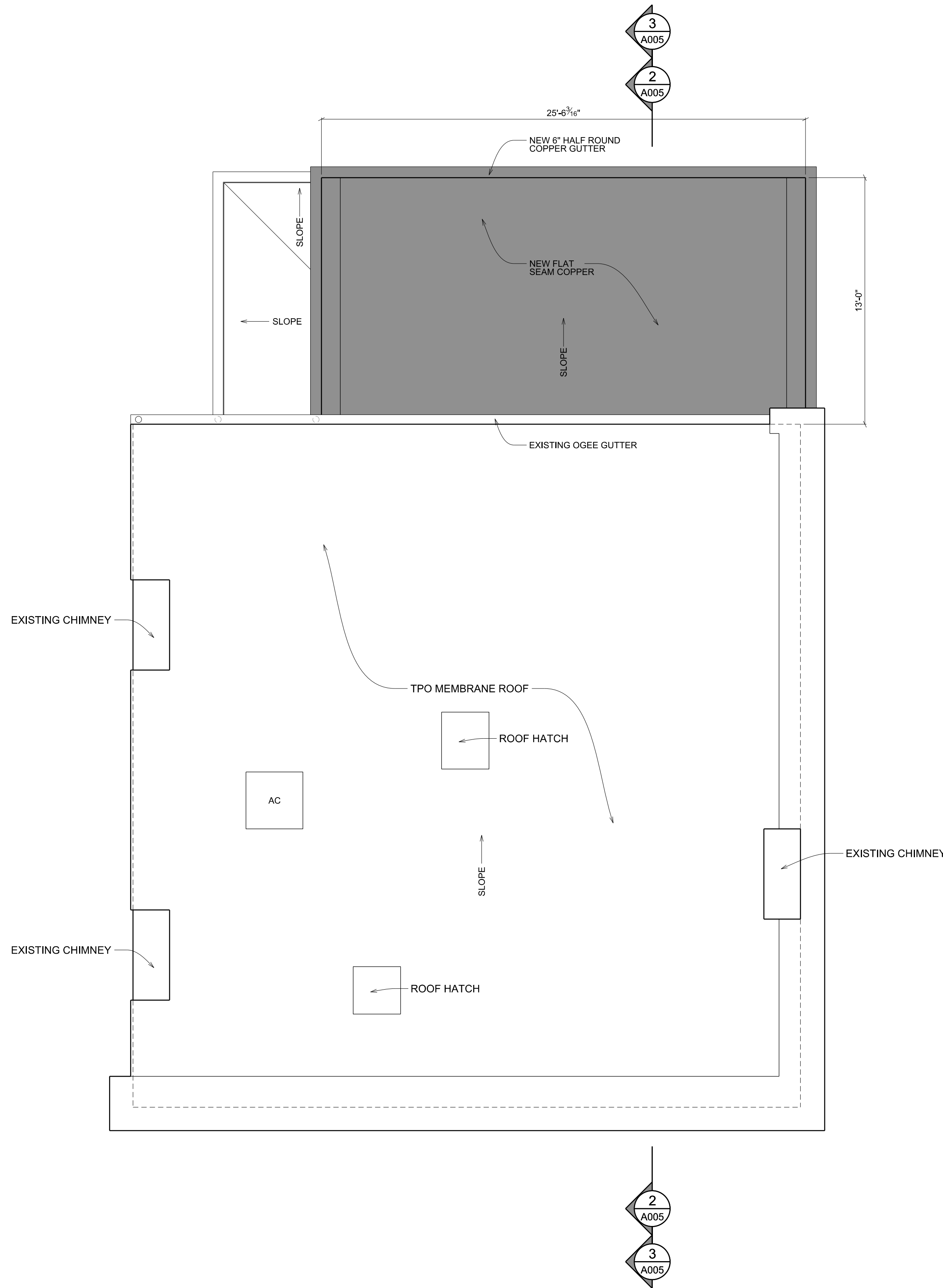




1
A004

EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"

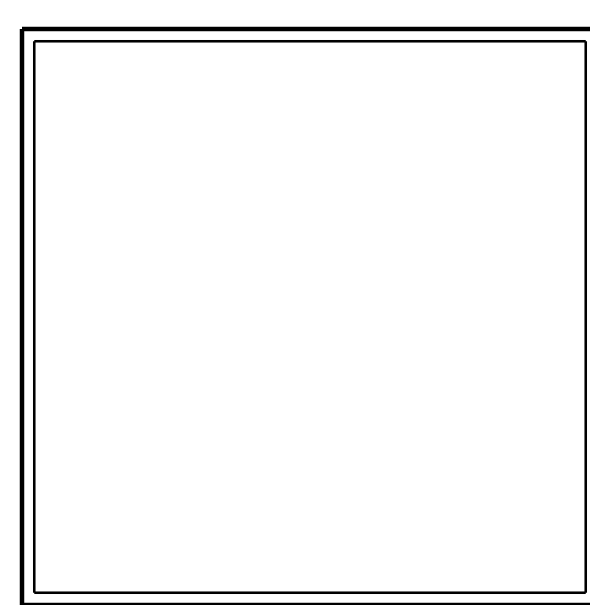
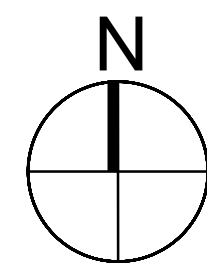
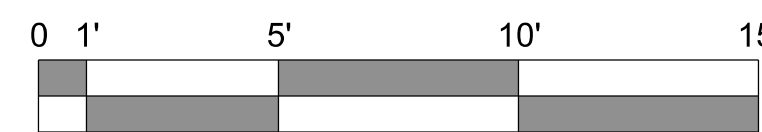
DEMOLITION



2
A005

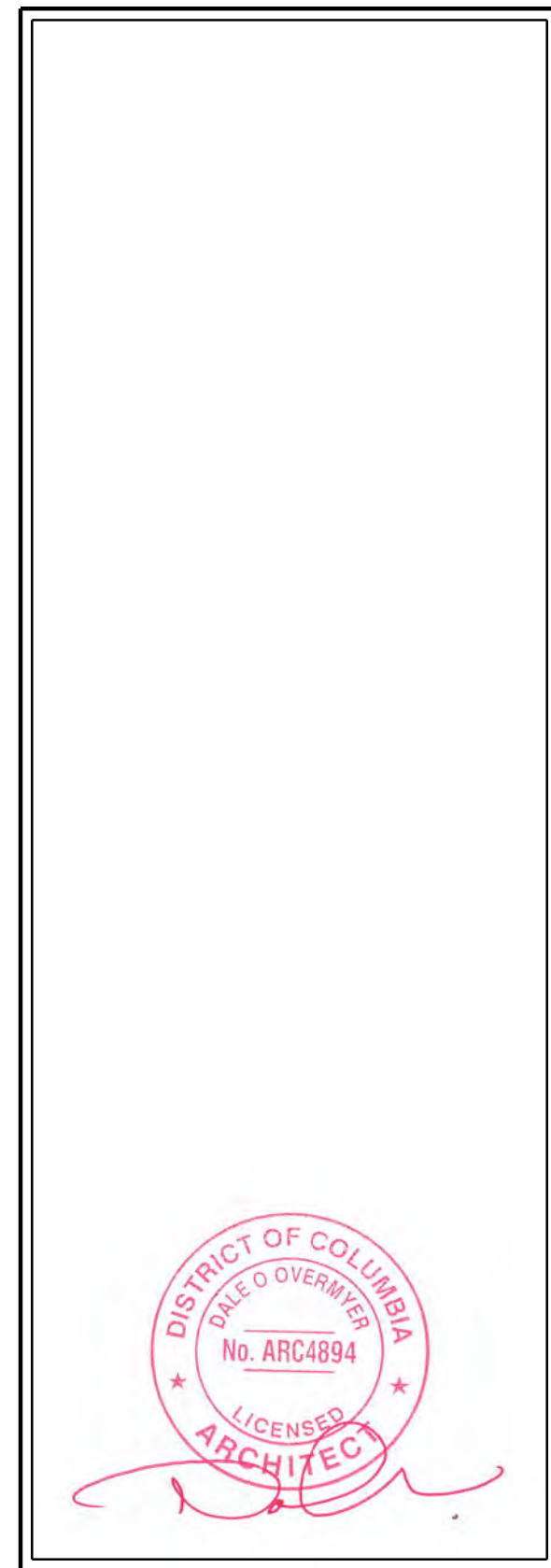
PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

NEW CONSTRUCTION




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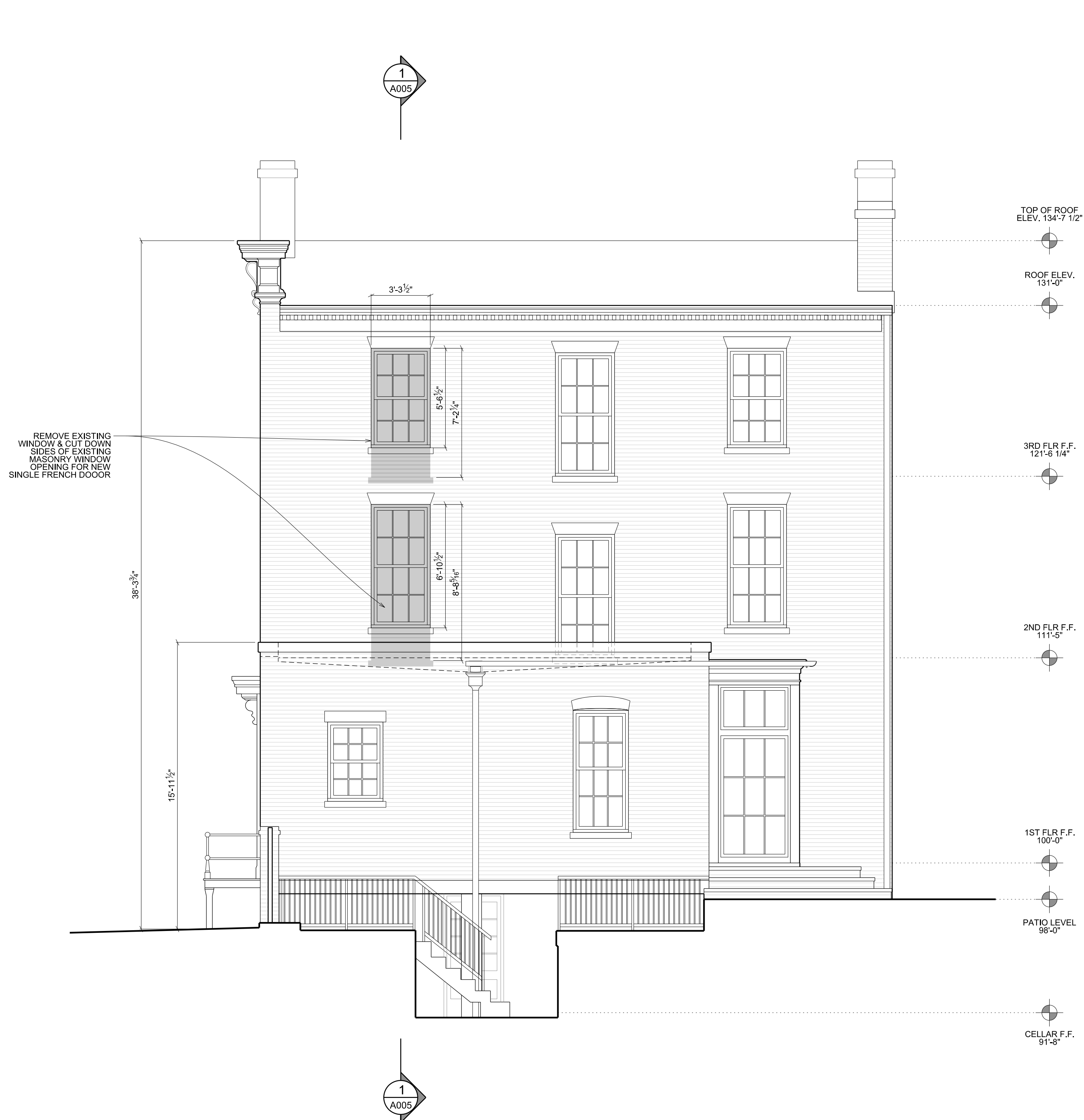


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EXIST. & PROPOSED
ROOF PLANS

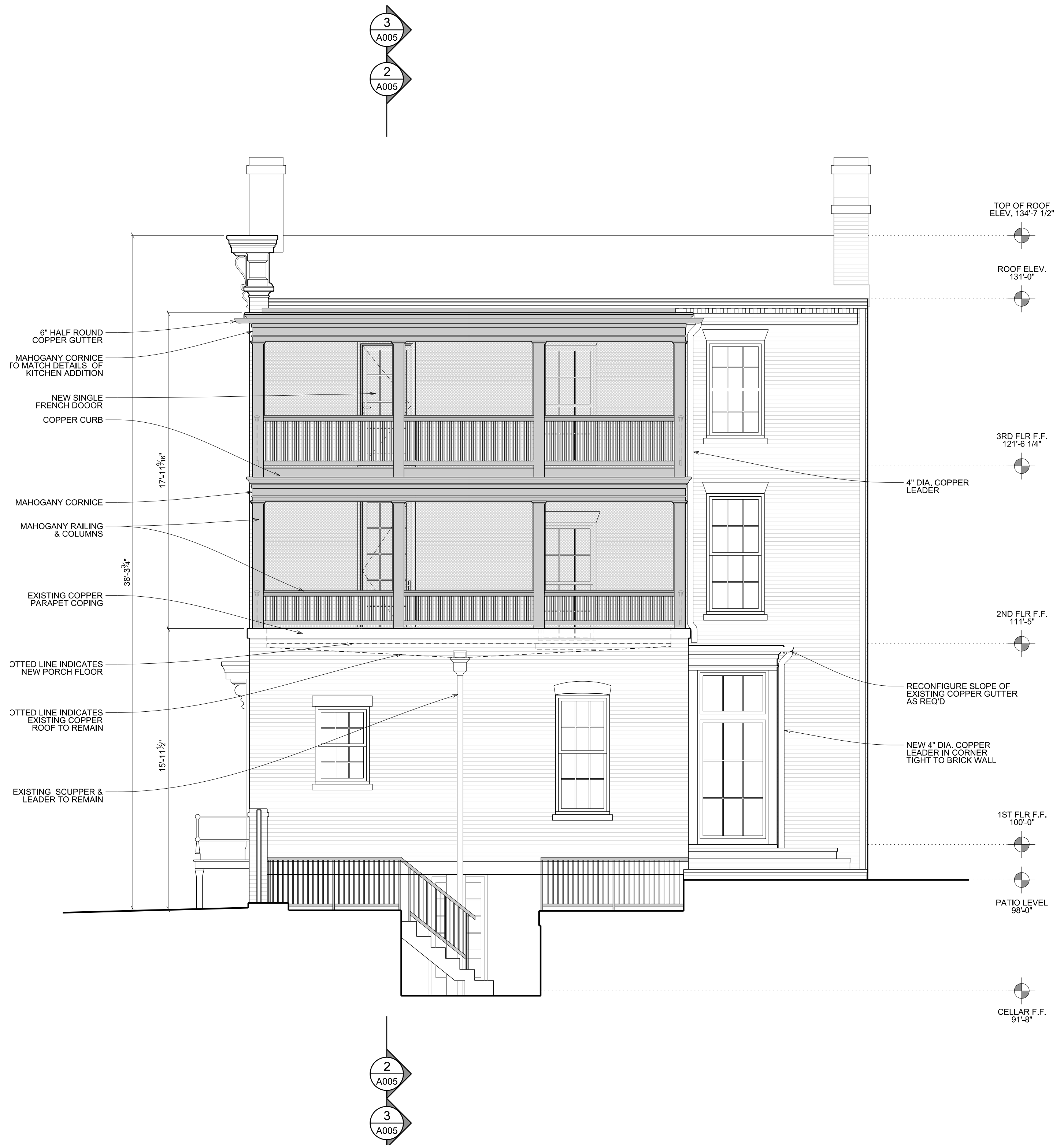
A004

DATE: 01-20-2022



1
A005
EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

DEMOLITION



2
A005
PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

NEW CONSTRUCTION





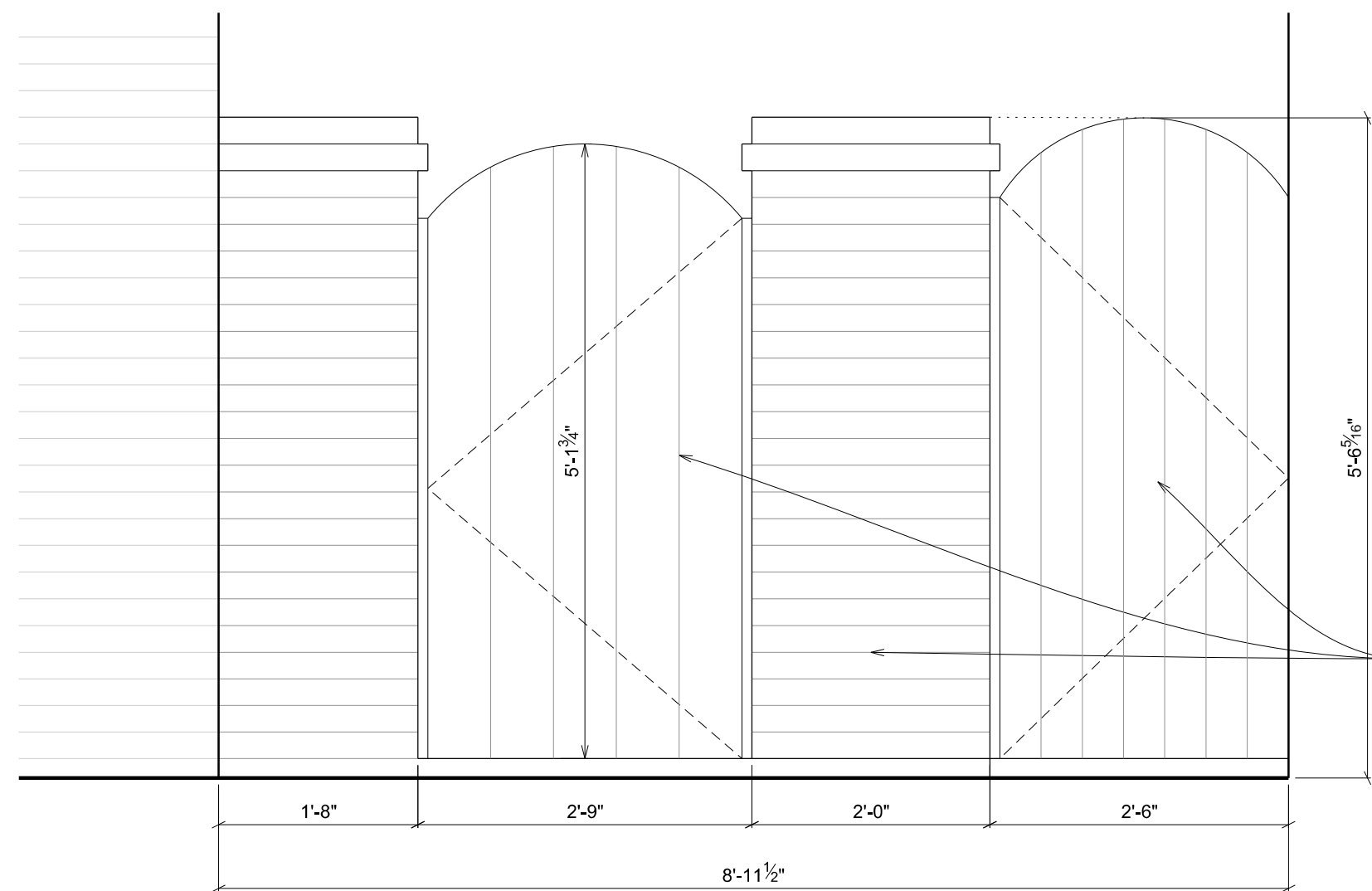
1 EXISTING EAST ELEVATION

A006 SCALE: 1/4" = 1'-0"

DEMOLITION

WOOD GATES & BRICK PIERS TO BE REMOVED & REPLACED W/ NEW WOOD GATE & MASONRY WALL

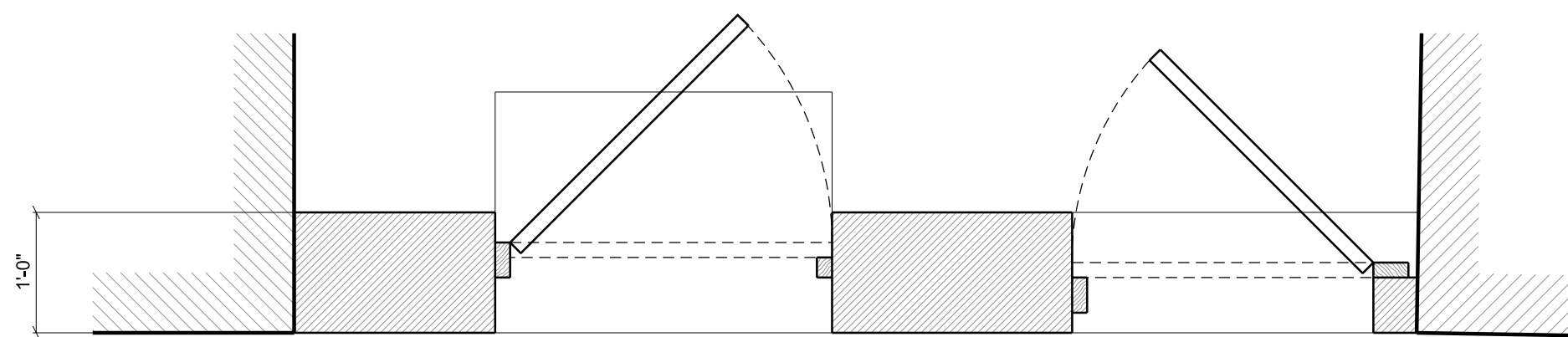
3 A006



EXISTING WOOD GATES & BRICK PIERS TO BE REMOVED

3 EXISTING GATE DETAILS

A006 SCALE: 3/4" = 1'-0"

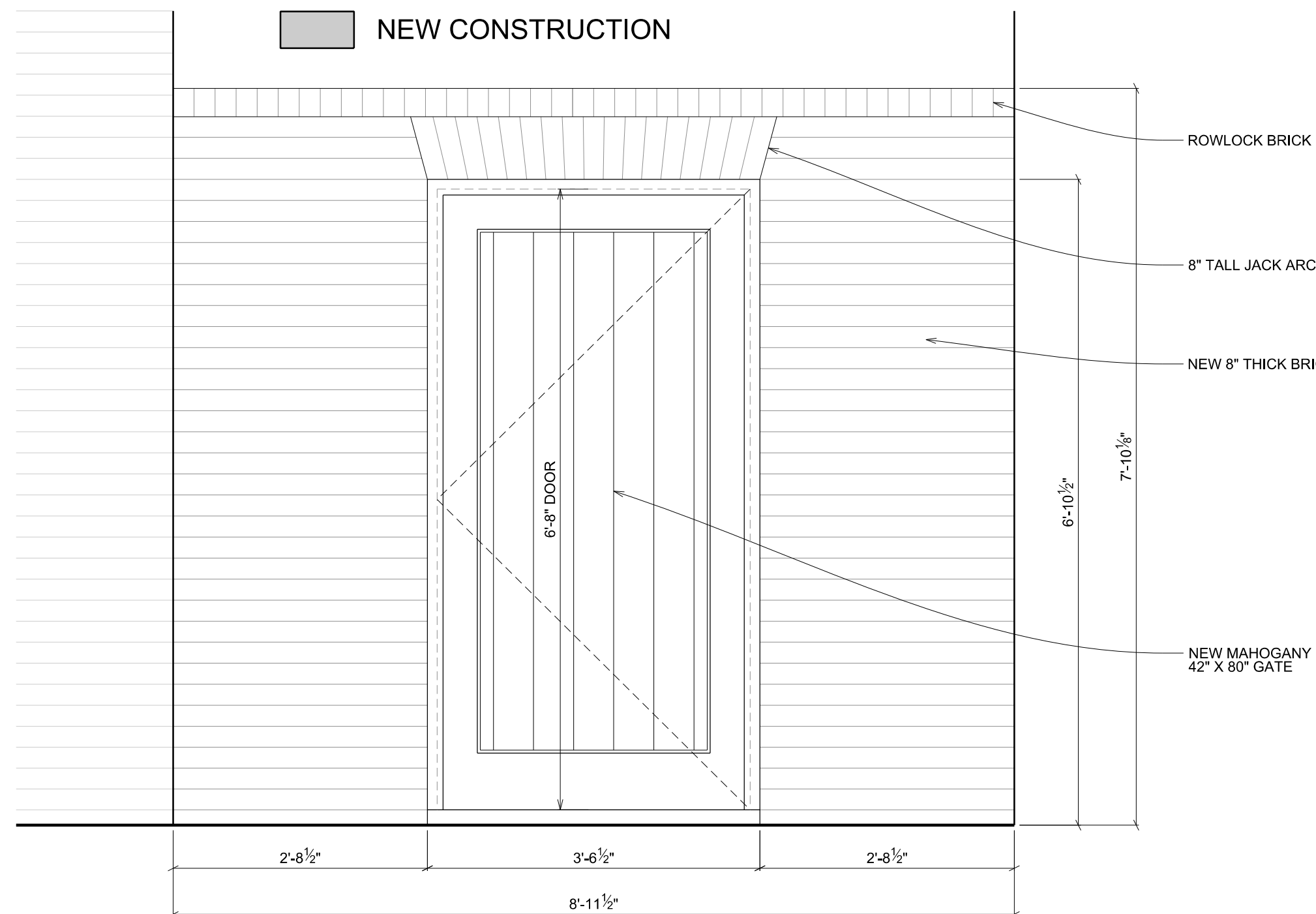


2 PROPOSED EAST ELEVATION

A006 SCALE: 1/4" = 1'-0"

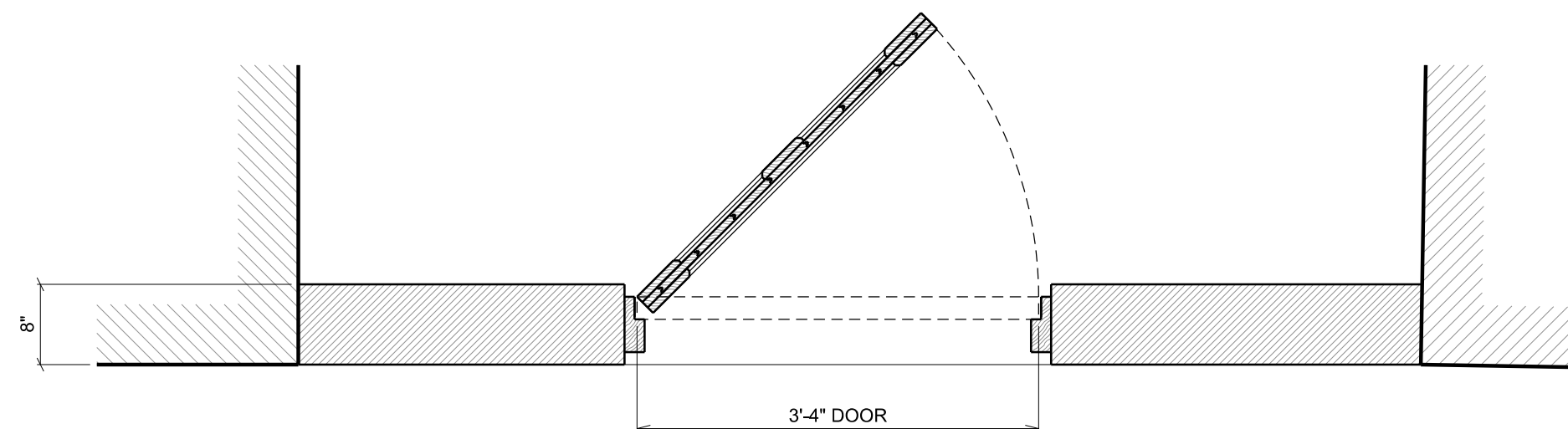
NEW CONSTRUCTION

4 A006



4 PROPOSED GATE DETAILS

A006 SCALE: 3/4" = 1'-0"



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EXIST. & PROPOSED
EAST ELEVATIONS

A006

DATE: 01-20-2022



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LOT: 0832 SQUARE: 1228

EXIST. & PROPOSED
WEST ELEVATIONS

A007

DATE: 01-20-2022



1 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

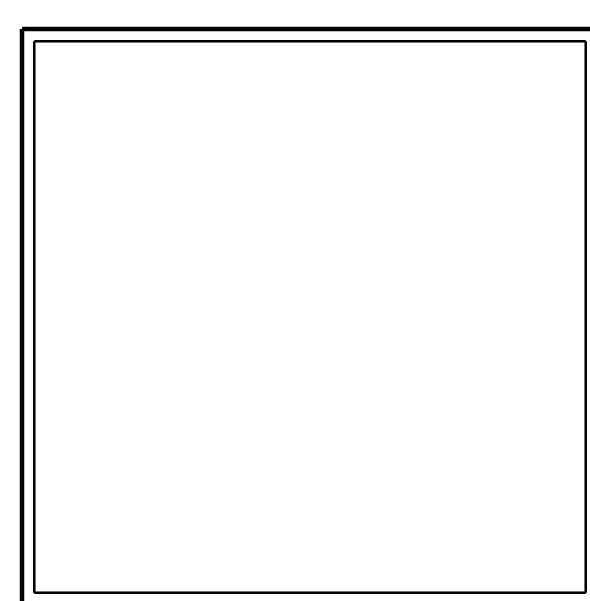
DEMOLITION



2 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

NEW CONSTRUCTION





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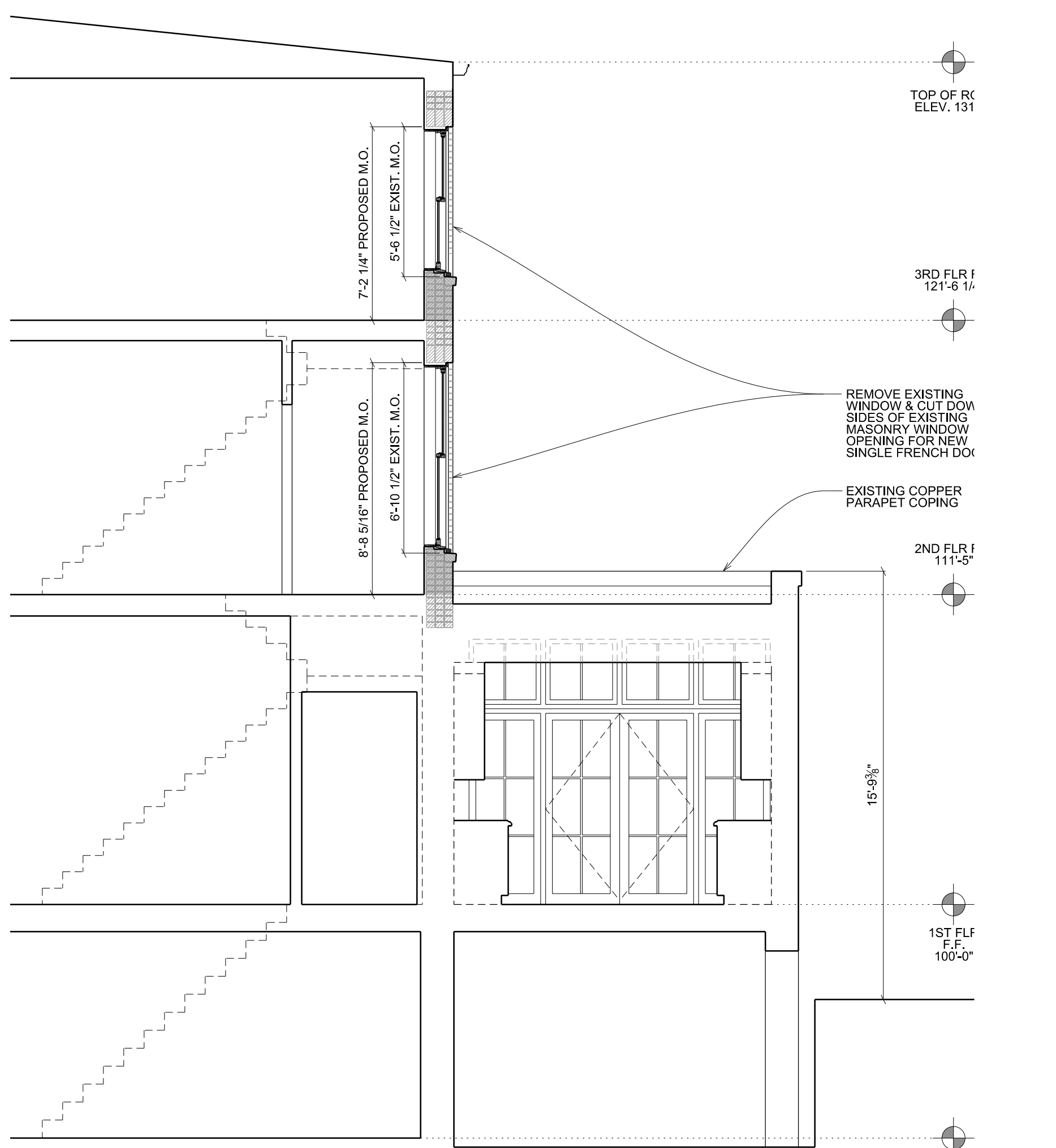
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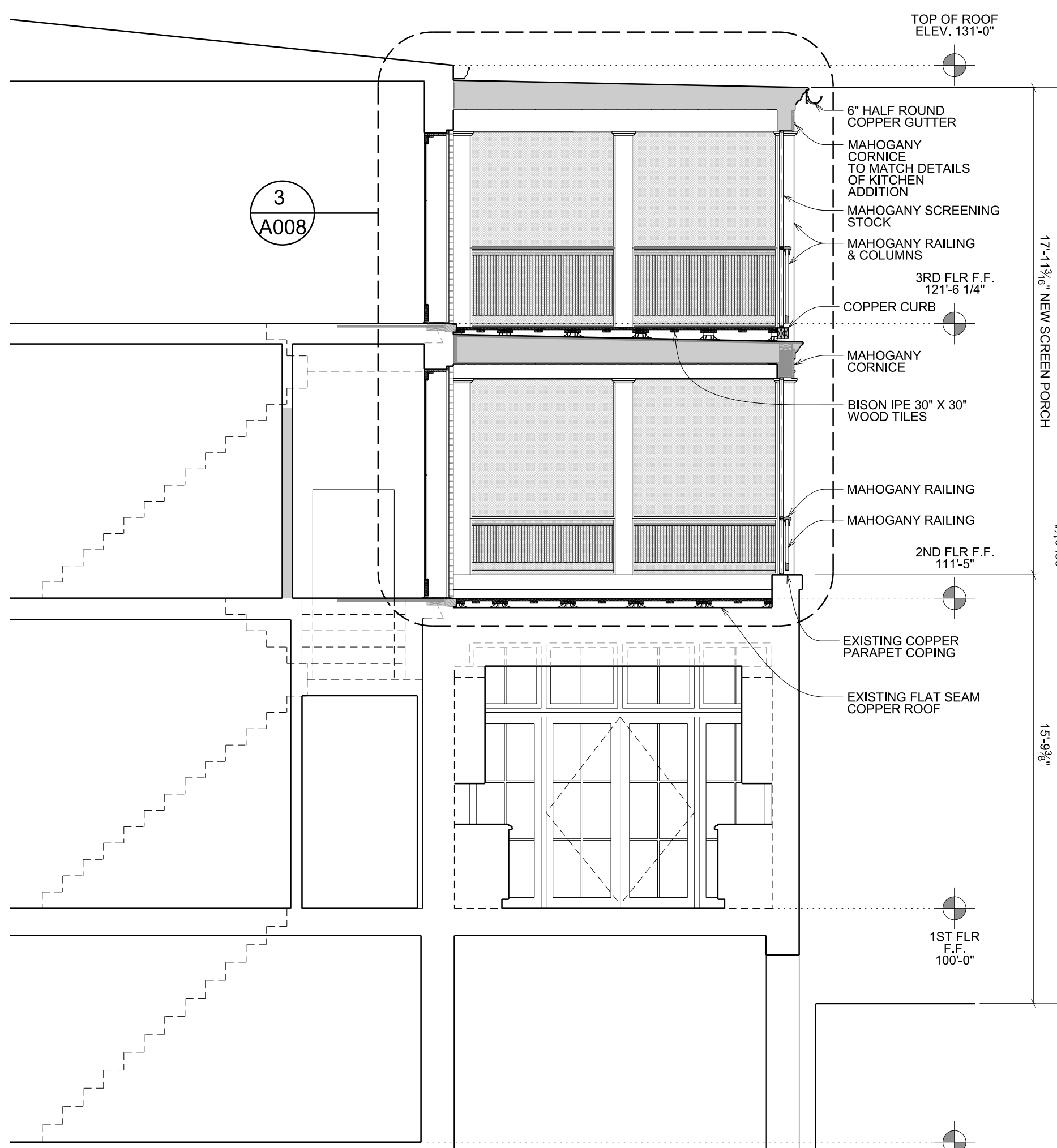
EXIST. & PROPOSED
BUILDING SECTIONS
& DETAILS

A008

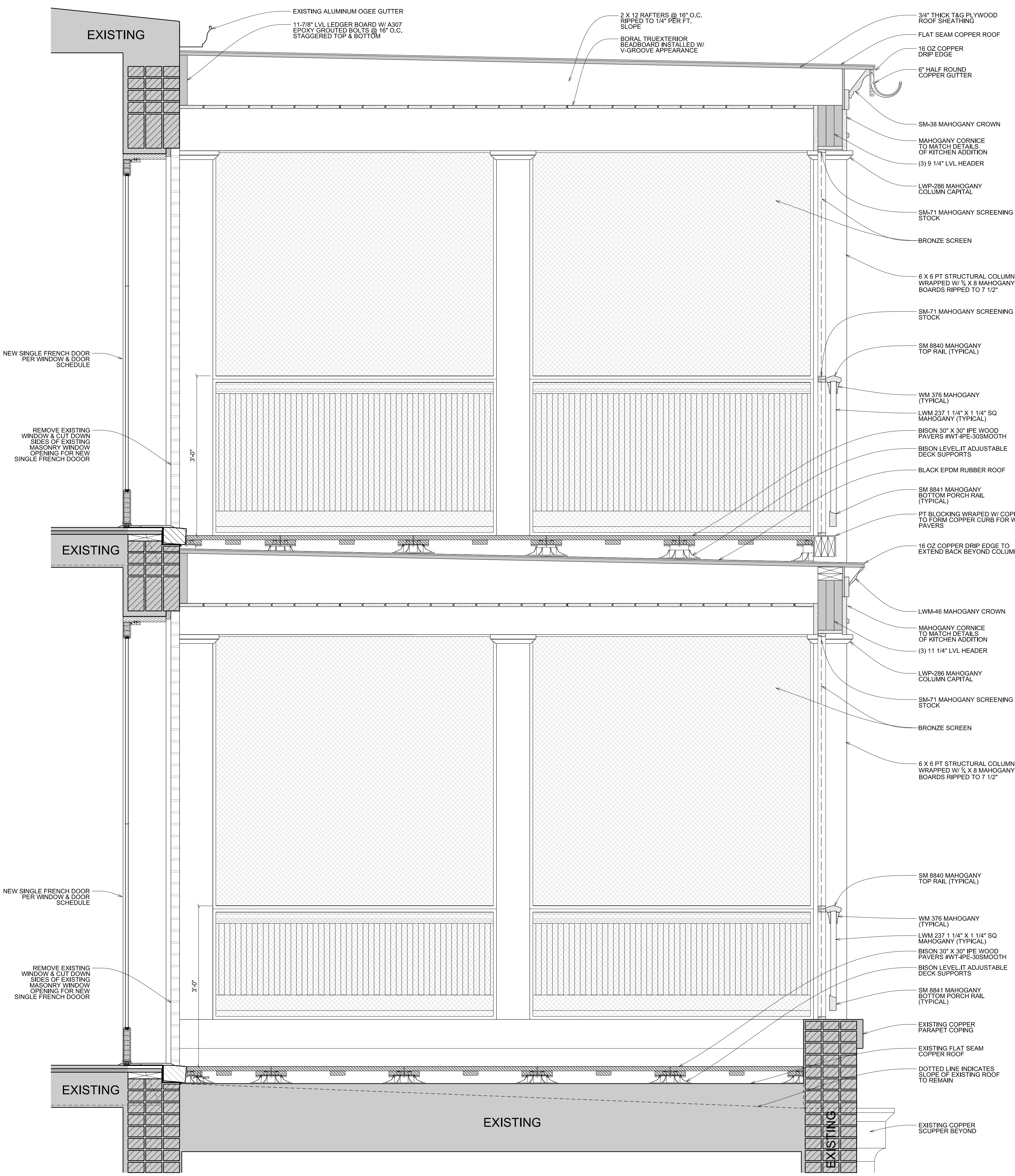
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1
A008
EXISTING BUILDING SECTION
SCALE: 1/4" = 1'-0"



2
A008
PROPOSED BUILDING SECTION
SCALE: 1/4" = 1'-0"



3
A008
DETAILED BUILDING SECTION
SCALE: 1" = 1'-0"



VIEW OF EXISTING CONDITION FROM 34TH ST NW



VIEW OF PROPOSED PORCH FROM 34TH ST NW



VIEW OF EXISTING CONDITION FROM INTERSECTION OF N & 34TH ST NW



VIEW OF PROPOSED PORCH FROM INTERSECTION OF N & 34TH ST NW



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RENDERINGS

P1

DATE: 01-20-2022



VIEW FROM N ST NW



VIEW OF NE CORNER FROM 34TH ST NW



VIEW OF NW CORNER FROM BACKYARD



VIEW OF EAST ELEV FROM 34TH ST NW



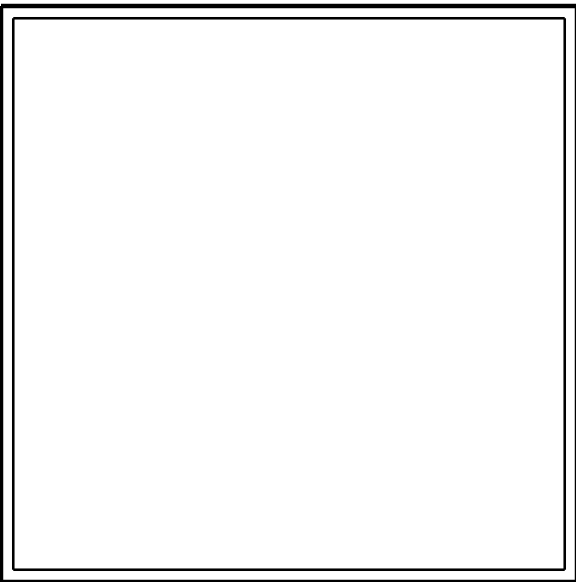
EXISTING GATES TO BE REPLACED



EXISTING DOORS TO BE REPLACED



EXISTING WINDOW @ SOUTH ELEV TO COPY






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EXISTING CONDITION
PHOTOGRAPHS

P2

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