

1524 33RD ST NW, SUBDIVISION

PROPERTY INFORMATION

OWNER: 1524 33rd St NW LLC
jay@cobadc.com
202-681-8126

ADDRESS: 1524 33rd st nw
WASHINGTON, DC 20007

LOT: 0889

SQUARE: 1254

BUILDING DATA

USE GROUP: RESIDENTIAL GROUP R-3

DWELLING UNITS: 1

CONSTRUCTION TYPE: TYPE 5

SPRINKLERED: NO

SMOKE DETECTORS: YES - HARDWIRED & INTERCONNECTED WITH BATTERY BACKUP, ON SEPARATE CIRCUIT FROM MAIN PANEL.

ZONING DATA

GENERAL

ZONING DISTRICT: RESIDENTIAL R-20

WARD: 2

ANC: 2E

SMD: 2E03

PROPOSED LOT #1

EXIST. LOT AREA: 9749.9 FT²

PROPOSED LOT AREA: 5493.64 FT²

EXISTING BUILDING AREA: 1,850.89 FT²

PROPOSED BUILDING AREA: NO CHANGE

MAXIMUM LOT OCCUPANCY: 60.0%

EXISTING LOT OCCUPANCY: 19%

PROPOSED LOT OCCUPANCY: 34%

BUILDING

MAXIMUM HEIGHT: 35 FT (40 IF ADJACENT BUILDING IS ALREADY 40 FT OR GREATER)

EXISTING HEIGHT: 28.9 FT

PROPOSED HEIGHT: NO CHANGE

MAXIMUM STORIES: 3

EXISTING STORIES: 2 + CELLAR

PROPOSED STORIES: NO CHANGE

SETBACKS

MINIMUM FRONT YARD SETBACK: CONSISTENT W/ AT LEAST ONE ADJACENT PROPERTY

EXISTING FRONT YARD SETBACK: 0 FT

PROPOSED FRONT YARD SETBACK: NO CHANGE

MINIMUM REAR YARD SETBACK: 20.0 FT

EXISTING REAR YARD SETBACK: 44.72 FT

PROPOSED REAR YARD SETBACK: NO CHANGE

MINIMUM SIDE YARD SETBACK: 5.0 FT IF PROVIDED

EXISTING WEST: 0 FT

PROPOSED WEST: NO CHANGE

EXISTING EAST: 0 FT

PROPOSED EAST: NO CHANGE

PERVIOUS SURFACE

MINIMUM PERVIOUS SURFACE: 20.0%

EXISTING PERVIOUS SURFACE: 37.0%

PROPOSED PERVIOUS SURFACE: 35.0%

CONSULTANTS

ARCHITECT

OVERMYER ARCHITECTS
CONTACT: DENNIS HORNICK
3213 P STREET NW
WASHINGTON, DC 20007
(202) 333-5596 ext. 6
dennis@overmyerarcitects.com

SCOPE OF WORK

- SUBDIVISION OF LOT 0889, SQ 1254 INTO THREE SEPARATE BUILDING LOTS
- TWO NEW ROW HOUSE DWELLINGS ON TWO NEW LOTS THAT FACE VOLTA PLACE NW
- PERMEABALE PAVER PARKING COURT AT REAR OF NEW LOTS

PROPOSED LOT #2

EXIST. LOT AREA: N/A

PROPOSED LOT AREA: 2024.28 FT²

EXISTING BUILDING AREA: N/A FT²

PROPOSED BUILDING AREA: 773.12 FT²

MAXIMUM LOT OCCUPANCY: 60.0%

EXISTING LOT OCCUPANCY: N/A

PROPOSED LOT OCCUPANCY: 38.2%

BUILDING

MAXIMUM HEIGHT: 35 FT (40 IF ADJACENT BUILDING IS ALREADY 40 FT OR GREATER)

EXISTING HEIGHT: N/A

PROPOSED HEIGHT: 33'-10 1/2"

MAXIMUM STORIES: 3

EXISTING STORIES: N/A

PROPOSED STORIES: 3 + CELLAR

SETBACKS

MINIMUM FRONT YARD SETBACK: CONSISTENT W/ AT LEAST ONE ADJACENT PROPERTY

EXISTING FRONT YARD SETBACK: N/A

PROPOSED FRONT YARD SETBACK: 0 FT

MINIMUM REAR YARD SETBACK: 20.0 FT

EXISTING REAR YARD SETBACK: N/A

PROPOSED REAR YARD SETBACK: 56.05 FT

MINIMUM SIDE YARD SETBACK: 5.0 FT IF PROVIDED

EXISTING WEST: N/A

PROPOSED WEST: 0 FT

EXISTING EAST: N/A

PROPOSED EAST: 0 FT

PERVIOUS SURFACE

MINIMUM PERVIOUS SURFACE: 20.0%

EXISTING PERVIOUS SURFACE: N/A

PROPOSED PERVIOUS SURFACE: 38%

PROPOSED LOT #3

EXIST. LOT AREA: N/A

PROPOSED LOT AREA: 2236.95 FT²

EXISTING BUILDING AREA: N/A FT²

PROPOSED BUILDING AREA: 1011.85 FT²

MAXIMUM LOT OCCUPANCY: 60.0%

EXISTING LOT OCCUPANCY: N/A

PROPOSED LOT OCCUPANCY: 44%

BUILDING

MAXIMUM HEIGHT: 35 FT (40 IF ADJACENT BUILDING IS ALREADY 40 FT OR GREATER)

EXISTING HEIGHT: N/A

PROPOSED HEIGHT: 33'-2 1/4"

MAXIMUM STORIES: 3

EXISTING STORIES: N/A

PROPOSED STORIES: 3 + CELLAR

SETBACKS

MINIMUM FRONT YARD SETBACK: CONSISTENT W/ AT LEAST ONE ADJACENT PROPERTY

EXISTING FRONT YARD SETBACK: N/A

PROPOSED FRONT YARD SETBACK: 0 FT

MINIMUM REAR YARD SETBACK: 20.0 FT

EXISTING REAR YARD SETBACK: N/A

PROPOSED REAR YARD SETBACK: 46.43 FT

MINIMUM SIDE YARD SETBACK: 5.0 FT IF PROVIDED

EXISTING WEST: N/A

PROPOSED WEST: 0 FT

EXISTING EAST: N/A

PROPOSED EAST: 0 FT

PERVIOUS SURFACE

MINIMUM PERVIOUS SURFACE: 20.0%

EXISTING PERVIOUS SURFACE: N/A

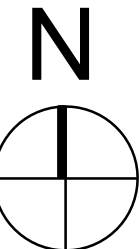
PROPOSED PERVIOUS SURFACE: 39%

SHEET INDEX

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VICINITY PLAN



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SUBDIVISION

1524 33RD STREET NW
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LOT: 0889 SQUARE: 1254

COVER PAGE

001

DATE: 08-24-2022



3308-3312 VOLTA PLACE NW



LOCATION OF PROPOSED NEW LOTS



3316 VOLTA PLACE NW



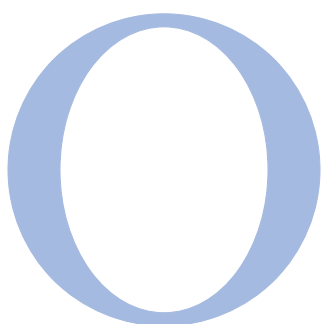
WEST ELEVATION OF 3312 VOLTA PLACE NW
& EXISTING PAVED PARKING ADJACENT TO
VOLTA PLACE NW @ REAR OF LOT 0889



EXISTING CURB CUT TO REAR
OF LOT 0889, LOCATION OF PROPOSED
NEW LOTS



EXISTING CONCRETE DRIVE &
PAVED PARKING



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LOT: 0889 SQUARE: 1254

EXISTING PHOTOS

002

DATE: 08-24-2022



EXISTING CONCRETE DRIVE AT REAR OF EXISTING LOT



EXISTING PAVED PARKING BETWEEN
3312 & 3316 VOLTA PLACE NW, LOCATION
PROPOSED NEW LOTS



EXISTING REAR ELEVATION OF 1524 33RD ST NW,
LOCATION OF FUTURE ADDITION



EXISTING POOL & PATIO LOOKING WEST



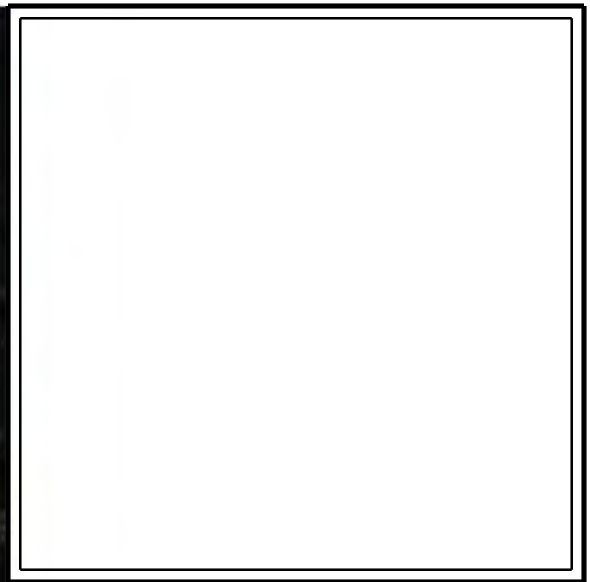
EXISTING POOL & PATIO LOOKING SOUTH



EXISTING POOL PATIO LOOKING NORTHEAST



EXISTING POOL & PATIO LOOKING NORTH



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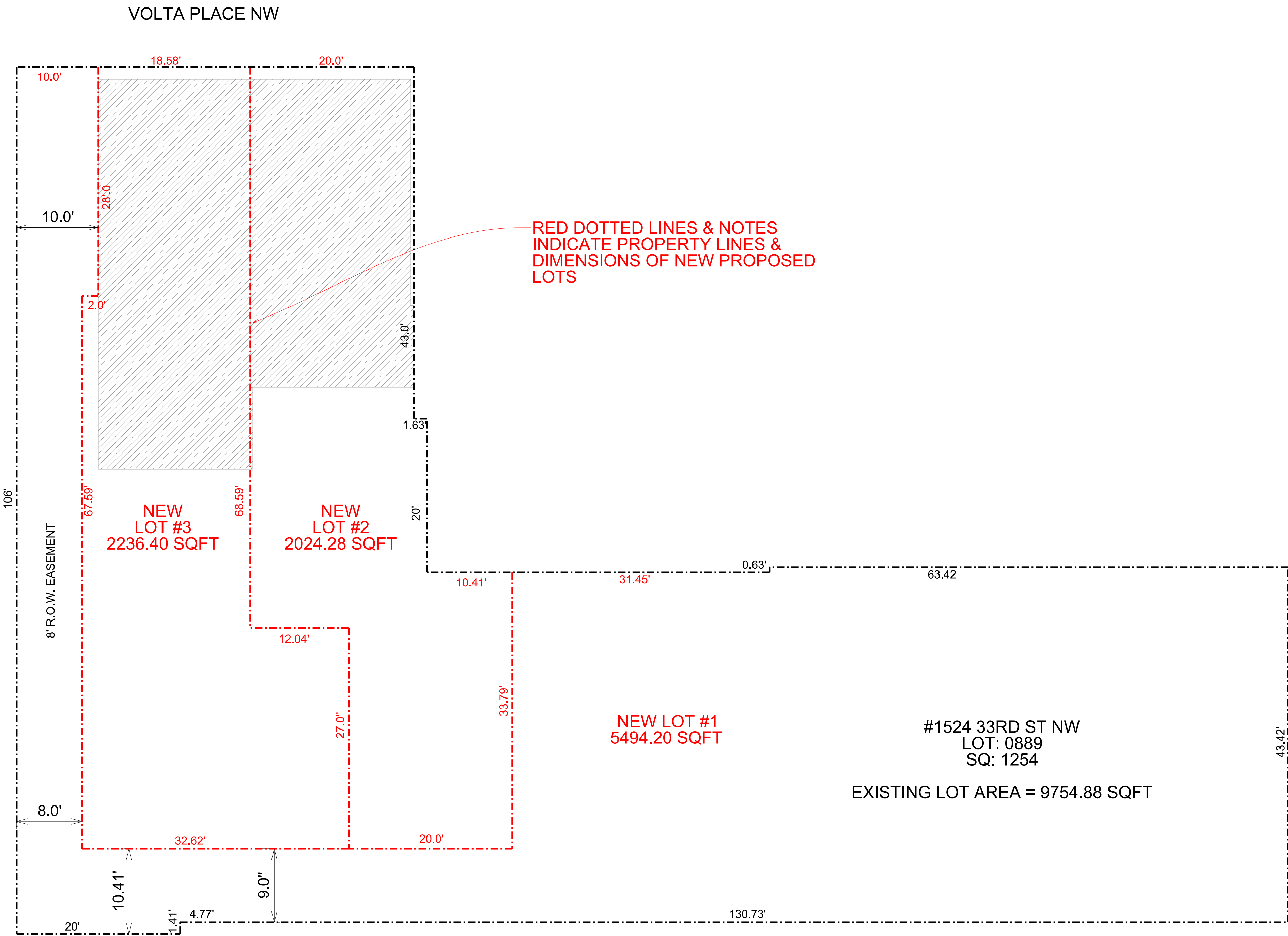
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LOT: 0889 SQUARE: 1254

EXISTING PHOTOS

003

DATE: 08-24-2022



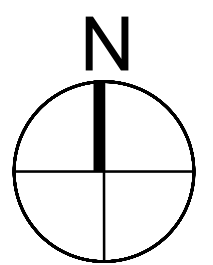
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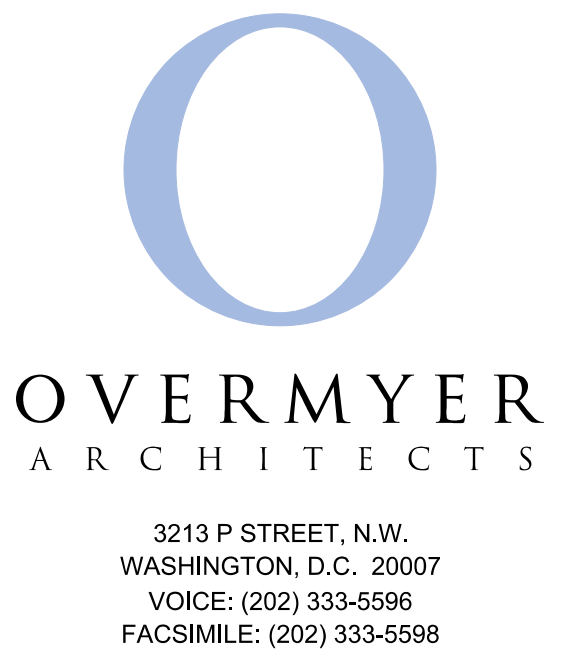
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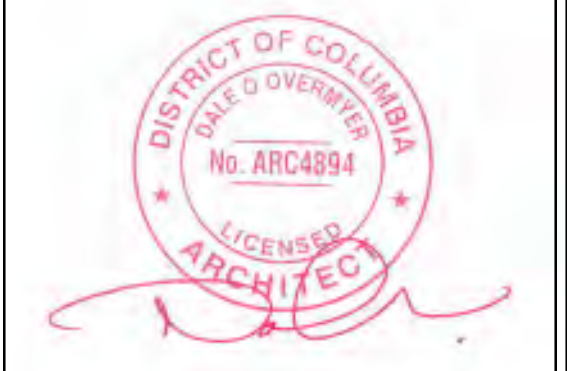
PROPOSED
SUBDIVISION

A001

DATE: 08-24-2022



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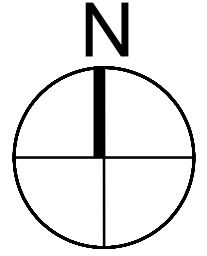


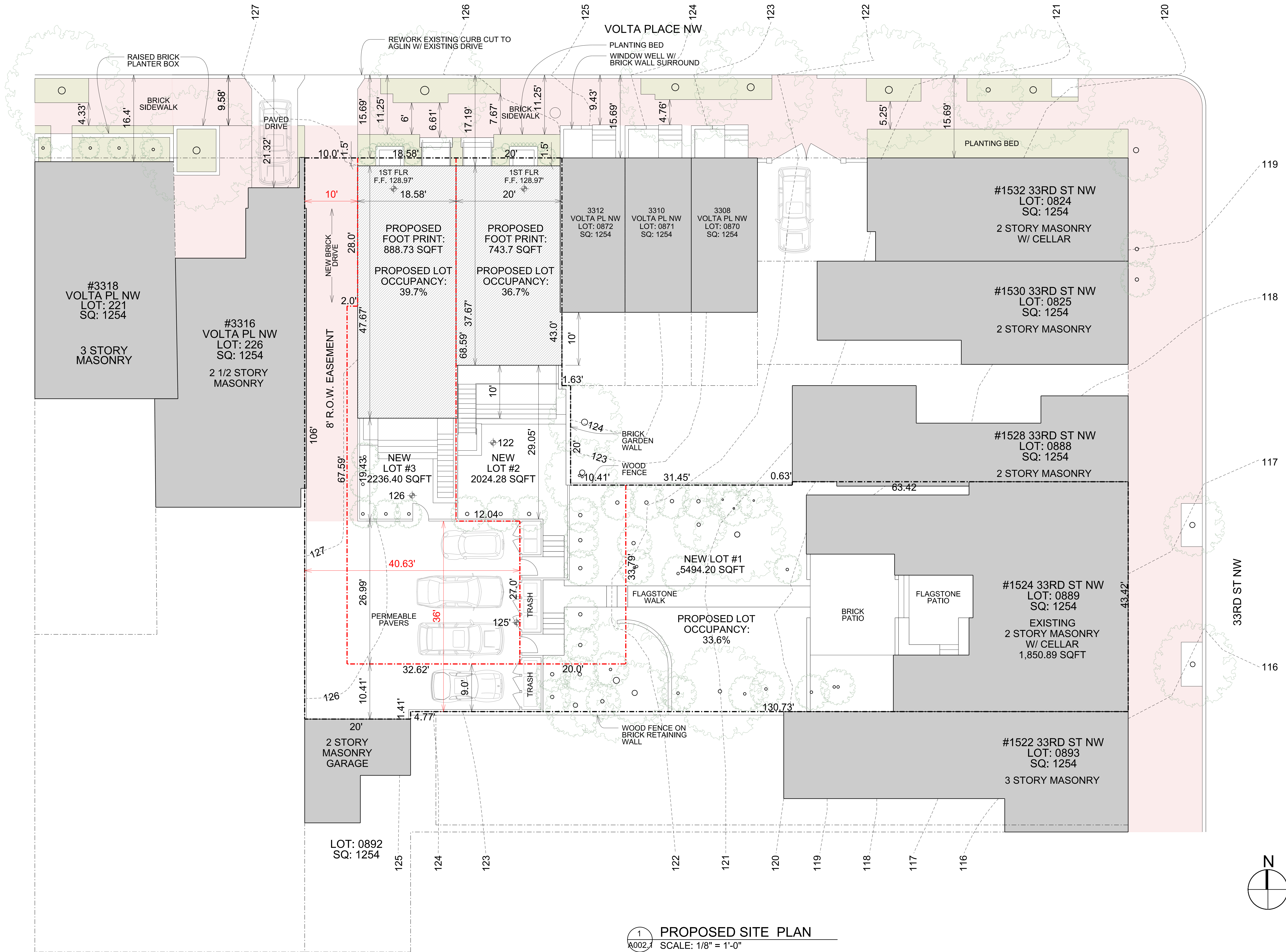
SUBDIVISION

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LOT: 0889 SQUARE: 1254

EXISTING SITE PLAN	
A002	
DATE: 08-24-2022	

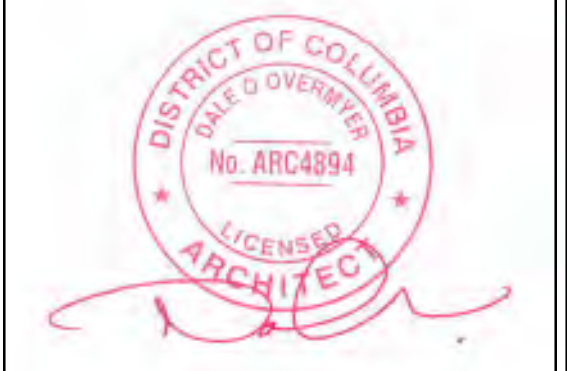




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LOT: 0889 SQUARE: 1254

PROPOSED
SITE PLAN

A002.1

DATE: 08-24-2022

1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



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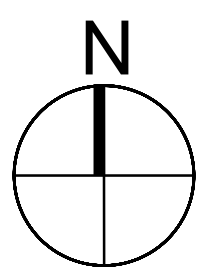


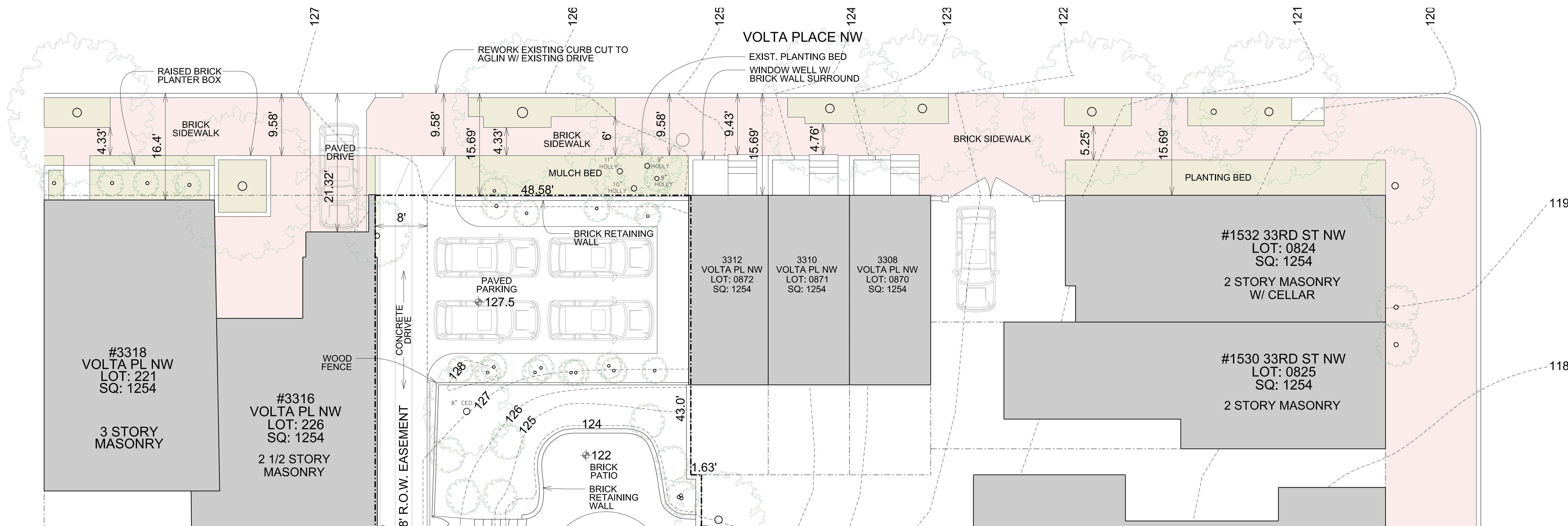
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LOT: 0889 SQUARE: 1254

PROPOSED SITE PLAN OPTION B
A002.2
DATE: 08-24-2022

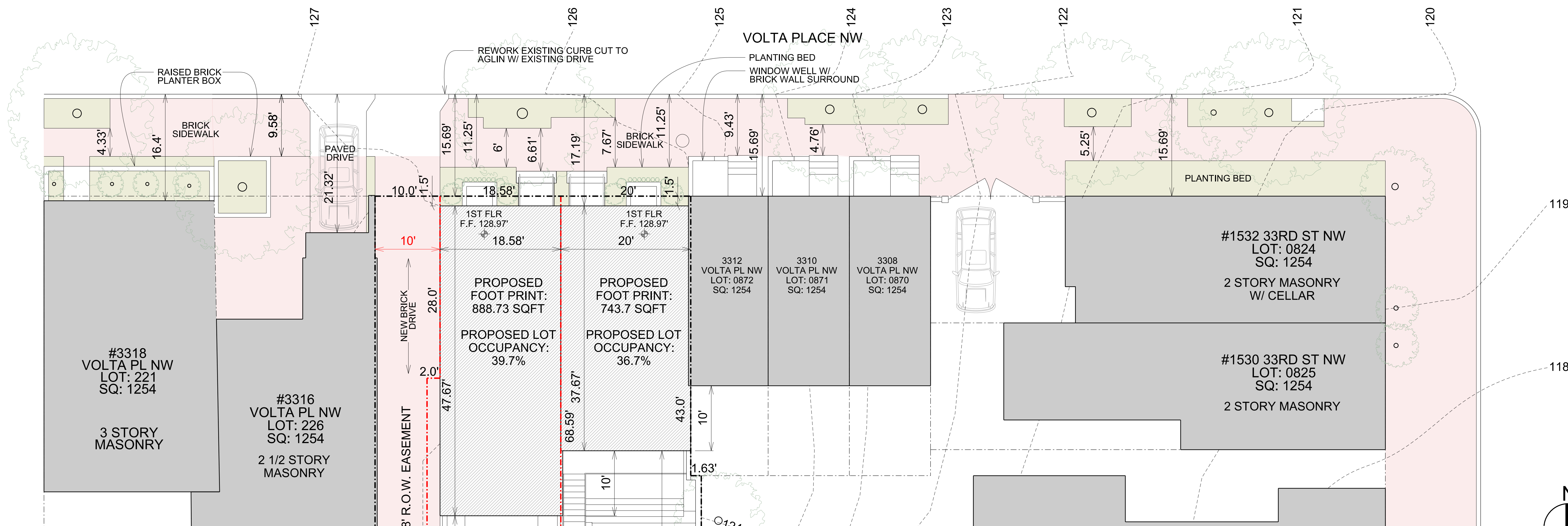




1
A002.3

EXISTING SIDEWALK PLAN

SCALE: 1/8" = 1'-0"



2 PROPOSED SIDEWALK PLAN
A002.3 SCALE: 1/8" = 1'-0"



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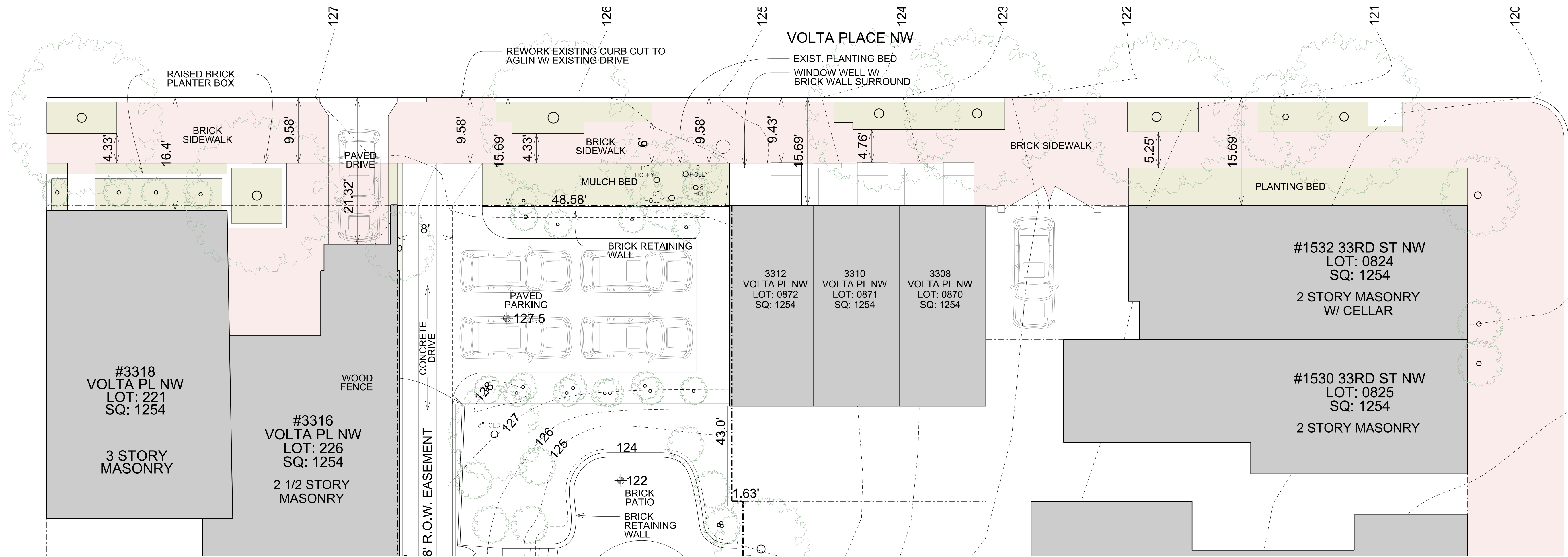
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LOT: 0889 SQUARE: 1254

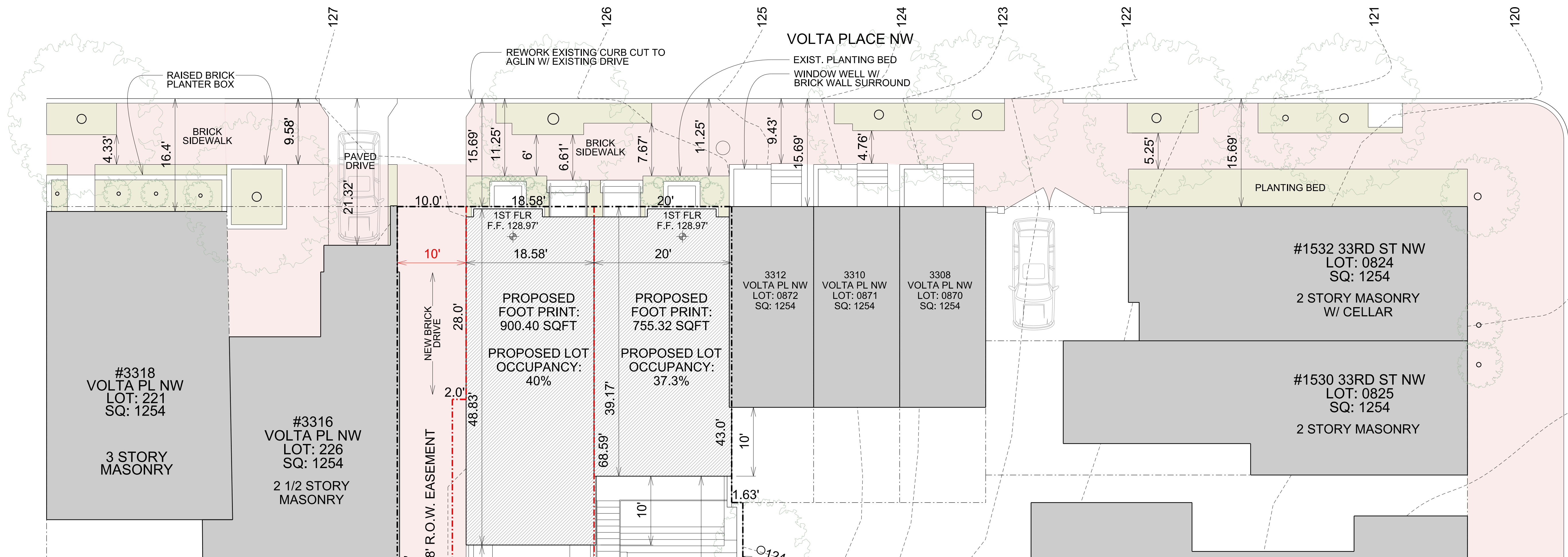
EXISTING & PROPOSED SIDE WALK PLANS

A002.3

DATE: 08-24-2022



1 EXISTING SIDEWALK PLAN
SCALE: 1/8" = 1'-0"



2 PROPOSED SIDEWALK PLAN OPTION B
SCALE: 1/8" = 1'-0"

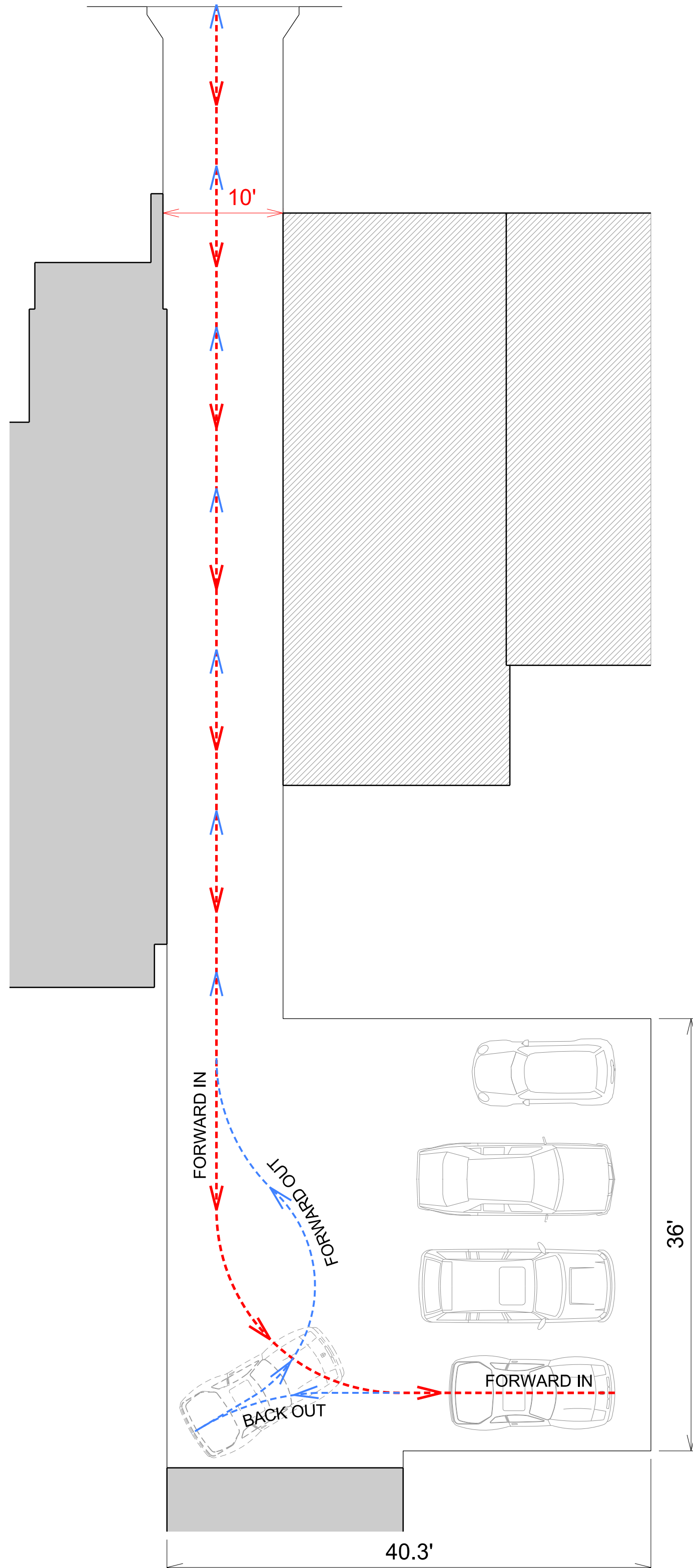
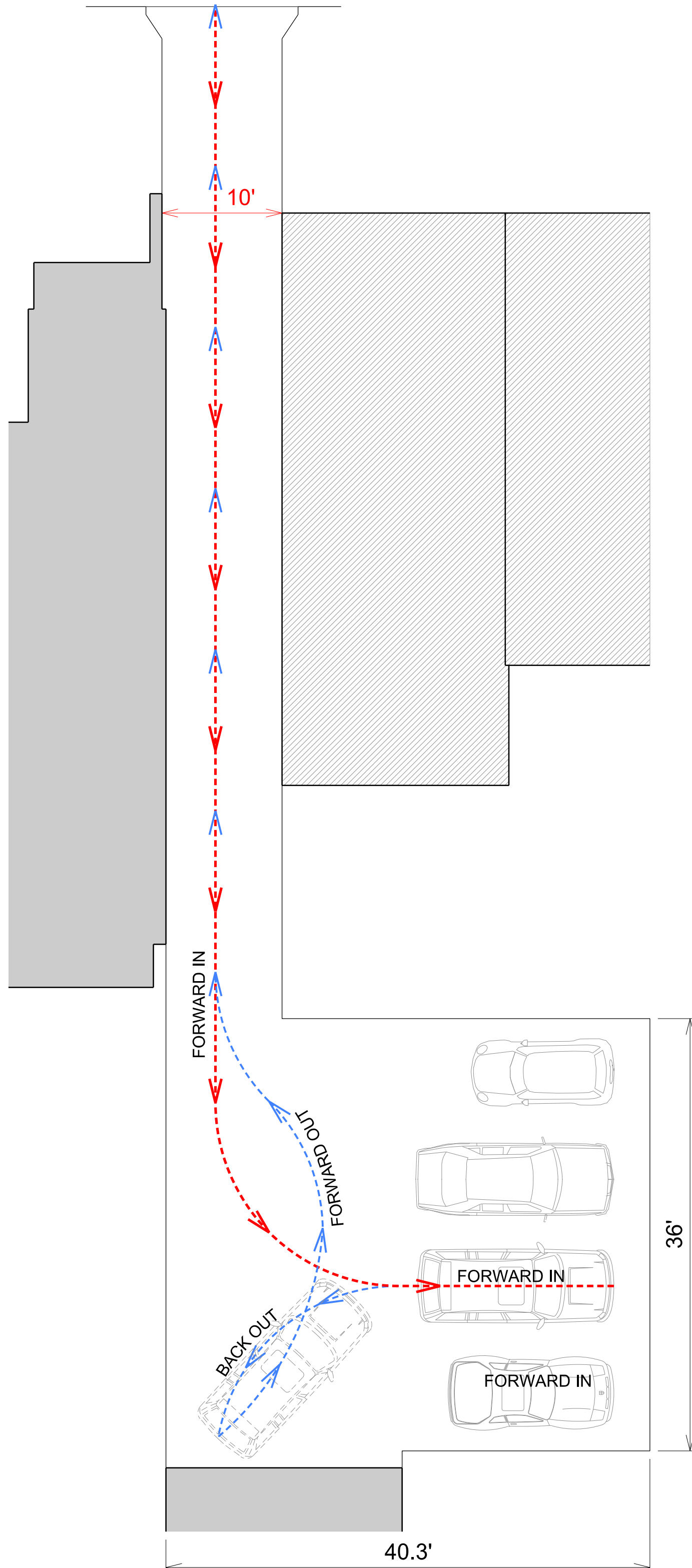
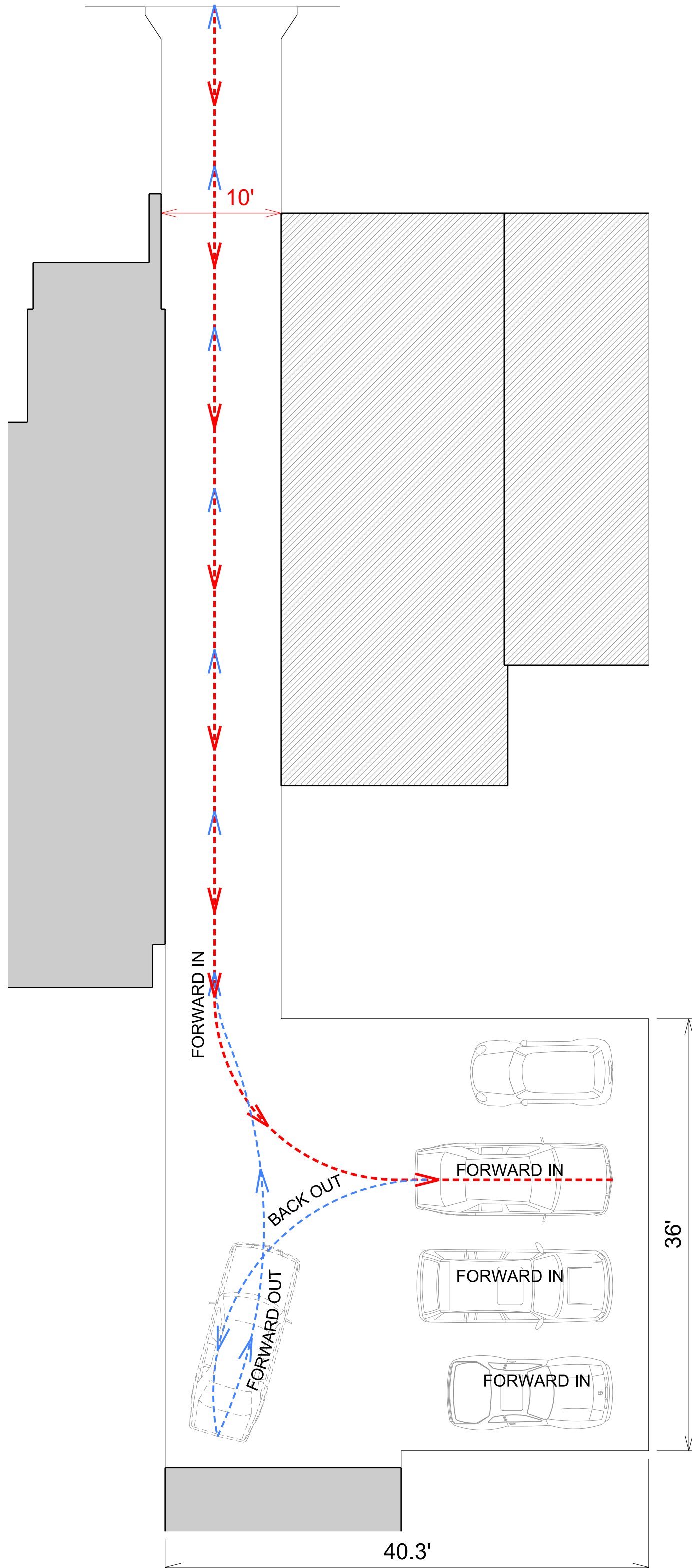
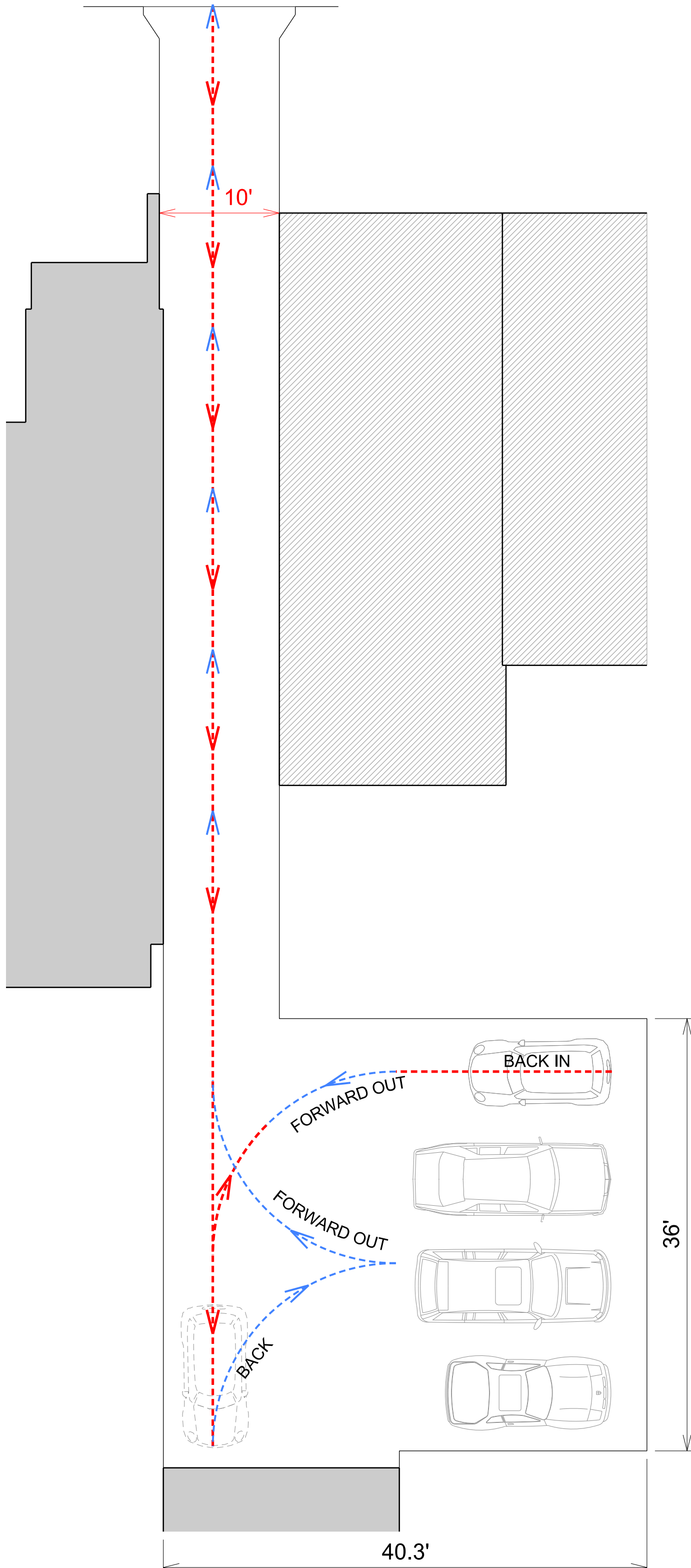

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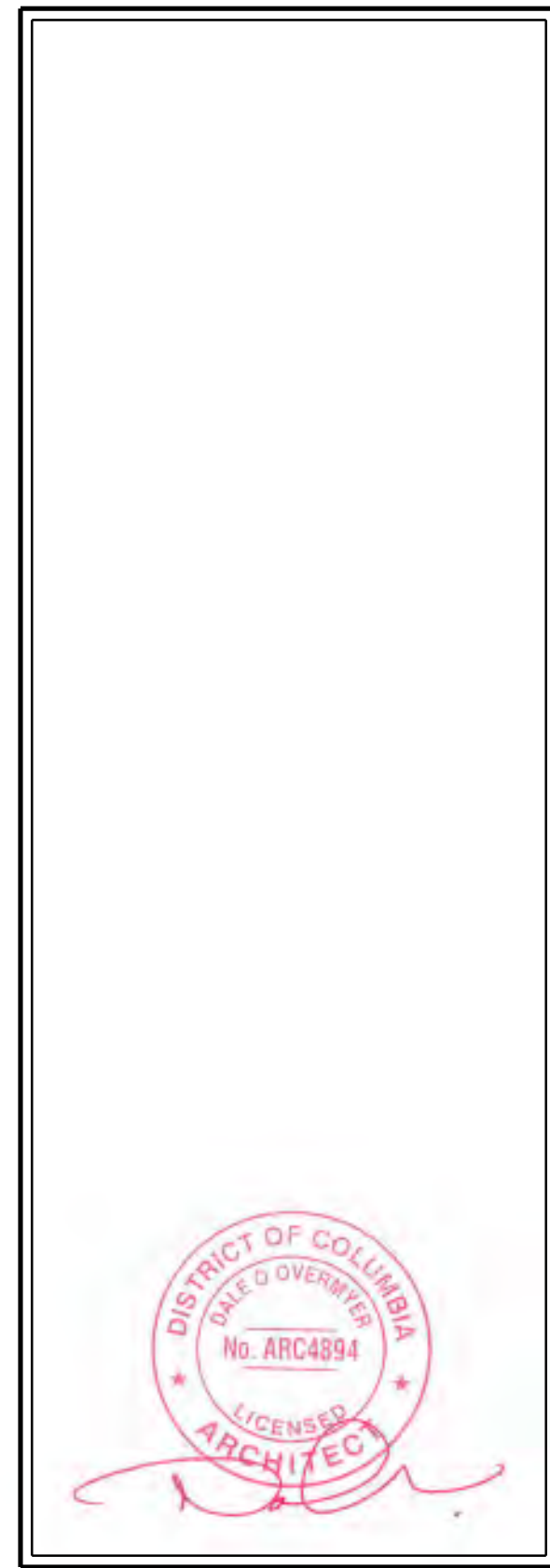
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WASHINGTON, DC 20007
LOT: 0889 SQUARE: 1254

EXISTING &
PROPOSED
SIDE WALK PLANS
OPTION B
A002.4
DATE: 08-24-2022

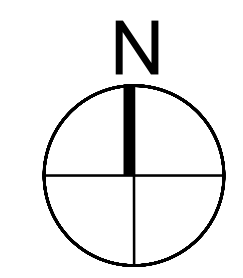


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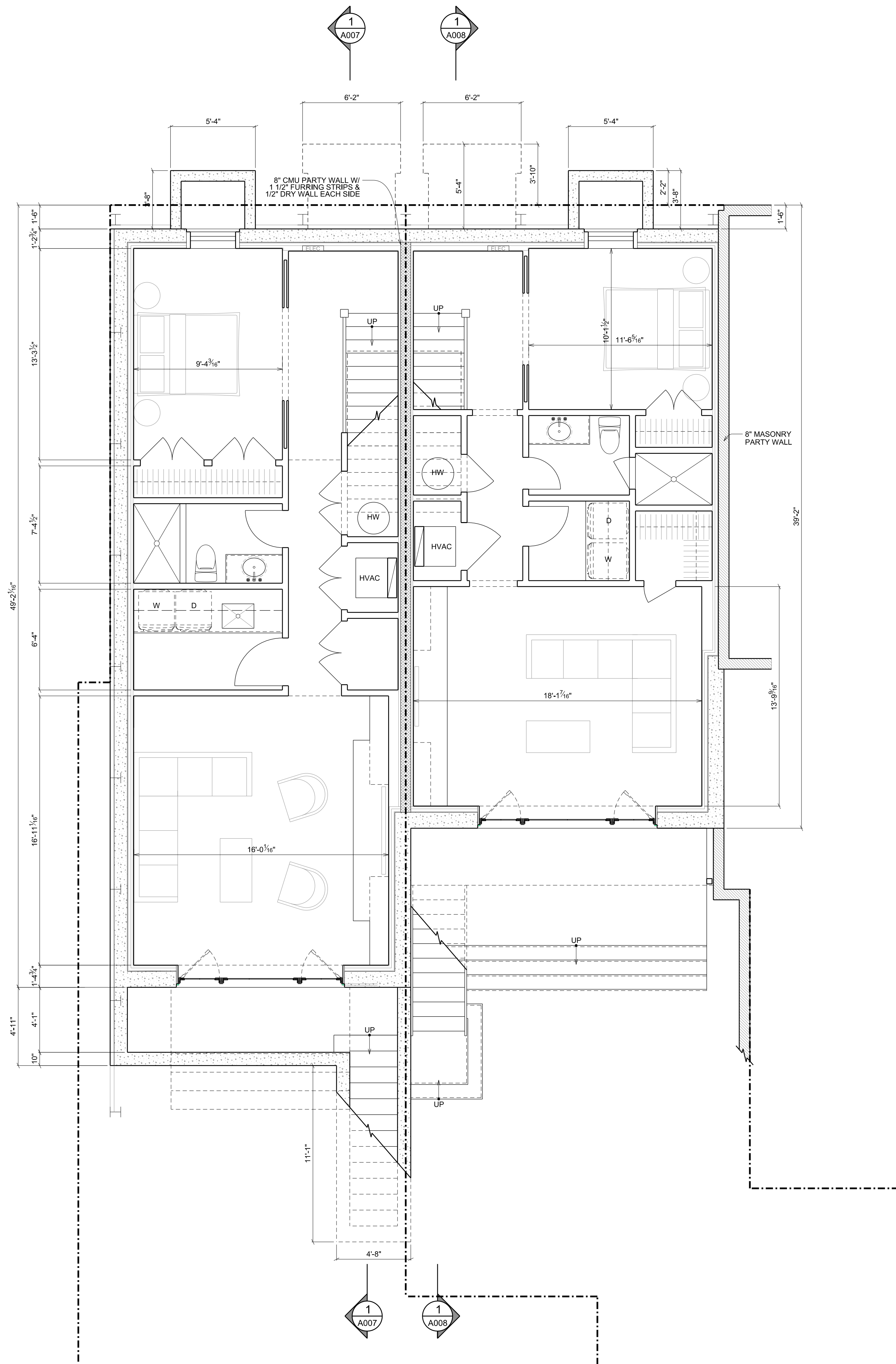
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1524 33RD STREET NW
WASHINGTON, DC 20007
LOT: 0889 SQUARE: 1254



PROPOSED
PARKING DIAGRAMS

A002.5

DATE: 08-24-2022

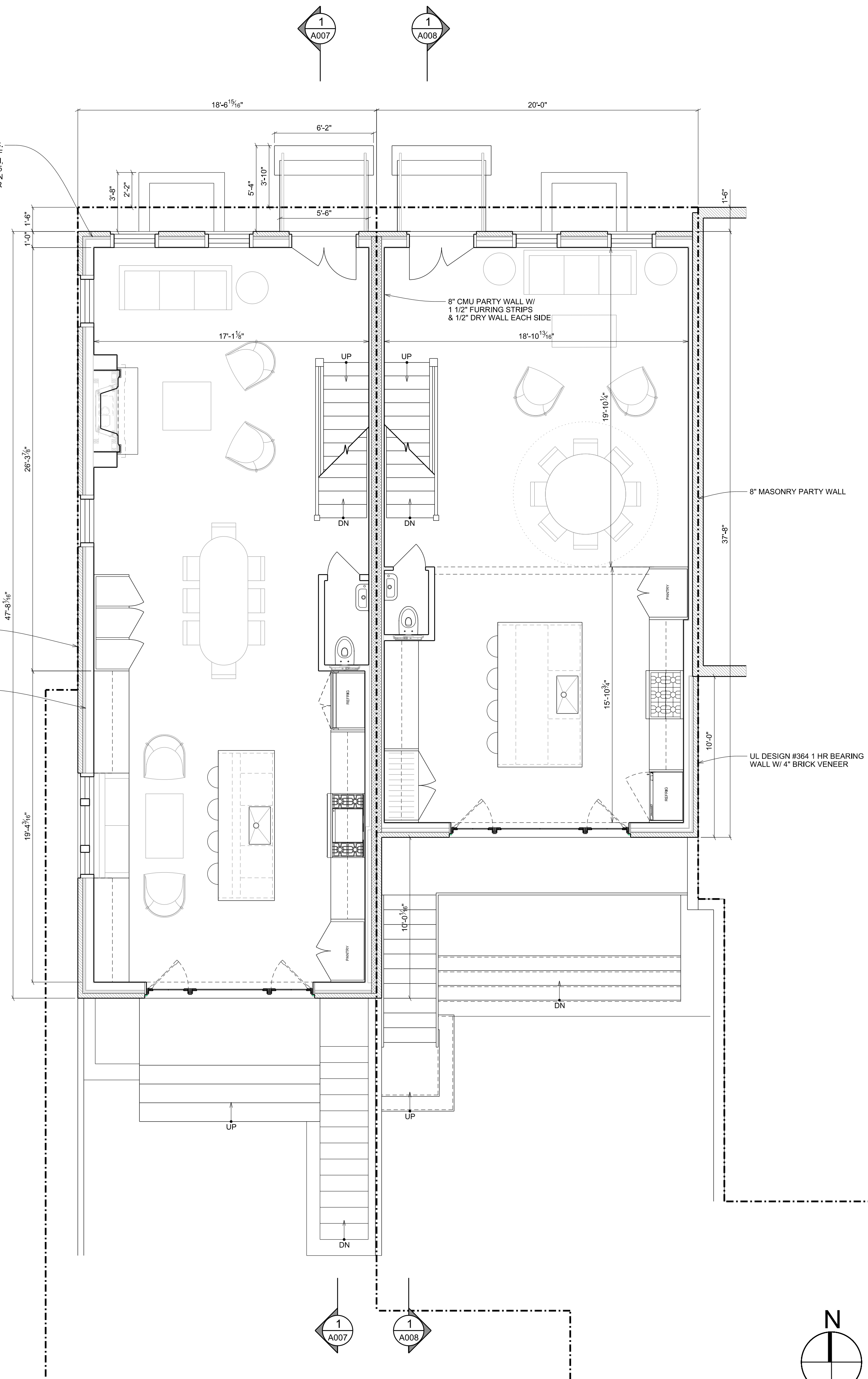


1
A003
PROPOSED CELLAR PLANS
SCALE: 1/4" = 1'-0"

2 X 6 STUDWALL @ 16" O.C.
CAVITIES FILLED W/ 2.4 PCF
CLOSED CELL FOAM INSULATION
& 1" EXTERIOR CONTINUOUS R-5
RIGID FOAM BOARD INSULATION
& 4" BRICK VENEER

SIGN #364 1 HR BEARING
WALL W/ 4" BRICK VENEER

6 STUDWALL @ 16" O.C.
CAVITIES FILLED W/ 2.4 PCF
CLOSED CELL FOAM INSULATION
& 1" EXTERIOR CONTINUOUS R-5
RIGID FOAM BOARD INSULATION



2
A003
PROPOSED 1ST FLR PLANS
SCALE: 1/4" = 1'-0"



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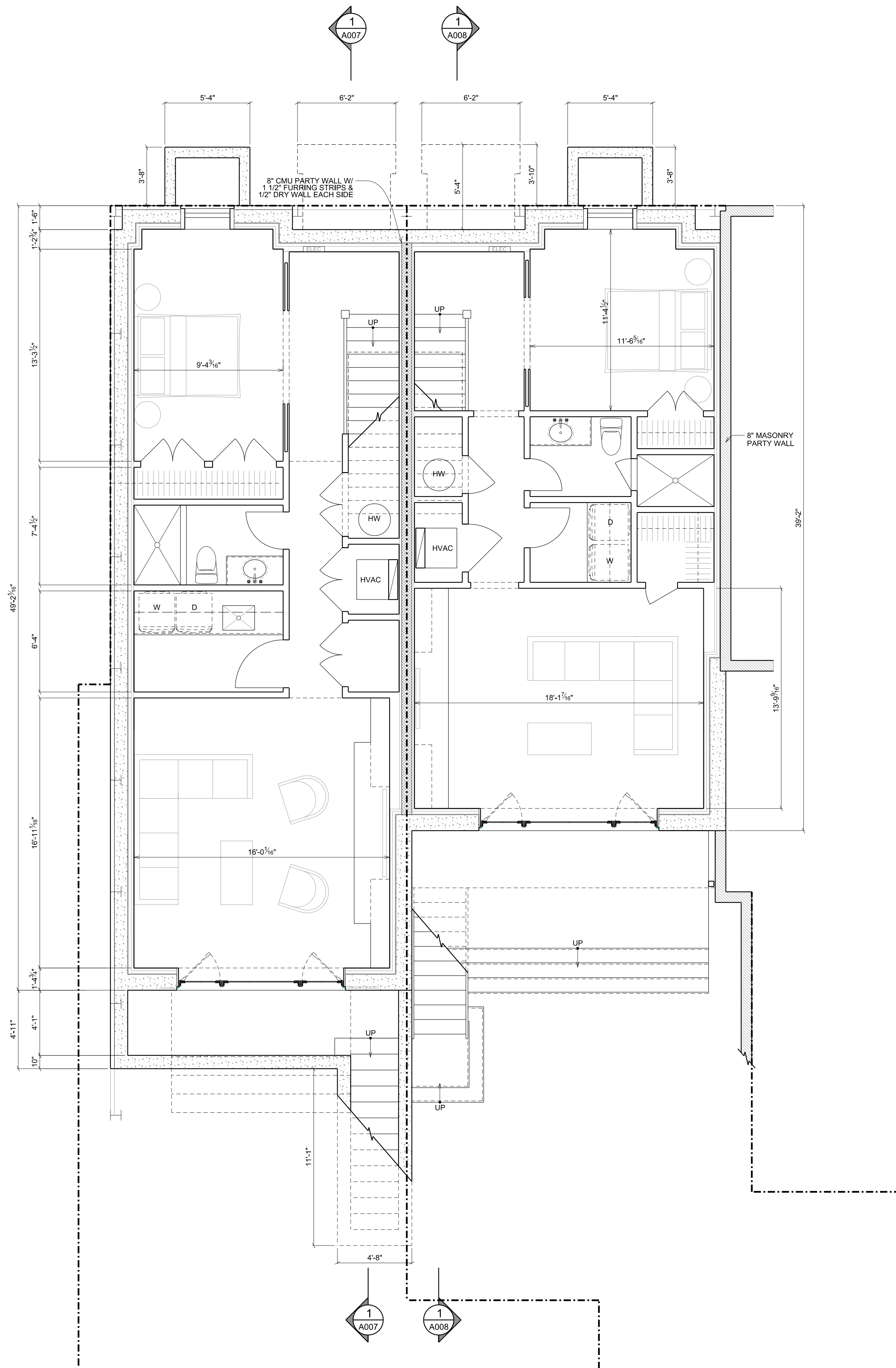
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LOT: 0889 SQUARE: 1254

**PROPOSED
CELLAR &
1ST FLOOR PLANS**

A003

DATE: 08-24-2022

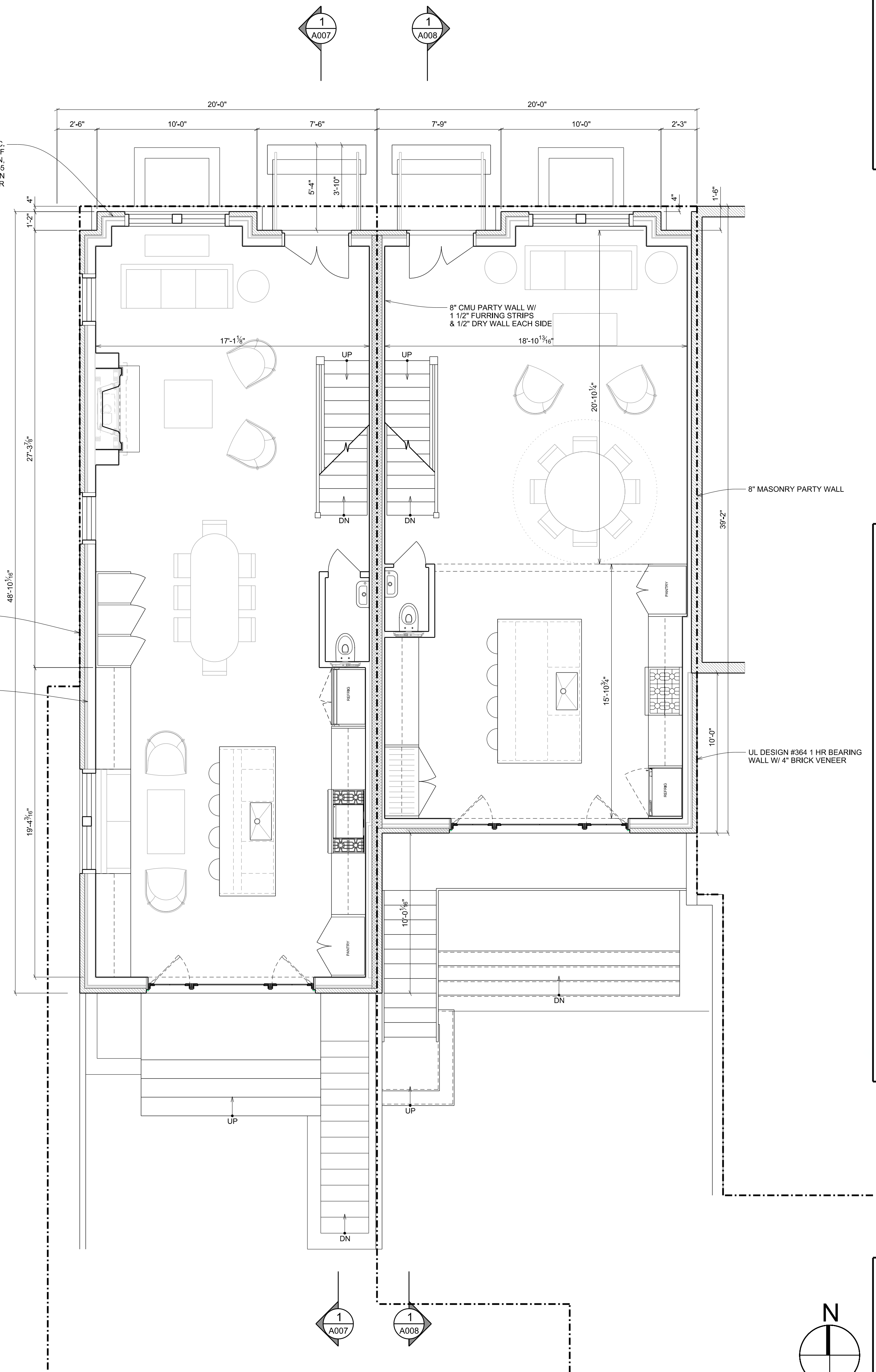


1
A003.1
PROPOSED CELLAR PLANS OPTION B
SCALE: 1/4" = 1'-0"

2 X 6 STUDWALL @ 16" O.C.
CAVITIES FILLED W/ 2.4 PCF
CLOSED CELL FOAM INSULATION
& 1" EXTERIOR CONTINUOUS R-5
RIGID FOAM BOARD INSULATION
& 4" BRICK VENEER

SIGN #364 1 HR BEARING
ALL W/ 4" BRICK VENEER

6 STUDWALL @ 16" O.C.
CAVITIES FILLED W/ 2.4 PCF
CLOSED CELL FOAM INSULATION
& 1" EXTERIOR CONTINUOUS R-5
RIGID FOAM BOARD INSULATION



2
A003.1
PROPOSED 1ST FLR PLANS OPTION B
SCALE: 1/4" = 1'-0"



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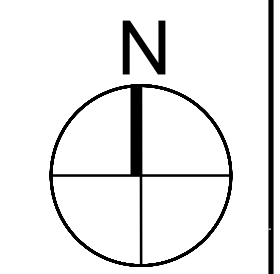
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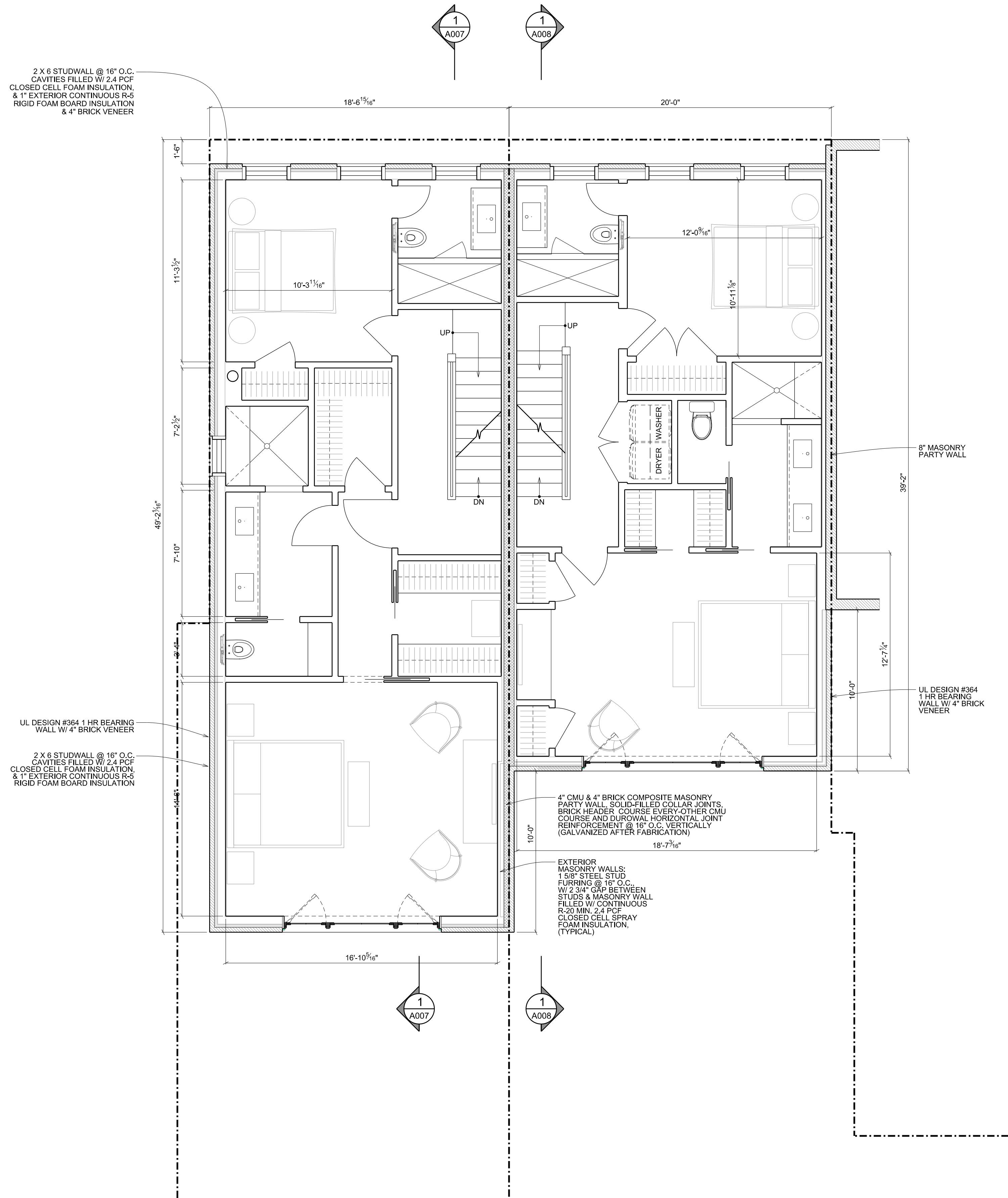
LOT: 0889 SQUARE: 1254



PROPOSED CELLAR &
1ST FLOOR PLANS
OPTION B

A003.1

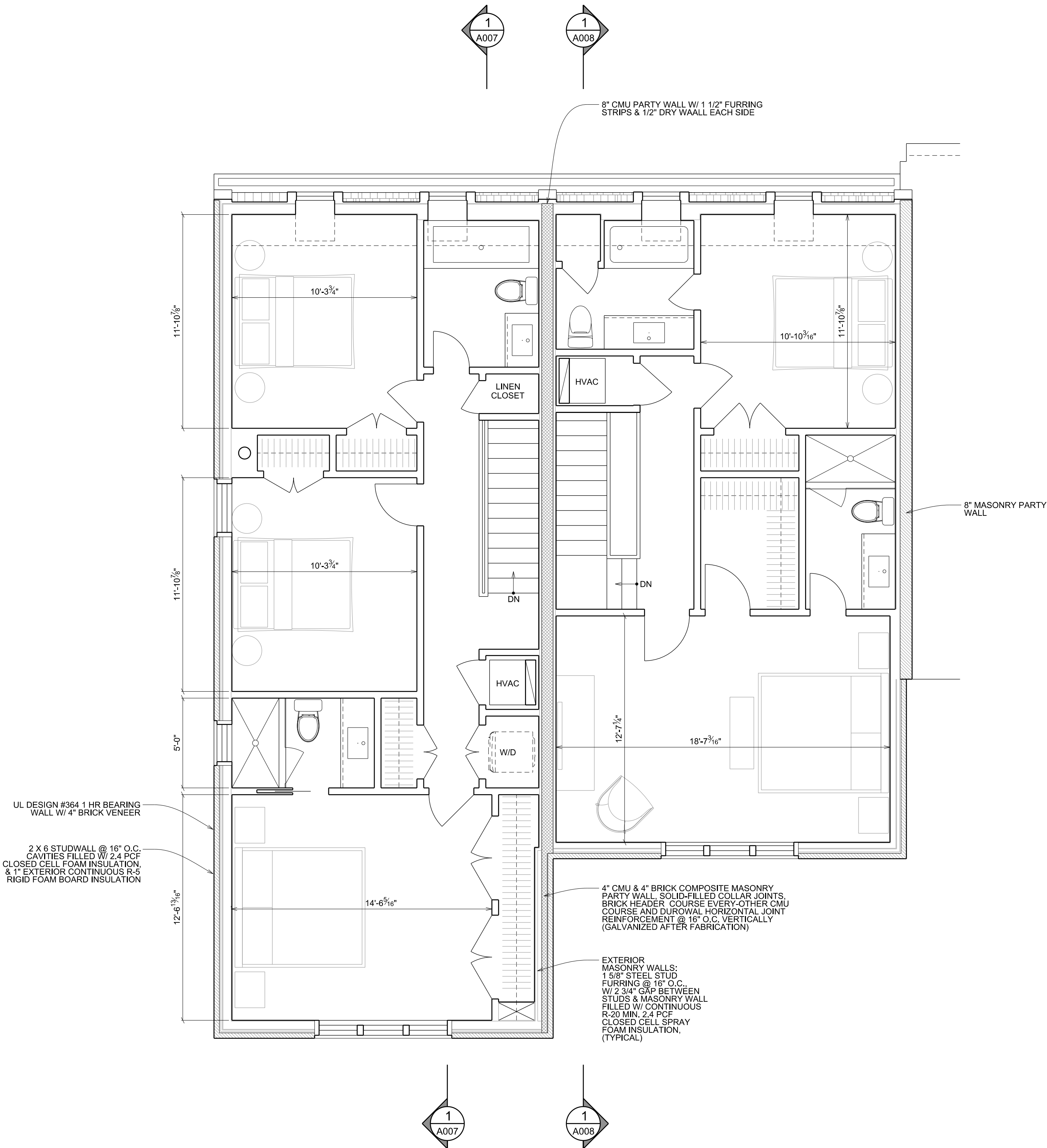
DATE: 08-24-2022



1
A004

PROPOSED 2ND FLR PLANS

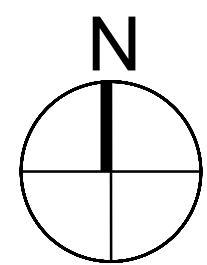
SCALE: 1/4" = 1'-0"



2
A004

PROPOSED 3RD FLR PLANS

SCALE: 1/4" = 1'-0"




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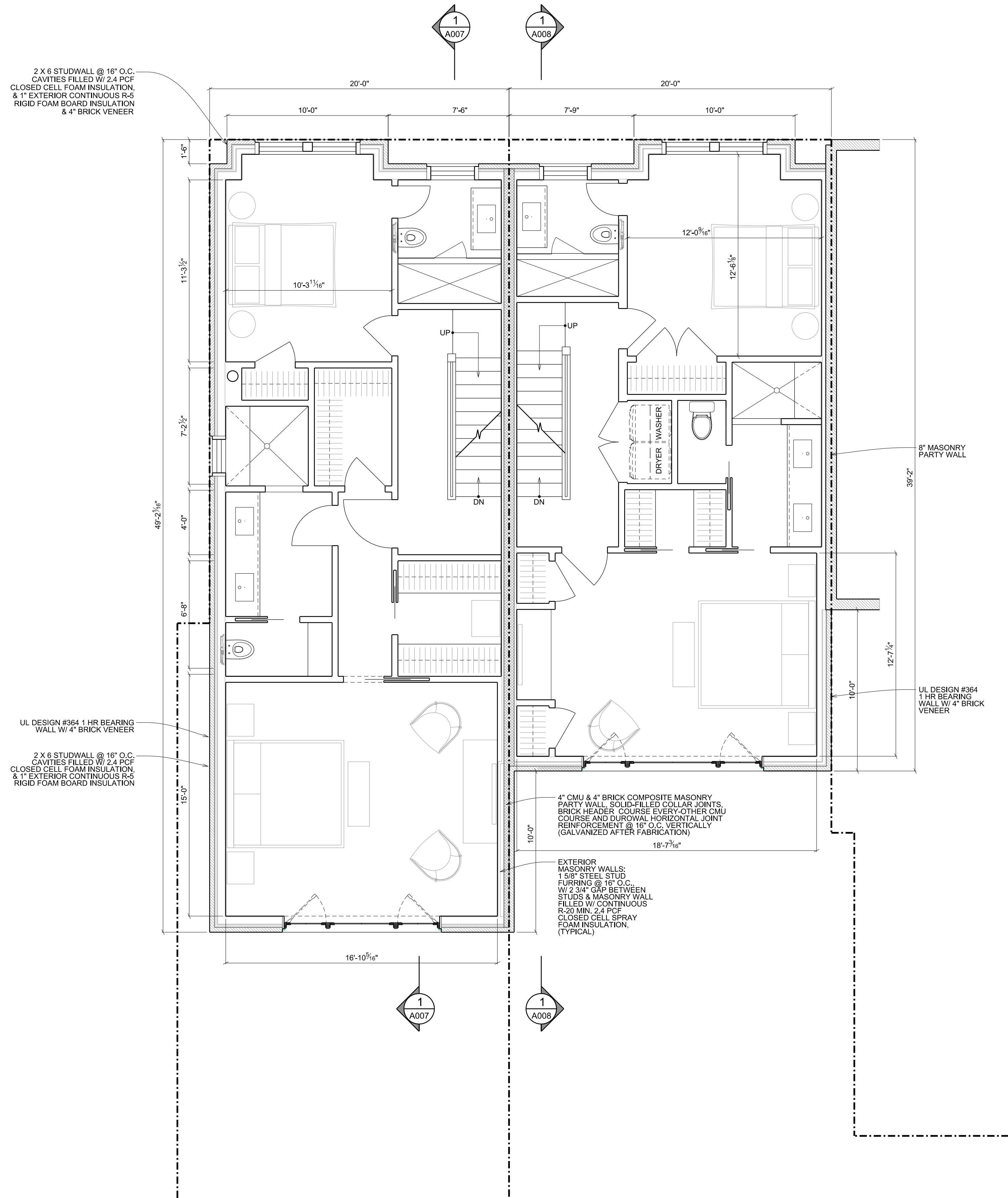
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LOT: 0889 SQUARE: 1254

PROPOSED
2ND & 3RD
FLOOR PLANS

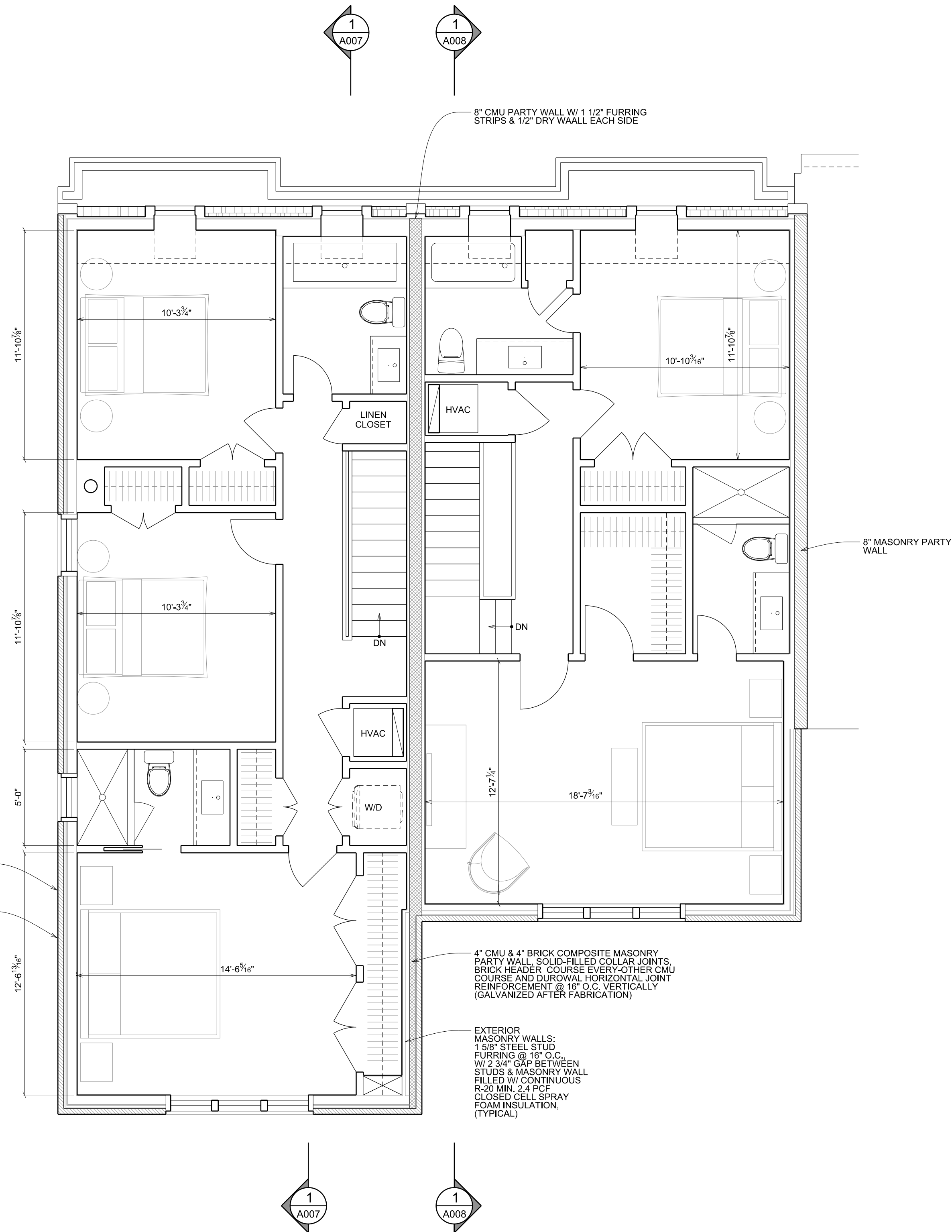
A004

DATE: 08-24-2022



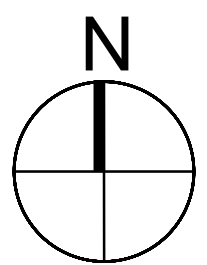
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A004

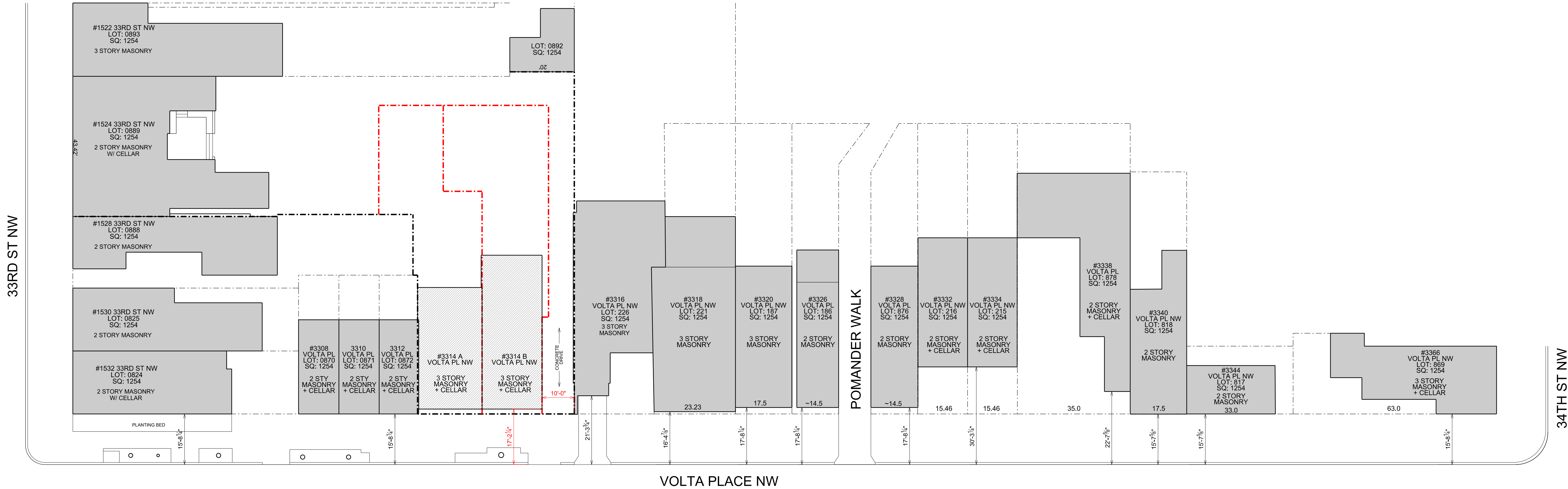
PROPOSED 2ND FLR PLANS OPTION B
SCALE: 1/4" = 1'-0"



2
A004

PROPOSED 3RD FLR PLANS OPTION B
SCALE: 1/4" = 1'-0"





1 VOLTA PL NW 3300 BLOCK PLAN
A005 SCALE: 1/16" = 1'



2 VOLTA PL NW 3300 BLOCK ELEVATION
A005 SCALE: 1/16" = 1'



3 PROPOSED NORTH ELEVATIONS
A005 SCALE: 1/8" = 1'



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VOLTA PL BLOCK
PLAN & ELEVATIONS

A005

DATE: 08-24-2022



1 NORTH ELEVATION FLAT FRONT OPTION A
SCALE: 1/4" = 1'



2 NORTH ELEVATION FLAT FRONT OPTION B
SCALE: 1/4" = 1'



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PROPOSED NORTH
ELEVATION OPTIONS
A005.1
DATE: 08-24-2022



1 NORTH ELEVATION BAY FRONT OPTION C
A005.2 SCALE: 1/4" = 1'



1 NORTH ELEVATION BAY FRONT OPTION D
A005.2 SCALE: 1/4" = 1'



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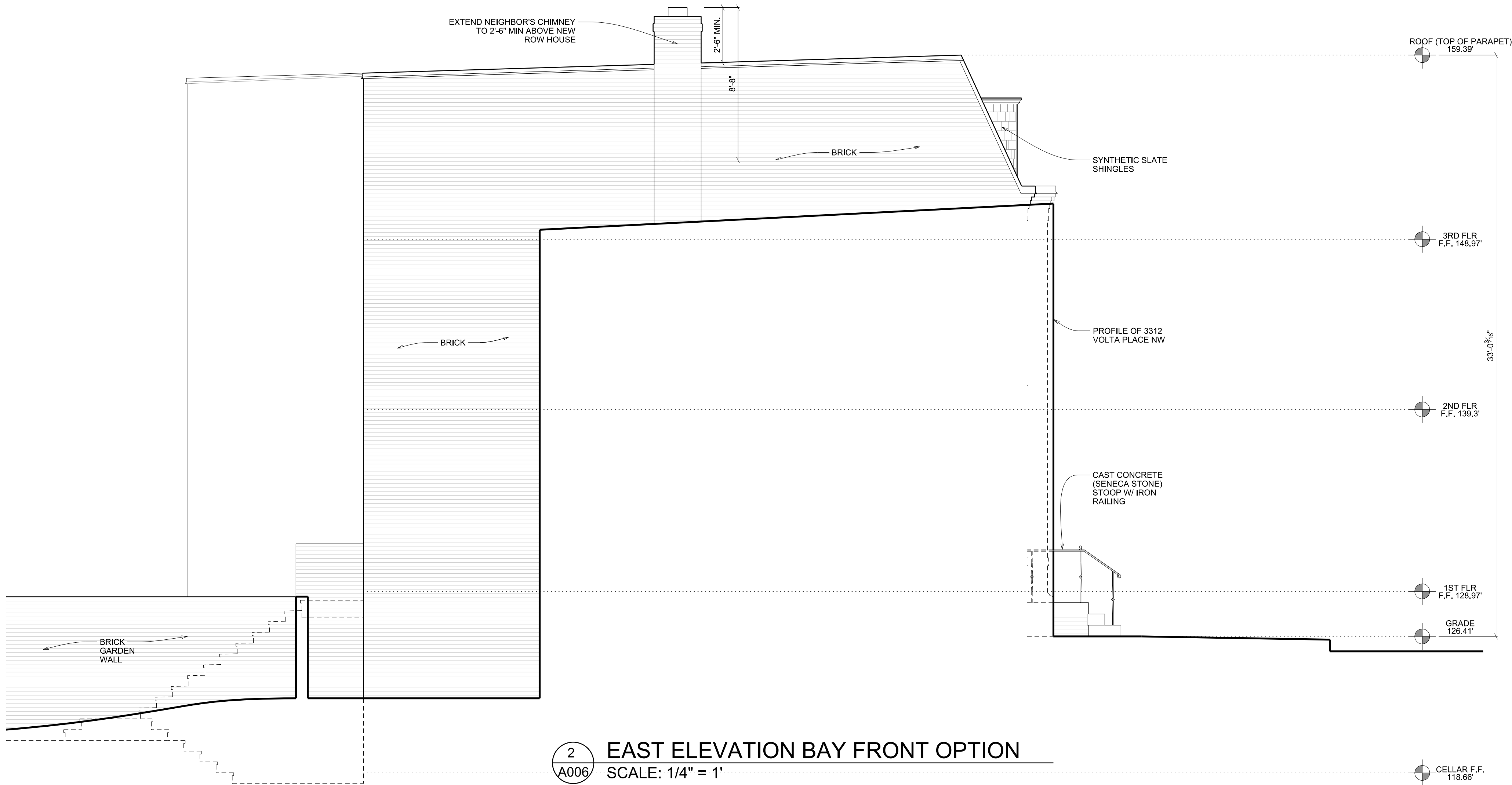
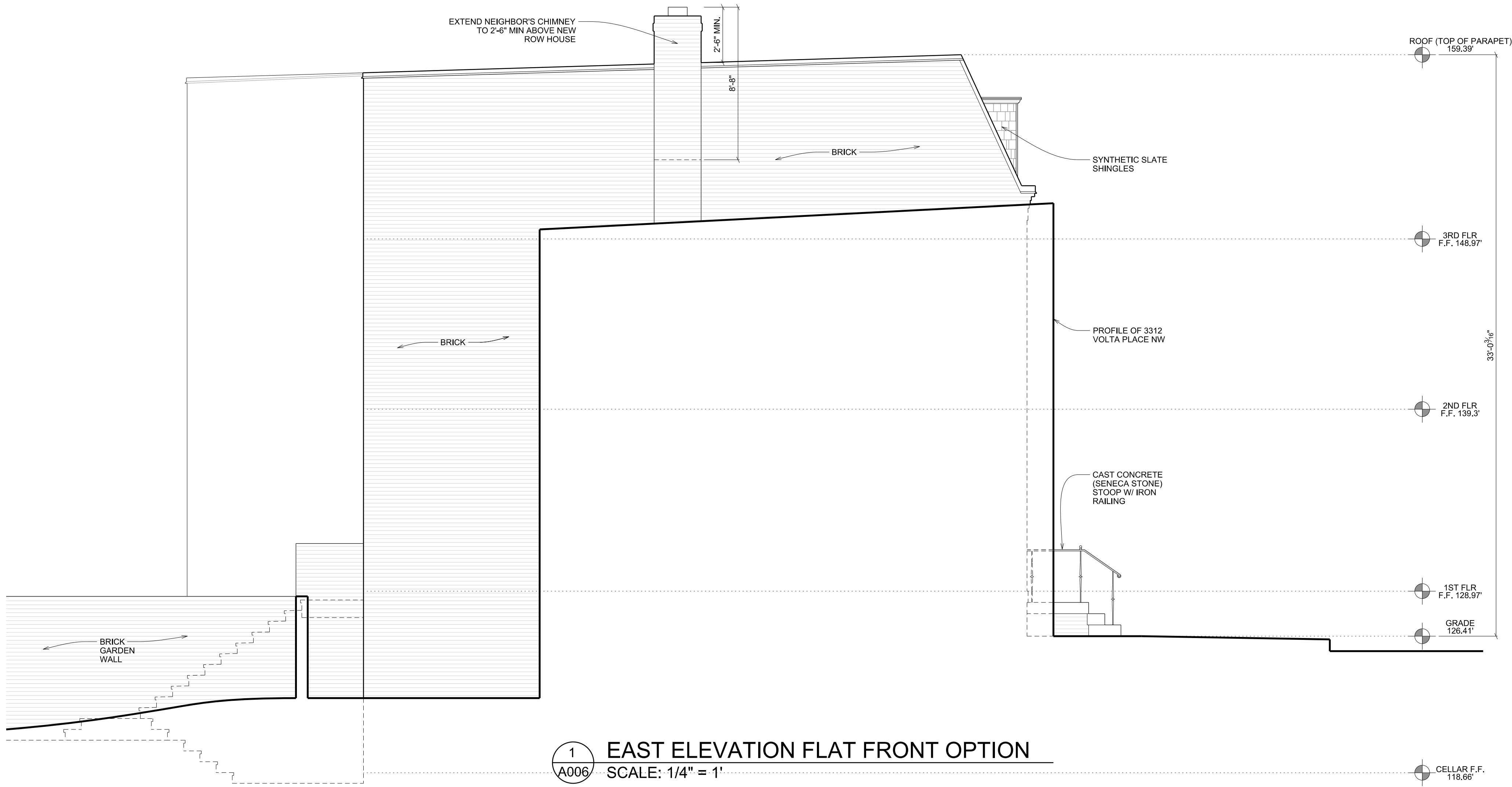


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PROPOSED NORTH &
EAST ELEVATIONS

A005.2

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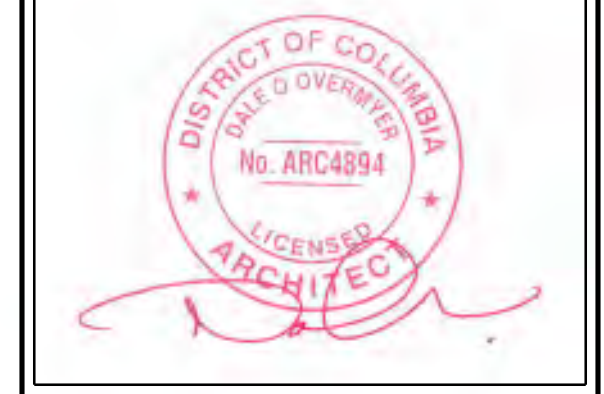


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PROPOSED
EAST ELEVATIONS
OPTIONS

A006

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PROPOSED SOUTH
& WEST ELEVATIONS
W/ CASEMENT
WINDOWS

A006.1

DATE: 08-24-2022





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PROPOSED SOUTH &
WEST ELEV'S. W/
DOUBLE HUNG
WINDOWS

A006.2

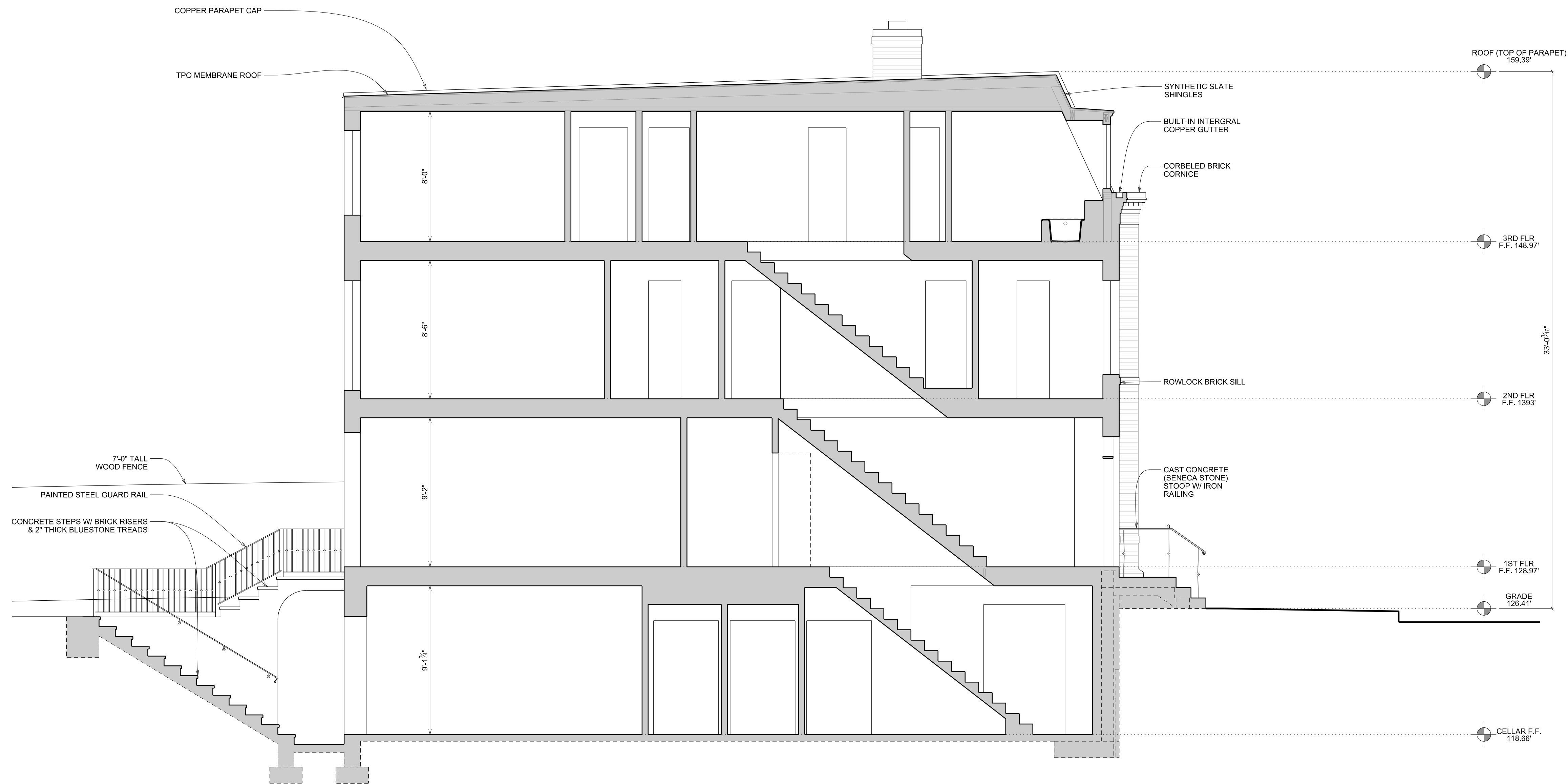
DATE: 08-24-2022



1 SOUTH ELEV. W/ DOUBLE HUNG WINDOWS
SCALE: 1/4" = 1'



2 WEST ELEV. W/ DOUBLE HUNG WINDOWS
SCALE: 1/4" = 1'



1
A007

PROPOSED BUILDING SECTION
SCALE: 1/4" = 1'



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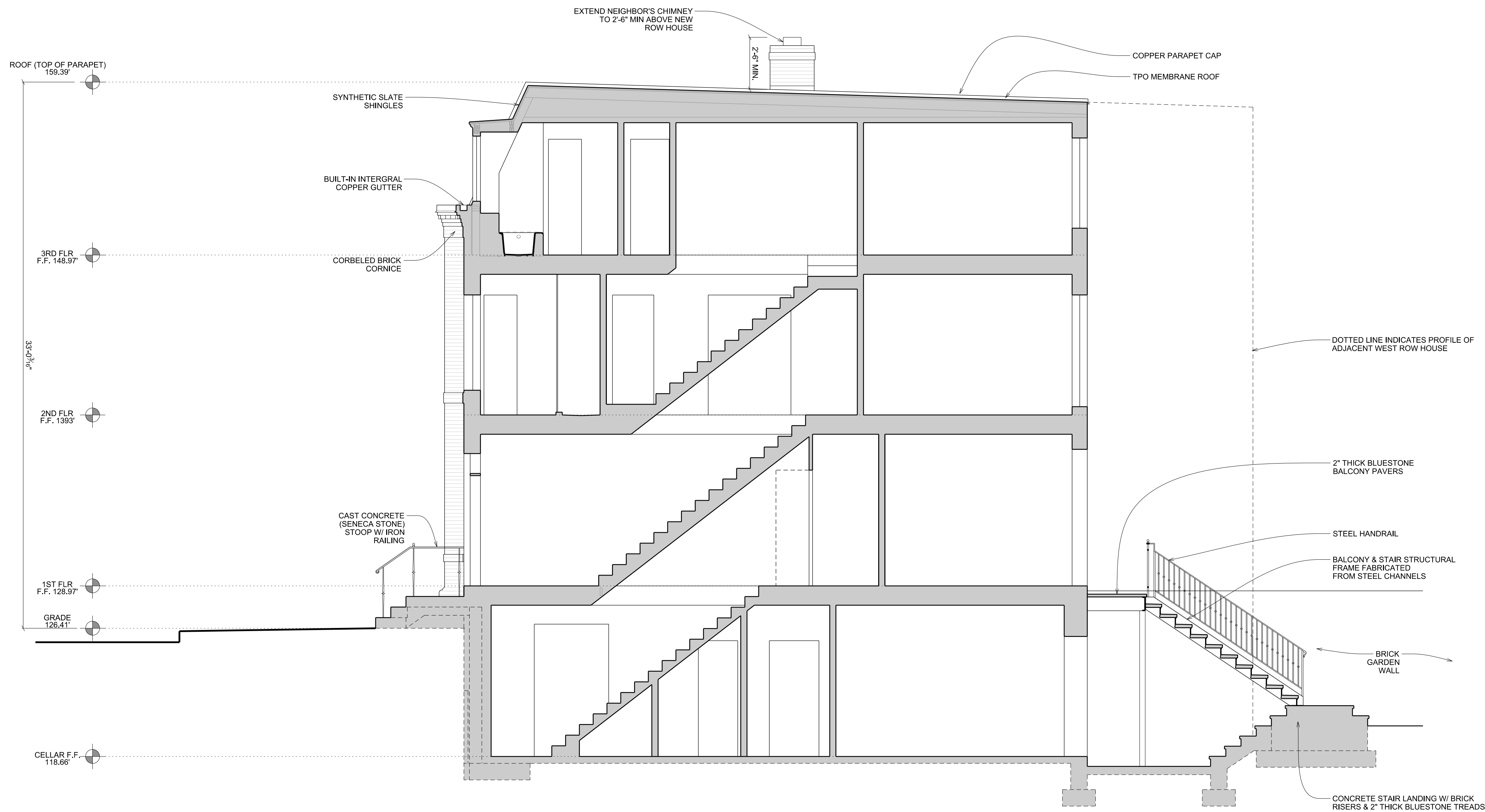


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PROPOSED
SECTION

A007

DATE: 08-24-2022



1
A008

PROPOSED BUILDING SECTION
SCALE: 1/4" = 1'



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PROPOSED
SECTION

A008

DATE: 08-24-2022



VIEW OF PROPOSED BUILDING FROM VOLTA PLACE NW FLAT FRONT OPTION A



VIEW OF PROPOSED BUILDING FROM VOLTA PLACE NW FLAT FRONT OPTION A



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RENDERINGS
NORTH ELEVATION
OPTION A

R1

DATE: 08-24-2022



VIEW OF PROPOSED BUILDING FROM VOLTA PLACE NW FLAT FRONT OPTION B



VIEW OF PROPOSED BUILDING FROM VOLTA PLACE NW FLAT FRONT OPTION B



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RENDERINGS
NORTH ELEVATION
OPTION B

R2

DATE: 08-24-2022



VIEW OF PROPOSED BUILDING FROM VOLTA PLACE NW BAY FRONT OPTION C



VIEW OF PROPOSED BUILDING FROM VOLTA PLACE NW BAY FRONT OPTION C



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RENDERINGS
NORTH ELEVATION
OPTION C

R3

DATE: 08-24-2022



VIEW OF PROPOSED BUILDING FROM VOLTA PLACE NW BAY FRONT OPTION D



VIEW OF PROPOSED BUILDING FROM VOLTA PLACE NW BAY FRONT OPTION D



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RENDERINGS
NORTH ELEVATION
OPTION D

R4

DATE: 08-24-2022