



Government of the District of Columbia

APPLICATION AND REFERRAL TO THE US COMMISSION OF FINE ARTS FOR OLD GEORGETOWN REVIEW

OG
HPA

In accordance with the Old Georgetown Act of 1950 (Public Law 808, 81st Congress) this application/transmittal is being transmitted to the US Commission of Fine Arts (CFA) for review and recommendation before a building permit can be issued. Work in Georgetown is also subject to a coordinated historic preservation review under the DC Historic Landmark and Historic District Protection Act of 1978. These reviews are initiated with the completion and submission of this form.

THIS IS A REQUEST FOR THE FOLLOWING REVIEW BY THE COMMISSION OF FINE ARTS:

- CONCEPTUAL REVIEW** to receive guidance at the early stages of design
- PERMIT REVIEW** to receive a recommendation on building permit application No. _____
I have submitted a permit application with the DC Department of Consumer and Regulatory Affairs

1. OWNER, APPLICANT, AND PROPERTY INFORMATION

Project Address: 1530 30th St NW

Square: 1269 Lot: 0357 (To find your square and lot, see www.propertyquest.dc.gov)

Property Owner's Name: 30th St Residence

Owner Address (if different from project address): _____

Owner Phone: _____ Owner Email: _____

Applicant's Name (if different from owner): Neal Thomson

Agent's Capacity: Tenant Architect Contractor Contract Purchaser Expediter Other

Agent Address (if different from owner): 5155 MacArthur Blvd NW

Agent Phone: 202-686-6583 Agent Email: neal@thomsoncooke.com

- I am currently the owner of the property
- I am a homeowner currently receiving the DC homestead deduction for this property
- I am an authorized representative of the property owner
- I am or represent a potential purchaser of the property

2. SUBMISSION MATERIALS FOR THE COMMISSION OF FINE ARTS AND HISTORIC PRESERVATION REVIEW

All materials must be submitted electronically via email to historic.preservation@dc.gov.

The following digital materials are included with this application:

- Scaled drawings, including, as applicable, floor plans, elevations, details, and a site plan sufficient to illustrate the footprint, location, height, massing, design, and materials of the proposed work and its surrounding context; site plans should show the existing footprint of the property and adjacent buildings.
- Comprehensive exterior photographs of the property, showing area of proposed work, views from the street and the public alley (if applicable) and context photos (e.g., adjacent buildings, immediate surroundings, and the areas of proposed work)

For more information on submission requirements, see www.cfa.gov/project-review/old-georgetown or contact CFA staff at 202-504-2200

3. PROJECT DESCRIPTION (CHECK ALL THAT APPLY)

Addition Exterior Alteration or Repair New Construction Subdivision Other

Briefly describe the nature of the project: Addition and renovation to existing two-story single family home with cellar.



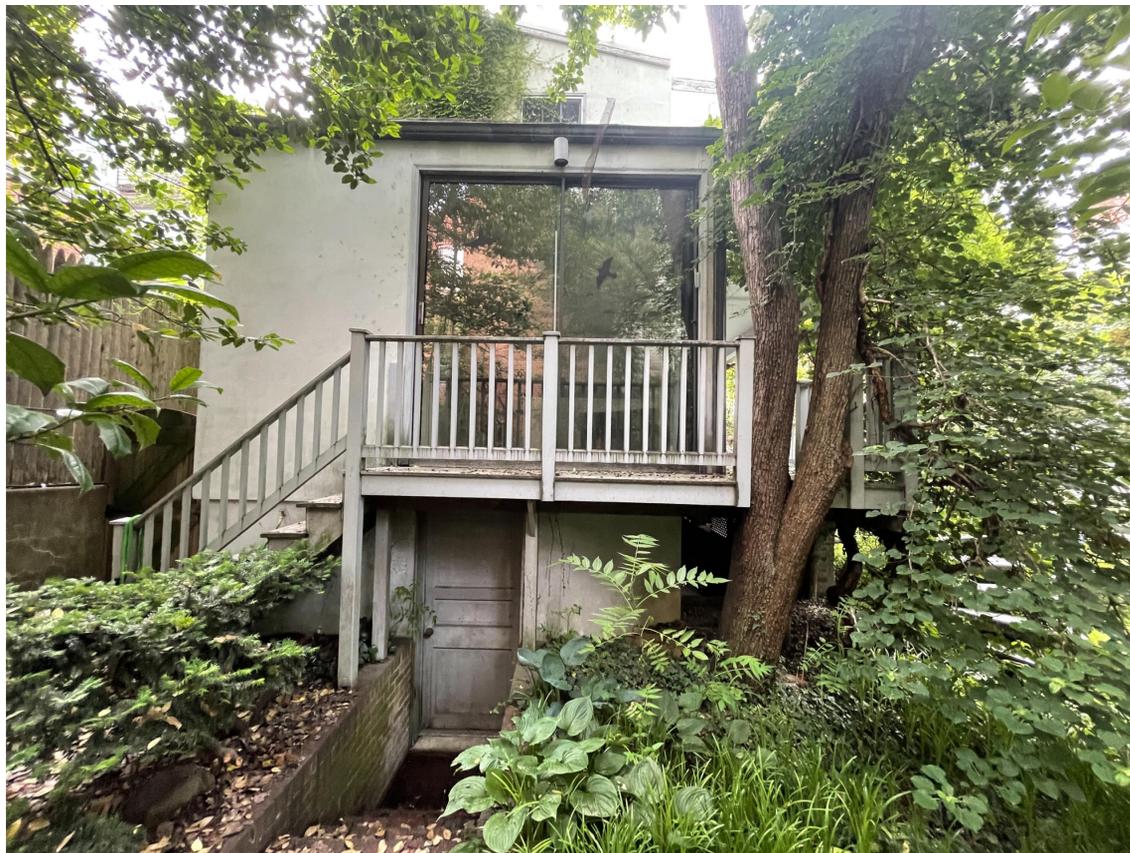
View From Street



Front Elevation - Detail



Existing View From Yard



Existing Rear Elevation



Existing Rear Addition

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5155 MACARTHUR BLVD NW
WASHINGTON DC 20016
202.686.6583
WWW.THOMSONCOOKE.COM

30th St Residence
1530 30th Street NW Washington, DC 20007

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Existing Photos

2022/03/02	Existing Conditions
2022/06/23	OGB Concept

0003



Existing House - View From Yard



Proposed House - View From Yard

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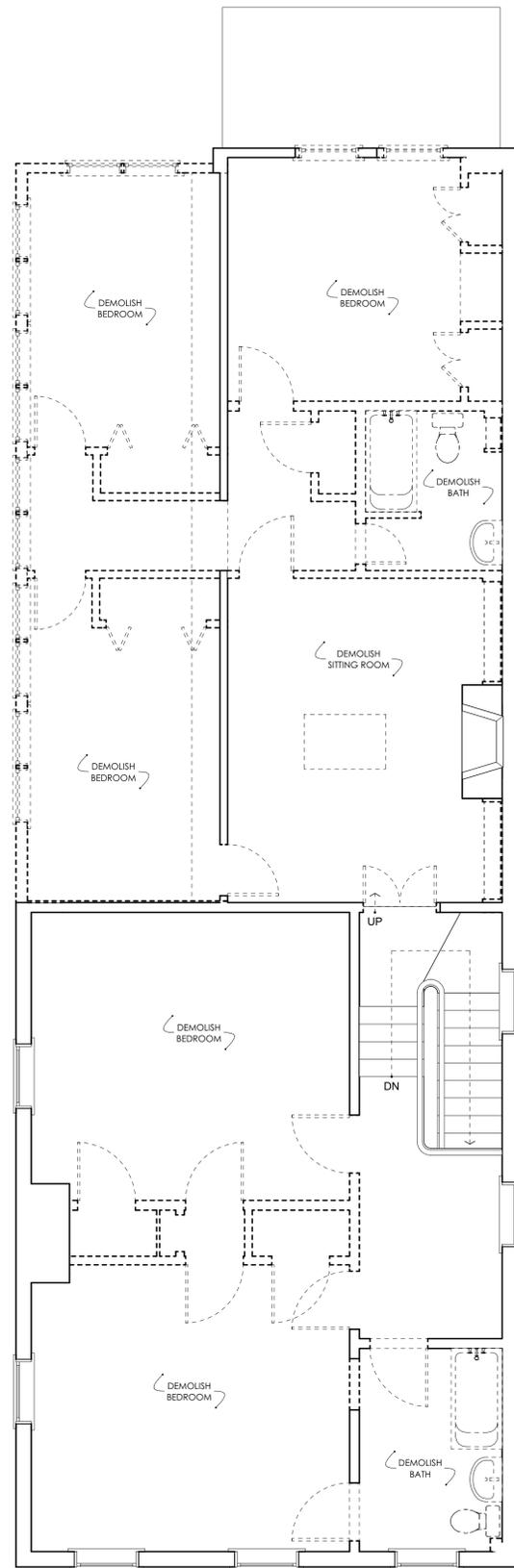
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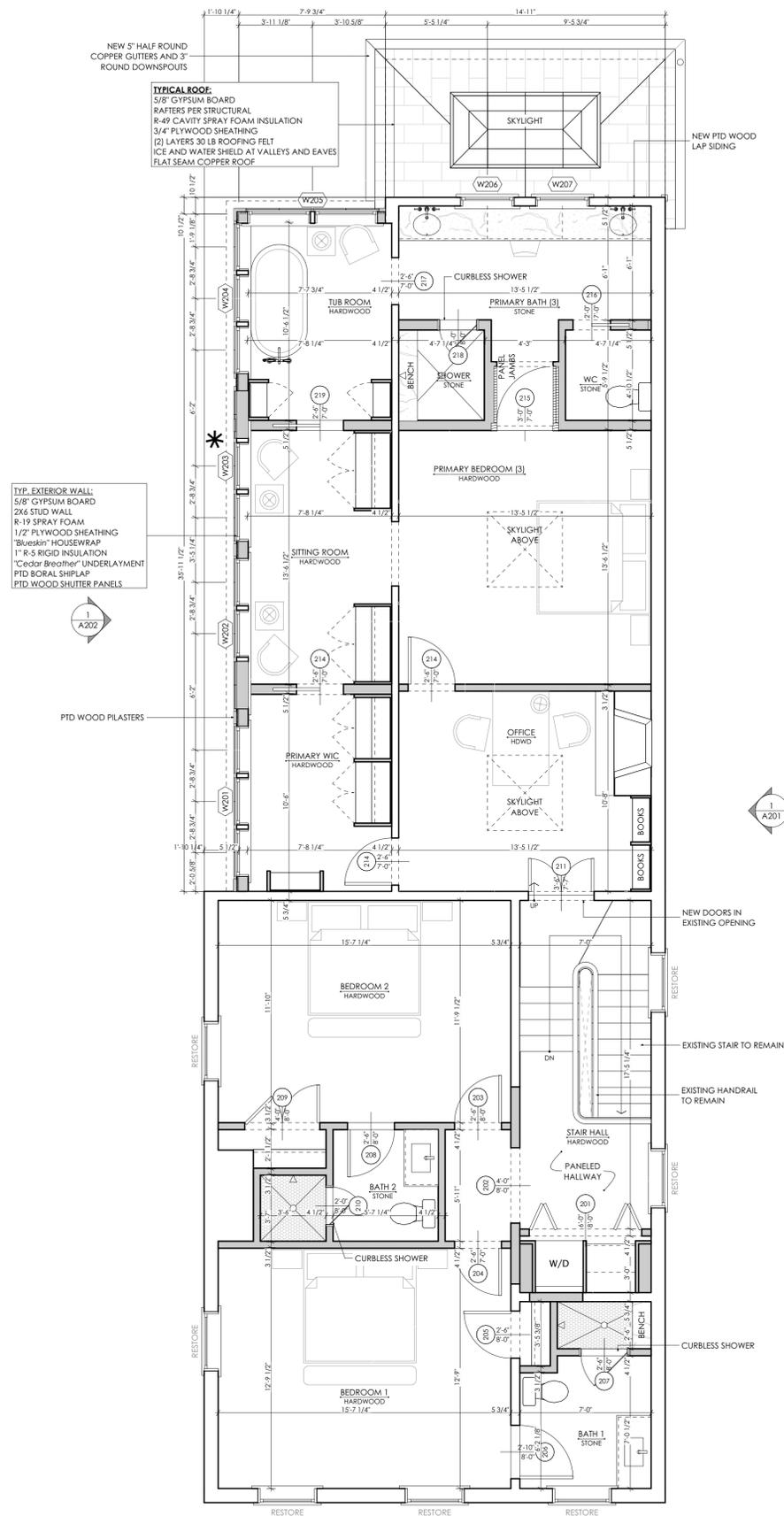
Concept
Renders

2022/03/02	Existing Conditions
2022/06/23	OGB Concept

0004



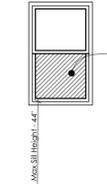
1 Second Floor Demolition Plan
1/4" = 1'-0"



2 Second Floor Plan
1/4" = 1'-0"

note: *

ALL BEDROOM (I.E. SLEEPING ROOMS) SHALL HAVE AN EMERGENCY ESCAPE WINDOW (IRC 2015.310). THIS WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT WITH A CLEAR HEIGHT OF 24 INCHES AND A CLEAR WIDTH OF 20 INCHES. THE MAXIMUM HEIGHT OF THE CLEAR OPENING FROM THE FLOOR IS 44 INCHES (IRC 2015.310)



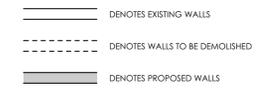
WINDOW DETAIL

GENERAL NOTES:

- UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING OR MASONRY.
- VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN THE FIELD.
- ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE HARDWIRED TO DEDICATED CIRCUIT, INTERCONNECTED & PROVIDED WITH BATTERY BACKUP.
- PROVIDE CARBON MONOXIDE ALARMS PER R315.1.
- ALL STAIRS HANDRAILS AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311 AND R312 OF THE 2015 IRC.
- SEE FRAMING PLANS FOR COORDINATION OF POST REQUIREMENTS.
- ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2\"/>

WALL TYPES

TYPICAL EXTERIOR WALL: 5/8\"/>



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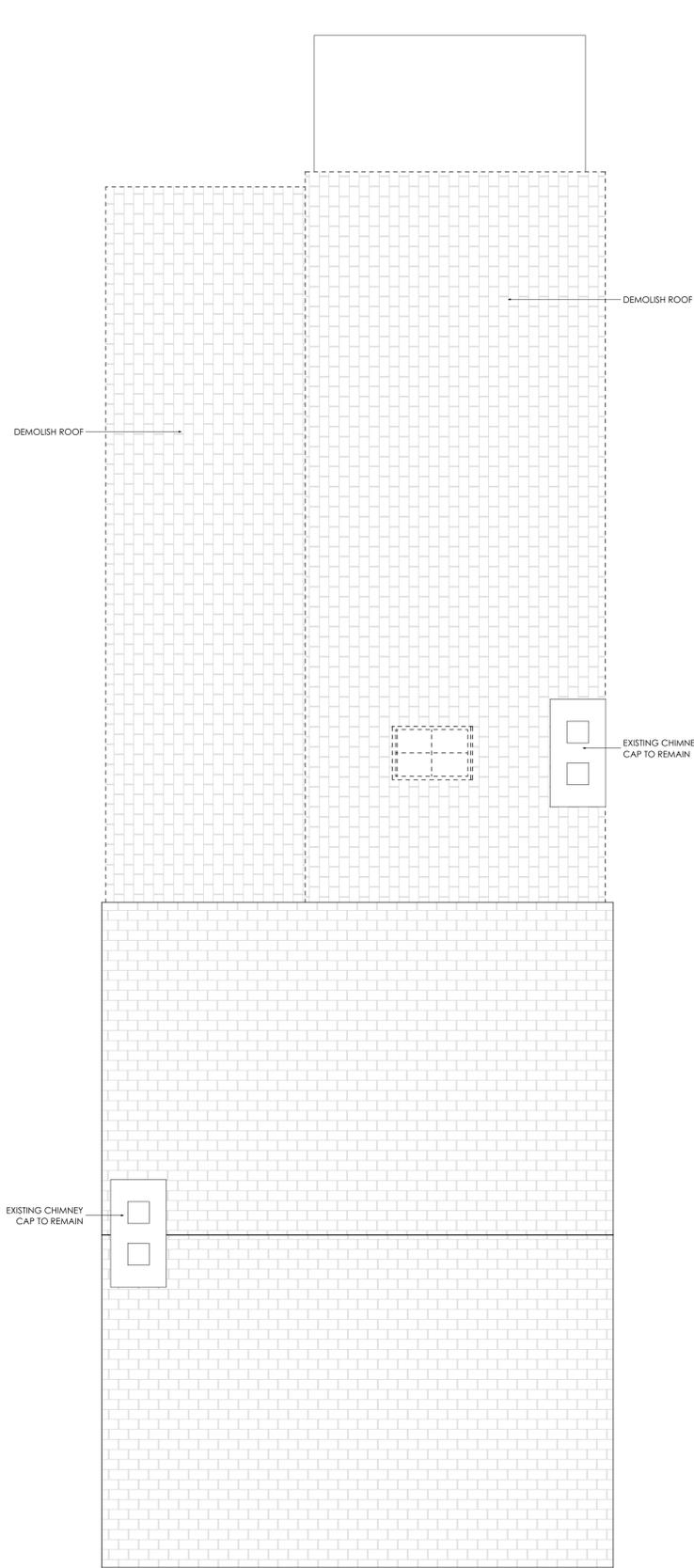
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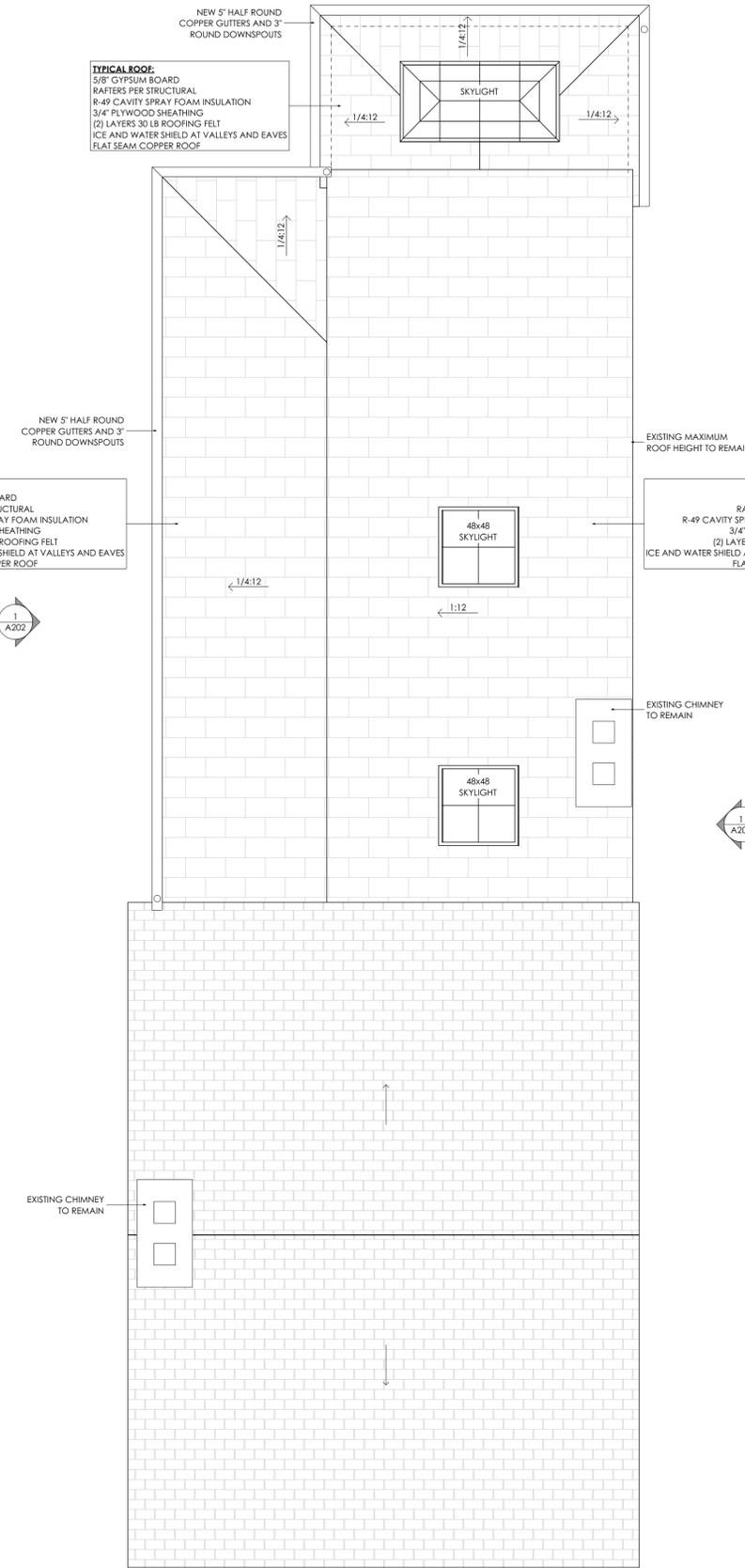
Second Floor Plans

2022/03/02	Existing Conditions
2022/06/23	OGB Concept

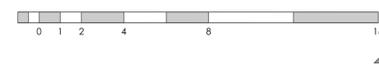
A102



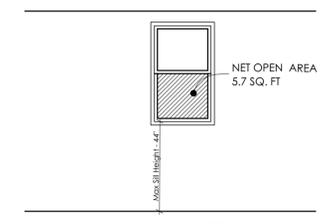
1 Roof Demolition Plan
1/4" = 1'-0"



2 Roof Plan
1/4" = 1'-0"



note: *
ALL BEDROOM (I.E. SLEEPING ROOMS) SHALL HAVE AN EMERGENCY ESCAPE WINDOW (IRC 2015, 310). THIS WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT WITH A CLEAR HEIGHT OF 24 INCHES AND A CLEAR WIDTH OF 20 INCHES. THE MAXIMUM HEIGHT OF THE CLEAR OPENING FROM THE FLOOR IS 44 INCHES (IRC 2015, 310)



WINDOW DETAIL

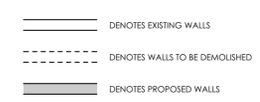
GENERAL NOTES:

- UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING OR MASONRY.
- VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN THE FIELD.
- ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE HARDWIRED TO DEDICATED CIRCUIT, INTERCONNECTED & PROVIDED WITH BATTERY BACKUP.
- PROVIDE CARBON MONOXIDE ALARMS PER R315.1
- ALL STAIRS HANDRAILS AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311 AND R312 OF THE 2015 IRC.
- SEE FRAMING PLANS FOR COORDINATION OF POST REQUIREMENTS.
- ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2"
- ALL ANGLES ARE 90 AND OR 45 UNLESS NOTED OTHERWISE.
- REFER TO EXTERIOR ELEVATIONS & DOOR/ WINDOW SCHEDULE FOR WINDOW HEAD HEIGHTS.
- ALL DOOR DIMENSIONS GIVEN IN FEET AND INCHES.
- ALL INTERIOR DOORS & CASED OPENINGS THAT ARE NOT DIMENSIONED TO CENTER LINE SHALL BE CENTERED IN THE WALL OR HELD MIN. DISTANCE FROM CORNER FOR COMPLETE CASING, U.N.O.

WALL TYPES

TYPICAL EXTERIOR WALL: 5/8" GYPSUM BOARD ON 2X6 STUD WALLS U.N.O. WITH R-19 CAVITY SPRAY FOAM INSULATION, 1/2" EXTERIOR SHEATHING, AND "Henry BlueStik 54" HOUSEWRAP. CONTINUOUS EXTERIOR 1" R-5 RIGID INSULATION AND "Benjamin Obdyke Cedar breather" UNDERLAYMENT WITH PAINTED WOOD LAP SIDING OR WOOD PANELING - SEE ELEVATIONS.

TYPICAL INTERIOR WALL: 2X4 OR 2X6 STUDS 16" O.C. WITH 5/8" GYP BOARD EACH SIDE.



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Roof Plans

2022/03/02	Existing Conditions
2022/06/23	OGB Concept

TYPICAL CONSTRUCTION NOTES

1. TYPICAL ROOF

RAFTERS PER STRUCTURAL WITH R-49 CAVITY SPRAY FOAM INSULATION AND 5/8" GYPSUM BOARD, 3/4" PLYWOOD SHEATHING, (2) LAYERS OF 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS AND EAVES AND FLAT SEAM COPPER ROOF.

2. TYPICAL EXTERIOR WALL CONSTRUCTION

2X6 STUDS PER STRUCTURAL WITH R-19 CAVITY SPRAY FOAM INSULATION AND 5/8" GYPSUM BOARD, 1/2" PLYWOOD SHEATHING WITH "Henry BlueSkin SA" HOUSEWRAP, 1" R-5 CONTINUOUS RIGID INSULATION, AND Benjamin Obdyke Cedar Breather Ventilated Underlayment". PAINTED WOOD LAP SIDING OR TRIM PER ELEVATIONS

3A. TYPICAL FLOOR CONSTRUCTION

3/4" T&G PRE-FINISHED HARDWOOD FLOORS ON 3/4" T&G PLYWOOD SUBFLOOR ADVANTECH OR APPROVED EQUAL (GLUED AND NAILED) WOOD 1" JOIST WITH 1/2" GYP (SEE FRAMING PLANS FOR SIZE AND SPACING) R-21 @ PERIMETER BLOCKING AND R-49 AT CANTILEVERS/OVERHANGS.

3B. TYPICAL EXTERIOR DECK CONSTRUCTION

5/4 X 6 IPE ON P.T. LUMBER (SEE FRAMING PLANS FOR SIZE/SPACING).

4. TYPICAL FOUNDATION WALL

2X FLAT STUD Furring UNDER 5/8" GYPSUM BOARD, R-15 CLOSED CELL SPRAY FOAM INSULATION OVER "Stego Wrap Class A Vapor Retarder (10-Mil)" TAPED TO TOP OF FOUNDATION WALL AND EXTENDED 24" MINIMUM HORIZONTALLY BELOW SLAB. FOUNDATION WALLS PER STRUCTURAL WITH BRICK VENEER ABOVE GRADE TO MATCH EXISTING AND EXTERIOR CEMENT WATERPROOFING.

5. TYP. SLAB ON GRADE CONSTRUCTION

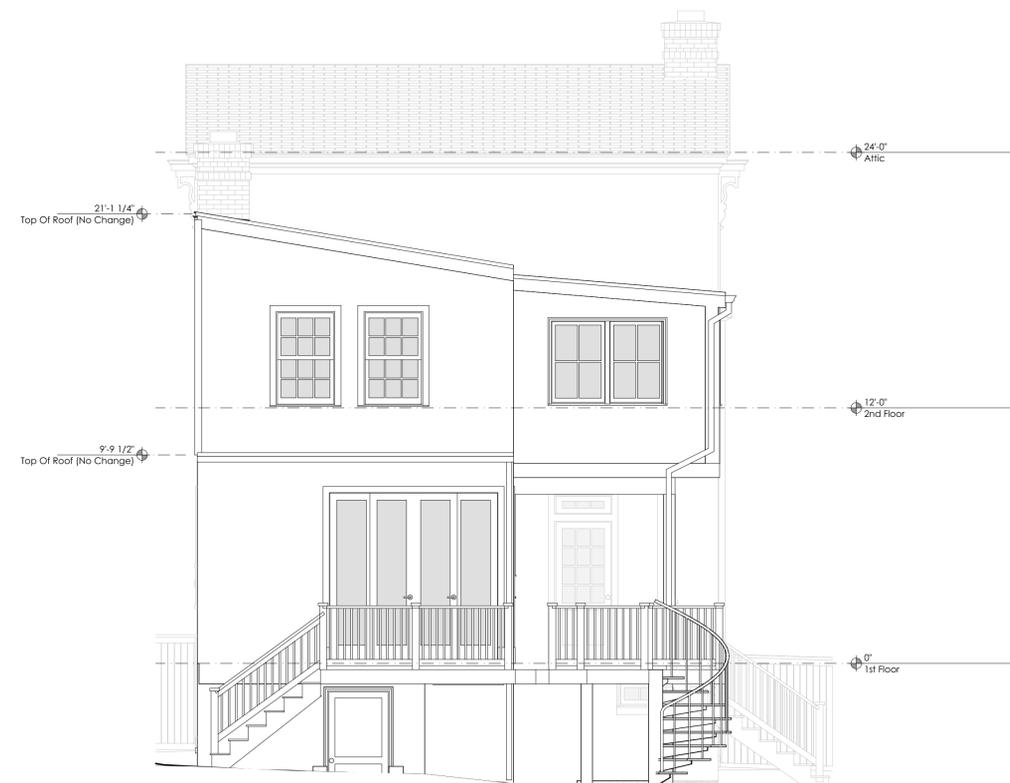
4" CONCRETE SLAB PER STRUCTURAL ON 8 MIL POLY VAPOR BARRIER OVER 2" R-10 RIGID INSULATION AND 4" CRUSHED AGGREGATE ON UNDISTURBED SOIL. NEW INTERIOR DRAIN TILE THROUGHOUT.

6. TYP. INTERIOR WALL CONSTRUCTION

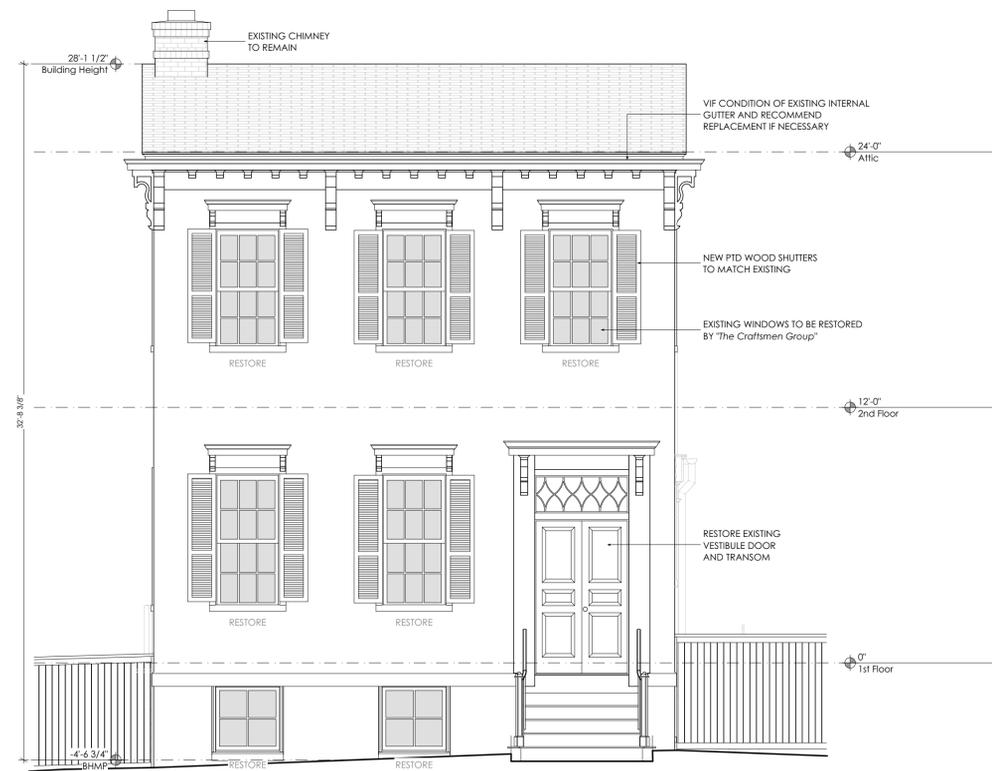
5/8" GYPSUM WALL BOARD ON 2X4 OR 2X6 STUDS (SEE PLANS) @ 16" O.C. (I/L/O) PRESSURE TREATED SILL AT BASEMENT. MOISTURE RESISTANT (GREEN BOARD) AT ALL BATHROOMS, LAUNDRY ROOMS AND ADDITIONAL AREAS CALLED OUT ON PLANS.



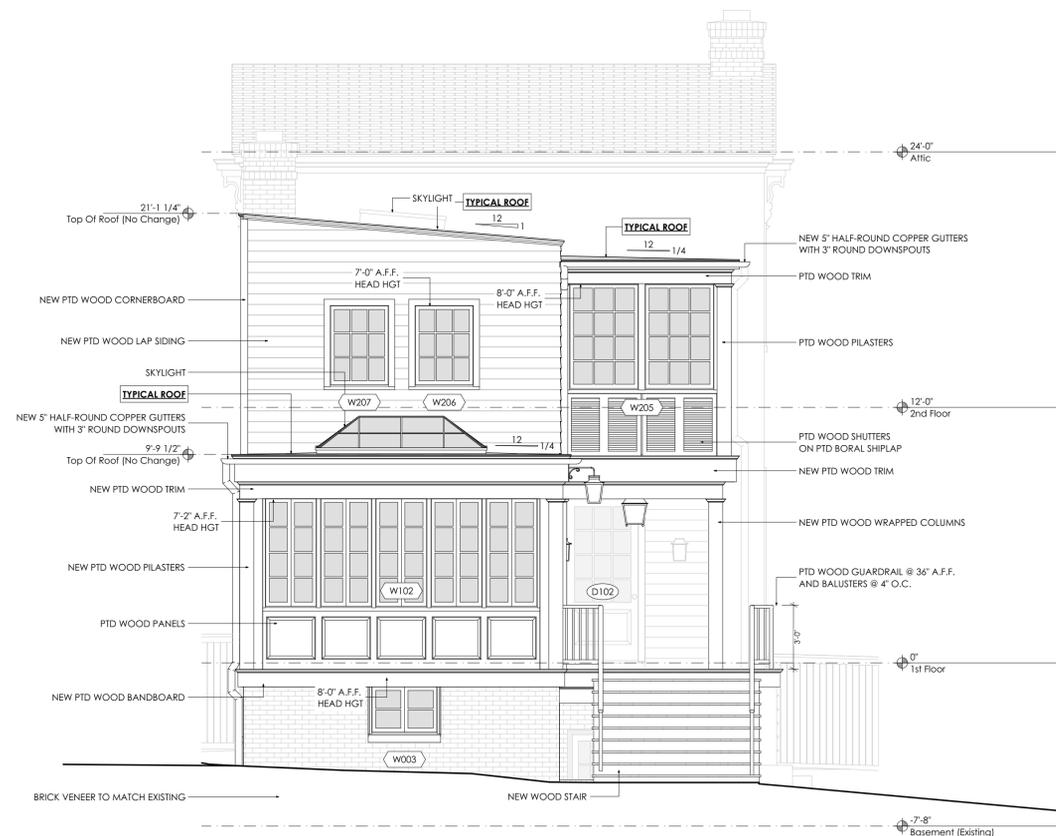
3 Existing Front Elevation
1/4" = 1'-0"



4 Existing Rear Elevation
1/4" = 1'-0"



1 Proposed Front Elevation
1/4" = 1'-0" NOTE: NO CHANGE



2 Proposed Rear Elevation
1/4" = 1'-0"

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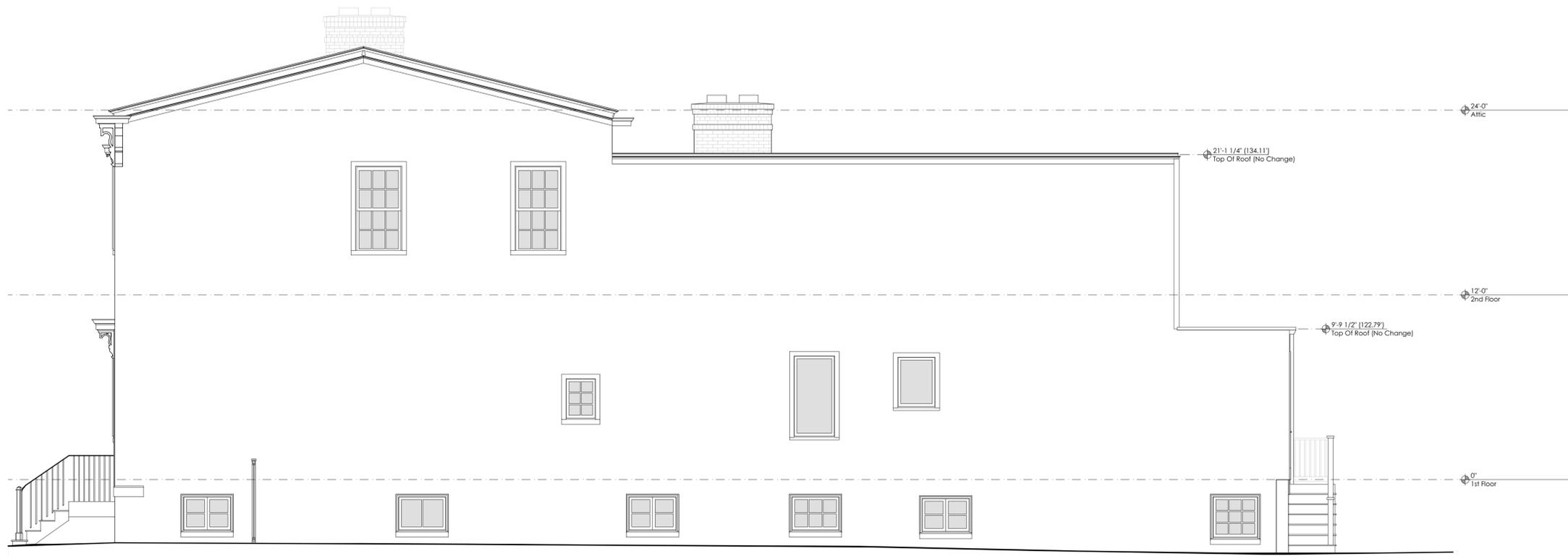
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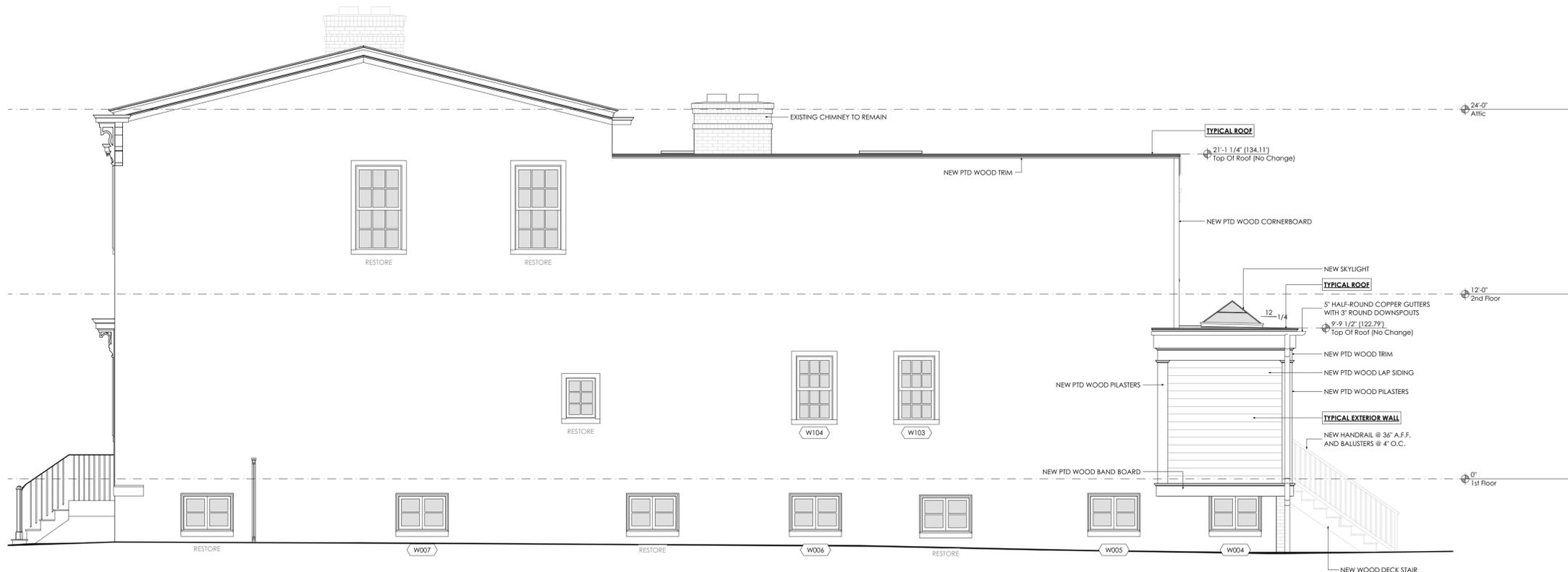
Front & Rear Elevations

2022/03/02	Existing Conditions
2022/06/23	OGB Concept

A200



2 Existing North Elevation
1/4" = 1'-0"



1 Proposed North Elevation
1/4" = 1'-0"

TYPICAL CONSTRUCTION NOTES

1. TYPICAL ROOF

RAFTERS PER STRUCTURAL WITH R-49 CAVITY SPRAY FOAM INSULATION AND 5/8" GYPSUM BOARD, 3/4" PLYWOOD SHEATHING, (2) LAYERS OF 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS AND EAVES AND FLAT SEAM COPPER ROOF.

2. TYPICAL EXTERIOR WALL CONSTRUCTION

2X6 STUDS PER STRUCTURAL WITH R-19 CAVITY SPRAY FOAM INSULATION AND 5/8" GYPSUM BOARD, 1/2" PLYWOOD SHEATHING WITH "Henry Blueskin SA" HOUSEWRAP, 1" R-5 CONTINUOUS RIGID INSULATION, AND Benjamin Obdyke Cedar Breather Ventilated Underlayment". PAINTED WOOD LAP SIDING OR TRIM PER ELEVATIONS

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3B. TYPICAL EXTERIOR DECK CONSTRUCTION

5/4 X 6 IPE ON P.T. LUMBER (SEE FRAMING PLANS FOR SIZE/SPACING).

4. TYPICAL FOUNDATION WALL

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5. TYP. SLAB ON GRADE CONSTRUCTION

4" CONCRETE SLAB PER STRUCTURAL ON 8 MIL POLY VAPOR BARRIER OVER 2" R-10 RIGID INSULATION AND 4" CRUSHED AGGREGATE ON UNDISTURBED SOIL. NEW INTERIOR DRAIN TILE THROUGHOUT.

6. TYP. INTERIOR WALL CONSTRUCTION

5/8" GYPSUM WALL BOARD ON 2X4 OR 2X6 STUDS (SEE PLANS) @ 16" O.C. (I.N.O) PRESSURE TREATED SILL AT BASEMENT. MOISTURE RESISTANT (GREEN BOARD) AT ALL BATHROOMS, LAUNDRY ROOMS AND ADDITIONAL AREAS CALLED OUT ON PLANS.

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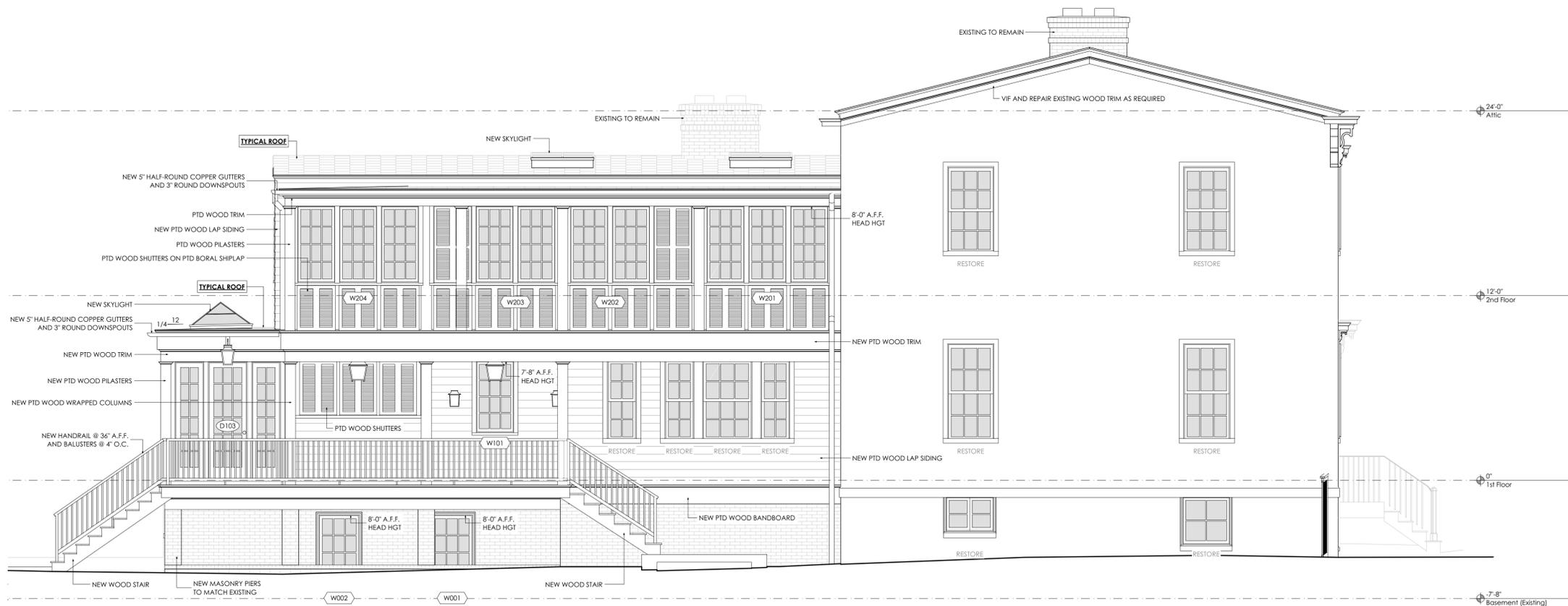
North Elevations

2022/03/02	Existing Conditions
2022/06/23	OGB Concept

A201



2 Existing South Elevation
1/4" = 1'-0"



1 Proposed South Elevation
1/4" = 1'-0"

- TYPICAL CONSTRUCTION NOTES**
- TYPICAL ROOF**
RAFTERS PER STRUCTURAL WITH R-49 CAVITY SPRAY FOAM INSULATION AND 5/8" GYPSUM BOARD, 3/4" PLYWOOD SHEATHING, (2) LAYERS OF 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS AND EAVES AND FLAT SEAM COPPER ROOF.
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2X6 STUDS PER STRUCTURAL WITH R-19 CAVITY SPRAY FOAM INSULATION AND 5/8" GYPSUM BOARD, 1/2" PLYWOOD SHEATHING WITH "Henry Blueskin SA" HOUSEWRAP, 1" R-5 CONTINUOUS RIGID INSULATION, AND Benjamin Obdyke Cedar Breather Ventilated Underlayment". PAINTED WOOD LAP SIDING OR TRIM PER ELEVATIONS
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 - TYP. INTERIOR WALL CONSTRUCTION**
5/8" GYPSUM WALL BOARD ON 2X4 OR 2X6 STUDS (SEE PLANS) @ 16" O.C. (I.L.N.O) PRESSURE TREATED SILL AT BASEMENT. MOISTURE RESISTANT (GREEN BOARD) AT ALL BATHROOMS, LAUNDRY ROOMS AND ADDITIONAL AREAS CALLED OUT ON PLANS.

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South Elevations

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