

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., March 29, 2022

Plat for Building Permit of :

SQUARE 1277 LOT 5

Scale: 1 inch = 30 feet

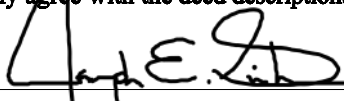
Recorded in Book A.R.S. Page 233

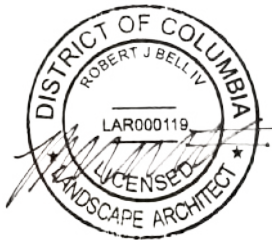
Receipt No. 22-03457

Drawn by: A.S.

Furnished to: ROBERT BELL

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."


Surveyor, D.C.

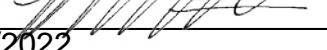


I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:
1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application B2207692; and
3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:

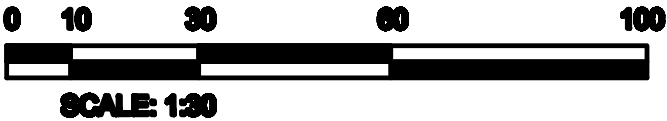
- 1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
 - 2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
 - 3) I have/have not (circle one) filed a subdivision application with the Office of the Surveyor;
 - 4) I have/have not (circle one) filed a subdivision application with the Office of Tax & Revenue; and
 - 5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.
- The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the two years prior to the date DCRA accepts a Building Permit Application as complete.

I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

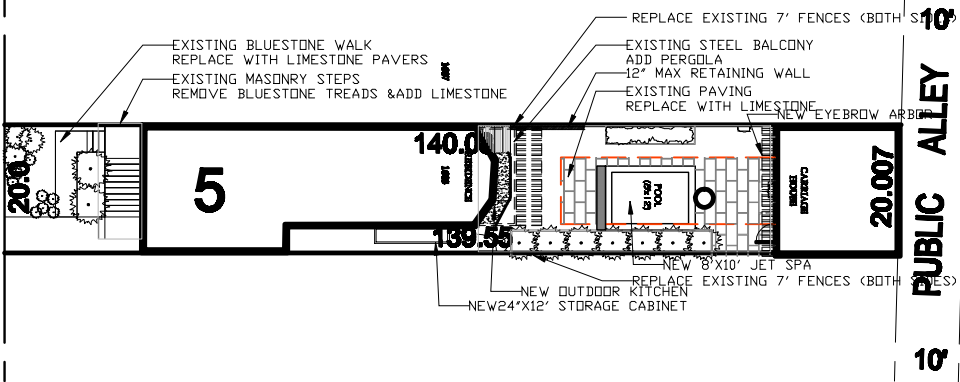
Signature: 
Date: 6/5/2022

Printed Name: Robert Bell/Bell Design Inc
Relationship to Lot Owner: client representative

If a registered design professional, provide license number LAR000119 and include stamp below.



SQUARE 1277













BELL DESIGN, INC
Estate gardens • Hospitality • Development
Palm Beach • Southampton • Washington, D.C.
www.belldesigninc.net • rbell@belldesigninc.net • +1 410 310 6374

DUFFY RESIDENCE

1605 35th STREET

WASHINGTON, DC 20007

LANDSCAPE CONSTRUCTION DOCUMENT SET - September 14, 2022

Scope of work: Front of house: replace treads front stairs & leadwalk
Rear: Replace paving, new swim-spa, new fences, trellis & outdoor kitchen

Active permits: B2207692, F2200586, SP2200054, RW2200131

INDEX:

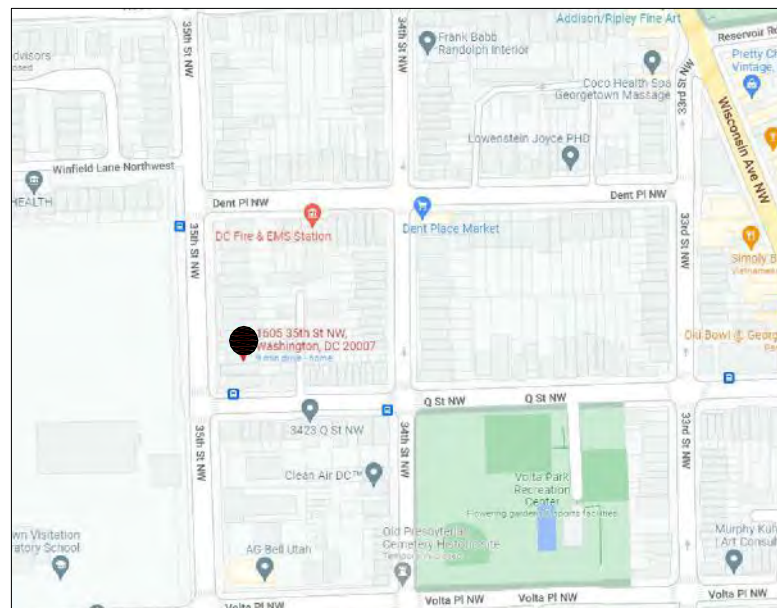
Coversheet

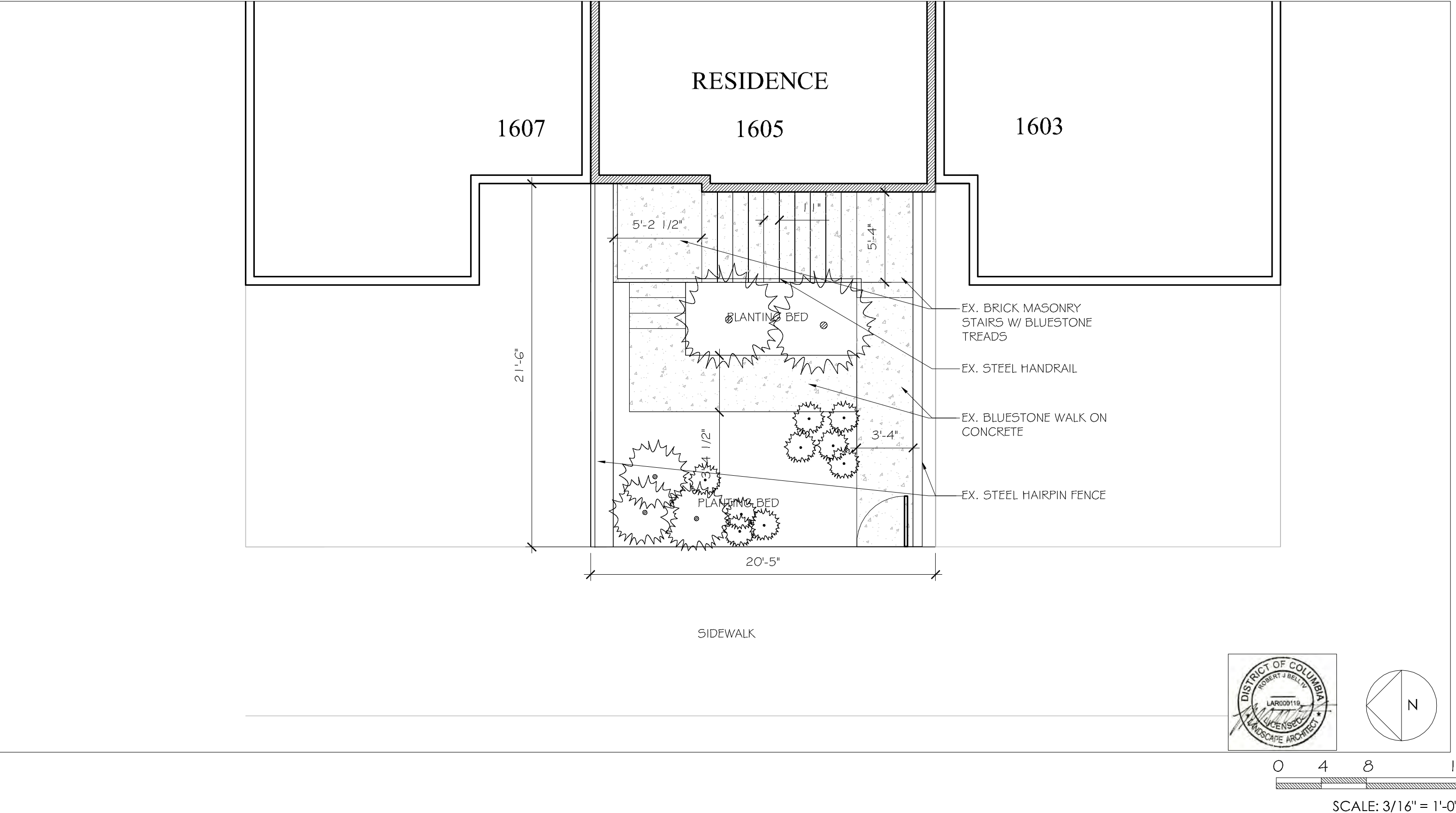
- L1.0 - Front plan - Existing conditions
- L1.1 - Front plan - Proposed layout & materials
- L1.2 - Front elevation - Existing conditions
- L1.3 - Front elevation - Proposed
- L1.4 - Rear plan - Existing conditions
- L1.5 - Rear plan - Proposed Layout/Materials
- L1.6 - Rear elevation - Existing conditions
- L1.7 - Rear elevation - Proposed
- L1.8 - Carriage House elevation - Existing conditions
- L1.9 - Carriage House elevation - Proposed
- L2.0 - Utility and Lighting Layout
- L3.0 - Rear Planting & Accessories
- L4.0 - Pool Layout & Erosion Control
- L5.0-5.2 - Construction Details

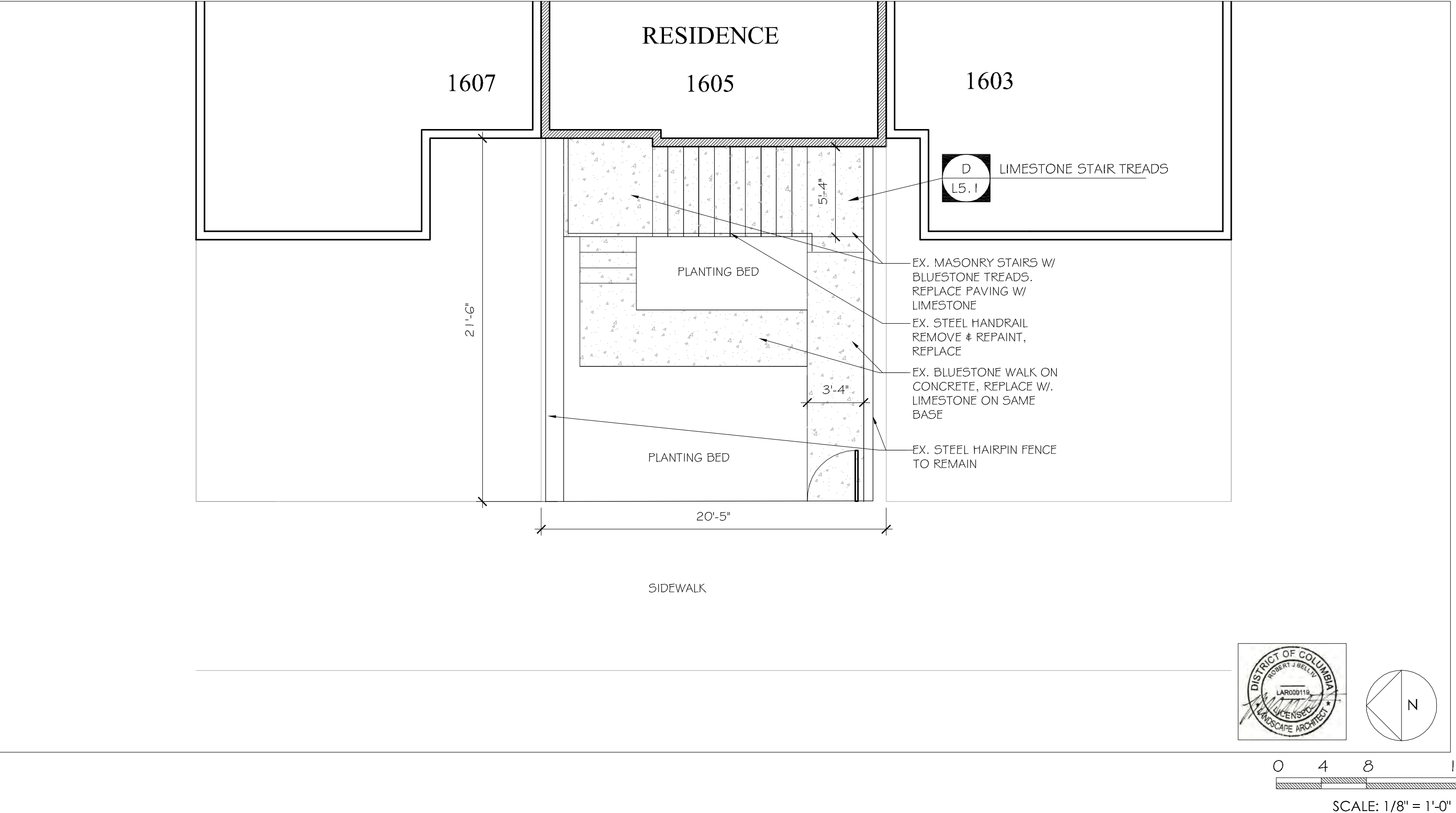
APPENDIX A - POOL SHOP DRAWINGS, WINDOWS & ACCESSORIES CUTSHEETS

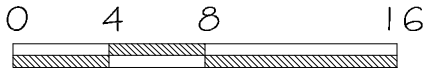
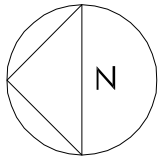
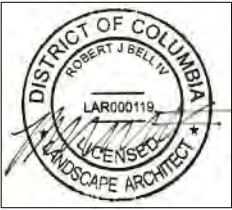
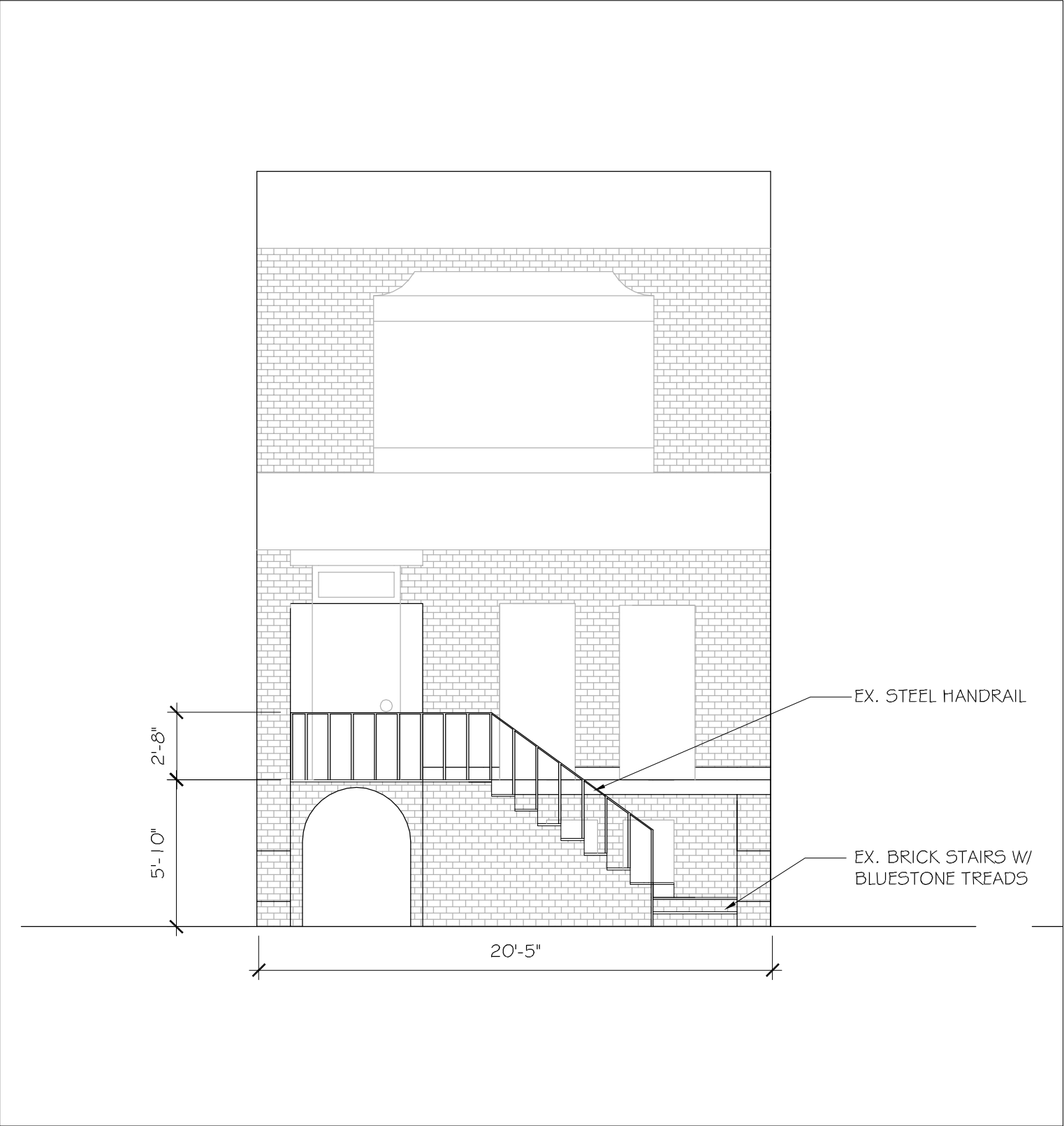
CODE:

FENCE: DC Municipal CODE 12-A DCMR § 3112 - 3112.1.3 , 3112.3.3
POOL: 11 DCMR DC § 1207.2 & Swimming Pool and Spa Code 2017 § 901.2 and Chapter 3
RETAINING WALL: 11 DCMR DC § 11-413

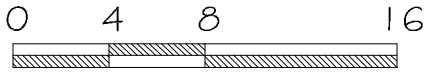
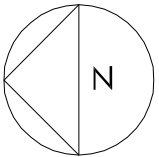
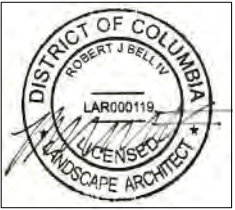
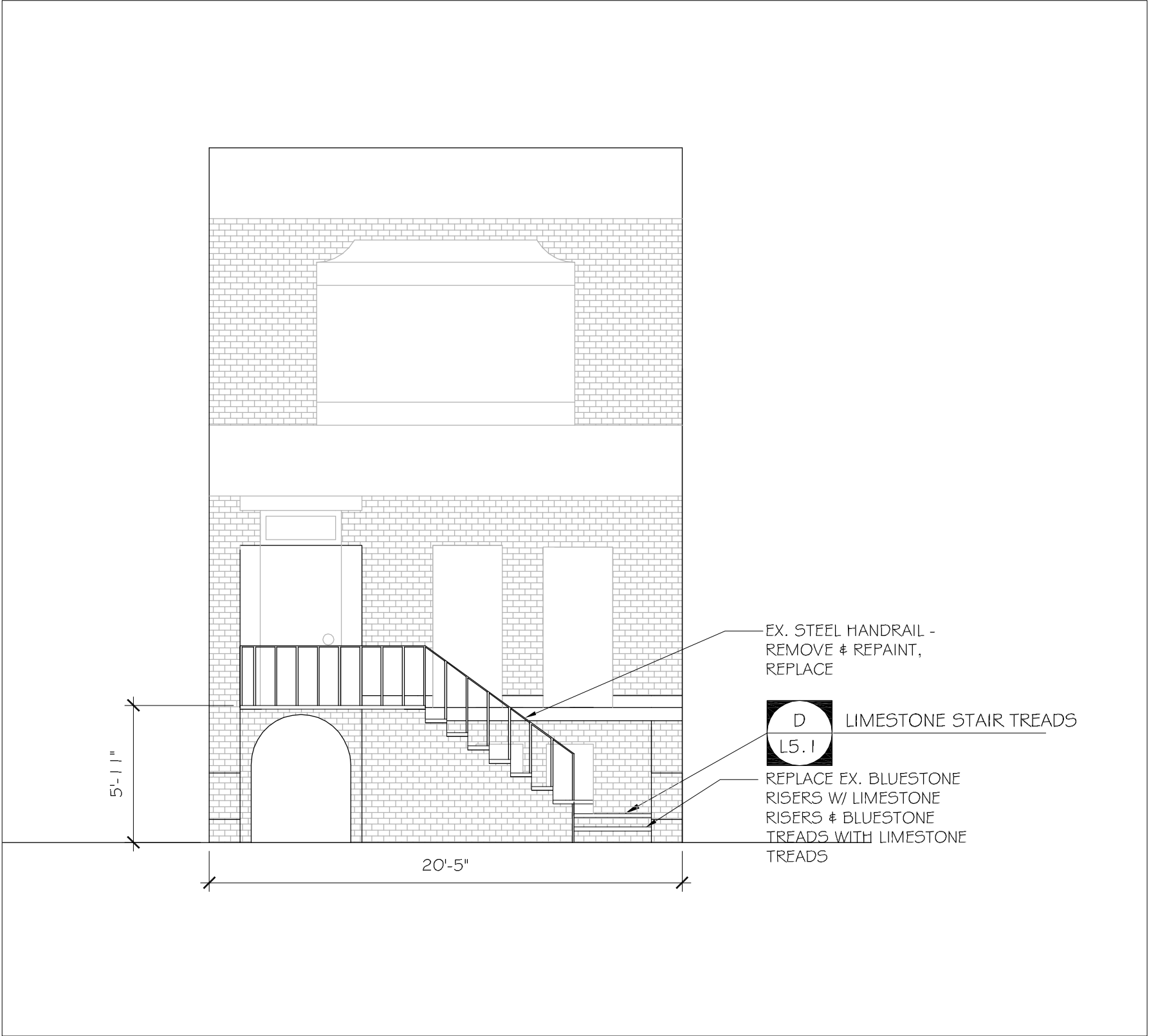




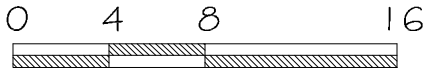
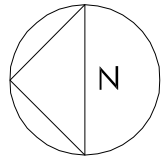
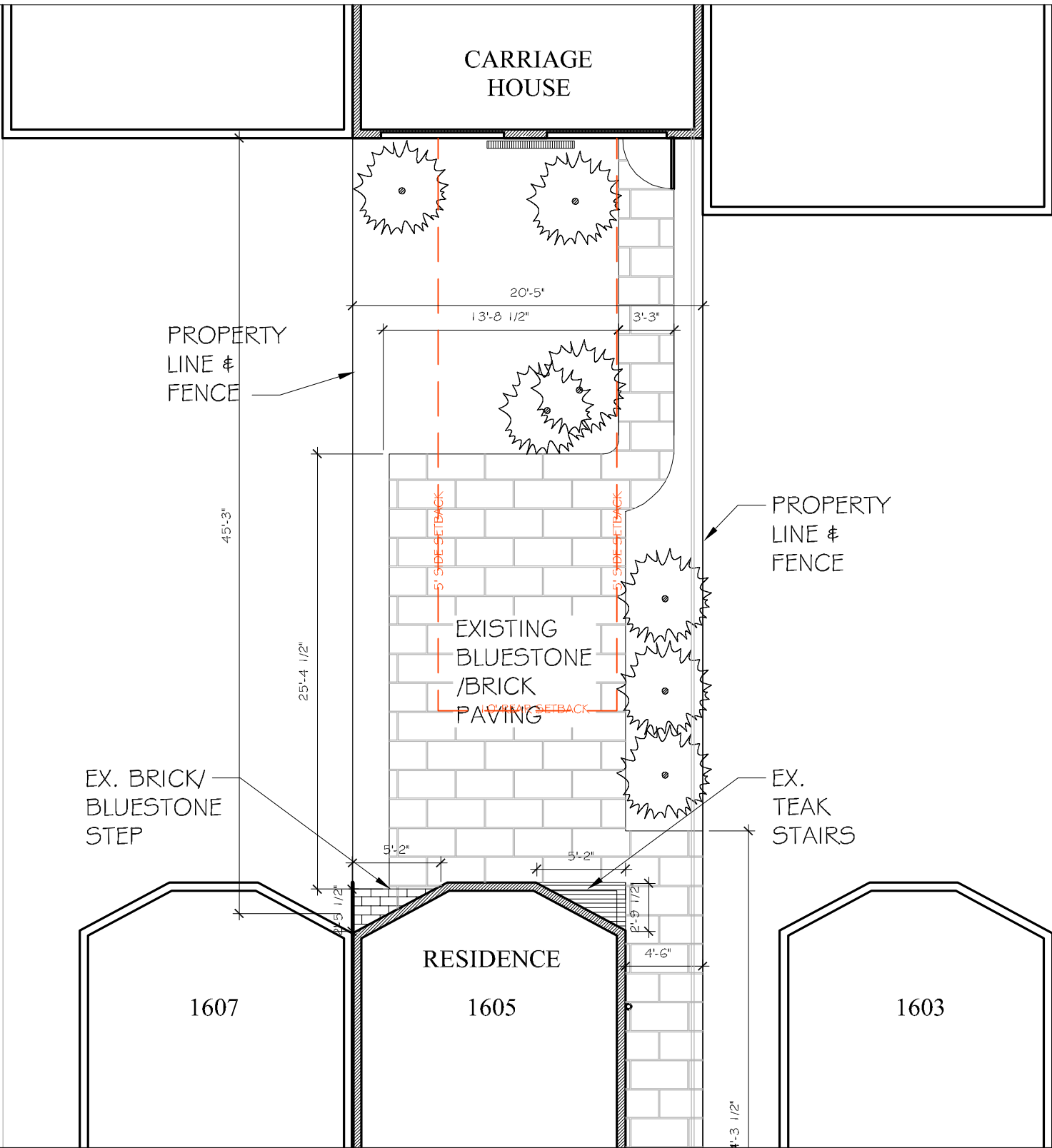




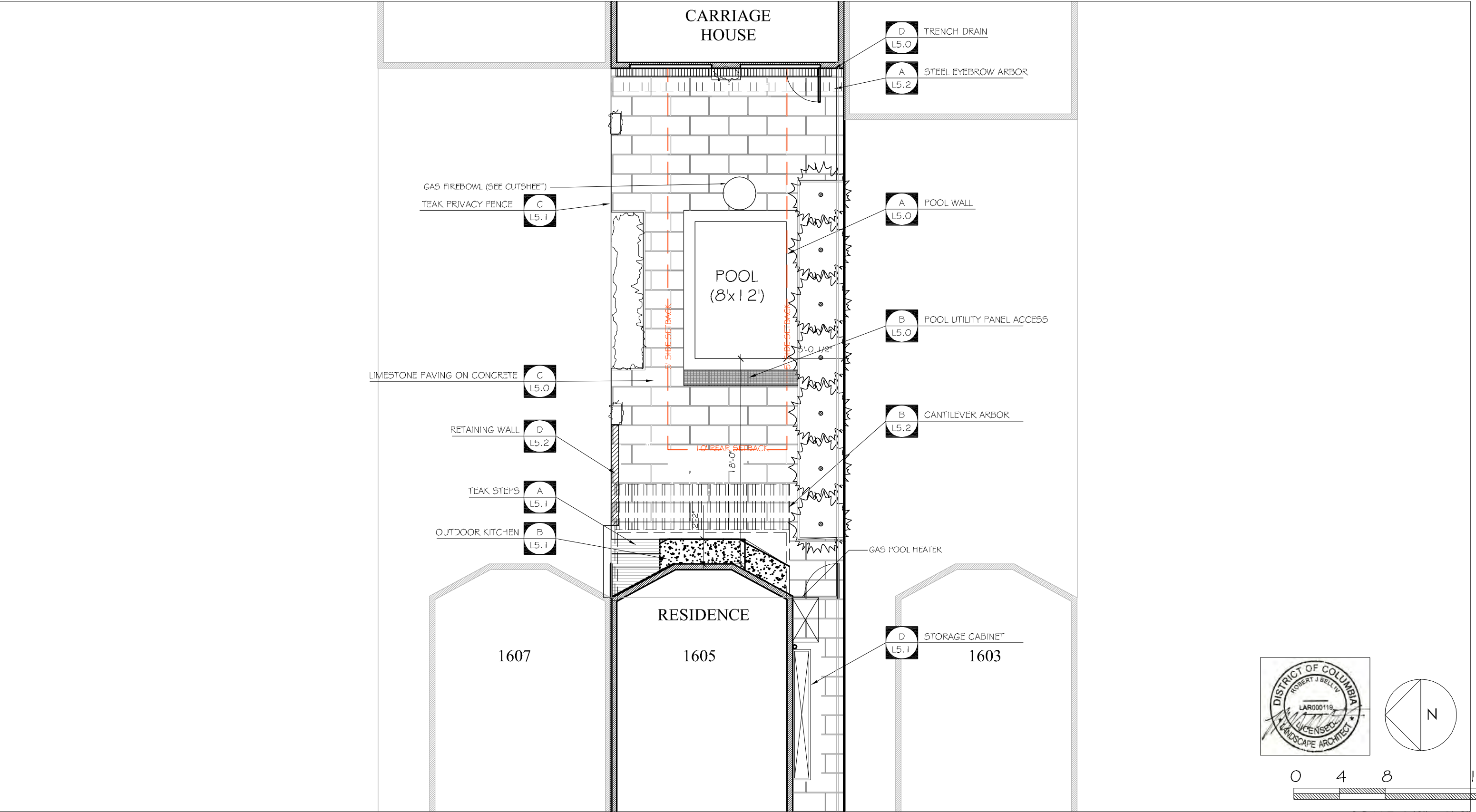
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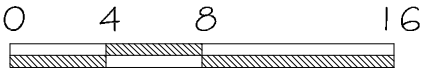
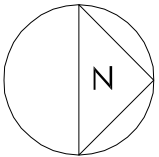
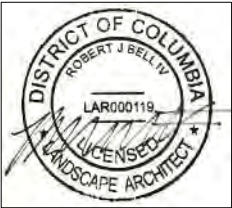
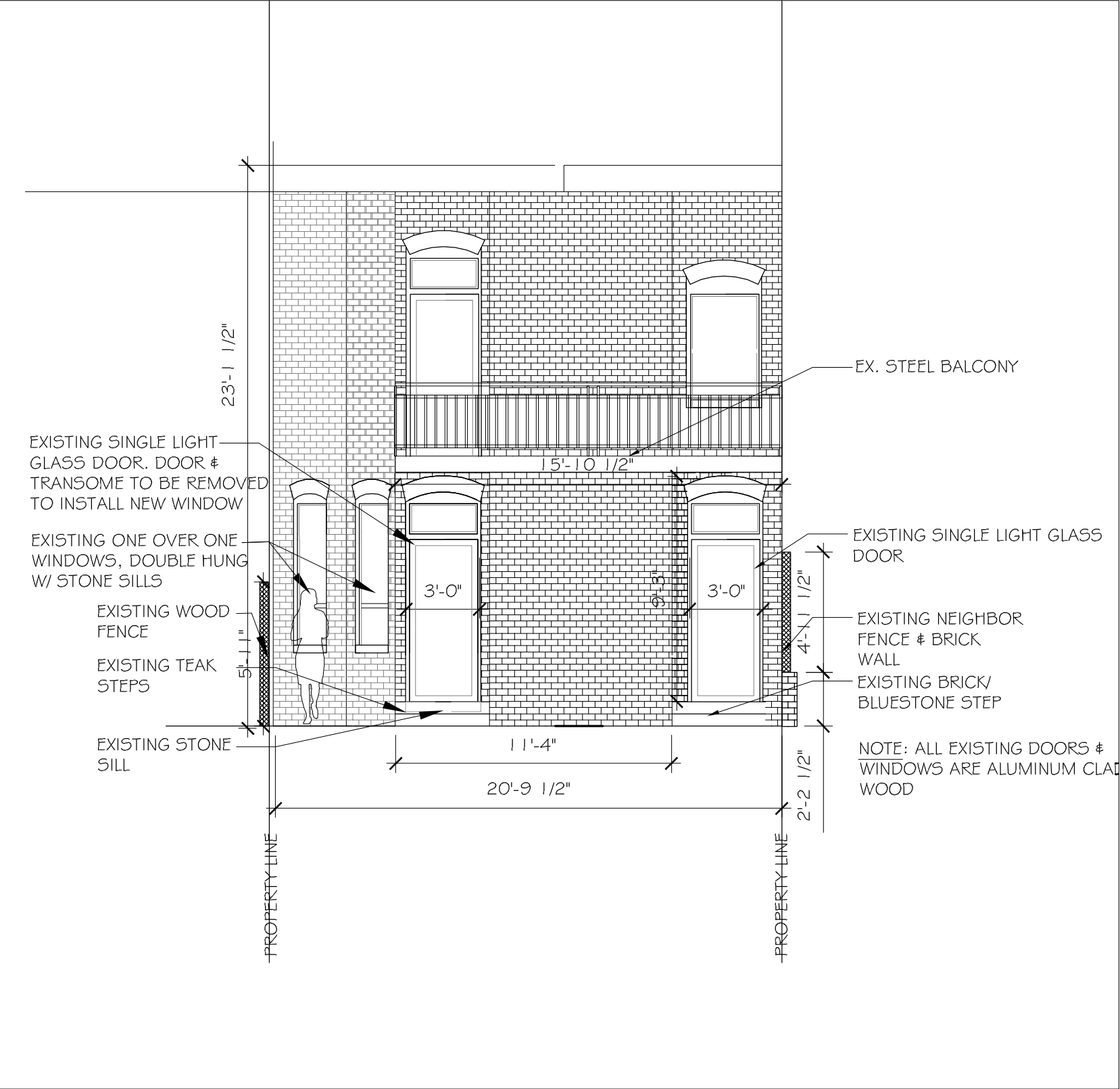


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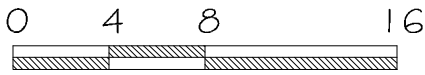
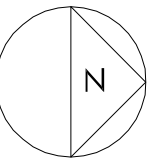
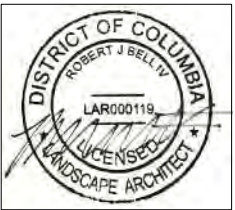
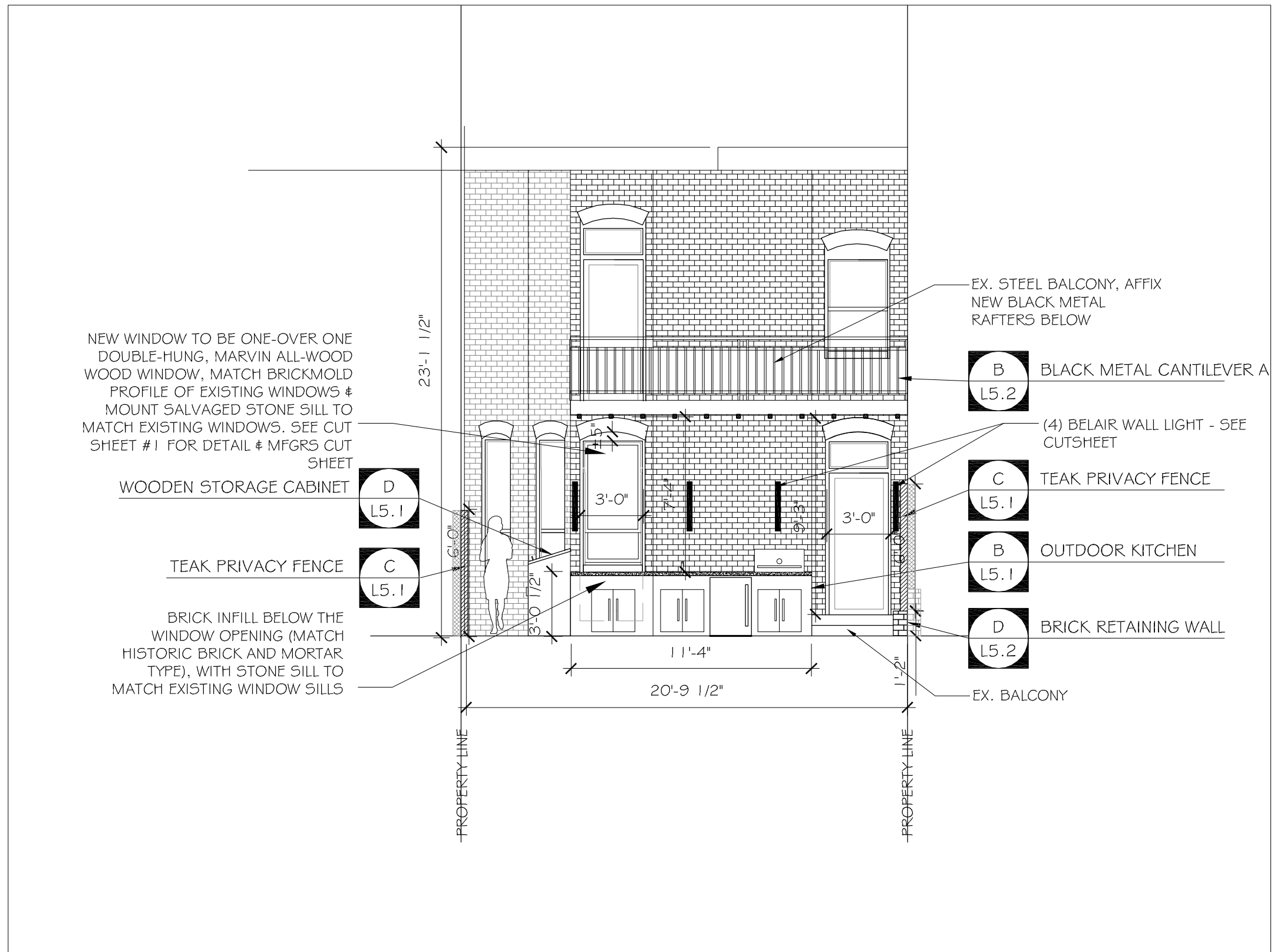


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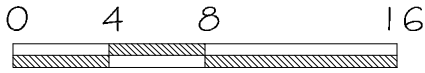
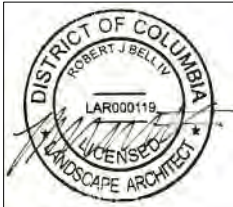
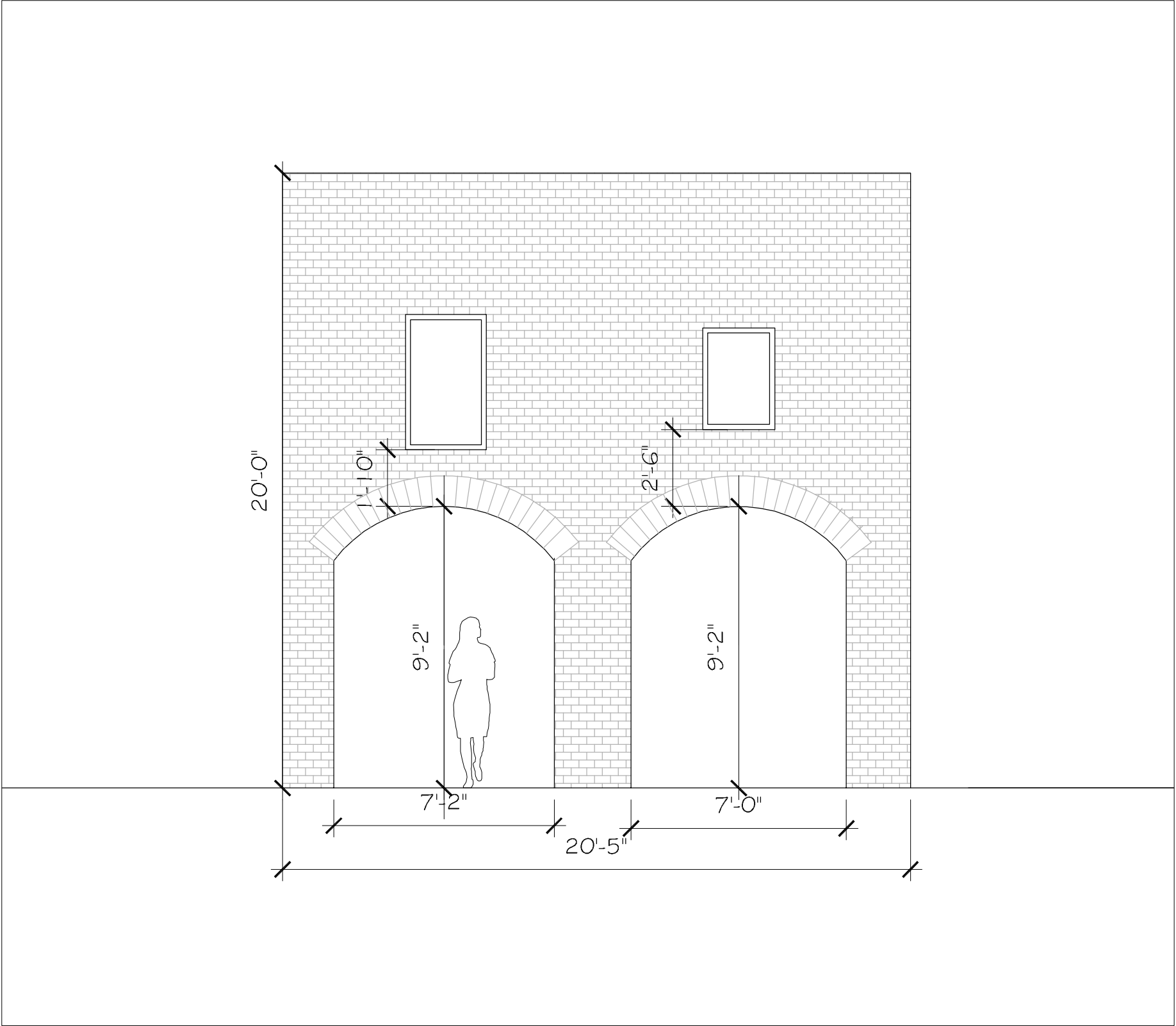




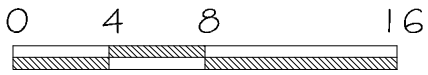
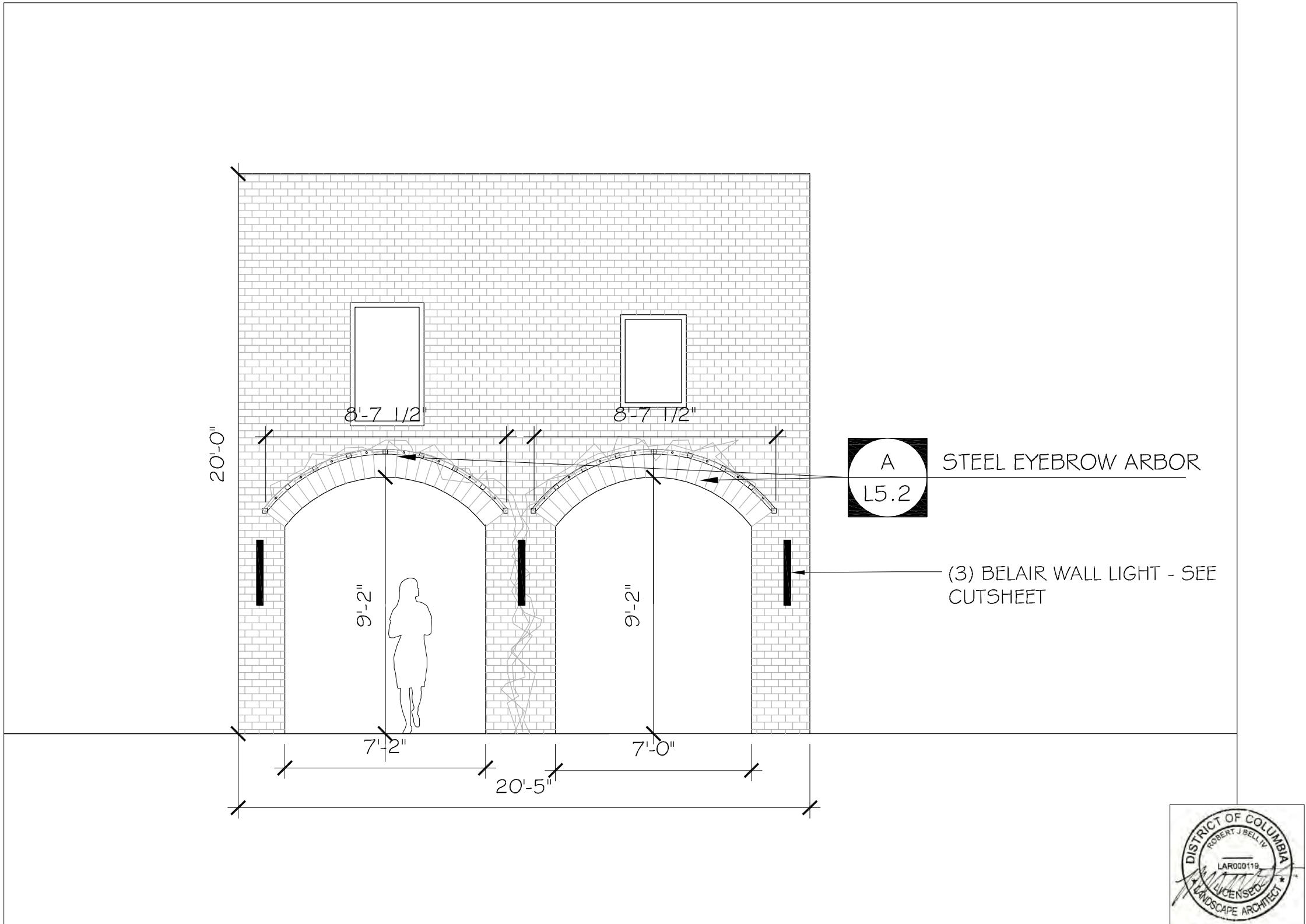
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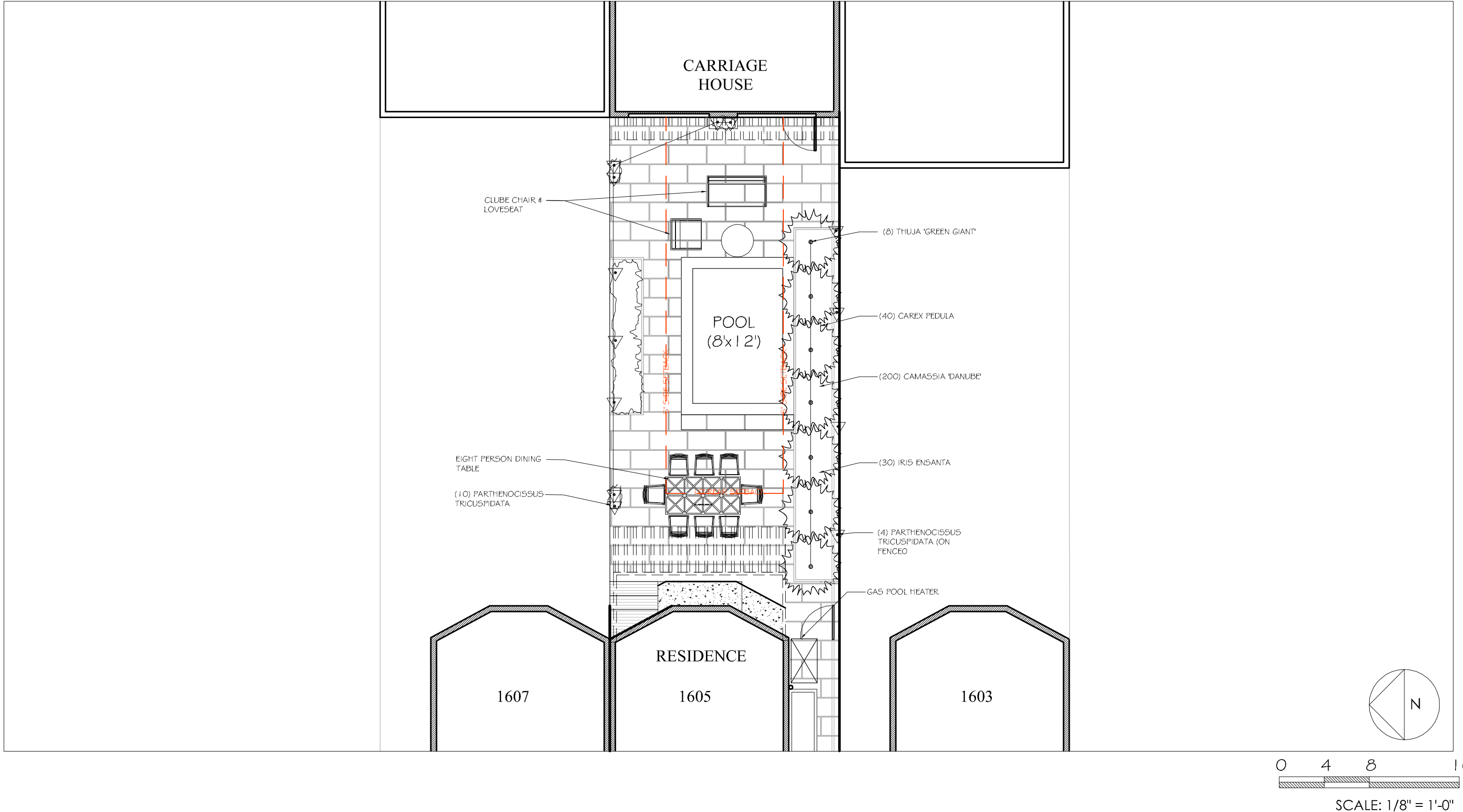
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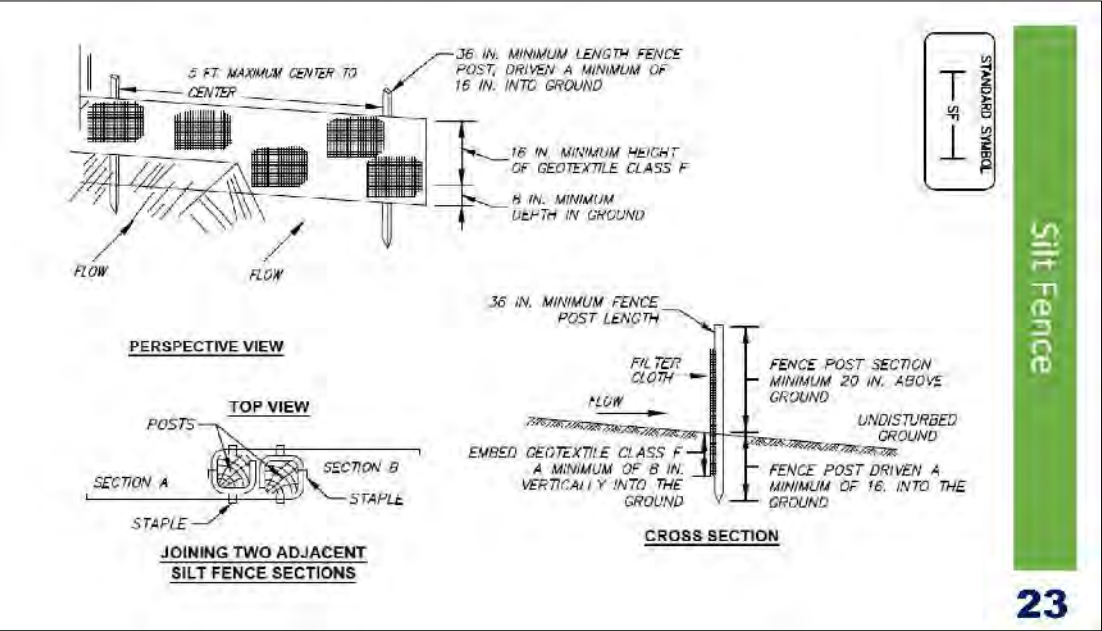


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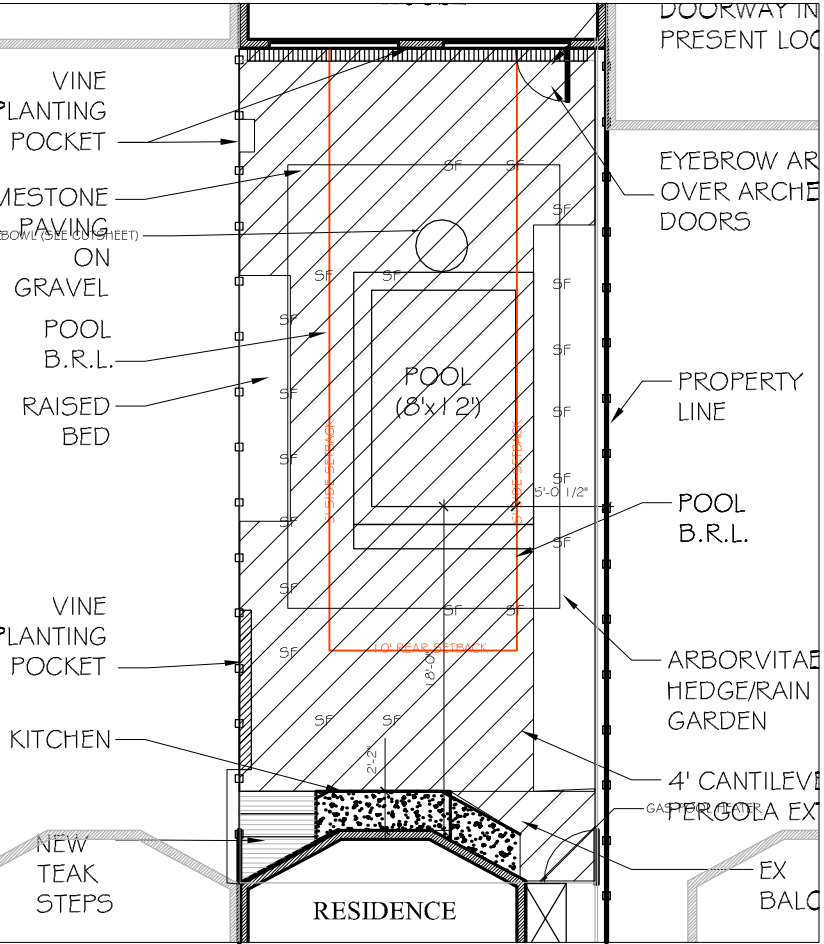



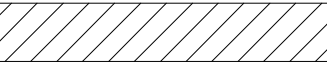
SCALE: 1/4" = 1'-0"





DETAIL: SILT FENCE



KEY	
	Silt Fence
	Disturbed area
680 SF	TOTAL SF DISTURBED
693 CF	TOTAL CF DISTURBED

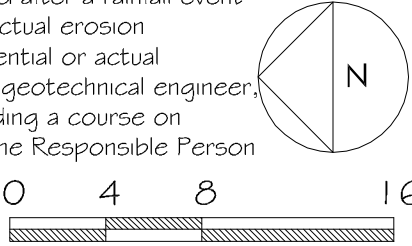
NARRATIVE:
REPLACE EXISTING FENCES WITH NEW. NEW POOL AND NEW PAVING.

CONSTRUCTION SEQUENCING:
REMOVE OLD FENCE, FOOTINGS, PAVING. EXCAVATE POOL. BUILD POOL WALLS & NEW FENCE FOOTINGS

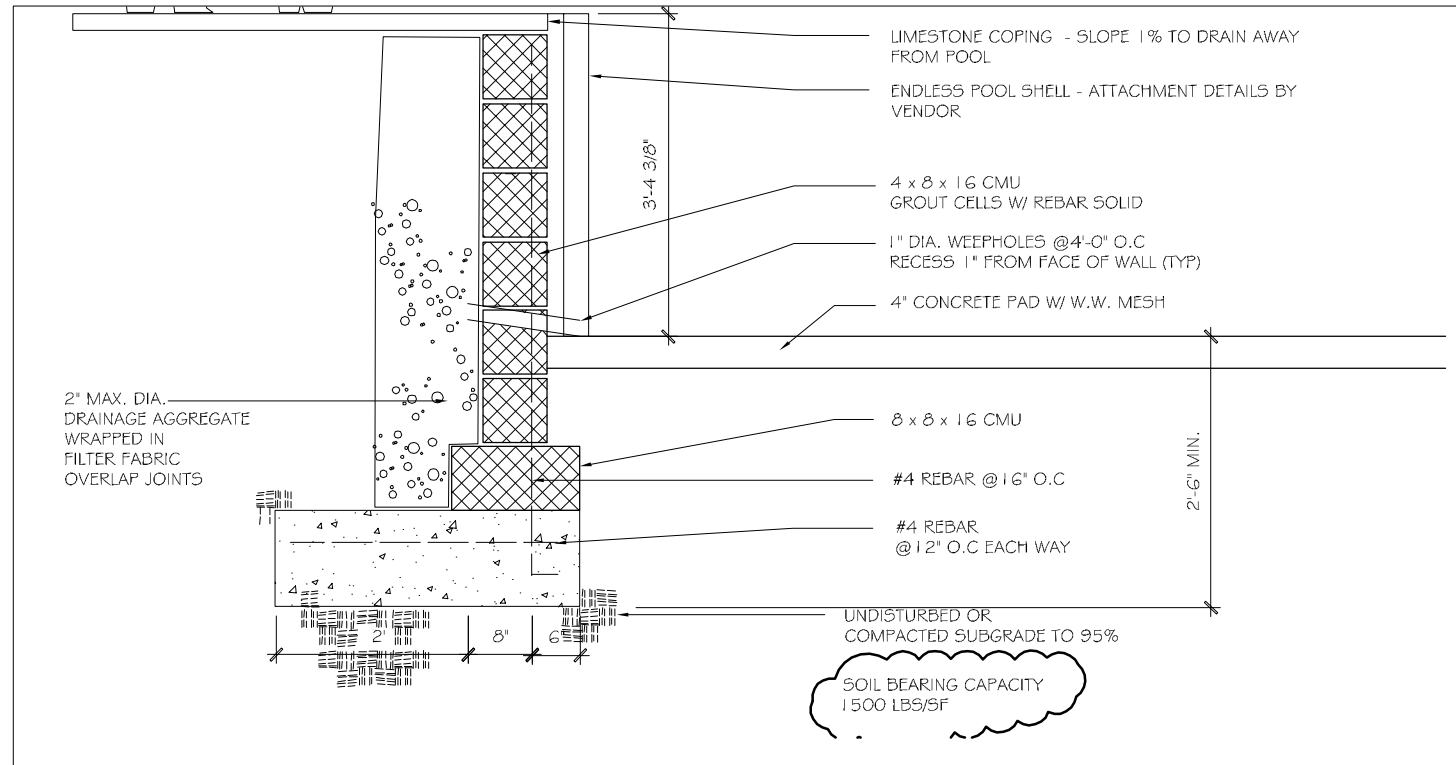
APPLICANT WILL CALL DDOE AT 202-535-2977 TO SCHEDULE A PRECONSTRUCTION MEETING BEFORE ANY LAND DISTURBING ACTIVITY

DOEE SOIL EROSION AND SEDIMENT CONTROL PLAN GENERAL NOTES

- Following initial land disturbance or re-disturbance, permanent or interim stabilization must be completed within seven (7) calendar days for the surfaces of all perimeter controls, dikes, swales, ditches, perimeter slopes, and slopes greater than three (3) horizontal to one (1) vertical (3:1); and fourteen (14) days for all other disturbed or graded areas on the project site. These requirements do not apply to areas shown on the plan that are used for material storage other than stockpiling, or for those areas on the plan where actual construction activities are being performed. Maintenance shall be performed as necessary so that stabilized areas continuously meet the appropriate requirements of the District of Columbia Standards and Specifications for Soil Erosion and Sediment Control (ESC). [21 DCMR § 542.9 (o)]
- ESC measures shall be in place before and during land disturbance. [21 DCMR § 543.6]
- Contact DOEE Inspection (202) 535-2977 to schedule a preconstruction meeting at least three (3) business days before the commencement of a land-disturbing activity. [21 DCMR § 503.7 (a)]
- A copy of the approved plan set will be maintained at the construction site from the date that construction activities begin to the date of final stabilization and will be available for DOEE inspectors. [21 DCMR § 542.15]
- ESC measures shall be in place to stabilize an exposed area as soon as practicable after construction activity has temporarily or permanently ceased but no later than fourteen (14) days following cessation, except that temporary or permanent stabilization shall be in place at the end of each day of underground utility work that is not contained within a larger development site. [21 DCMR § 543.7]
- Stockpiled material being actively used during a phase of construction shall be protected against erosion by establishing and maintaining perimeter controls around the stockpile. [21 DCMR § 543.16 (a)]
- Stockpiled material not being actively used or added to shall be stabilized with mulch, temporary vegetation, hydroseed or plastic within fifteen (15) calendar days after its last use or addition. [21 DCMR § 543.16 (b)]
- Fill material must be free of contamination levels of any pollutant that is, or may be considered to represent, a possible health hazard to the public or may be detrimental to surface or ground water quality, or which may cause damage to property or the drainage system. All fill material must be free of hazardous materials and comply with all applicable District and federal regulations.
- Protect best management practices from sedimentation and other damage during construction for proper post construction operation. [21 DCMR § 543.5]
- Request a DOEE inspector's approval after the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. [21 DCMR § 542.12 (a)]
- Request a DOEE inspector's approval after final stabilization of the site and before the removal of erosion and sediment controls. [21 DCMR § 542.12 (b)]
- Final stabilization means that all land-disturbing activities at the site have been completed and either of the following two criteria have been met: (1) a uniform (for example, evenly distributed, without large bare areas) perennial vegetative cover with a density of seventy percent (70%) of the native background vegetative cover for the area has been established on all unpaved areas and areas not covered by permanent structures, or (2) equivalent permanent stabilization measures have been employed (such as the use of riprap, gabions, or geotextiles). [21 DCMR § 542.12 (b.1, b.2)]
- Follow the requirements of the United States Environmental Protection Agency approved Stormwater Pollution Prevention Plan (SWPPP) and maintain a legible copy of this SWPPP on site. [21 DCMR § 543.10 (b)]
- Post a sign that notifies the public to contact DOEE in the event of erosion or other pollution. The sign will be placed at each entrance to the site or as directed by the DOEE inspector. Each sign will be no less than 18 x 24 inches in size and made of materials that will withstand weather for the duration of the project. Lettering will be at least 1 inch in height and easily readable by the public from a distance of twelve feet (12 ft). The sign must direct the public, in substantially the following form: "To Report Erosion, Runoff, or Stormwater Pollution" and will provide the construction site address, DOEE's telephone number (202-535-2977), DOEE's e-mail address (IEB.scheduling@dc.gov), and the 311 mobile app heading ("Construction-Erosion Runoff"). [21 DCMR § 543.22]
- If a site disturbs 5,000 square feet of land or greater, the ESC plan must contain the following statement:
15. A Responsible Person must be present or available while the site is in a land-disturbing phase. The Responsible Person is charged with being available to (a) inspect the site and its ESC measures at least once biweekly and after a rainfall event to identify and remedy each potential or actual erosion problem, (b) respond to each potential or actual erosion problem identified by construction personnel, and (c) speak on site with DOEE to remedy each potential or actual erosion problem. A Responsible Person shall be (a) licensed in the District of Columbia as a civil or geotechnical engineer, a land surveyor, or architect; or (b) certified through a training program that DOEE approves, including a course on erosion control provided by another jurisdiction or professional association. During construction, the Responsible Person shall keep on site

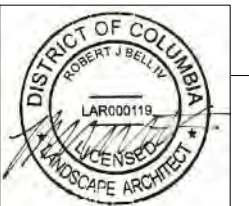
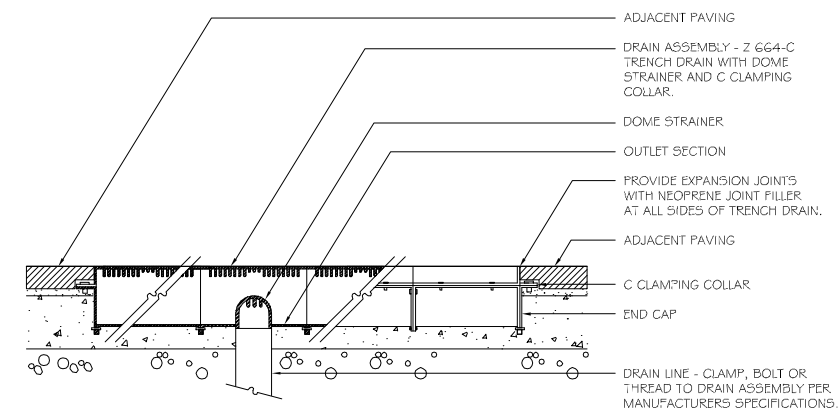
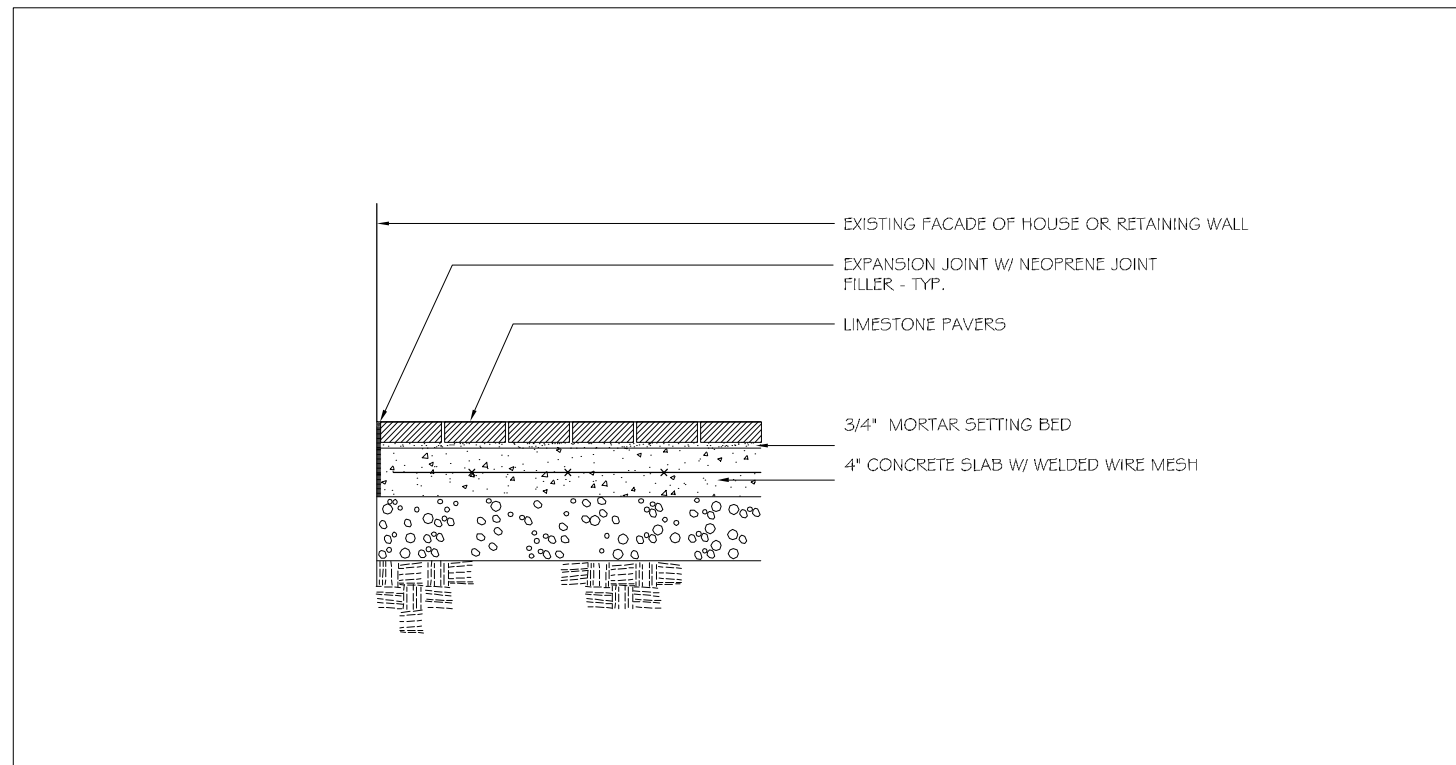


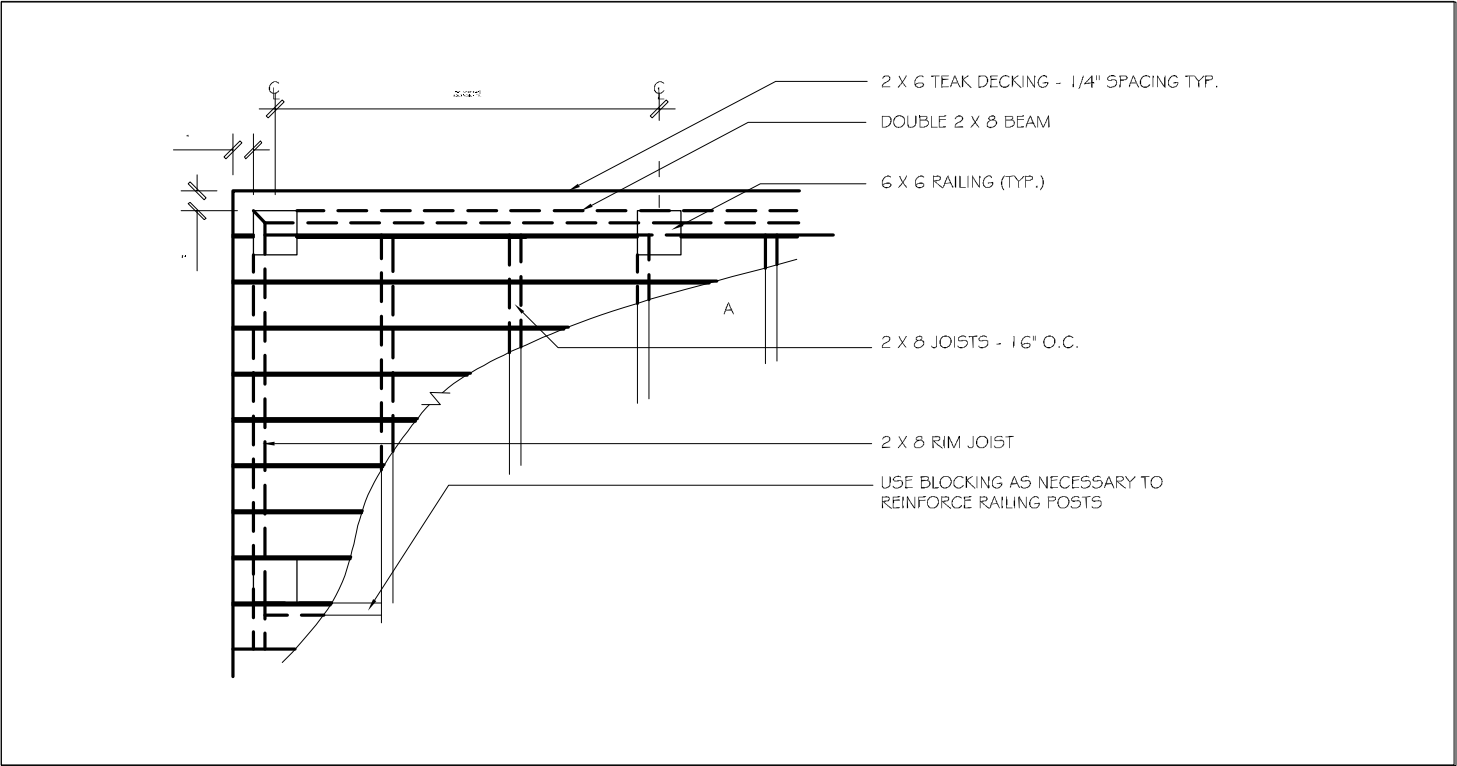
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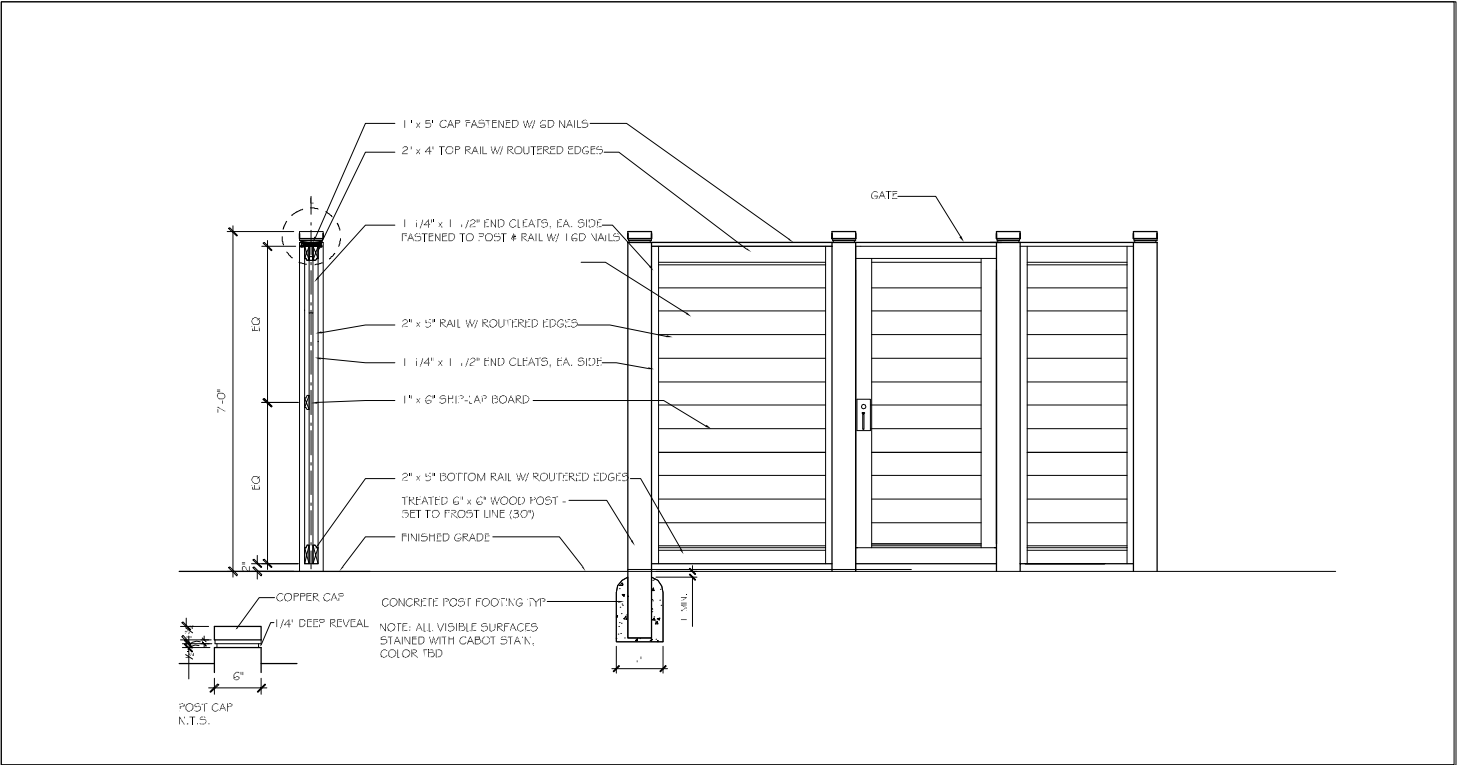
SEE MFG DETAIL EP-4.9A

B - POOL UTILITY ACCESS

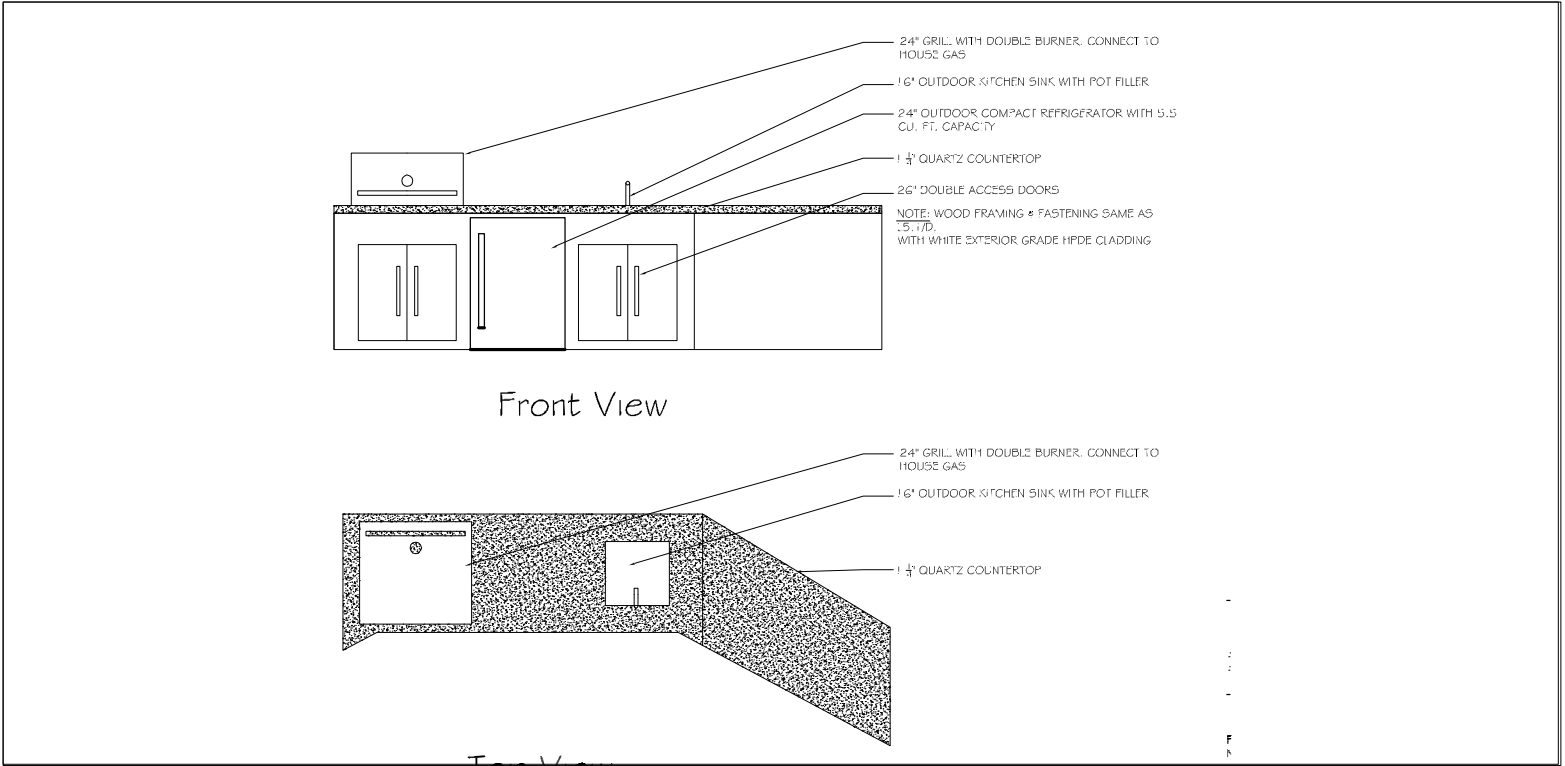




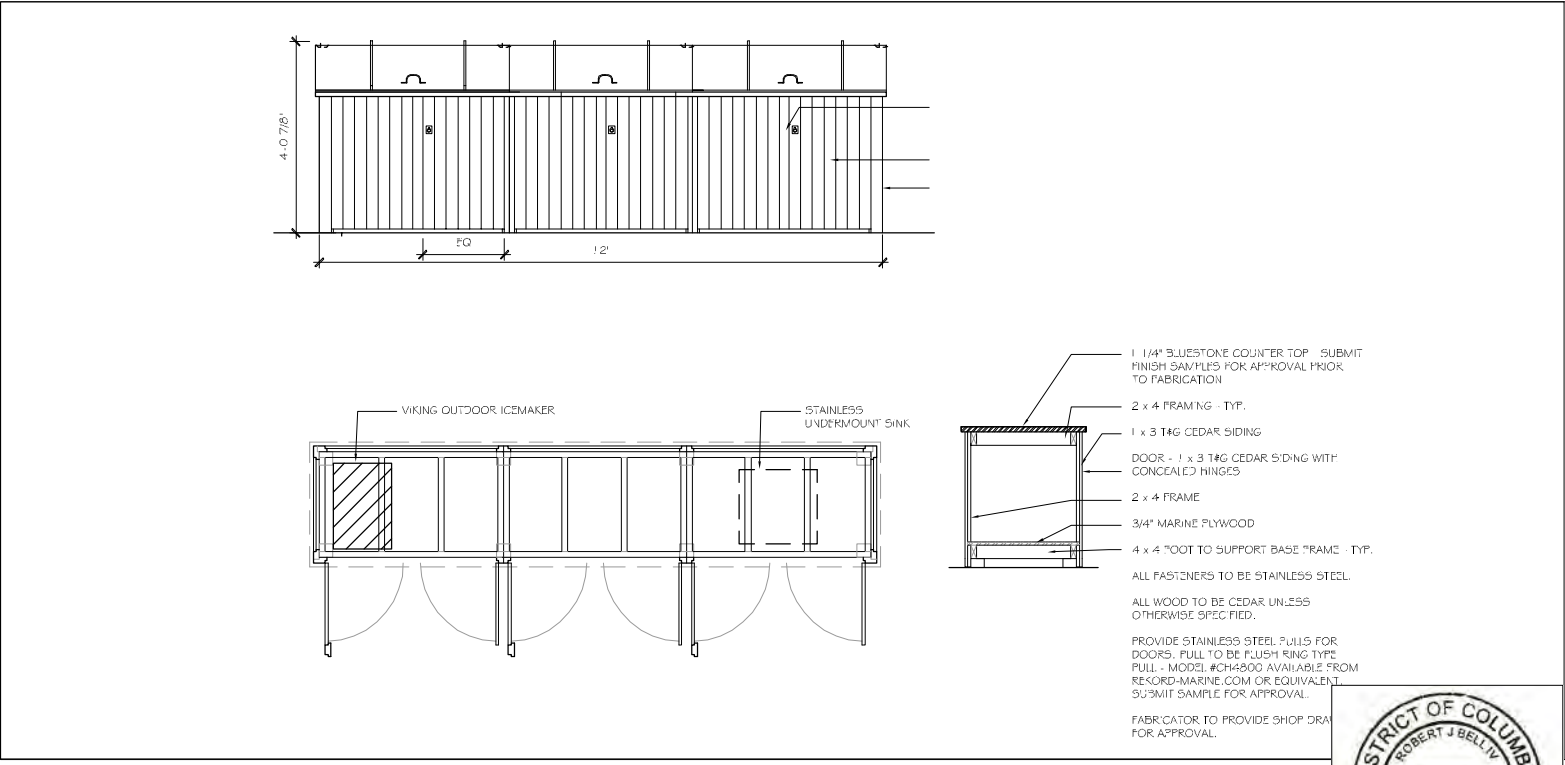
A - TEAK STEPS



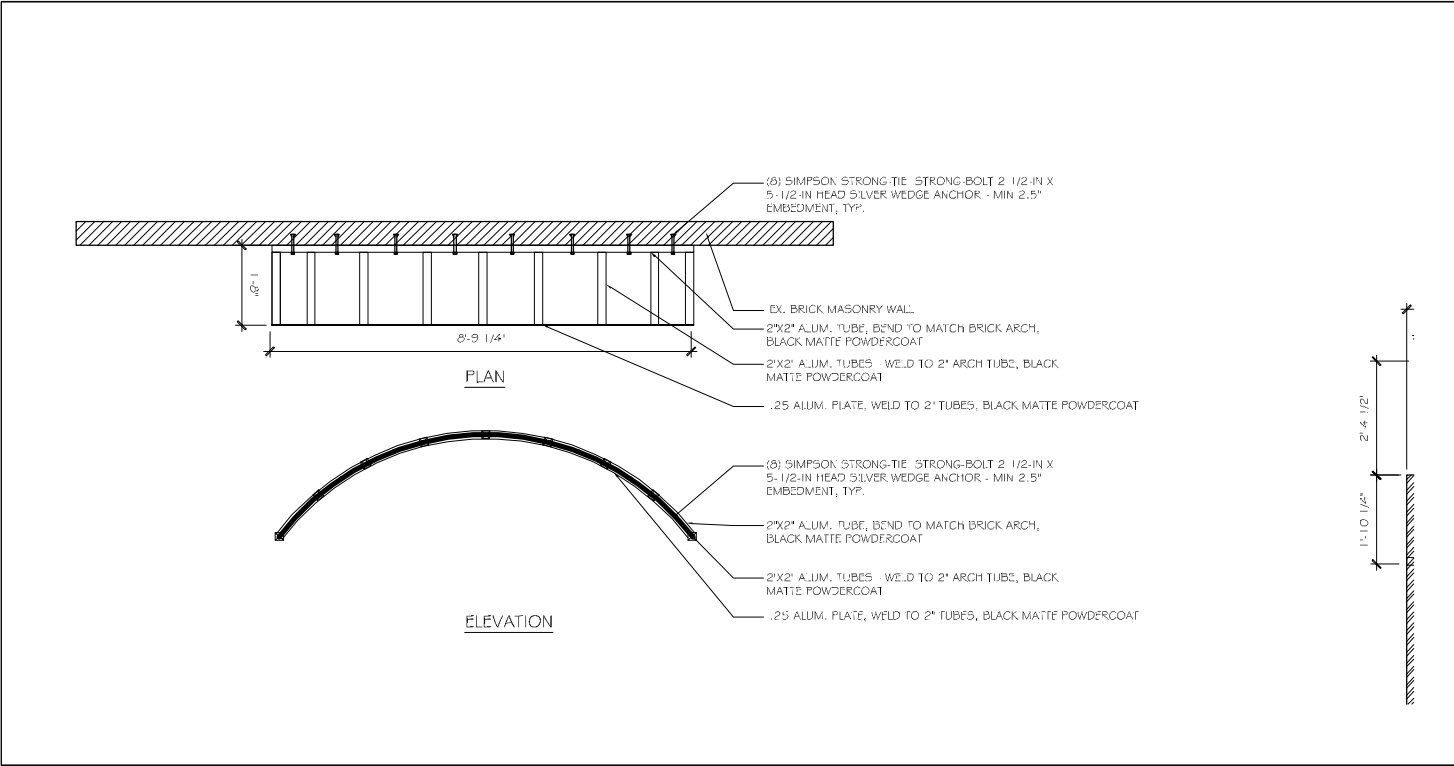
C - TEAK PRIVACY FENCE



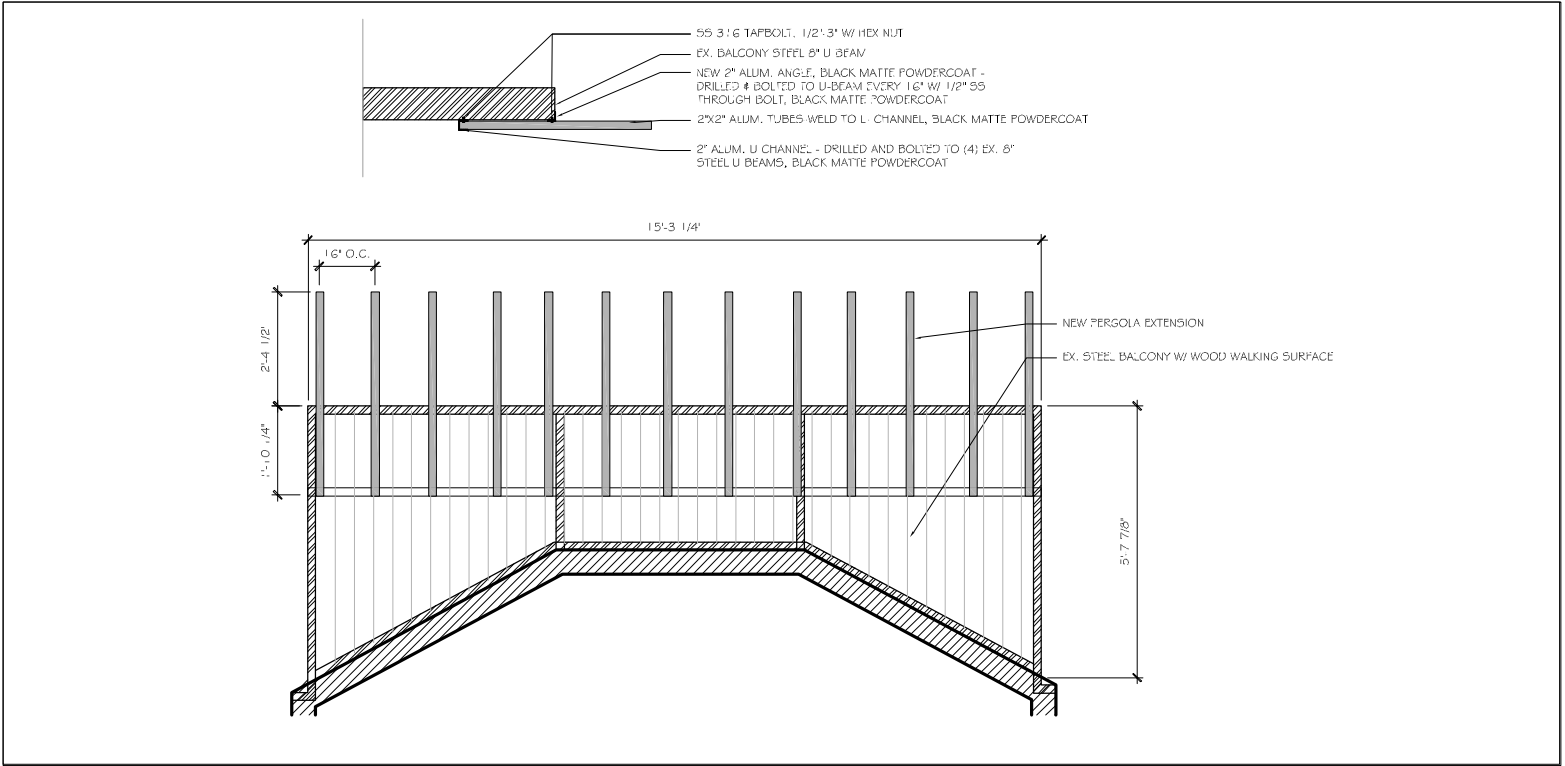
B - OUTDOOR KITCHEN



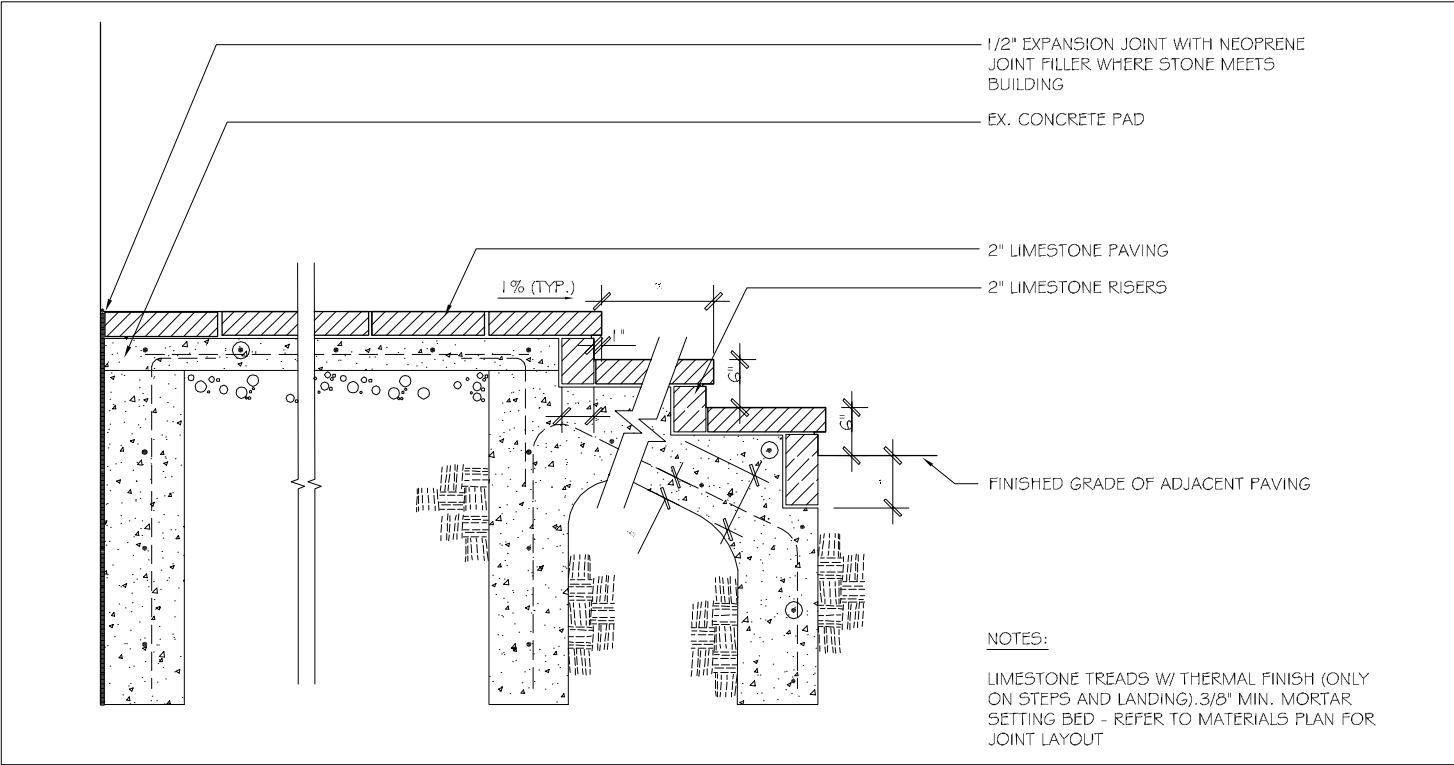
D - STORAGE CABINET



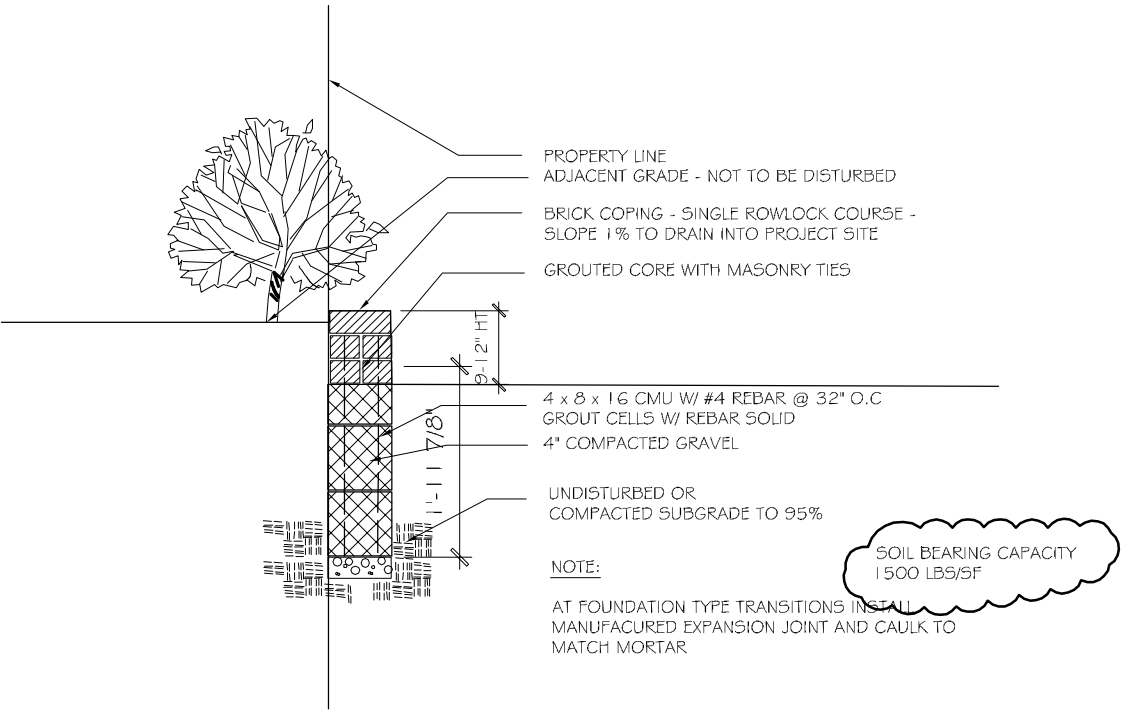
A - EYEBROW ARBOR



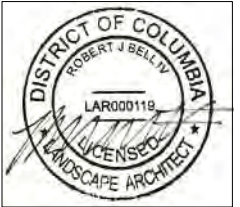
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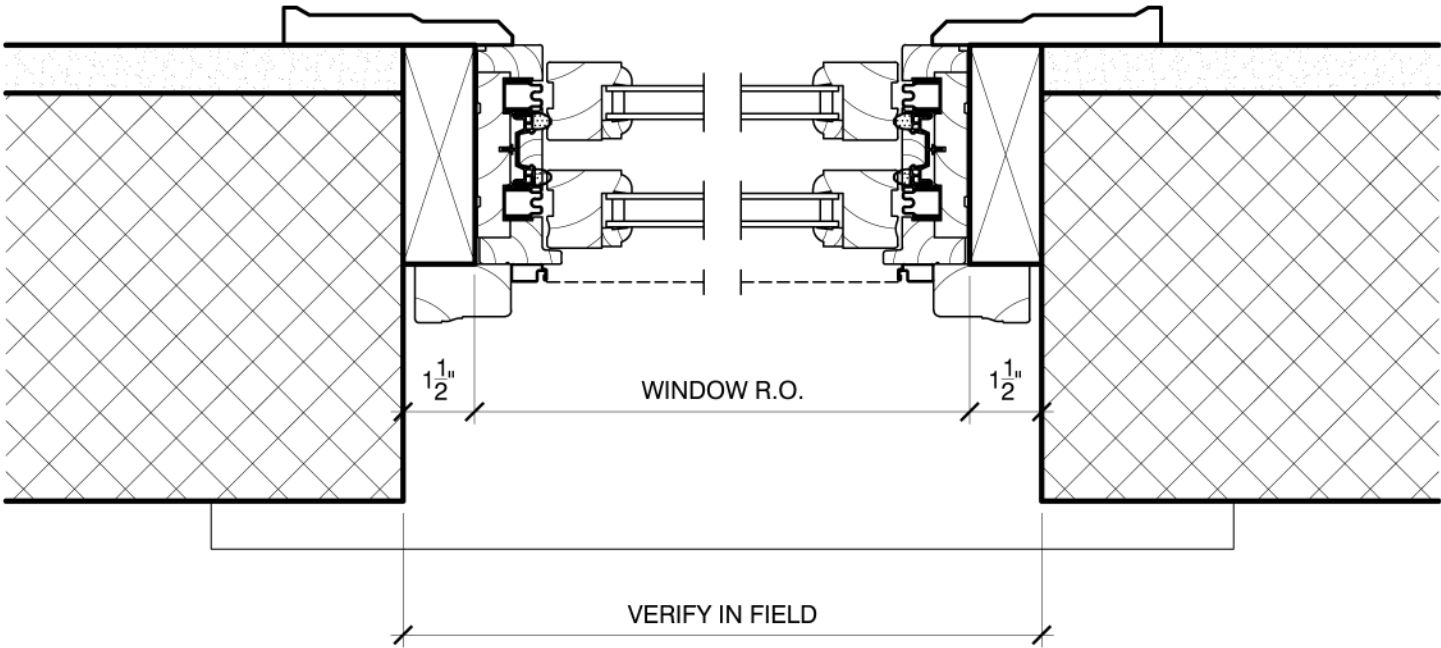
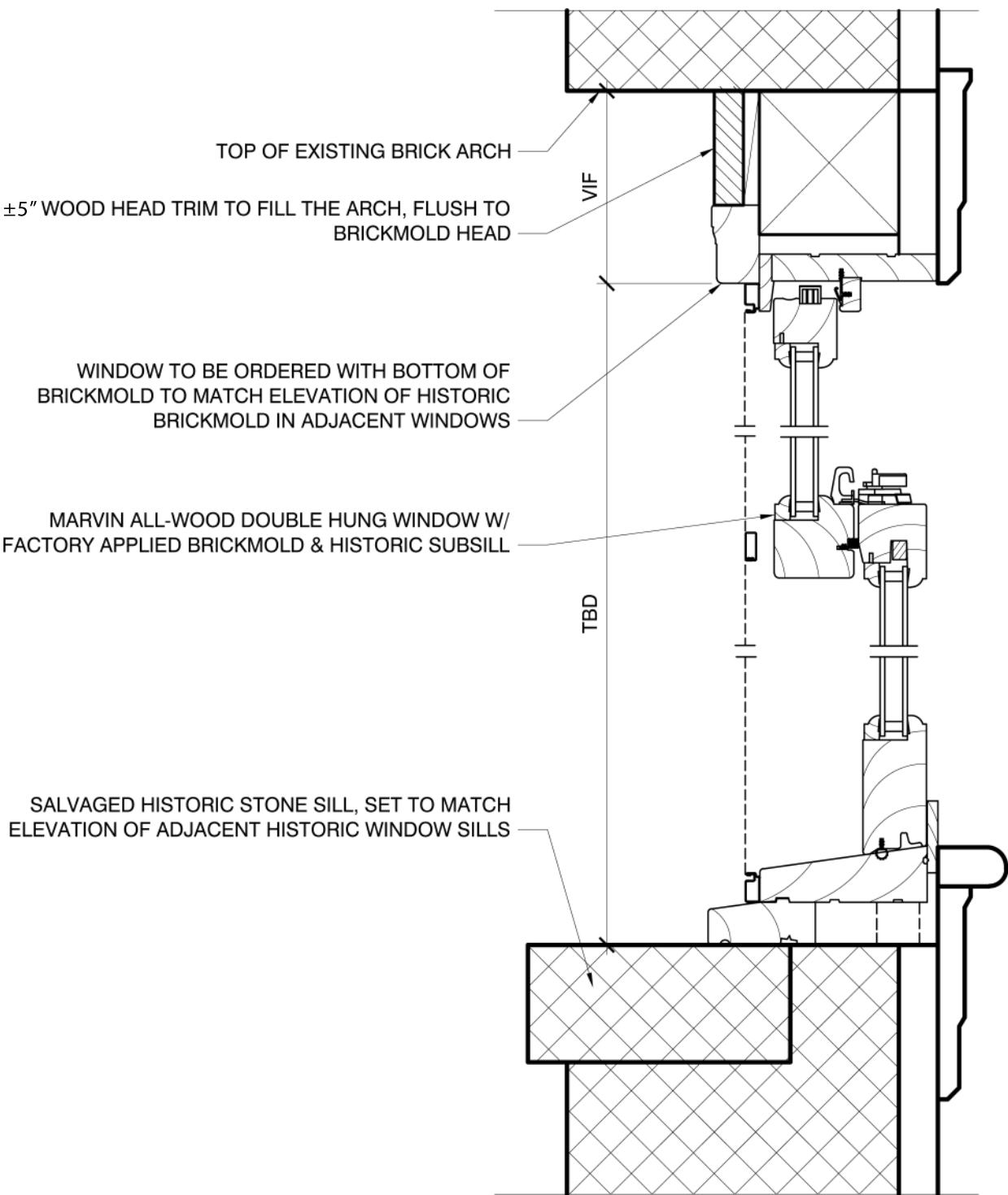


C - LIMESTONE STAIR TREADS - Scale: 1/2" = 1'-0"



D - RETAINING WALL

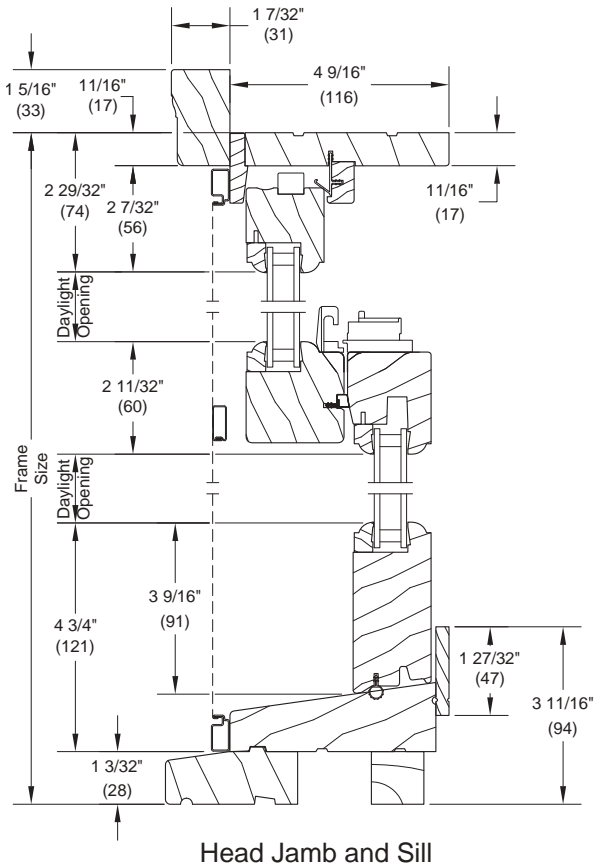




Section Details: Operating

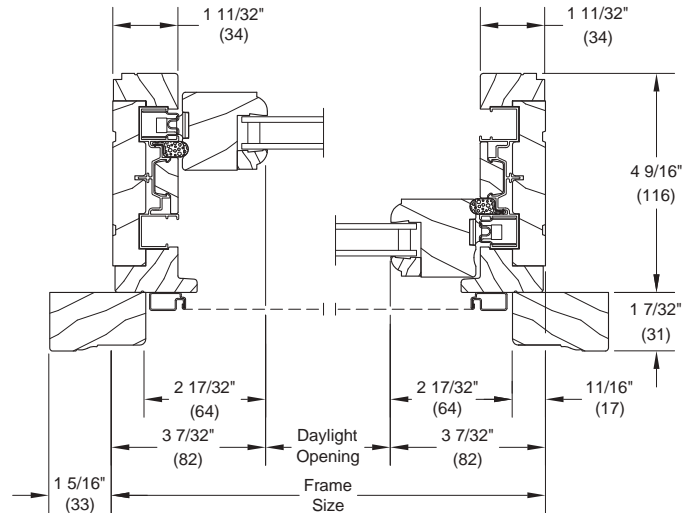
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Double Hung



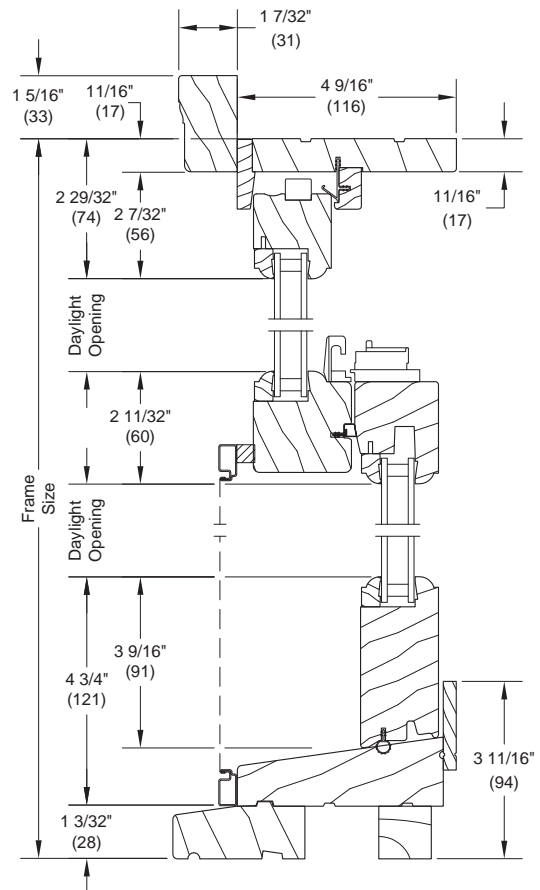
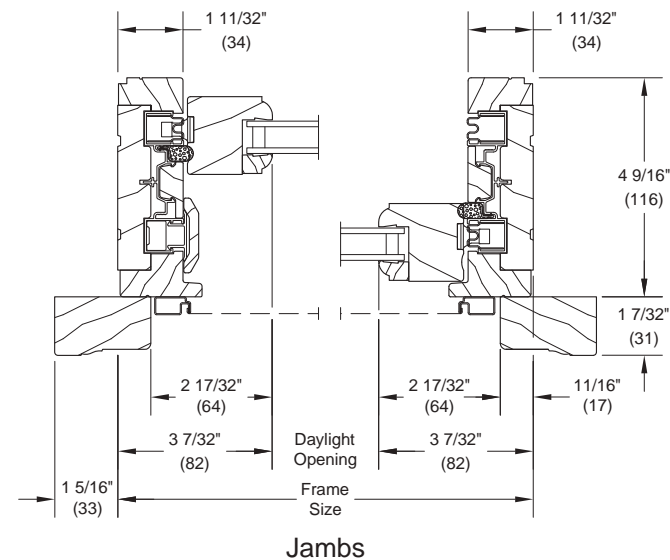
Lower Sash

Upper Sash



Jambs

Single Hung



Head Jamb and Sill

Step Lite Louvre

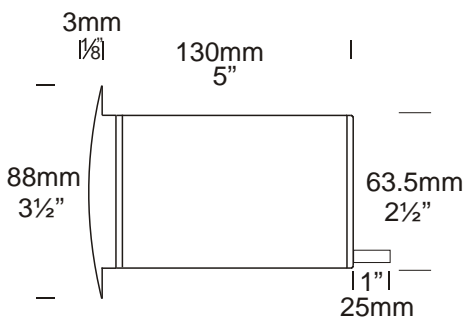
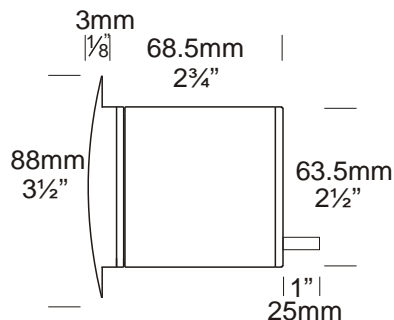
Cat. No. SLLU

Cat. No. SLLUfl



The Step Lite Louvre has a flush to the surface look with no protrusions. The 45 degree louvre eliminates all upward light, providing an excellent glare-free illuminating effect.

A 110/240 volt fluorescent option is available which offers excellent light output, low energy usage and very low heat generation, this changes the luminaire to an IP66 rating.



Fluorescent Option



Ordering Information

Luminaire Type	Material	Accessories
SLLU - Step Lite Louvre	COP - Copper SS - 316 Stainless Steel	CJK150 - Cable Joint Kit DFL - Frosted Lens FL - Fluorescent Option Flucan - Fluorescent Canister PVC Sscan - Step Lite Canister Canss - 316 Stainless Steel Canister
Ordering Example SLLU COP - Step Lite Louvre in Copper SLLUFL SS - Step Lite Louvre in 316 Stainless Steel with fluorescent option		DFL - Frosted Lens (Accessories ordered separately)

HUNZA™ PURE
OUTDOOR
LIGHTING

HUNZA FACTORY
130 Felton Mathew Ave
Glen Innes
Auckland 1072
New Zealand

Ph: 64-9-528 9471
Fax: 64-9-528 9361
hunza@hunza.co.nz
www.hunza.co.nz

INTERNATIONAL CONTACTS:
www.hunza.co.nz/contacts.php

Specifications may change without notice.
Manufactured in New Zealand.
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Ver 1.4

Luminaire Construction

CNC machined from one of the following metals:

Copper: 63.5mm (2½") x 10mm (13/32"). End cap - solid copper 63.5mm (2½") rod.
Flange 90mm (3½") solid copper rod.

316 Stainless steel: 9mm (11/32"). End cap - solid 316 stainless steel 63.5mm (2½") rod.
Flange 90mm (3½") solid 316 stainless steel rod.

Mounting

Designed to fit through a 66mm (2 5/8") hole and be fixed into position by two screws in the flange or a Step Lite canister (see accessories) can be used which maintains the aesthetic look of the flange by eliminating the two screw holes in the flange.

Features

Lens:

3mm (1/8") thick clear tempered shatter resistant glass.

Life Time Warranty.

Gaskets:

Silicone, iron impregnated 220°C (428°F).

Lamp Holders:

GU 5.3 - 350°C (662°F) ceramic multi contact lamp holder with 250°C (480°F) teflon cables.

Fluorescent:

E27 PET 210°C (410°F) base mount.
E26 available in the USA.

Accessories:

Cable Joint Kit (Cat. CJK150)
Not approved for USA/Canada.

Frosted Lens (Cat. DFL).

Fluorescent Canister, PVC (Cat. Flucan).

Fluorescent Option 8watt 240volt (Cat. FL) IP66.

Step Canister (Cat. Sican).

316 Stainless steel Canister for use in lime stone etc. (Cat. Canss).

Standards

EN60598

IP66/IP68



UL1838

Luminaire Weight

12 volt

Cop 1.100kg (2lb 6oz)

SS 1.055kg (2lb 5oz)

Fluorescent IP66

Cop 2.015kg (4lb 7oz)

SS 1.690kg (3lb 11oz)

Power Supply

HUNZA™ Inground or Wall Mount
Transformer: not included.

USA and Canada:

HUNZA™ Wall Mount Transformer:
not included.

Luminaire: supplied with

Halogen

MR16 GU5.3 20watt lamp max.

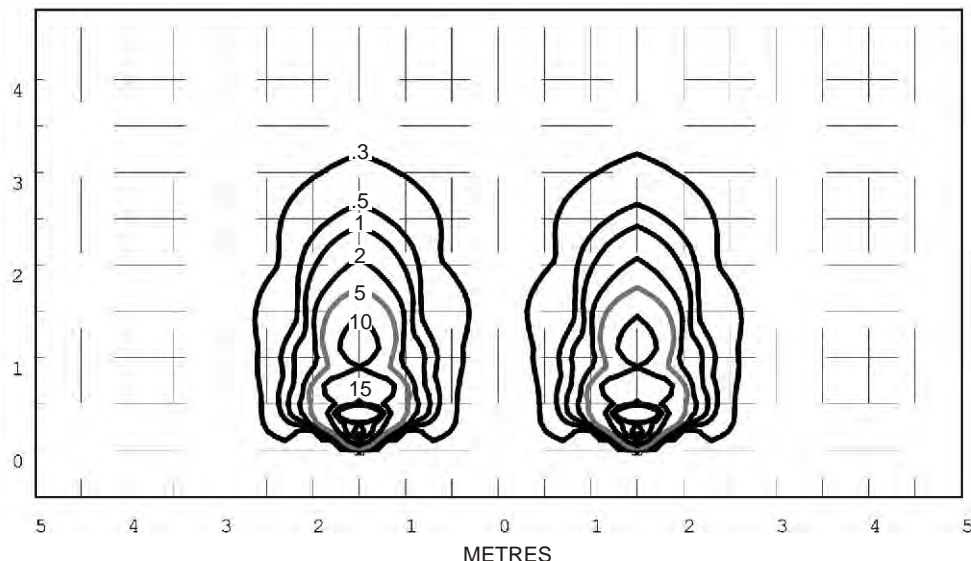
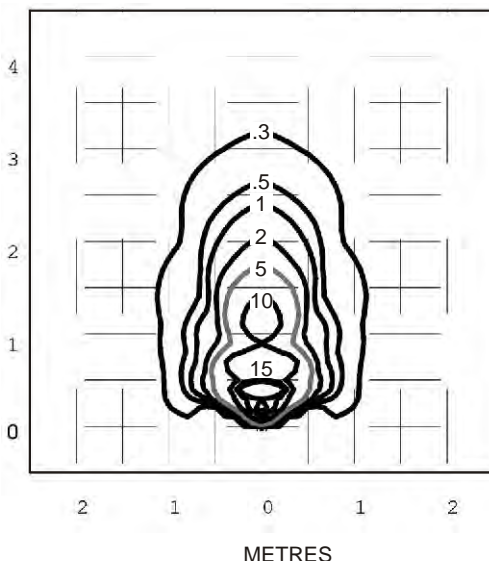
Fluorescent

E27 - 110/240 volt self ballasted
lamp.

USA and Canada:

MR16 GU5.3 20 watt lamp max.

Step Lite Louvre Lux MR16 BAB 20 watt lamp - Lens height 400mm (15¾")



Isolux Lumens Plot - Footcandles = Isolux figures divided by 10.76

HUNZA™ PURE
OUTDOOR
LIGHTING

HUNZA FACTORY
130 Felton Mathew Ave
Glen Innes
Auckland 1072
New Zealand

Ph: 64-9-528 9471
Fax: 64-9-528 9361
hunza@hunza.co.nz
www.hunza.co.nz


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Ver 1.4

3 Day delivery or get \$50 | Free Shipping & Returns | [See](#)

Get your discount! ×



1-877-526-7799



Outdoor Lighting

Indoor Lighting

Shop Styles

Shop Brands

Landscape Lighting

LED

Dark Sky Lighting

[Home](#) / [Shop Styles](#) / [Contemporary](#) / [Contemporary Outdoor Wall Lights](#) / Avenue Bel Air 28" LED Outdoor Wall Lighting - Black AV3228-BLK



Avenue Bel Air 28" LED Outdoor Wall Lighting - Black AV3228-BLK

by Avenue Item# AVE-AV3228-BLK

☆☆☆☆☆ (not yet rated) | [Write a Review](#)

\$641.30

Availability: In stock


Qty: 1


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Like

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3-Day Delivery or Get \$50* (details)

Fast, Free Shipping & Returns

We Pay Your Tax! No Sales Tax in any state.

NO RESTOCK FEE On Returns

Product Specification ▲

- Width: 28"
- Height: 3"
- Extension: 5"

 Help





Rollover image to zoom in

DEKKO Fire Pits Element Round Firebowl

Item #: Dekko-E Internet #:1550



As low as \$475/mo or 0% APR with
affirm. [Learn more](#)



Shipping Time Frame

Ships within 4 - 5
weeks.



Special Handling May Be Required

This piece ships free
via standard freight
but may require
additional special
handling due to its
weight. Contact our
team for personalized
pricing & information
on White Glove
Delivery [Call](#) or [Chat](#)

 **Help**

- Fire bowl, hand crafted of 100 percent concrete. UL approved.

- Select Lava Rock, Beach Stone or Fire Glass to match your style.
- Choose NG or LP and either manual or electronic ignition start.
- Main image shown with Natural finish.
- W=16.5 in. D=16.5 in. H=20.75 in. 50 lbs.; BTUs=65,000

Customize Your Product

FREE SHIPPING

\$2,845.00

[Shopping for a Client? Apply for Trade benefits.](#)

Product Overview



The Element Firebowl by DEKKO features revolutionary lightweight material that is made to look and feel like concrete, with an authentic rich texture. All DEKKO firebowls are handmade in North America. Each of the hand cast concrete fire pits are easy to move. This durable firebowl is available with a natural or liquid propane gas burner (65,000 BTUs) with a chrome on/off key included or upgrade to the Electric Start Ignition (65,000 BTUs). Options to choose a decorate stone and cover. Utilize the manual key valve to control the gas flow and lit with a barbeque lighter or match. A 12' gas hose is included with all liquid propane units. **Electronic ignition fire pits come with a remote to turn them on or off. The**

 **Help**

GENERAL NOTES:

- POOL SITE MUST BE CAPABLE OF SUPPORTING A LOAD OF 75 LB/SF FOR EVERY FOOT OF POOL HEIGHT. IF POURING A CONCRETE SLAB, IT SHOULD EXTEND A MINIMUM OF 6 IN BEYOND THE POOL'S BOTTOM FLANGE.
- CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO INSTALLATION.
- ACCESS MUST BE MAINTAINED TO THE WATER-QUALITY SYSTEM, AS WELL AS TO THE POWER UNIT, WHEN A HYDRAULIC TREADMILL OR AN AUTOMATIC RETRACTABLE SECURITY COVER IS SPECIFIED & TO THE EXTERIOR OF THE PANEL WHERE OPTIONAL JETS AND/OR LIGHTS ARE INSTALLED.
- ENDLESS POOLS CANNOT STRESS ENOUGH THE NECESSITY OF DRAINAGE AT THE POOL SITE. FLOOR DRAINS OR SUMP SYSTEMS SHOULD BE LOCATED ADJACENT TO THE POOL AND TESTED TO ENSURE WATER DRAINS PROPERLY.
- THE POOL SHOULD BE BONDED TO ITS ASSOCIATED EQUIPMENT & SLAB OR DECKING, IF APPLICABLE, IN ACCORDANCE WITH LOCAL CODE.
- THE ENDLESS POOL SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. REQUIRED PERMITTING IS THE SOLE RESPONSIBILITY OF THE OWNER.
- THE ENTIRE ENDLESS POOL SYSTEM IS ETL LISTED, REF #2001779 AND CONFORMS TO UL STANDARD #1563. INDIVIDUALLY, ALL ELECTRICAL COMPONENTS OF THE ENDLESS POOL ARE UL or CSA APPROVED.
- ALL ELECTRIC CIRCUITS MUST BE GFCI/RCD PROTECTED.
- THIS DRAWING MAY NOT REFLECT ALL THE OPTIONS SELECTED BY THE OWNER.

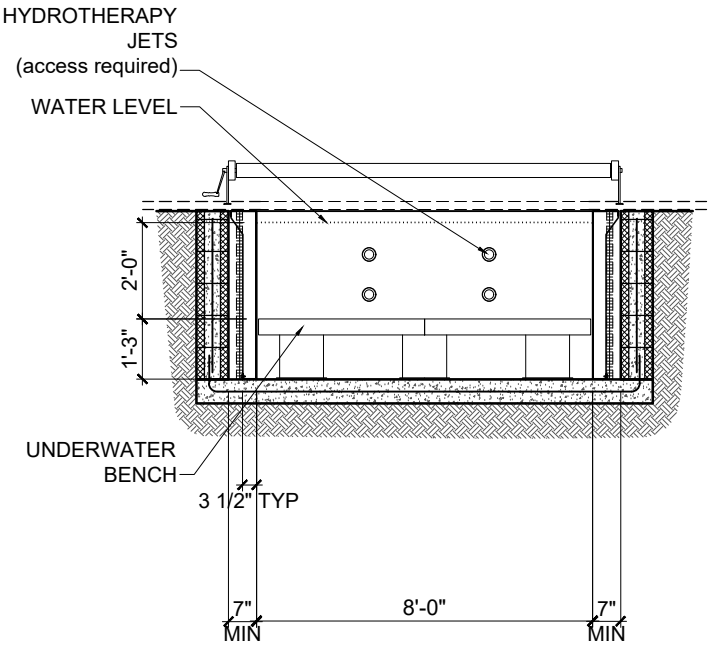
PRELIMINARY DRAWING - NOT FINALIZED
DETAILS SUBJECT TO CHANGE

See Detail EP-17.0 for
Electrical Requirements

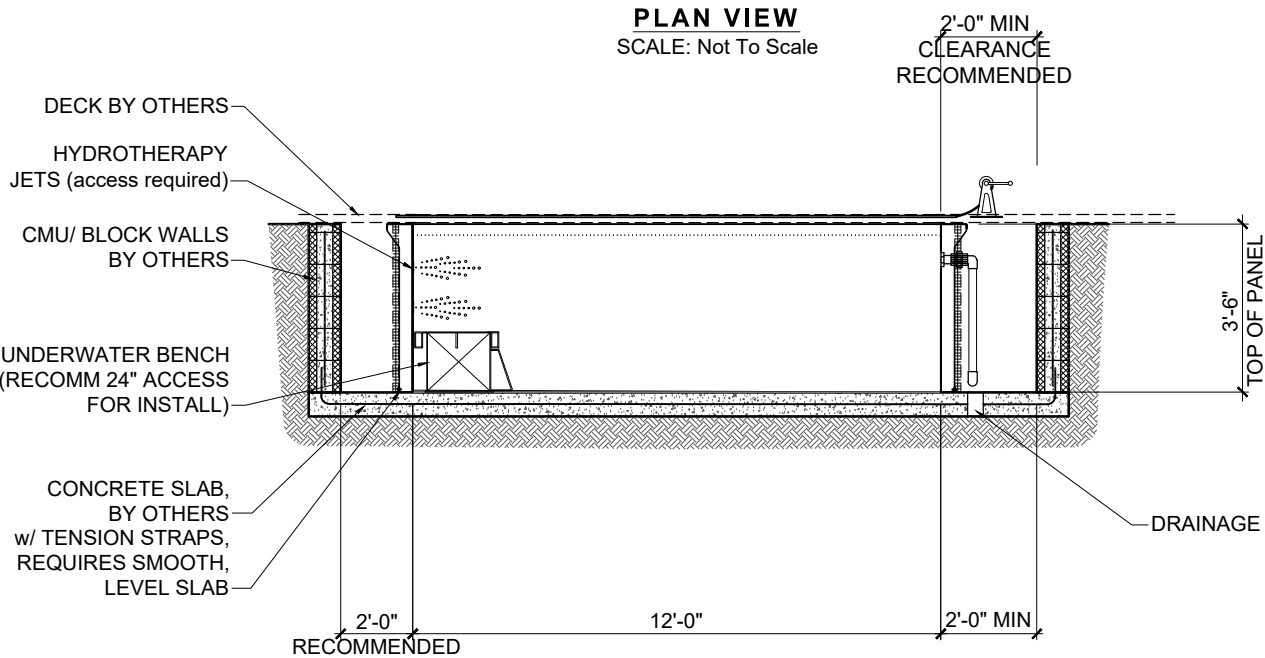
POOL CONFIGURATION

(For Additional Information, Request Appropriate
Detail Drawings from your Design Representative)

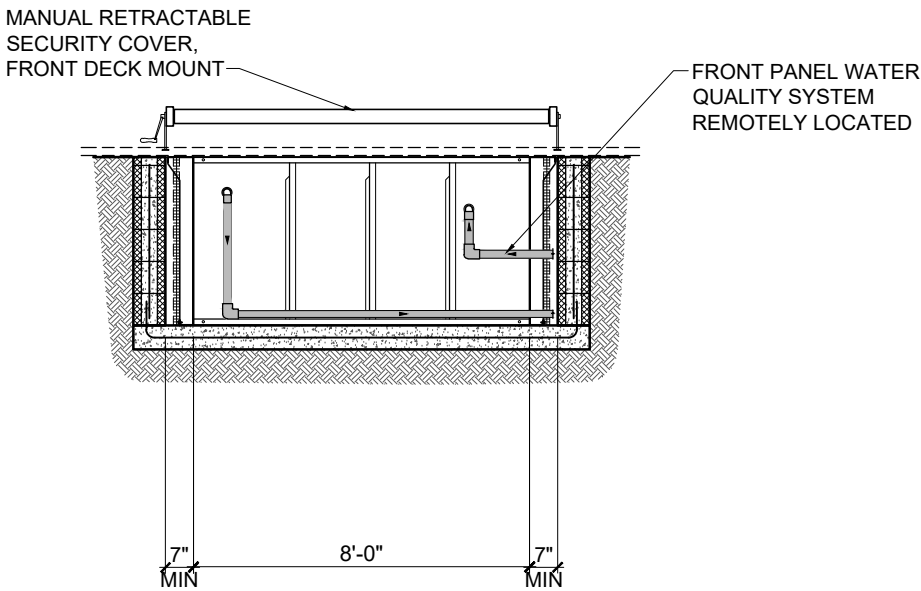
- Width 8 ft Inside Dimension
- Length 12 ft Inside Dimension
- Height 42 in Panel
- Tension Straps/ Floor Leveling System (Detail EP-2.1)
- Underwater Bench Along Width, 24 in Below Water Level
- Patterned Liner
- Manual Retractable Security Cover, Front Deck Mount (Details Sect 6)
- Remote Water Quality System (Detail EP-7.7.1)
- UV Sanitizer (Detail EP-7.5)
- Rear Hydrotherapy Jets (Detail EP-7.4A)
- Deck by Others (Details Sect EP-4.0)
- CMU Block Walls (Details Sect EP-3)
- Opt Natural Gas Heater & Associated Piping (not shown) (Detail EP-7.7.2)



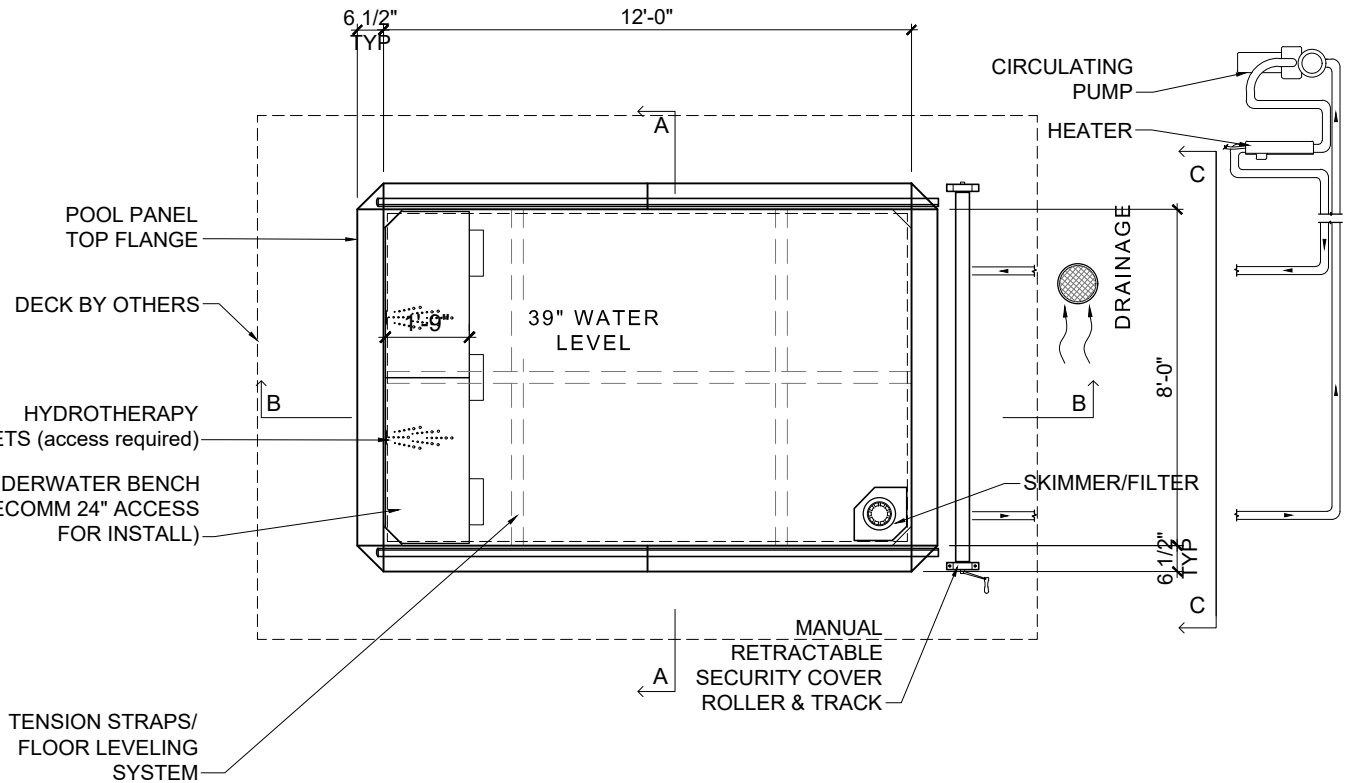
SECTION A-A
SCALE: Not To Scale



SECTION B-B
SCALE: Not To Scale



ELEVATION C-C
SCALE: Not To Scale



PLAN VIEW
SCALE: Not To Scale



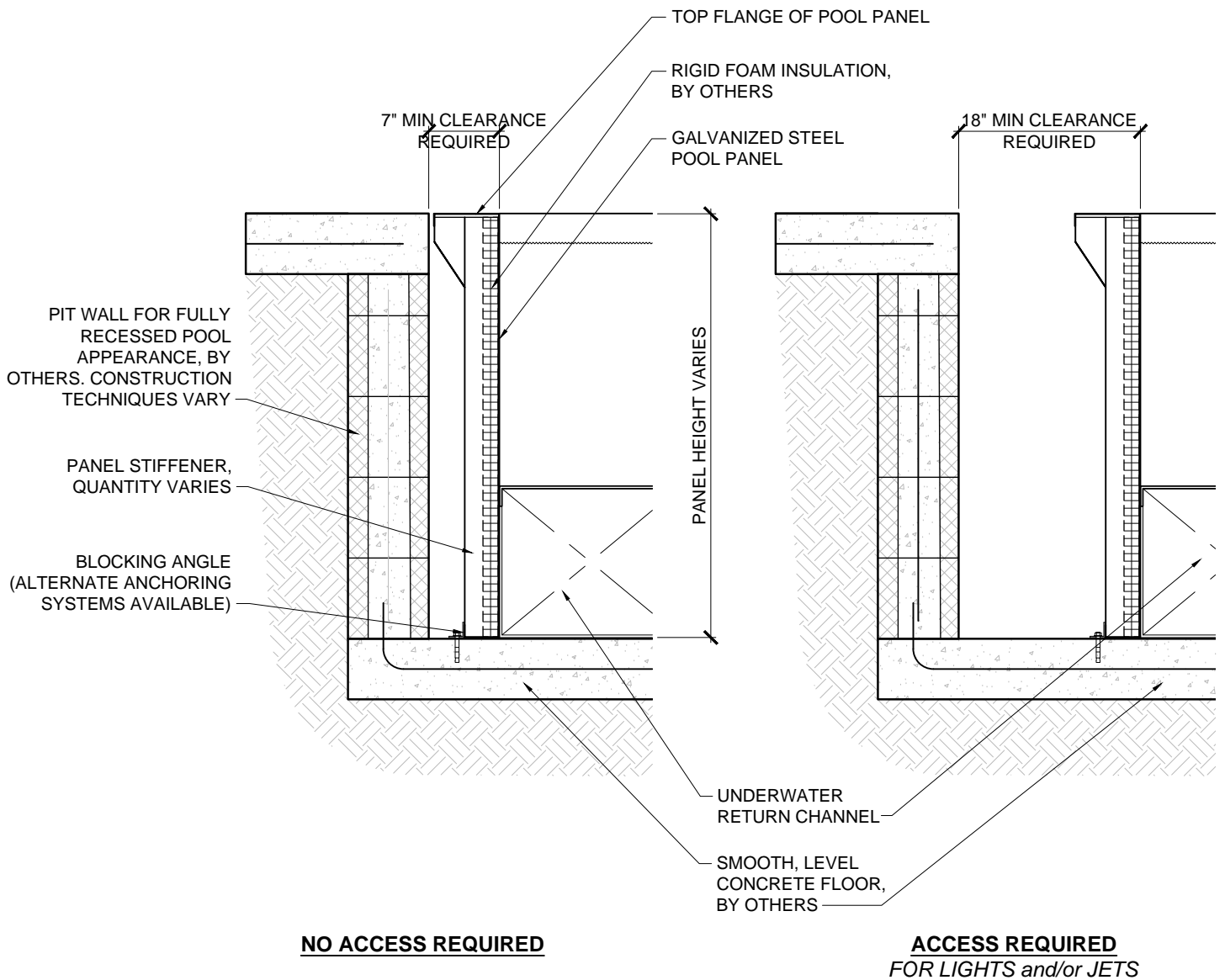
FULLY IN-GROUND
MODULAR THERAPY SPA

Client Name: Mike Dreitlein
Client Address: 1605 35th St NW
Washington, DC 20007
Client #: 2721794

DRAWING NO.
BFS-1
DATE: 05/16/2022

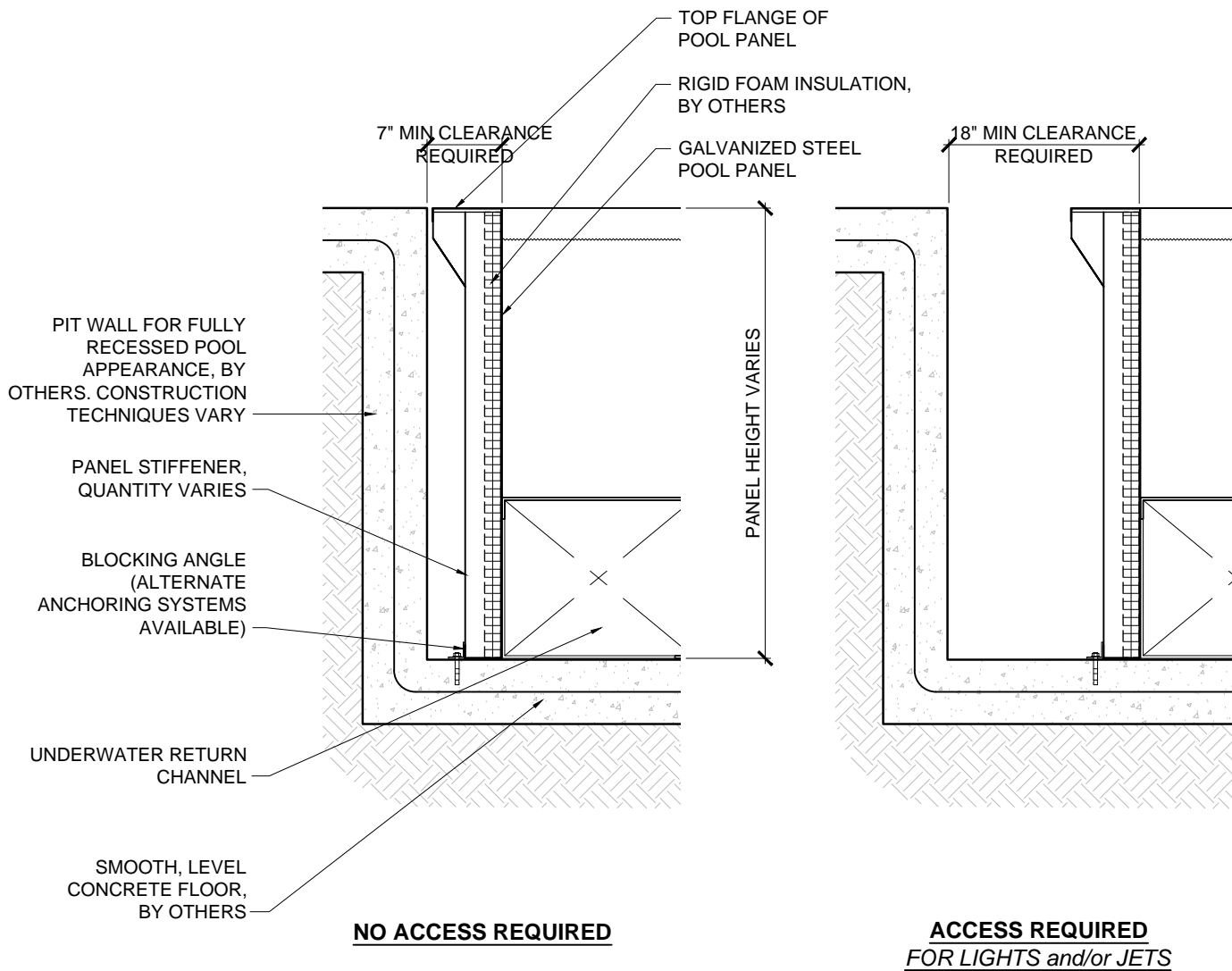
NOTES:

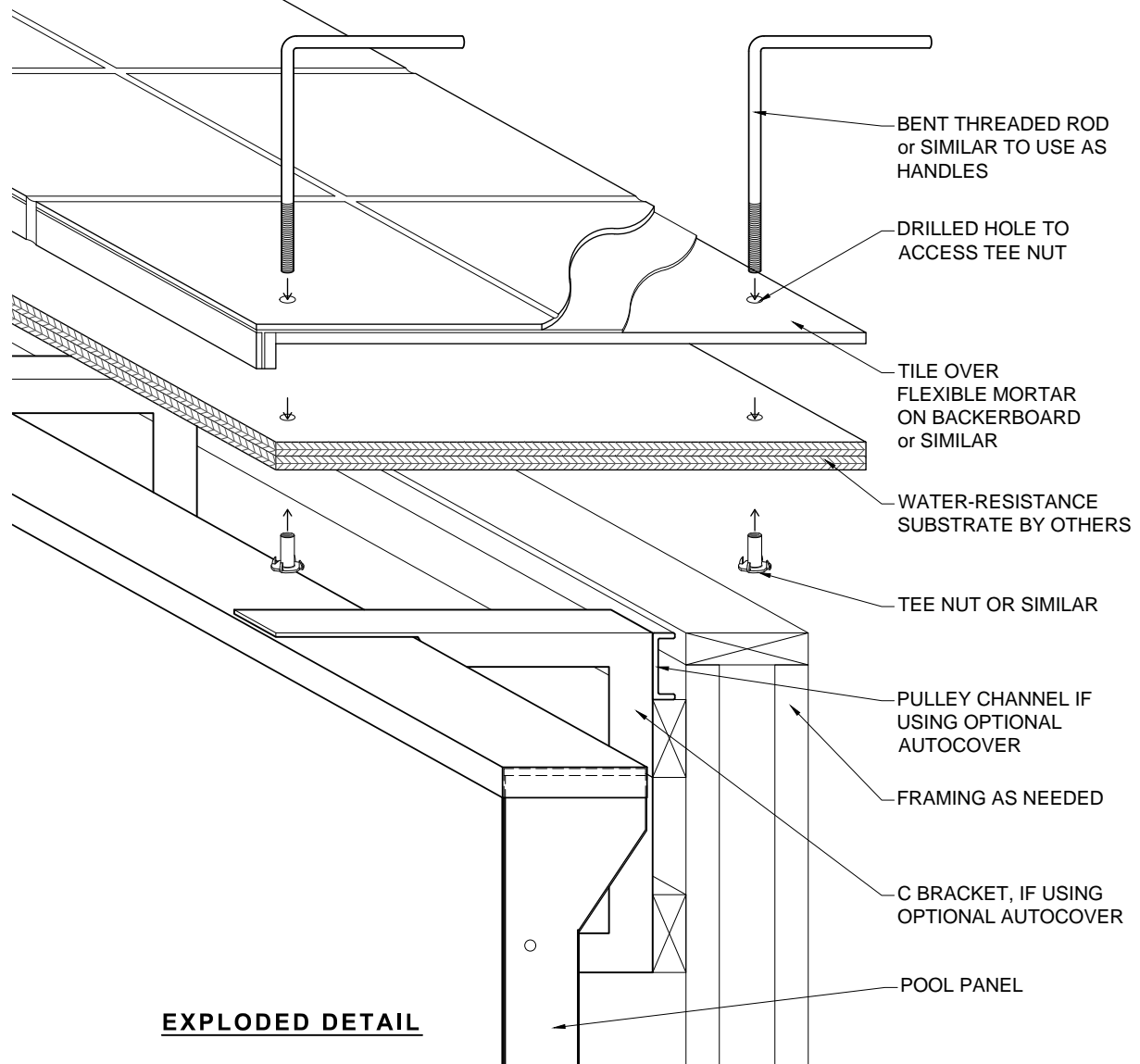
1. 18" OF ACCESS TO THE REAR & SIDE PANELS IS REQUIRED IF LIGHTS or JETS ARE INSTALLED.
2. LIGHTS & JETS ARE ALWAYS INSTALLED IN THE TOP HALF OF THE PANEL.
3. BOTH LIGHTS & JETS FIT UNDER THE 6-1/2" TOP FLANGE OF THE POOL PANEL.



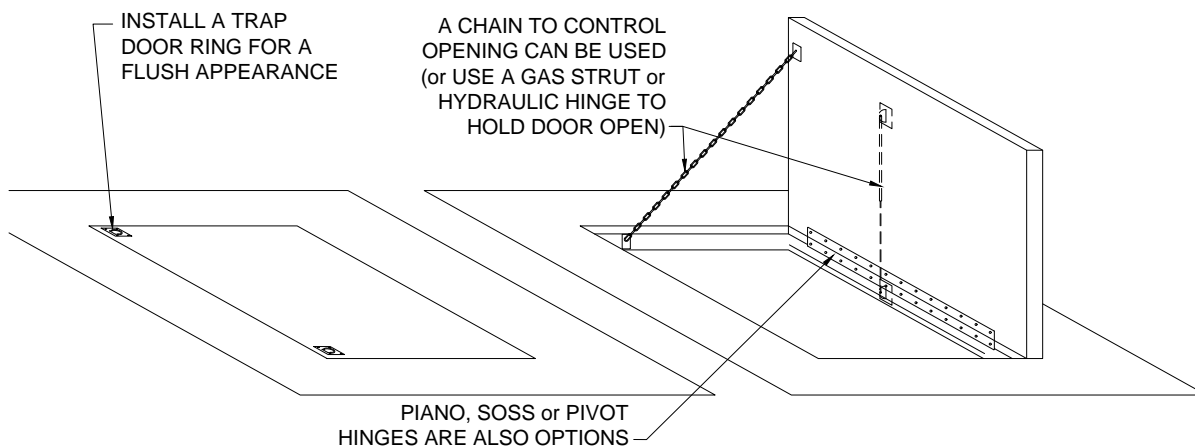
NOTES:

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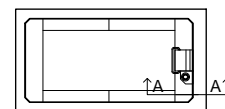




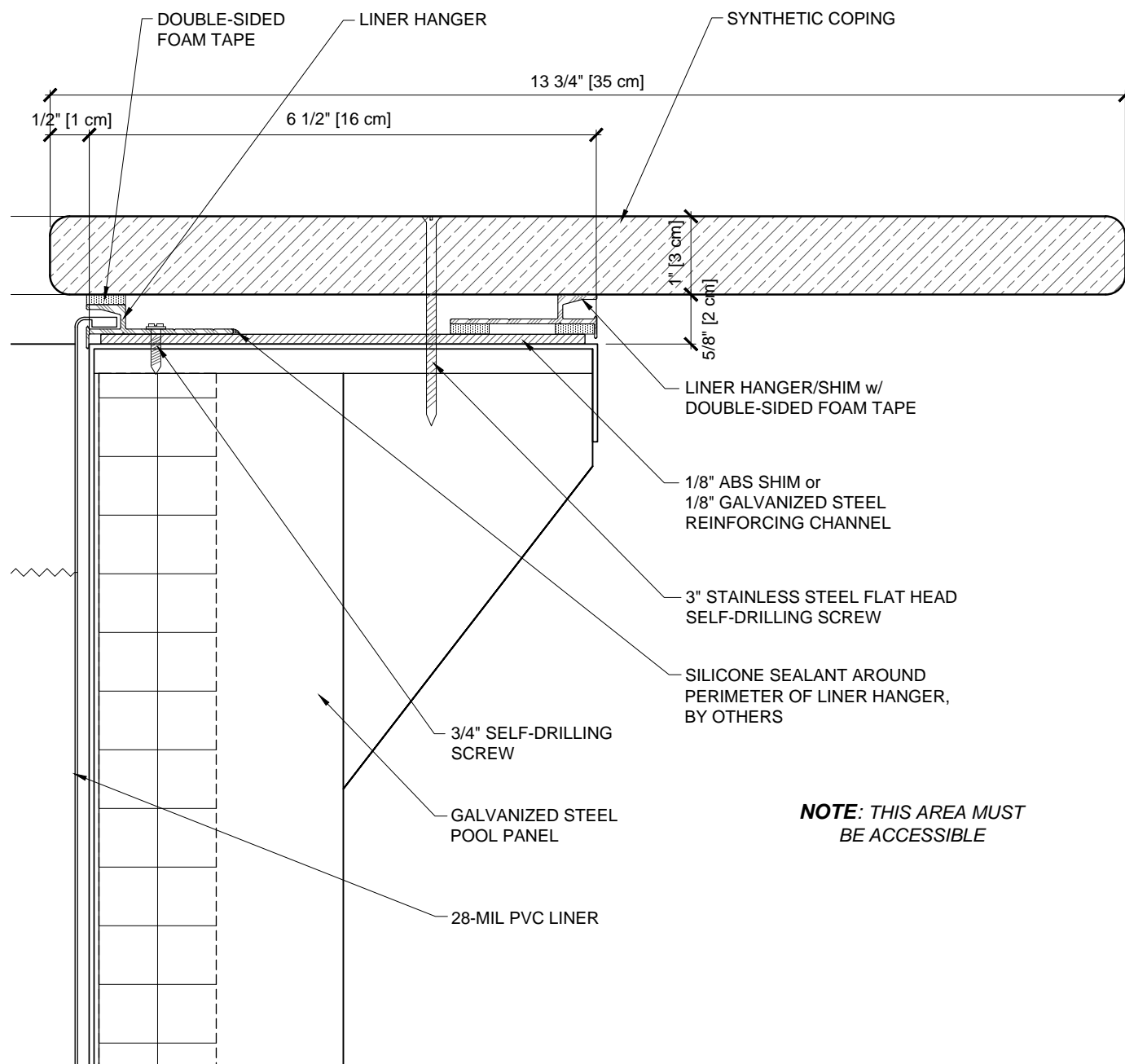
EXPLODED DETAIL



HATCH DOOR DETAILS



KEY PLAN



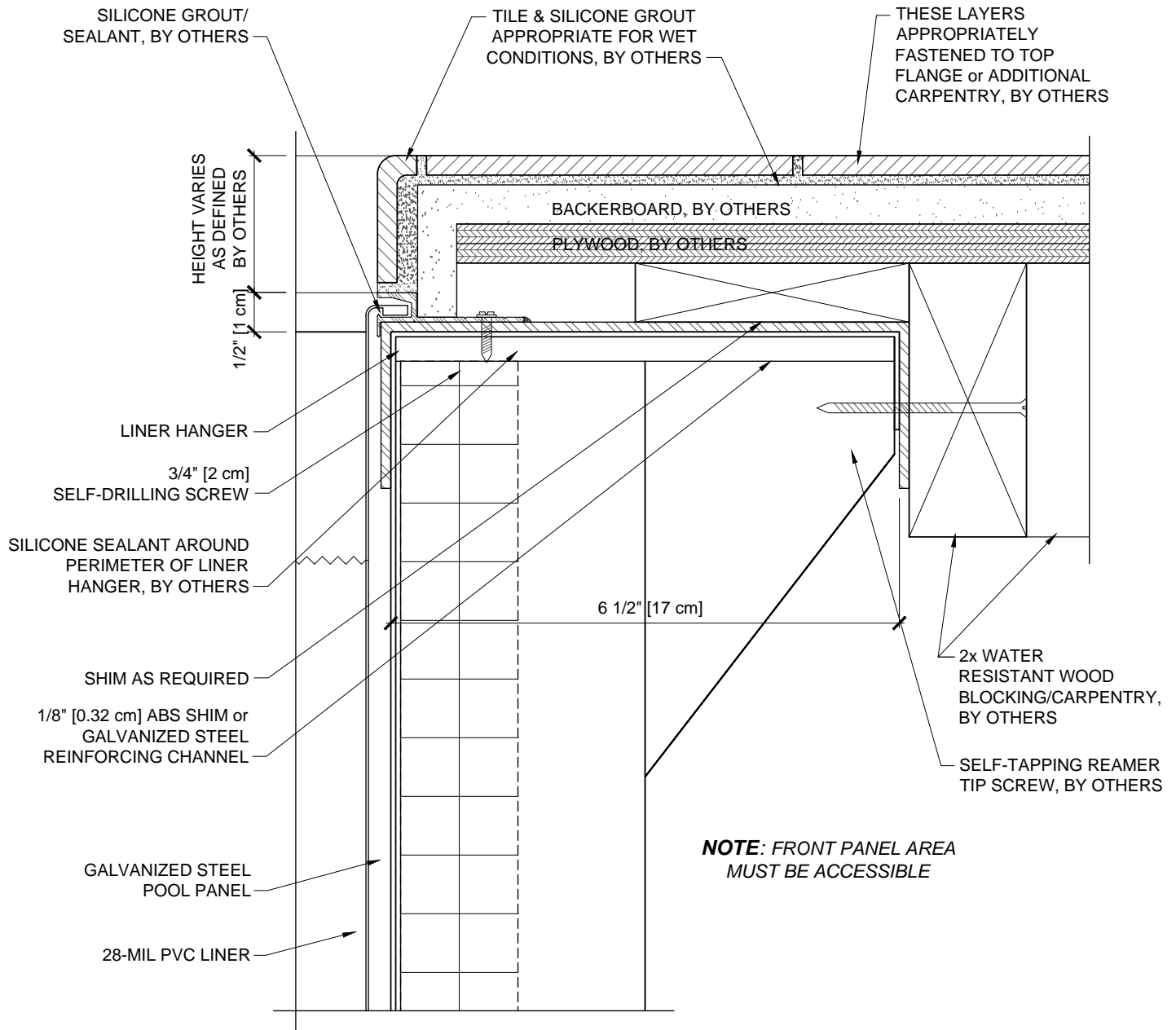
**NOTE: THIS AREA MUST
BE ACCESSIBLE**

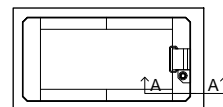
DETAIL A-A

NOTES:

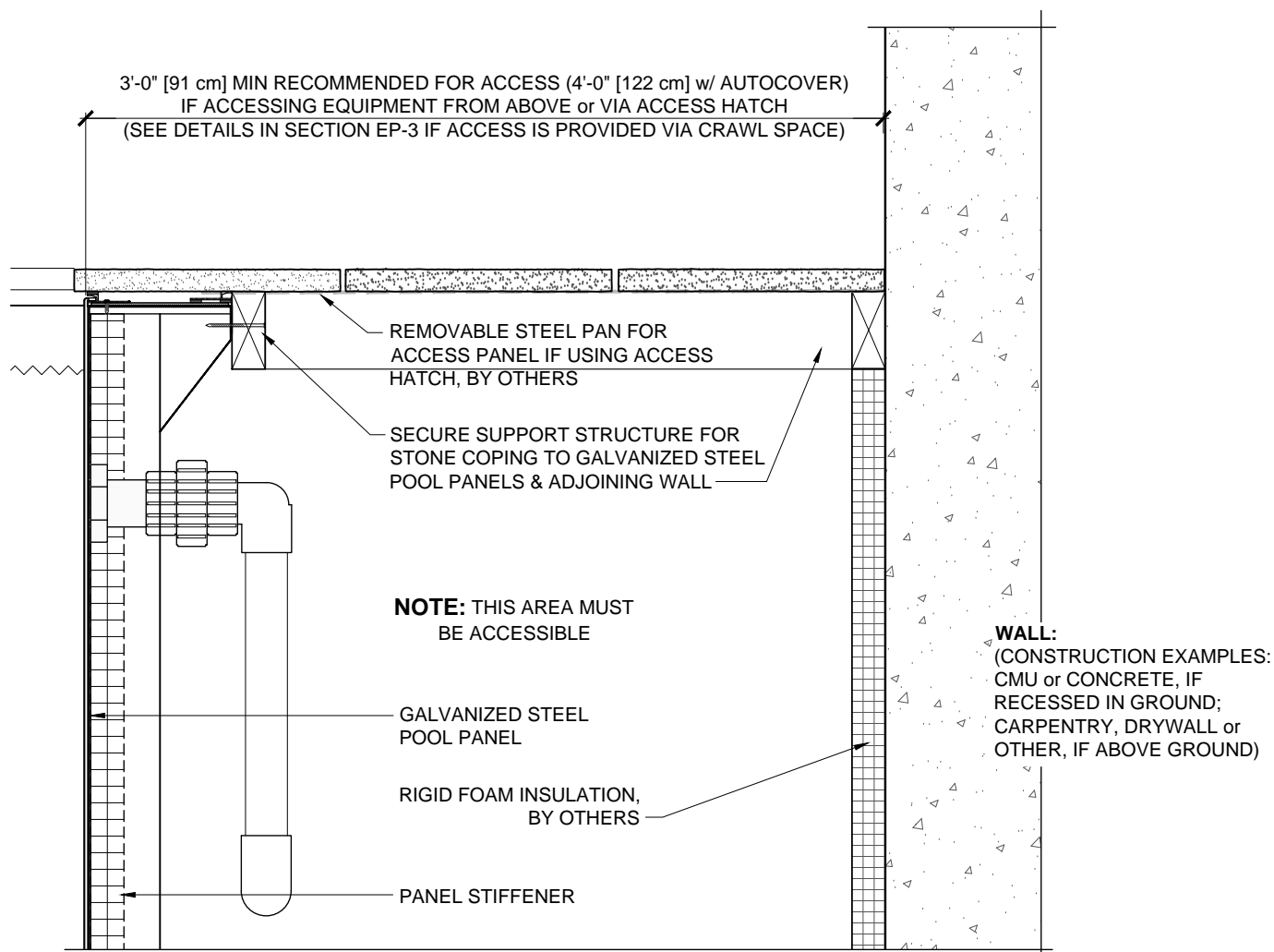
1. A SUPPORTING SURFACE BEYOND THE TOP FLANGE OF THE PANEL MUST BE BUILT TO ACCOMMODATE & SUPPORT THE COPING/ DECKING SYSTEM, AS SHOWN BY THE 2X MATERIAL BELOW. IF THE POOL WILL BE LOCATED IN A CORNER OR TIGHT AGAINST A WALL, SECURE THE WOOD BLOCKING TO THE PANEL'S TOP FLANGE OR TO THE WALL PRIOR TO SETTING THE POOL IN PLACE.

2. ANY WOOD STRUCTURE THAT IS BUILT TO SUPPORT THE COPING MUST BE KEPT DRY IN ORDER TO MAINTAIN STRUCTURAL INTEGRITY.





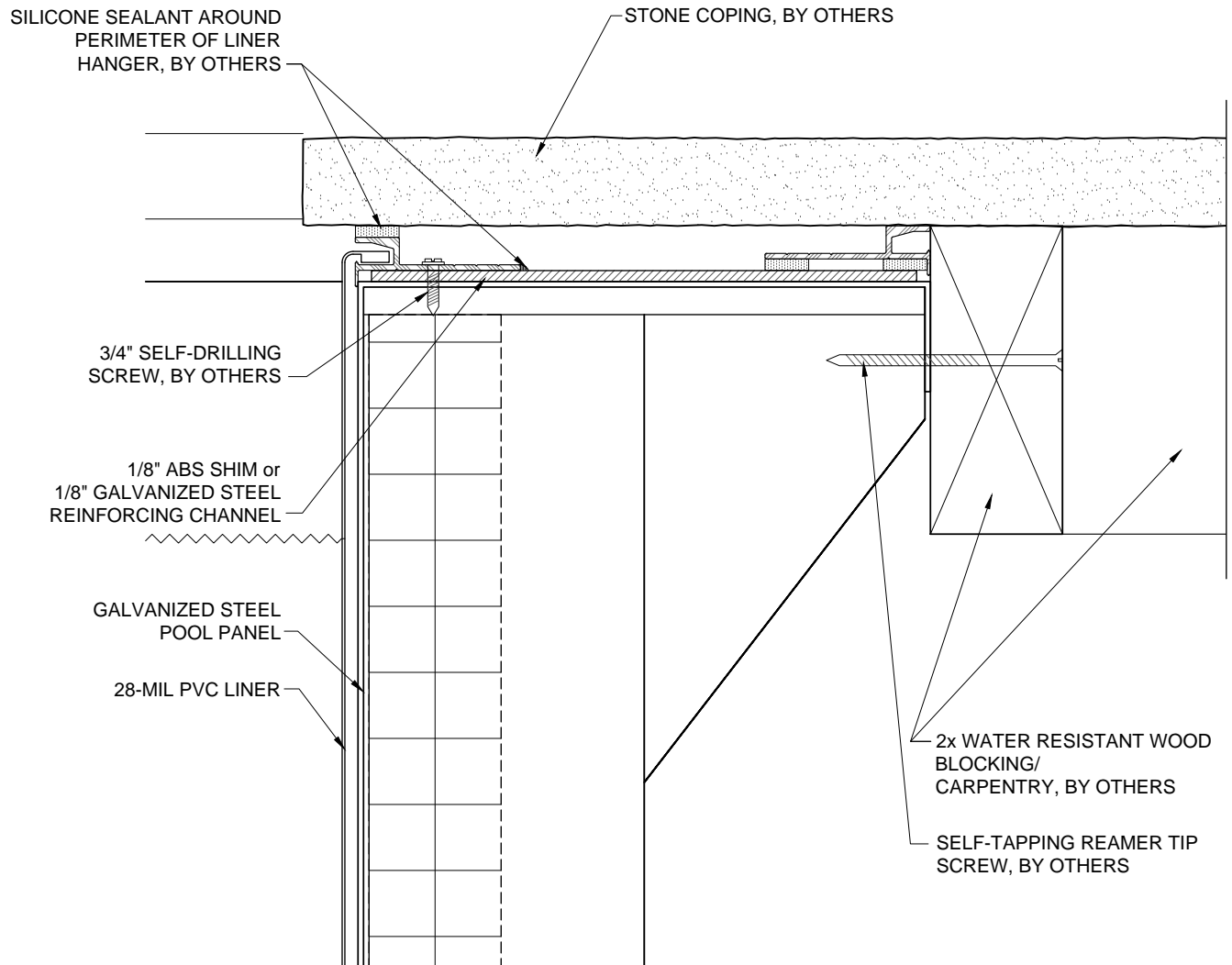
KEY PLAN



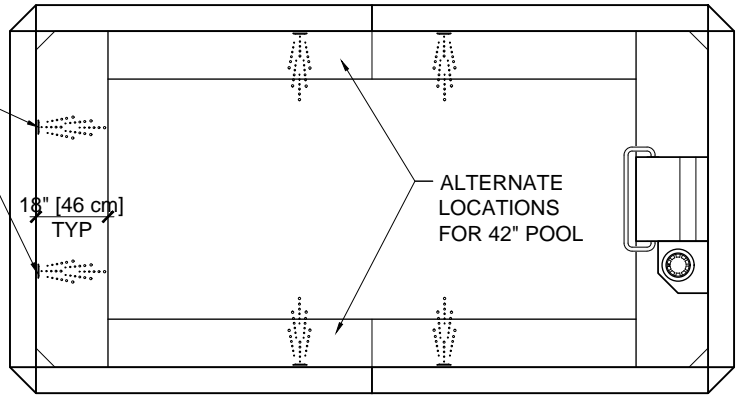
DETAIL A-A

NOTES:

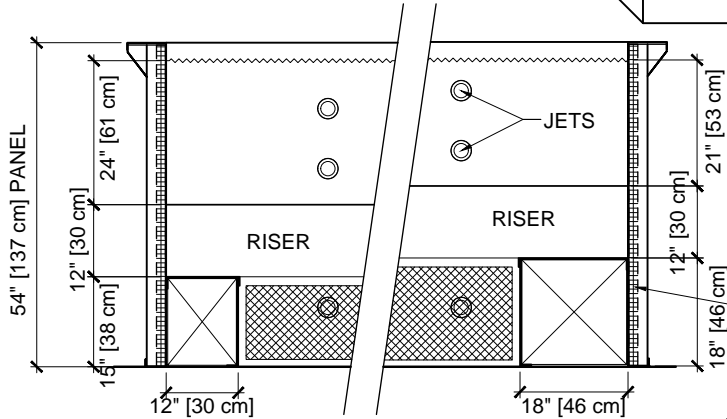
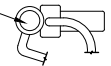
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2. ANY WOOD STRUCTURE THAT IS BUILT TO SUPPORT THE COPING MUST BE KEPT DRY IN ORDER TO MAINTAIN STRUCTURAL INTEGRITY.



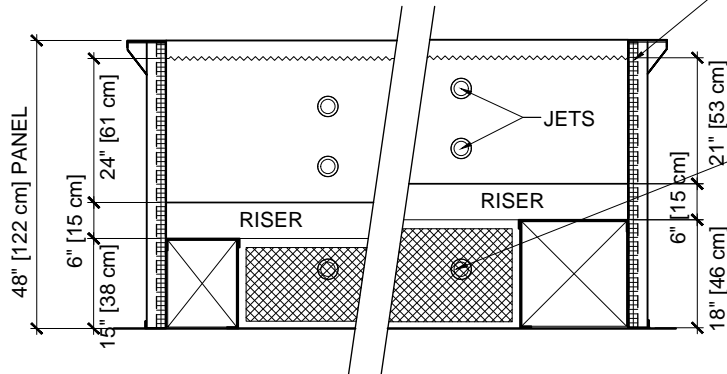
REAR BENCH LOCATION RECOMMENDED
FOR 42" PANEL POOL & REQUIRED
LOCATION FOR 48" or 54" PANEL POOLS



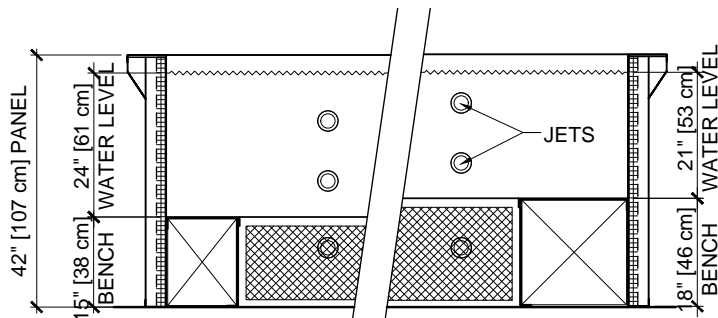
HYDROTHERAPY
JET PUMP



FOR 48" & 54" H PANELS - HEIGHT WILL
VARY BECAUSE REAR BENCH RISERS
ARE NEEDED FOR SEATING WITH
TALLER PANEL HEIGHTS (TO AVOID
INTERFERENCE W/ EGRESS OPTIONS,
SEE DETAILS SECT 8.0)



SUCTION FITTINGS FOR HYDROTHERAPY
JETS ARE IDEALLY LOCATED BELOW THE
BENCH and MUST BE LOCATED A MINIMUM
OF 3 ft AWAY FROM ONE ANOTHER



INTERIOR REAR VIEW OF
THE ORIGINAL &
PERFORMANCE POOLS

INTERIOR REAR VIEWS
OF THE ELITE & DUAL
PROPULSION POOLS

NOTES:

1. 18" OF ACCESS TO THE REAR or SIDE PANELS IS REQUIRED WHEN JETS ARE INSTALLED & SHOULD BE MAINTAINED FOR SERVICE.
2. JETS SHOULD BE INSTALLED IN THE TOP HALF OF THE PANEL and WILL FIT UNDER THE 6 1/2" TOP FLANGE OF THE POOL PANEL.
3. JETS CAN BE INSTALLED ON ANY PANEL BUT **ARE NOT RECOMMENDED** FOR PLACEMENT AT THE FRONT PANEL.
4. CARE MUST BE TAKEN TO AVOID THE PANEL STIFFENERS. MAINTAIN A MINIMUM OF 12" FROM POOL CORNER TO CENTERLINE OF A JET BODY.



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www.endlesspools.com
swim@endlesspools.com 800-732-8660

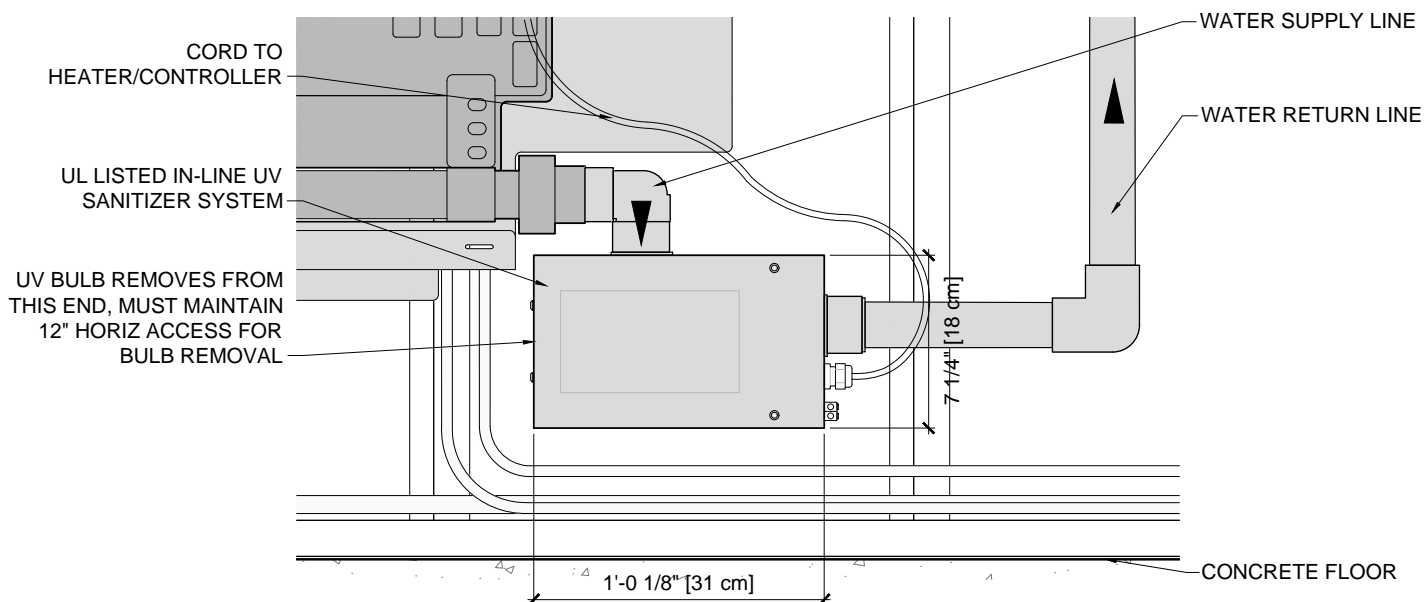
HYDROTHERAPY JETS

POOL EQUIPMENT DETAILS

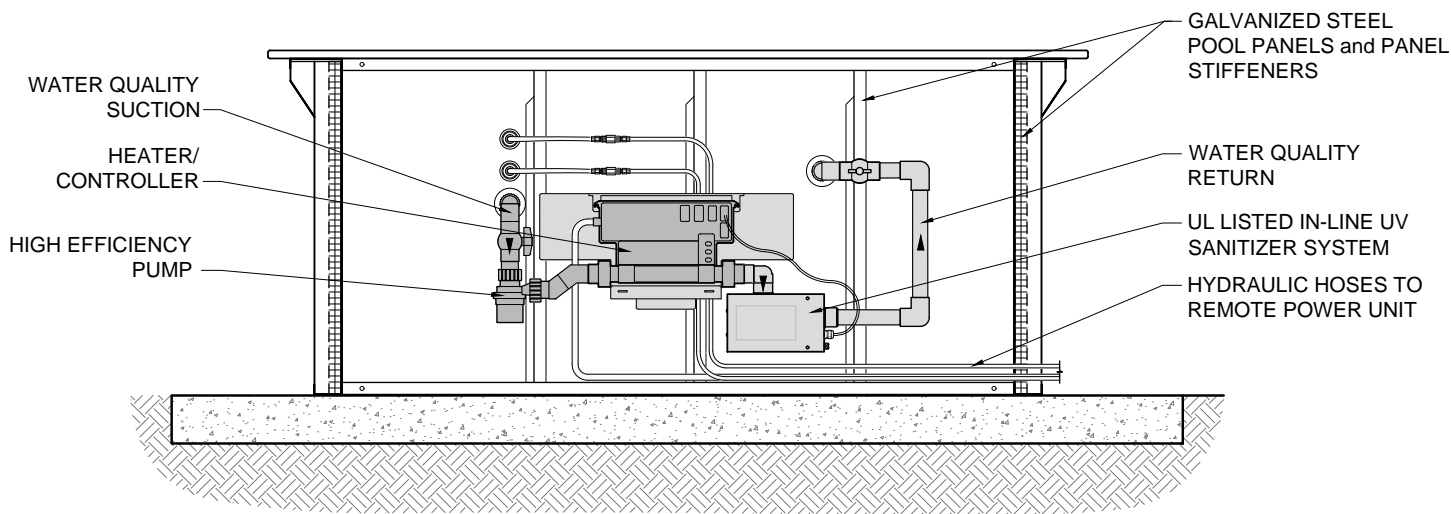
DETAIL NUMBER:

EP-7.4A

REV: 2018/09/28



EXTERIOR FRONT PANEL DETAIL



EXTERIOR FRONT PANEL STANDARD CONFIGURATION w/ UV SANITIZER



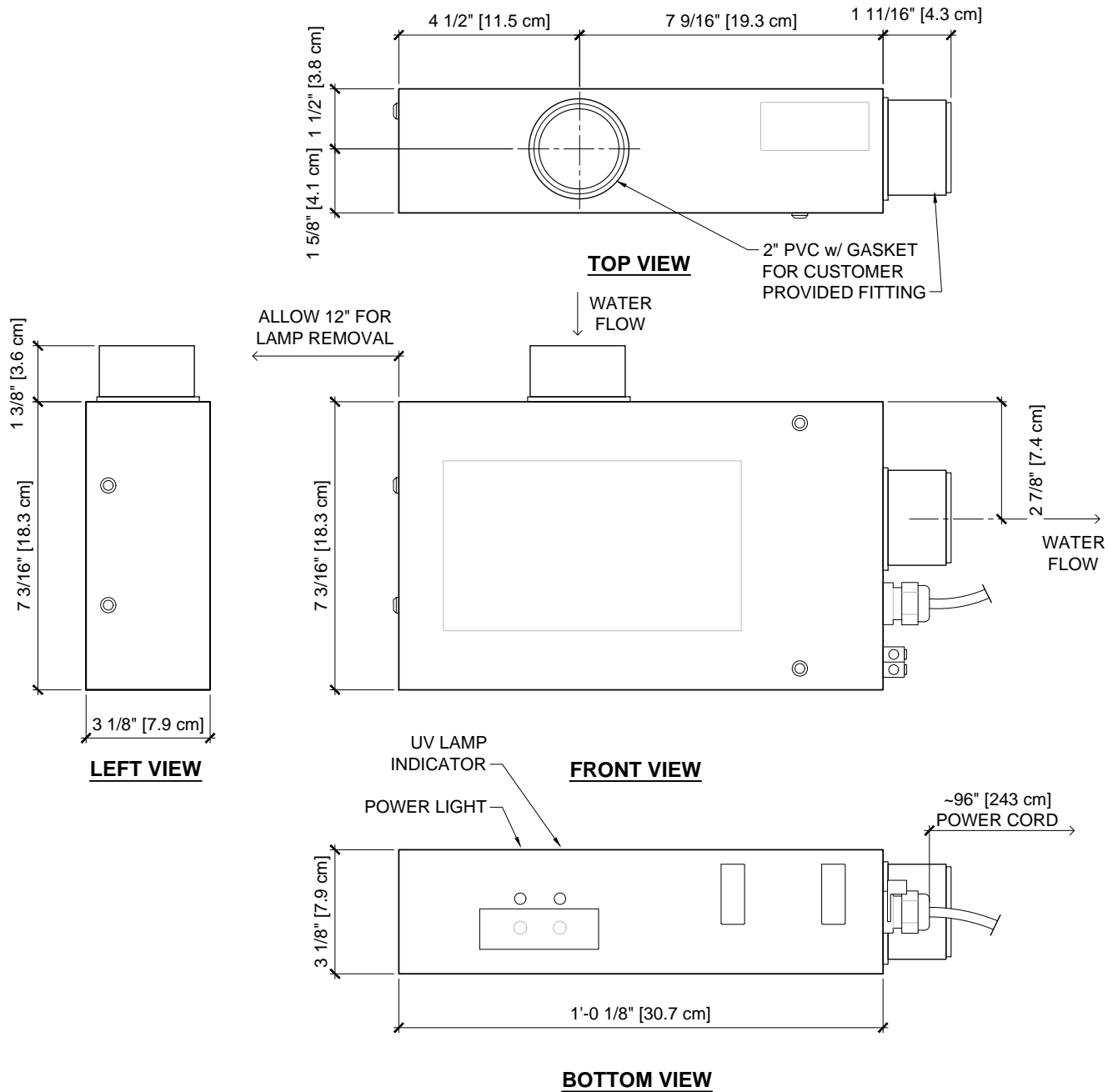
ENDLESS POOLS®
SWIMMING MACHINES
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 www.endlesspools.com
 swim@endlesspools.com 800-732-8660

UV SANITIZER
WITH POOLSIDE WATER QUALITY SYSTEM
 POOL EQUIPMENT DETAILS



DETAIL NUMBER:

EP-7.5.1

REV: 2020/02/03



NOTE: POWER CORD OPTIONS PER MODEL:
 SES-UV-88: AEWARE LC-1-5-120-8-T
 SES-UV-89: AEWARE LC-1-5-240-8-CE
 GREEN LC POLARIZING KEY: 9917-100895

SPECIFICATIONS	
MODEL NUMBERS:	SES-UV-88 / SES-UV-89
POWER	110-240 VAC, 50/60 Hz, 21W
WATER FLOW	5-20 GPM
WATER PRESSURE	40 PSI MAX
ENCLOSURE RATING	NEMA 3, IPX4
OPERATING TEMPERATURE	129°F (54°C) MAX
APPROVALS	 



UV SANITIZER SPECIFICATION DETAIL

POOL EQUIPMENT DETAILS

DETAIL NUMBER:

EP-7.5.2

DATE: 2020/02/12

NOTES:

1. A 4 FT x 5 FT AREA OF CLEAR FLOOR SPACE IS RECOMMENDED FOR ACCESS TO THE STANDARD WATER QUALITY SYSTEM (WQS) with ELECTRIC HEATER.
2. SUITABLE DRAINAGE MUST BE PROVIDED AT BOTH THE ENDLESS POOL & WATER QUALITY SYSTEM.
3. ALL ELECTRIC COMPONENTS MUST BE LOCATED, INSTALLED & BONDED BY A LICENSED ELECTRICIAN IN ACCORDANCE WITH APPLICABLE CODES.
4. ALL CIRCUITS MUST BE GFCI PROTECTED.

HPU CONTROLLER/
RECEIVER4 KW ELECTRIC
HEATER/ CONTROLLER
with KEY PAD DISPLAY
(LOCATED POOLSIDE)HYDRAULIC
POWER UNIT10 FT ELECTRICAL
WHIP (PROVIDED BY
ENDLESS POOLS)

TO POOL

PUMP STRAINER
BASKET LID

FROM POOL

220V, CIRCULATION PUMP

SUCTION LINE FROM
POOL SKIMMER/FILTER

BALL VALVE

FRONT VIEW

4'-0" [122 cm]

BALL VALVE

SUCTION LINE FROM
POOL SKIMMER/FILTER

FROM POOL

ELECTRIC HEATER/CONTROLLER

RETURN LINE TO POOL

TO POOL

PUMP STRAINER BASKET

5'-0" [152 cm]

9" MIN
CLEARANCEHYDRAULIC HIGH PRESSURE
CONNECTION TO POOLHYDRAULIC LOW PRESSURE
CONNECTION FROM POOL

CIRCULATION PUMP

ELECTRICAL WHIP
(PROVIDED BY ENDLESS
POOLS) IF USING HYD
POWER UNIT,
OTHERWISE FROM
ELECT DISCONNECT**TOP VIEW**

DETAIL NUMBER:

EP-7.7.1

REV: 2018/11/30



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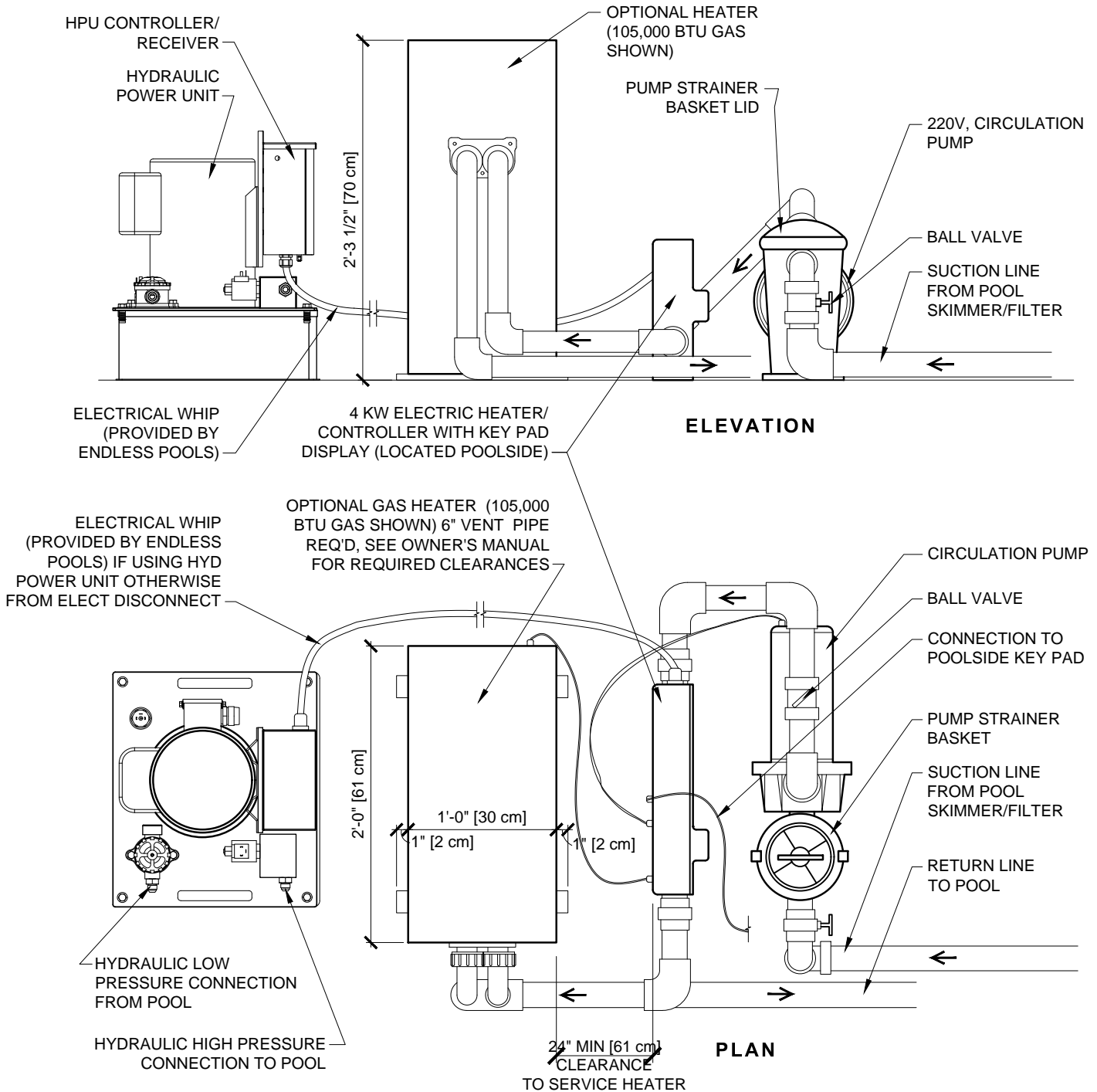
REMOTELY LOCATED WATER QUALITY SYSTEM

POOL EQUIPMENT DETAILS

NOTES:

1. A 4 FT x 7 FT AREA OF CLEAR FLOOR SPACE IS RECOMMENDED FOR ACCESS TO THE STANDARD WATER QUALITY SYSTEM (WQS) WITH OPTIONAL GAS HEATER. SUITABLE DRAINAGE MUST BE PROVIDED AT BOTH THE ENDLESS POOL & WATER QUALITY SYSTEM.
2. ALL CIRCUITS MUST BE GFCI PROTECTED
3. ALL ELECTRIC AND GAS COMPONENTS MUST BE LOCATED, INSTALLED & BONDED BY A LICENSED PROFESSIONAL IN ACCORDANCE WITH APPLICABLE CODES

GAS HEATERS, PROVIDED BY ENDLESS POOLS ONLY AVAILABLE TO CUSTOMERS IN NORTH AMERICA and US TERRITORIES



Notes:

1. An automatic retractable cover (below or above deck) will always need an additional 110V, 20A GFCI protected power supply.
2. An outdoor pool with a retractable cover will require a cover pump, needing a 110V, 5A GFCI protected power supply.
3. A service disconnect is recommended within 5 ft of the pool Water Quality System (WQS) or Hydraulic Power Unit (HPU) equipment.
4. Optional Hydrotherapy Jets Pump, Underwater Lights & UV Sanitizer all plug into the filtration system's heater/controller.

PRIMARY PRODUCT	ELECTRICAL REQUIREMENTS (60 HZ)	RESULTS
ENDLESS POOL or PERFORMANCE ENDLESS POOL	(1) 220V, 30A GFCI power supply with neutral	When swim current is on, WQS & optional jets are off (optional lights & keypad are not affected)
ENDLESS POOL or PERFORMANCE ENDLESS POOL w/ HYDRAULIC TREADMILL	(2) 220V, 30A GFCI power supply (1 with neutral for WQS)	WQS shares power with one HPU. When that HPU is running, WQS & optional jets are off (optional lights & keypad are not affected)*
DUAL PROPULSION ENDLESS POOL	(2) 220V, 30A GFCI power supply (1 with neutral for WQS)	WQS shares power with one HPU. When that HPU is running, WQS & optional jets are off (optional lights & keypad are not affected)*
DUAL PROPULSION ENDLESS POOL w/ HYDRAULIC TREADMILL	(3) 220V, 30A GFCI power supply (1 with neutral for WQS) (a 2nd treadmill requires an additional 220V, 30A GFCI power supply, for qty 4 total)	WQS shares power with one HPU. When that HPU is running, WQS & optional jets are off (optional lights & keypad are not affected)*
HIGH PERFORMANCE or ELITE ENDLESS POOL	(1) 220V, 50A GFCI power supply with neutral	When swim current is on, WQS & optional jets are off (optional lights & keypad are not affected)*
HIGH PERFORMANCE or ELITE ENDLESS POOL w/ HYDRAULIC TREADMILL	(1) 220V, 50A GFCI power supply (1) 220V, 30A GFCI power supply (1 with neutral for WQS)	WQS shares power with one HPU. When that HPU is running, WQS & optional jets are off (optional lights & keypad are not affected)*
WATERWELL w/ 110V WQS	(1) 110V, 20A GFCI outlet	All components can run simultaneously.
WATERWELL w/ 220V WQS	(1) 220V, 20A GFCI outlet power supply with neutral	All components can run simultaneously.
WATERWELL w/ 220V WQS & HYDRAULIC TREADMILL	(1) 220V, 30A GFCI power supply with neutral	When treadmill is on, WQS & optional jets are off (optional lights & keypad are not affected)*
STREAMLINE	(1) 220V, 30A GFCI power supply with neutral	Components can run simultaneously, heater turns off when swim current is on high speed.
FASTLANE PRO	(1) 220V, 30A GFCI power supply	Power for swim current only. No WQS provided by Endless Pools.
FASTLANE SPORT	(1) 110V, 20A non GFCI power supply	GFCI Breaker provided. Power for swim current only. No WQS provided by Endless Pools.
FASTLANE SPORT XP	(1) 220V, 30A GFCI power supply	Power for swim current only. No WQS provided by Endless Pools.

*An additional 220V, 30A GFCI power supply will allow all items to work simultaneously