

PROJECT DESCRIPTION

My name is Joe Muldoon and I am applying to repair a portion of the 1st floor exterior wall on my home at 1514 26th St., NW in the East Village of Georgetown which is currently failing and creating a Safety Issue.

Safety Hazard

This project began as a result of contact from the Chief of the DC Fire Department and the DCRA building inspectors who determined that the rear (westerly) portion of the North exterior wall of my home appeared to be bowing out, in danger of collapse and posing a Safety Hazard. I immediately hired a structural engineer to conduct an assessment, who was also quite concerned about the safety issue and so I hired him to design plans to implement temporary bracing of the building.

Temporary Bracing

The plan is to install temporary bracing for safety to support the building to prevent any further deterioration and allow for the repairs. The temporary bracing will be removed upon the completion of the repairs.

Area to be Repaired/Replaced

The area to be repaired/replaced includes the rear most portion of the 1st floor North exterior wall only.

The elevation of the proposed repair work is on the Ground floor only (there is no basement). The first 18 inches above ground is

comprised of the stone foundation upon which the current wall rests and upon which the repaired wall will also sit.

The width (height) of the area to be repaired ranges from 94 inches to 118 inches and includes the 1st floor wall area between the foundation up to the 2nd story floor joists, which will rest on the new exterior wall petition.

The length of the area to be repaired is 348 inches and is located in the rear, most westerly and furthest from the street, portion of the north exterior wall. The exterior wall on the 2nd Floor above the area to be repaired will not be modified or touched as the new wall petition will be inserted below the upstairs floor joists.

Existing Condition

The existing wall is comprised of various materials, including 2 types of siding. The current condition of the wall is that it is continuing to “bow out”, to slowly separate from interior walls and structures and to continue to collapse. All that have inspected it consider it a Safety Hazard.

Proposal

Per the recommendations of the Structural Engineer, the plan is to replace the failing portion of the exterior wall with a 2”x 6” petition. The new wall will be filled with R-19 insulation, covered with 1/2 sheathing and 1/2 exterior plywood for strength, and installed to match the current appearance of the existing wall (and the rest of the home).

In addition, the upper half portion of the area to be repaired (as with the 2nd floor) is covered with a unique Lap siding of 12” wide boards overlapped 1”. This siding will be maintained and reinstalled in order to keep the finished exterior appearance of the wall the same as the existing condition after the repairs are completed in order to preserve the same historic look.

First Floor Exterior Wall Only

The repair work will be restricted to the 1st floor exterior wall only. There will be No changes to the 2nd floor exterior wall, No changes to any of the floor plans in the home, and there is No basement.

The proposed exterior appearance will match the existing exterior appearance and the rest of the home (Lap siding over a flat, white wall with a single, small window).

Historic Impact

I believe that the proposed repairs in this proposal are urgent, necessary, and a Safety Issue and will have a very low impact on the Historic Nature or Appearance of my home or my Georgetown neighborhood for the following reasons:

- a. The proposed exterior appearance will match the existing exterior appearance with no perceptible difference.**
- b. The repair work will be restricted to the 1st floor exterior wall only. No changes to the 2nd floor exterior wall, No changes to any of the floor plans, and there is no basement.**

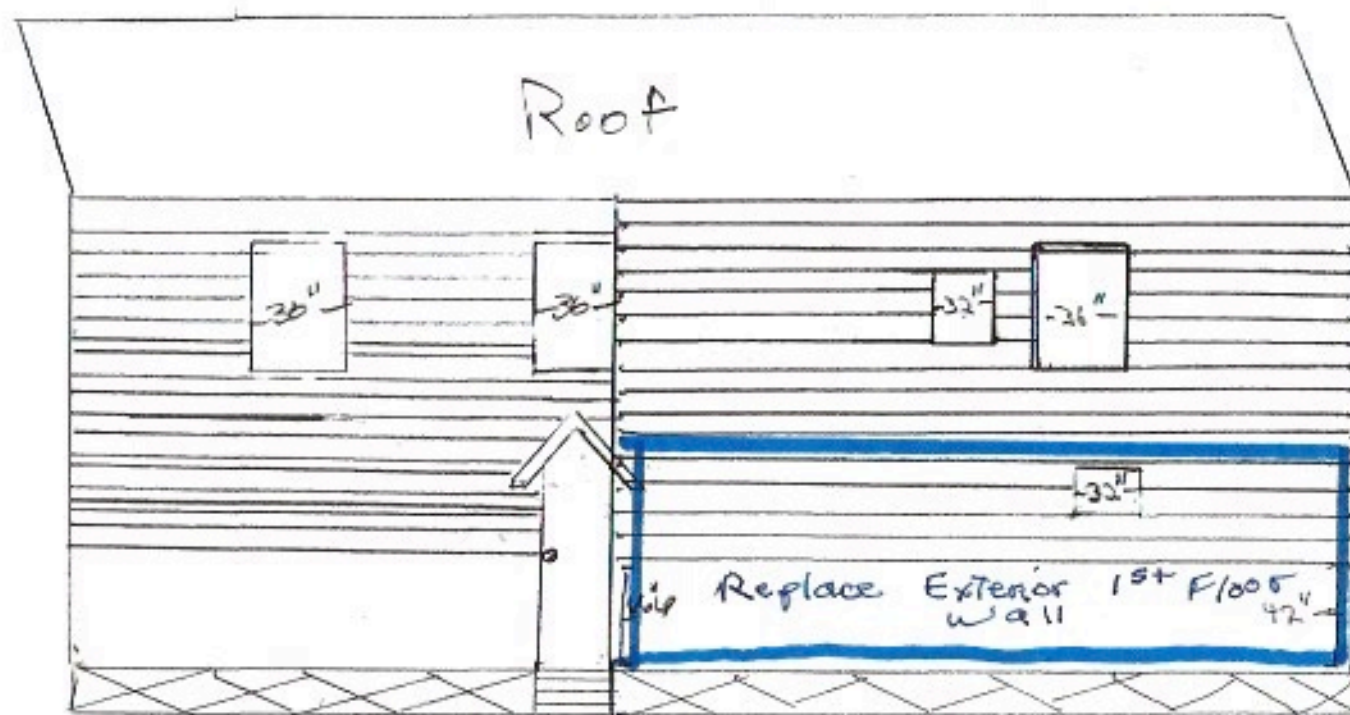
- c. **The area to be repaired contains a single small window only, which will be reinstalled.**
- d. **The view from the street is minimal and quite restricted as the area to be repaired is in the rear of a long, narrow, elevated, private walkway.**

CONCLUSION:

I respectfully urge the reviewers to immediately approve this repair in order to preserve the integrity of this Historic building, prevent further deterioration, and eliminate the current SAFETY HAZARD that exists and will continue to worsen.

← E

North Facade
1514 26th Street, NW

$$w \rightarrow$$


A horizontal number line is shown with tick marks at 0, 5, 10, 15, and 20. The number 29 is written above the line, indicating a value greater than 20.

LAP SIDING – White Paint

Boards run horizontally

Length - 29 ft

Width – 5 Bottom Boards

1" x 12" Hardwood, 1" Overlap

FLAT SIDING - White Paint

Plain, predominantly smooth surface

Irregular Shape (due to slope)

Length - 29 Ft

Width - 66" to 44" (rear, NW corner)

WINDOW

Modern, Horizontal Sliding Type

Width 32", Height 24"

2" x 4" Frame Casing

No Trim

PUBLIC NOTICE
OF A
PENDING APPLICATION
HISTORIC PRESERVATION REVIEW

OG# ²²⁻~~221~~ HPA # ²²⁻~~394~~ APPLICANT NAME: MULDOON

PROJECT ADDRESS:

1514 26th St, NW

PROJECT DESCRIPTION:

Temp Bracing and Replace
lower (1st Floor) rear portion
of North Exterior Side Wall

THIS PROJECT MAY BE SCHEDULED FOR AN UPCOMING PUBLIC MEETING OF THE OLD GEORGETOWN BOARD OF THE US COMMISSION OF FINE ARTS AND/OR THE HISTORIC PRESERVATION REVIEW BOARD. ANY INTERESTED PERSON MAY SUBMIT WRITTEN COMMENTS ON THE APPLICATION AND MAY ATTEND THE PUBLIC MEETING.

TO SUBMIT PUBLIC COMMENTS VISIT <https://www.cfa.gov/submit-public-comment>

OGB MEETINGS ARE HELD AT
401 F Street, NW, Suite 312, Washington, DC 20001-2728

HPRB MEETINGS ARE HELD AT
441 4th Street, NW, Room 220, Washington, DC 20001-2714

DC HISTORIC PRESERVATION OFFICE/DC OFFICE OF PLANNING
1100 4th STREET, NW, SUITE 1650, WASHINGTON, DC 20024
www.preservation.dc.gov • historic.preservation@dc.gov
(202) 442-7600 • fax (202) 442-7638



























































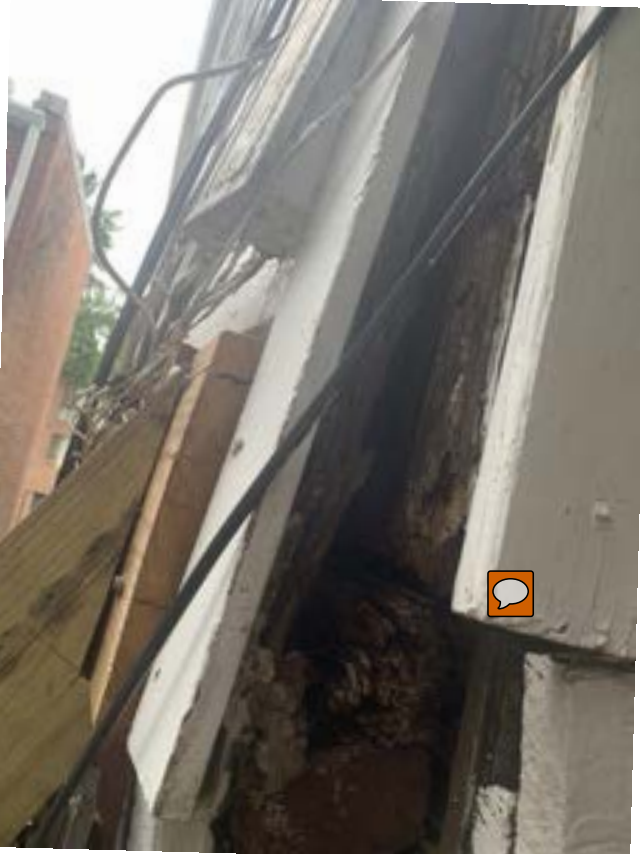














NEW EXTERIOR WALL

Once the frame of the new wall is installed using 2" x 6" framing to replace the old wall petition and erected according to the structural engineering plans, I plan to finish the wall using the following materials:

New Wall Petition – 2"x 6" Stud Frame wall

New Wall Sheathing – 4' x 8' sheathing plywood

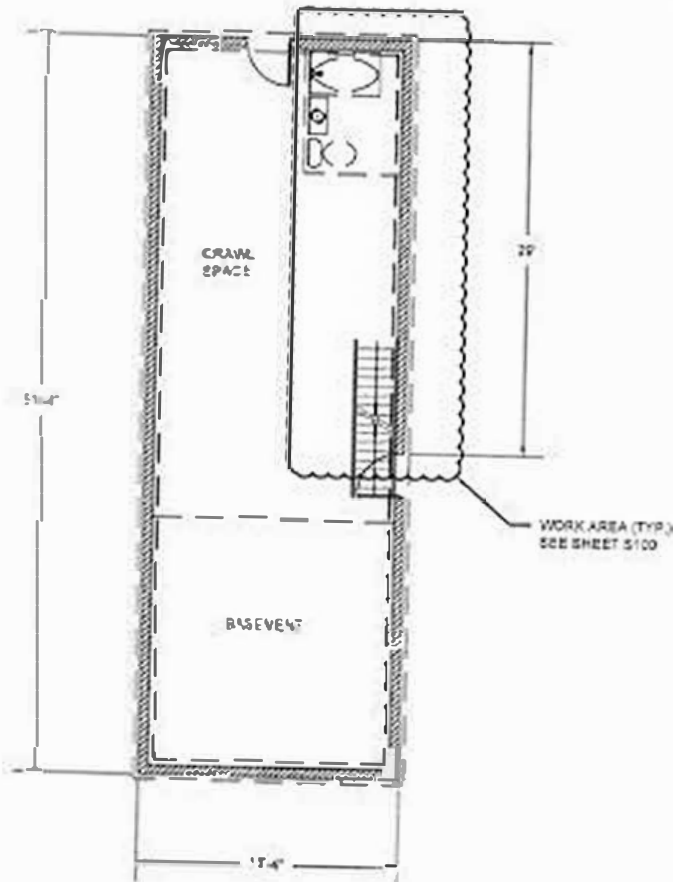
New Wall Exterior covering – 4' x 8' exterior plywood

New Wall Exterior Lap Siding – 1" x 12" boards, various lengths, reinstall as exiting

New Wall Insulation -- R-19 throughout

Paint -- White Exterior





SCOPE OF WORK

1. TEMPORARILY LATERALLY BRACE THE RIGHT SIDE OF THE RIGHT EXTERIOR MAIN LEVEL WALL ALONG THE REAR 29FT OF THE STRUCTURE
2. TEMPORARILY VERTICALLY BRACE THE RIGHT SIDE OF THE UPPER LEVEL FLOOR STRUCTURE ALONG THE REAR 29FT OF THE STRUCTURE.



APPROVAL STAMPS

REVISIONS

REV	DESCRIPTION	DATE
-	-	-

GENERAL NOTES:

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3. CONTRACTOR SHALL NOTIFY DESKA SERVICES, LLC IF CONDITIONS ON SITE DIFFER FROM CONDITIONS SHOWN ON PLAN. DESKA SERVICES, LLC CAN THEN REVISE DRAWINGS AND DESIGN AS NECESSARY.
4. ALL SHORING FOR EXCAVATION ON SITE SHALL MEET OSHA STANDARDS.
5. STEEL SHALL BE GRADE A36 MIN.
6. MIN. CONCRETE COMPRESSIVE STRENGTH: 4,500 PSI
7. MIN. SOIL BEARING CAPACITY: 1,500 PSF



Designed by
Brian Deska
02/02/2022



DESKA SERVICES, LLC
8809 COOPER ROAD
ALEXANDRIA, VA 22309
(703) 457-6640
WWW.DESKASERVICES.COM

1514 26TH STREET NW
WASHINGTON, DC 20007

OWNER: JOSEPH MULDOON

DWG NO.: SE100

DATE: 02/02/2022

FOUNDATION PLAN
EXISTING

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C. July 11, 2022

Plat for Building Permit of

SQUARE 1285 LOT 815

Scale: 1 inch = 20 feet

Recorded in Book A & T Page 3433 - U

Receipt No. 22-05677

Drawn by: A.S.

Furnished to: JOE MULDOON

"I hereby certify that the dimensions and configuration of the lot(s) herein depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

James E. Pabst

For Surveyor, D.C.

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

- 1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
- 2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy previous surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application; and
- 3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:

- 1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
- 2) there is no elevation change exceeding ten feet measured between lot lines, or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
- 3) I have ~~not~~ (circle one) filed a subdivision application with the Office of the Surveyor;
- 4) I have ~~not~~ (circle one) filed a subdivision application with the Office of Tax & Revenue; and
- 5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.

The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the two years prior to the date DCRA accepts a Building Permit Application as complete.

I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.5(1) and 105.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

Signature: _____

Date: _____

Printed Name: _____ Relationship
to Lot Owner: _____

If a registered design professional, provide license number
_____ and include stamp below.

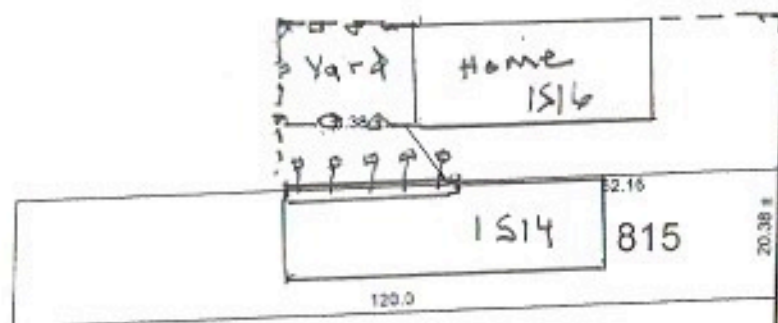


SCALE: 1:20

SR-22-05677(2022)

SHEET 1 OF 2

SQUARE 1285



26th STREET, N.W.

SR-22-05677(2022)

SHEET 2 OF 2

← N

← 26th St →

Property Line

1516

walkway

1514

House

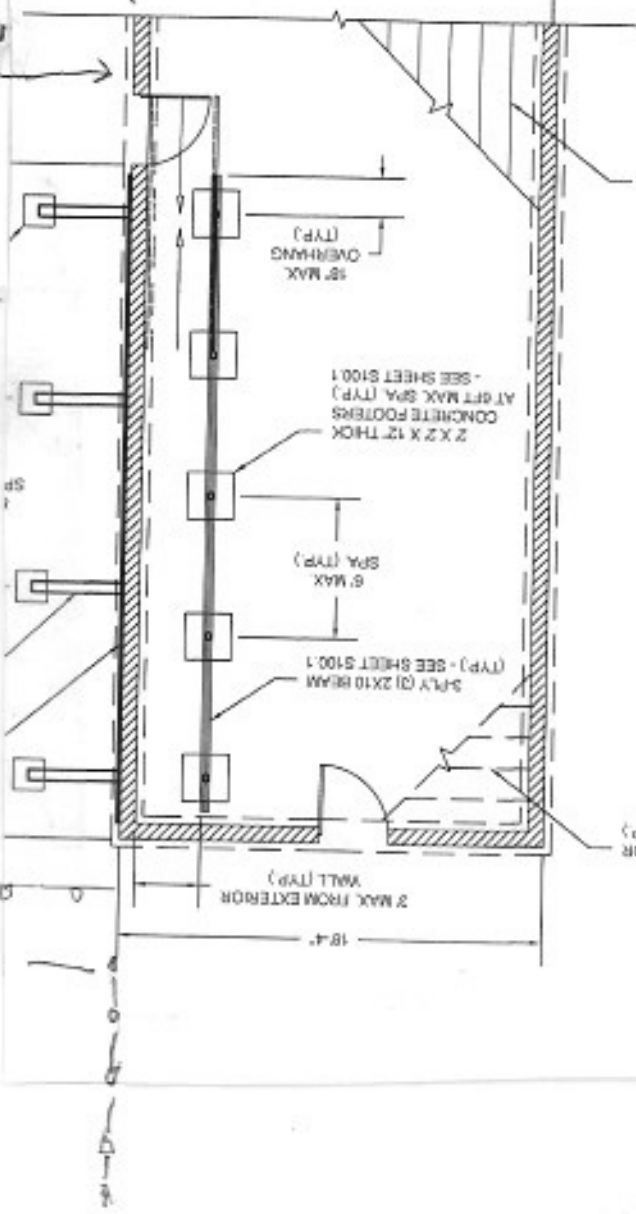
1516
BACK
YARD

Fence

walkway

Fence

1" 5'

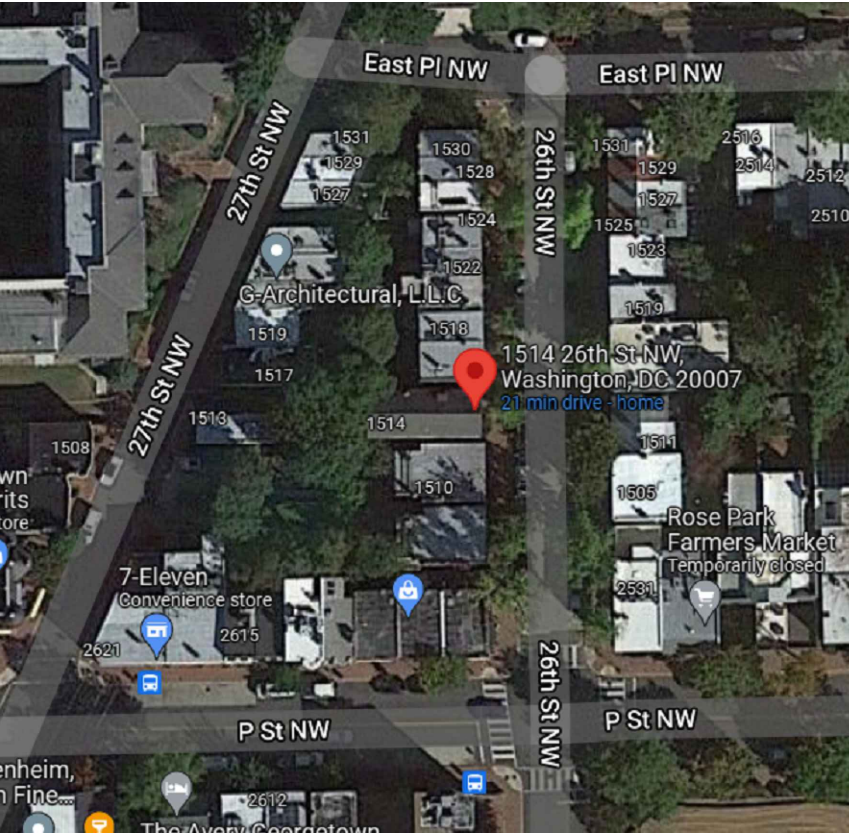


EXISTING MAIN LEVEL FLOOR JOISTS TO REMAIN (TYP)

EXISTING UPPER LEVEL FLOOR JOISTS TO REMAIN (TYP)



SITE MAP:



CODE ANALYSIS:

BUILDING CODE: 2017 DISTRICT OF COLUMBIA BUILDING CODE

STORIES ABOVE GRADE: 2

UNIFORM LIVE LOAD: 40 PSF

SCOPE OF WORK:

- 1. TEMPORARILY LATERALLY BRACE THE RIGHT SIDE OF THE RIGHT EXTERIOR MAIN LEVEL WALL ALONG THE REAR 29FT OF THE STRUCTURE.
- 2. TEMPORARILY VERTICALLY BRACE THE RIGHT SIDE OF THE UPPER LEVEL FLOOR STRUCTURE ALONG THE REAR 29FT OF THE STRUCTURE.

GENERAL REQUIREMENTS:

- 1. PROVIDE ALL LABOR, MATERIAL, EQUIPMENT AND MISCELLANEOUS ITEMS NECESSARY TO COMPLETE THE REQUIRED SCOPE OF WORK.
- 2. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY AND FOR THE STABILITY OF ALL NEW, EXISTING, AND TEMPORARY SHORING AS REQUIRED TO SUPPORT THE STRUCTURE WHILE PERFORMING THE WORK.
- 3. THESE DRAWINGS REFLECT THE INFORMATION PROVIDED BY OTHERS AND THE CONDITIONS ON SITE SHOULD BE VERIFIED BY THE CONTRACTOR TO COORDINATE THE WORK. ANY CONDITIONS THAT ARE MISREPRESENTED OR NOT PROPERLY SHOWN WITHIN THESE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- 4. SECURE AND PROTECT ALL WORK AREAS FROM EXTERNAL WATER INTRUSION.
- 5. SECURE ALL WORK AREAS TO PREVENT HARM TO PEOPLE, VEHICLES, EQUIPMENT, SURROUNDING CONSTRUCTION, SURROUNDING STRUCTURES, ETC. FROM THIS SCOPE OF WORK.
- 6. ACQUISITION OF PERMITS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND CONTRACTOR SHALL BE RESPONSIBLE FOR ORDERING INSPECTIONS, AND FOR MEETING ALL APPLICABLE CODES.
- 7. REQUIRED PERMITS AND/OR APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO:
 - 7.1. EXCAVATION AND SHORING
 - 7.2. EROSION AND SEDIMENT CONTROL
 - 7.3. MAINTAINING PEDESTRIAN RIGHT OF WAYS
 - 7.4. MAINTAINING VEHICULAR RIGHT OF WAYS

LIST OF DRAWINGS:

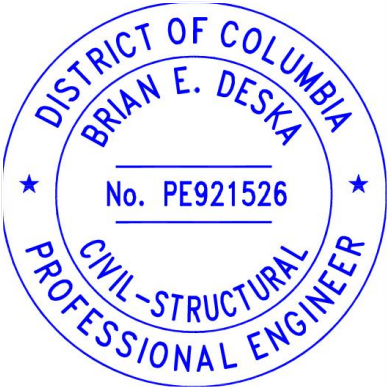
COVER SHEET.....C01

FOUNDATION PLAN - EXISTING.....SE100

FOUNDATION PLAN - PROPOSED.....S100

STRUCTURAL DETAILS - 1.....S100.1

DocuSigned by:
Brian Deska
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APPROVAL STAMPS:

REVISIONS

REV	DESCRIPTION	DATE
-	-	-

GENERAL NOTES:

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- 5. STEEL SHALL BE GRADE A36 MIN.
- 6. MIN. CONCRETE COMPRESSIVE STRENGTH: 4,000 PSI
- 7. MIN. SOIL BEARING CAPACITY: 1,500 PSF



DESKA
SERVICES

DESKA SERVICES, LLC
8809 COOPER ROAD
ALEXANDRIA, VA 22309
(703) 457-6540
WWW.DESKASERVICES.COM

1514 26TH STREET NW
WASHINGTON, DC 20007

OWNER: JOSEPH MULDOON

DWG NO.: SE100

DATE: 02/02/2022

SITE PLAN

NOTES:

- 1. ALL FASTENERS TO BE 16-D NAILS OR SIMPSON STRONG-TIE SCREWS UNLESS OTHERWISE SPECIFIED.
- 2. ALL 2X STOCK BOARDS SHALL BE SECURED WITH FOUR (4) FASTENERS AT EACH END MINIMUM.
- 3. THESE ARE STRUCTURAL FRAMING DRAWINGS ONLY - DESIGN OF SHEATHING, WALL COVERINGS, INSULATION, MECHANICALS, ETC. TO BE PERFORMED BY OTHERS IF NECESSARY.

SCOPE OF WORK:

- 1. REPLACE 29FT OF EXTERIOR WALL IN 4FT SECTION AT A TIME WITH A NEW 2X6 STUD WALL.
- 2. INSTALL TWO (2) - 2-PLY SISTERS AT EACH FLOOR JOIST ON EACH SIDE OF THE STAIRCASE.
- 3. **SEE TEMPORARY BRACING NOTES.**

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REVISIONS

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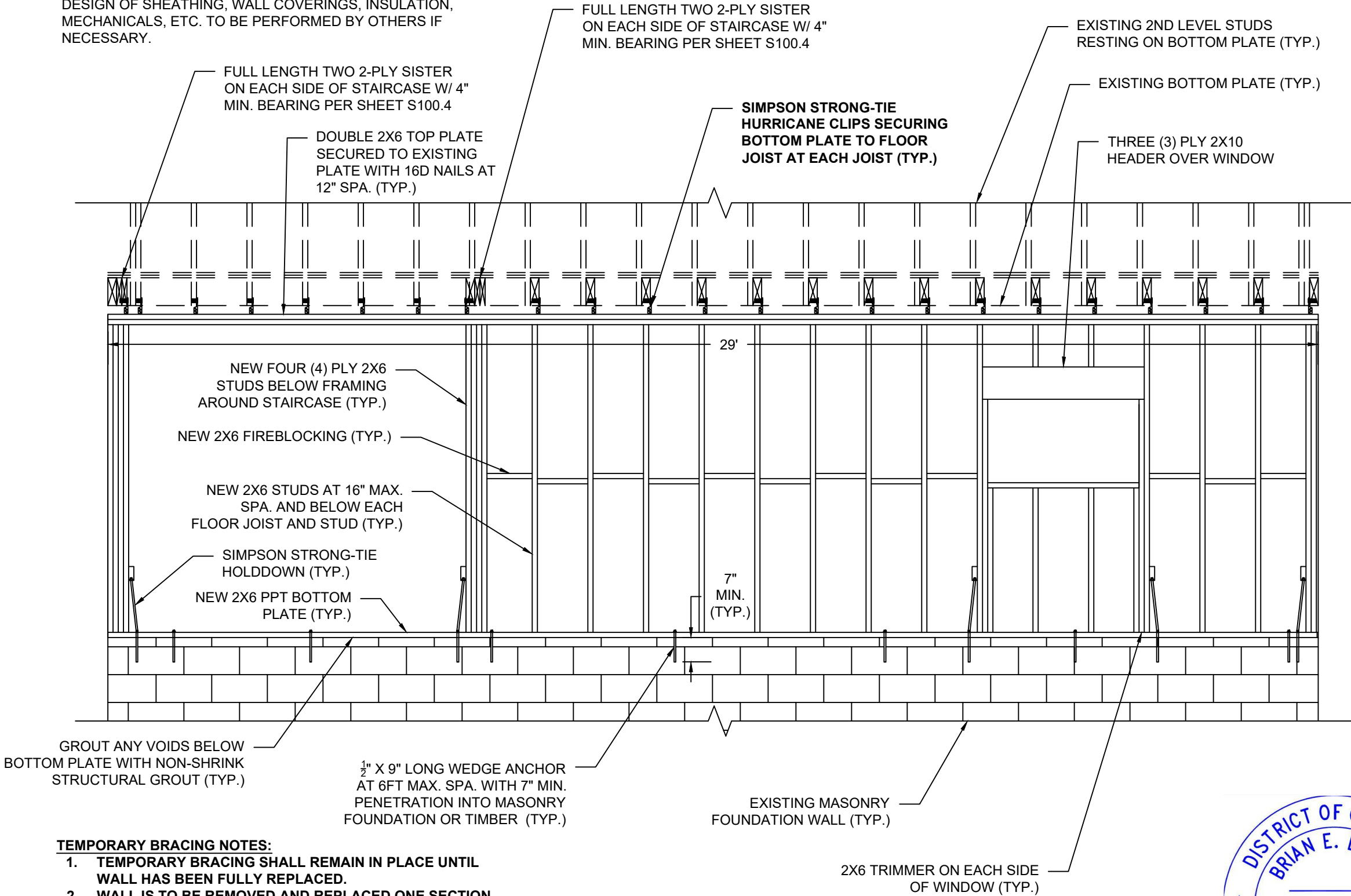
1514 26TH STREET NW
WASHINGTON, DC 20007

OWNER: JOSEPH MULDOON

DWG NO.: S100.2

DATE: 04/11/2022

STRUCTURAL
DETAILS - 2



TEMPORARY BRACING NOTES:

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- 4. NO SECTION OF WALL SHALL BE REMOVED UNTIL PRIOR SECTION HAS BEEN FULLY INSTALLED.
- 5. ALL HURRICANE CLIPS MUST BE INSTALLED PRIOR TO ANY SECTION BEING REMOVED.

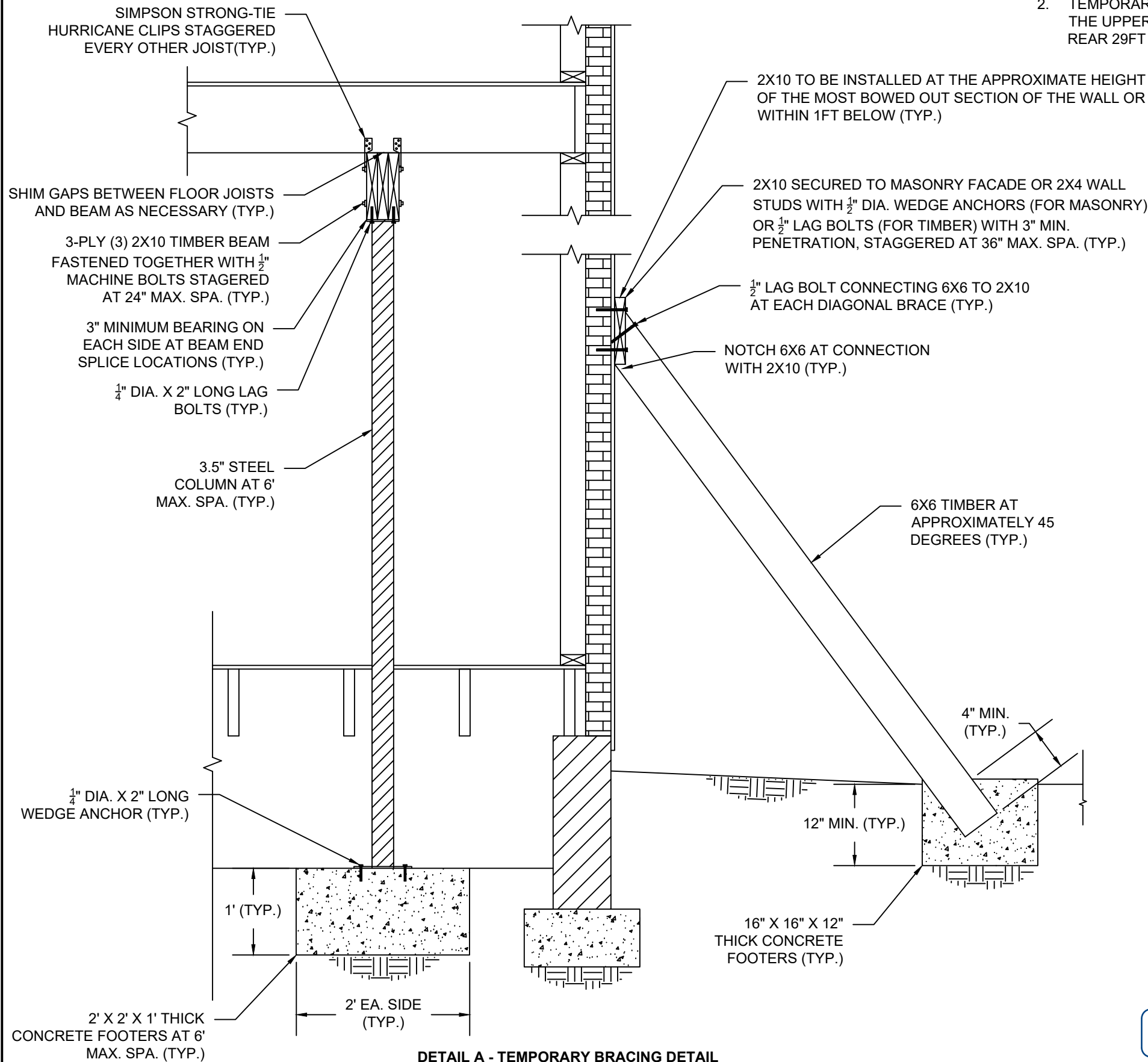
NEW TIMBER EXTERIOR WALL - RIGHT ELEVATION VIEW
SCALE: N.T.S.

DocuSigned by:

Brian Deska

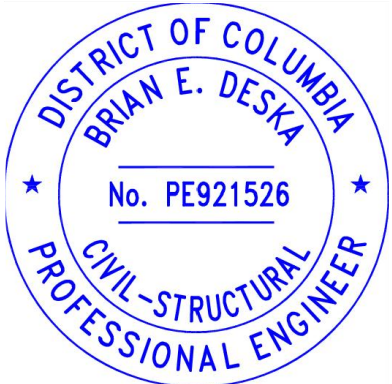
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DETAIL A - TEMPORARY BRACING DETAIL
SCALE: N.T.S.

DocuSigned by:
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3088E71C34724DF...



APPROVAL STAMPS:

REVISIONS

REV	DESCRIPTION	DATE
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1514 26TH STREET NW
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OWNER: JOSEPH MULDOON

DWG NO.: S100.1

DATE: 02/02/2022

STRUCTURAL
DETAILS - 1

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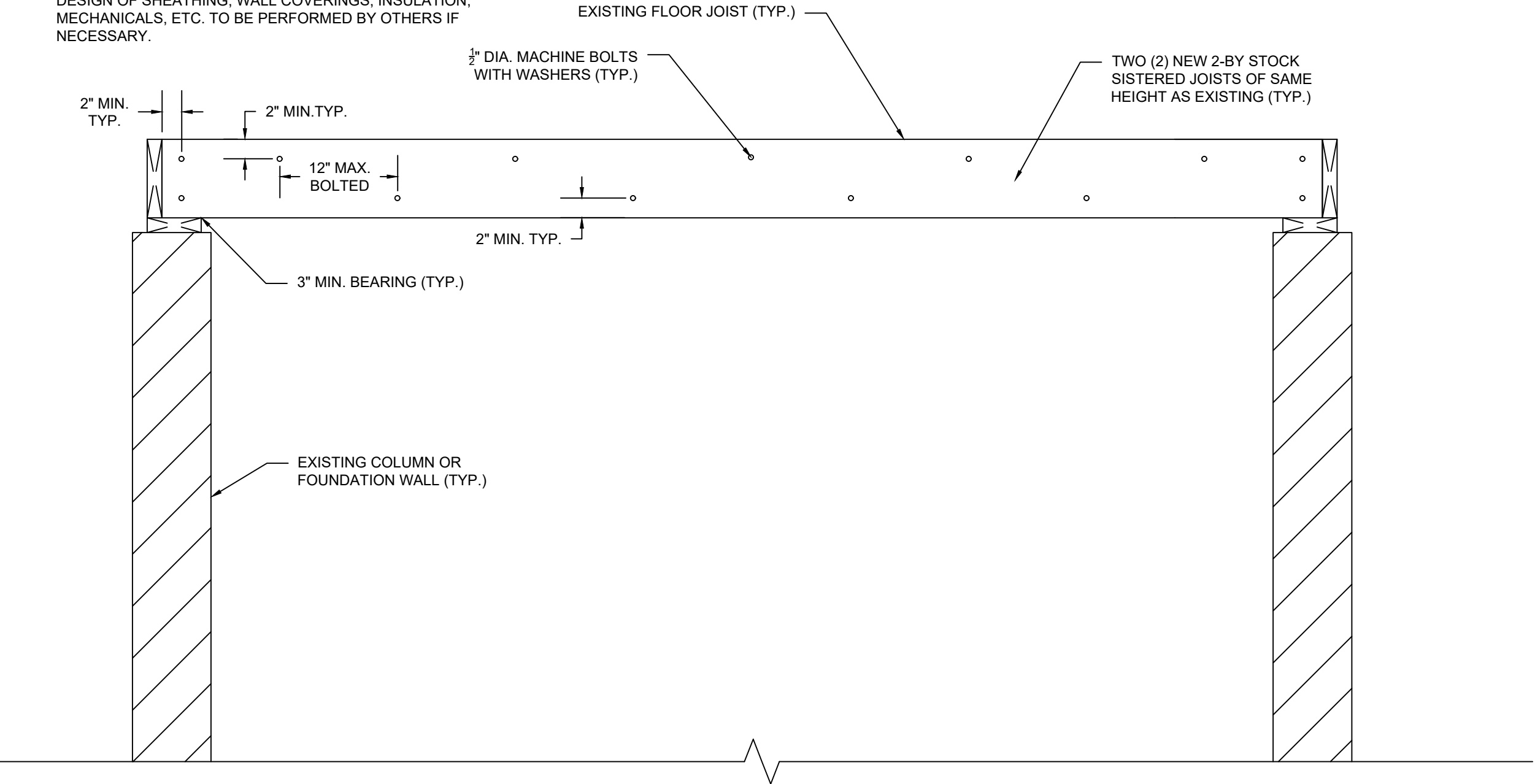
1514 26TH STREET NW
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OWNER: JOSEPH MULDOON

DWG NO.: S100.4

DATE: 04/11/2022

STRUCTURAL
DETAILS - 4



TEMPORARY BRACING NOTES:

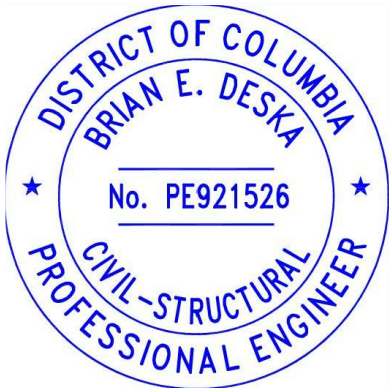
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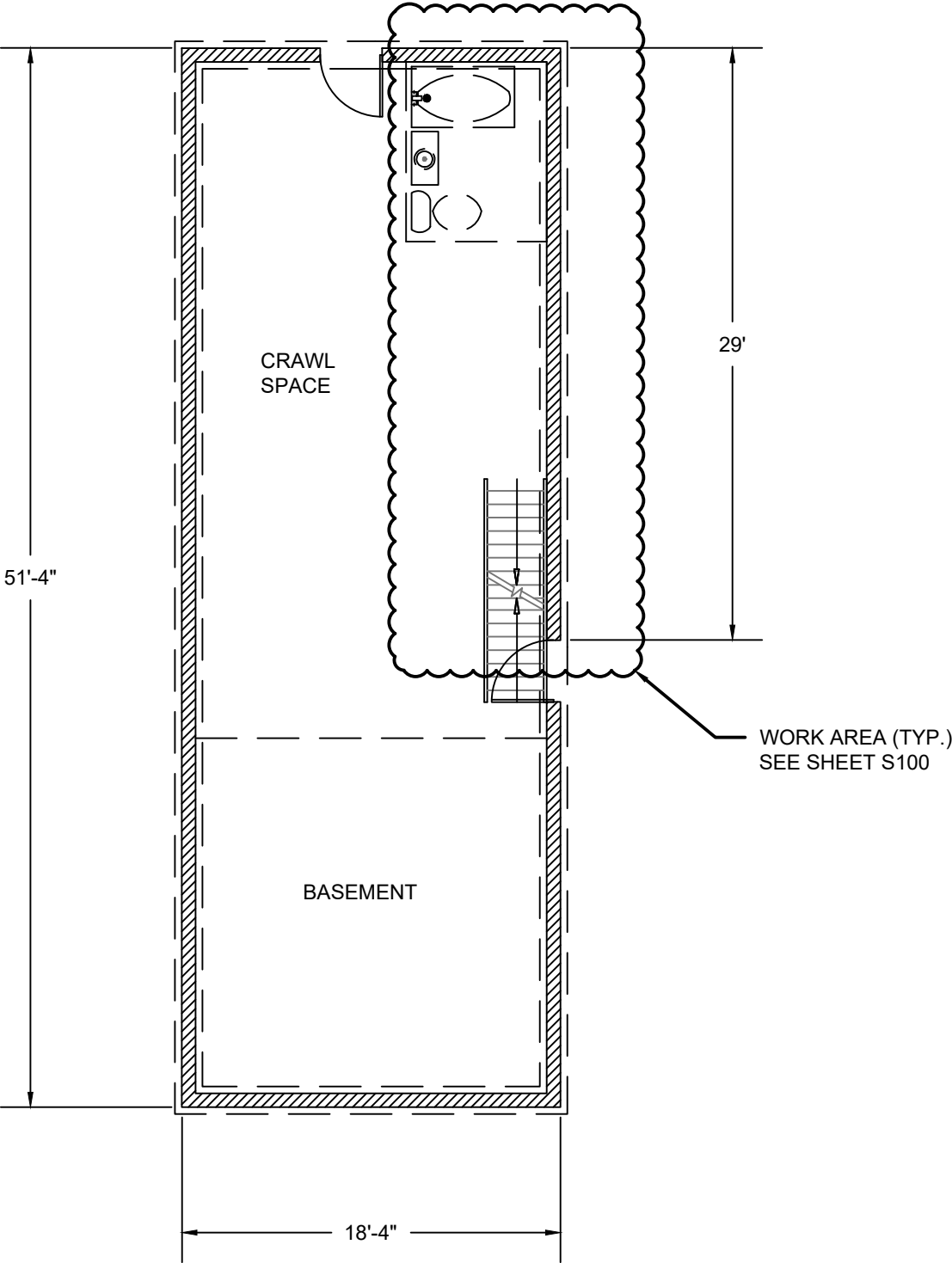
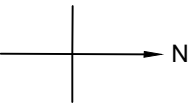
JOIST SISTER - FULL SPAN SISTER DETAIL
SCALE: 1" = 1'-0"

DocuSigned by:

Brian Deska

3088E71C34724DF...





SITE PLAN
SCALE: N.T.S.

SCOPE OF WORK:

1. TEMPORARILY Laterally brace the right side of the right exterior main level wall along the rear 29ft of the structure.
2. TEMPORARILY Vertically brace the right side of the upper level floor structure along the rear 29ft of the structure.

APPROVAL STAMPS:

REVISIONS

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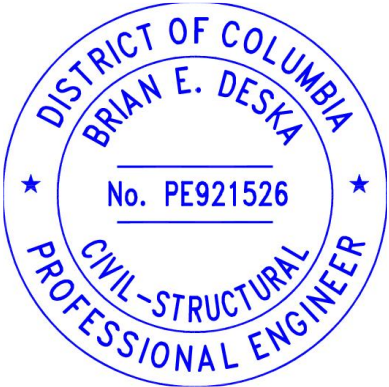
DATE: 02/02/2022

FOUNDATION PLAN
EXISTING

DocuSigned by:

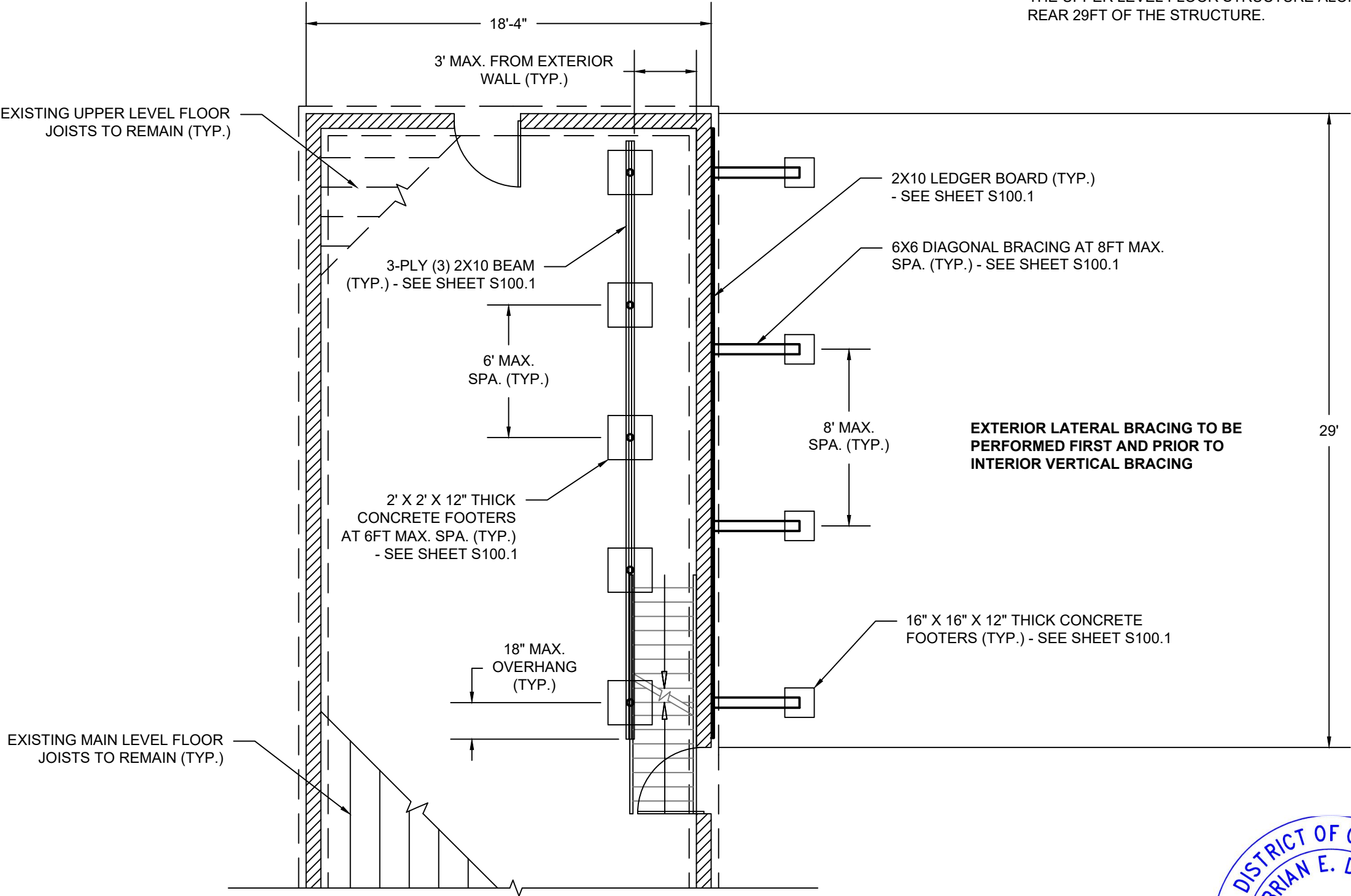
Brian Deska

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MAIN LEVEL PLAN VIEW
SCALE: N.T.S.

DocuSigned by:
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GENERAL NOTES:

- 1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, CHECK FOR UTILITIES, AND OBTAIN ALL NECESSARY PERMITS.
- 2. ALL MATERIALS AND PRODUCTS SHALL BE INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- 3. CONTRACTOR SHALL NOTIFY DESKA SERVICES, LLC IF CONDITIONS ON SITE DIFFER FROM CONDITIONS SHOWN ON PLAN. DESKA SERVICES, LLC CAN THEN REVISE DRAWINGS AND DESIGN AS NECESSARY.
- 4. ALL SHORING FOR EXCAVATION ON SITE SHALL MEET OSHA STANDARDS.
- 5. STEEL SHALL BE GRADE A36 MIN.
- 6. MIN. CONCRETE COMPRESSIVE STRENGTH: 4,000 PSI
- 7. MIN. SOIL BEARING CAPACITY: 1,500 PSF



DESKA SERVICES, LLC
8809 COOPER ROAD
ALEXANDRIA, VA 22309
(703) 457-6540
WWW.DESKASERVICES.COM

1514 26TH STREET NW
WASHINGTON, DC 20007

OWNER: JOSEPH MULDOON

DWG NO.: S100

DATE: 02/02/2022

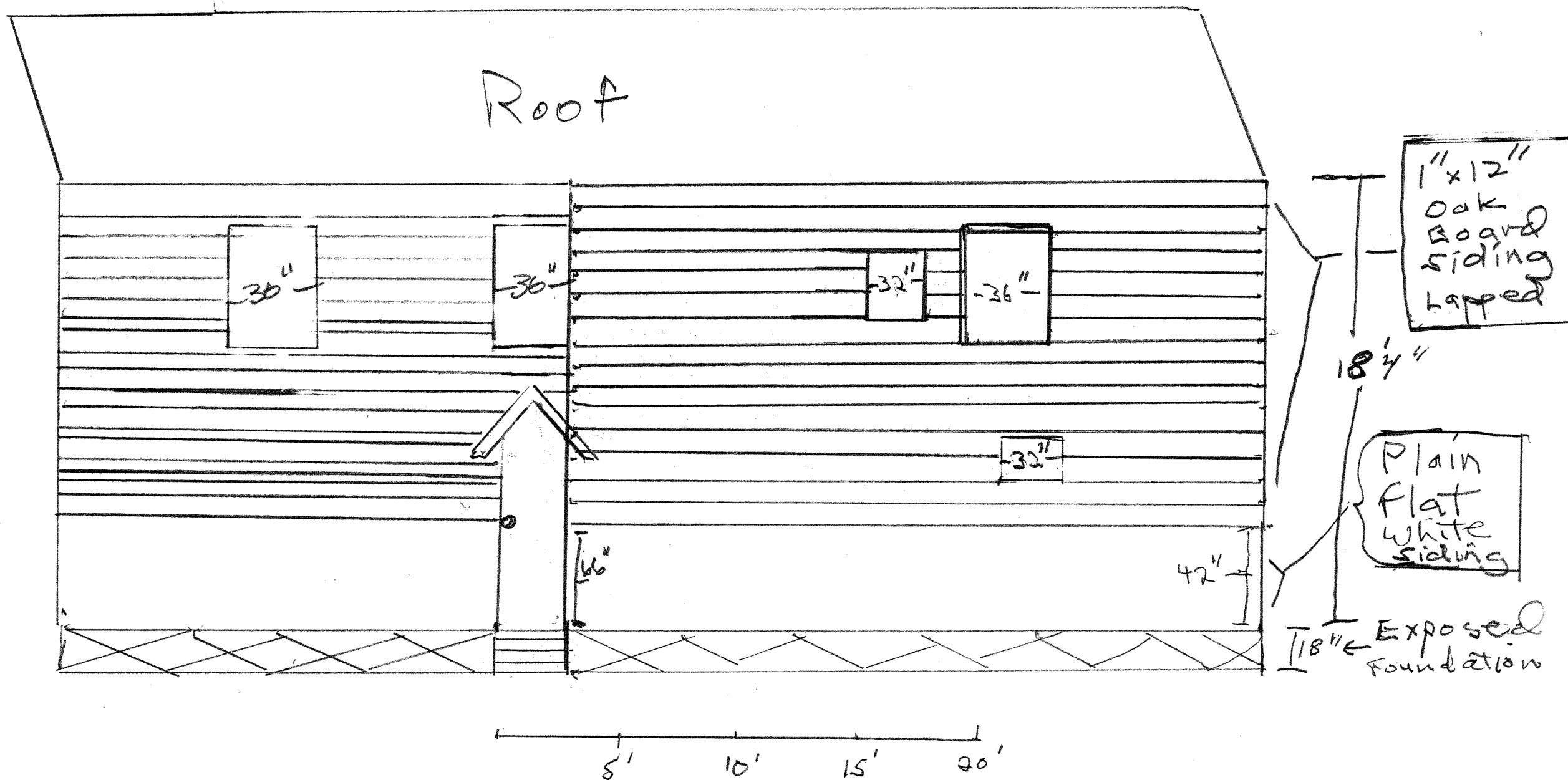
FOUNDATION PLAN
PROPOSED

← E

North Facade

1514 26th Street, NW

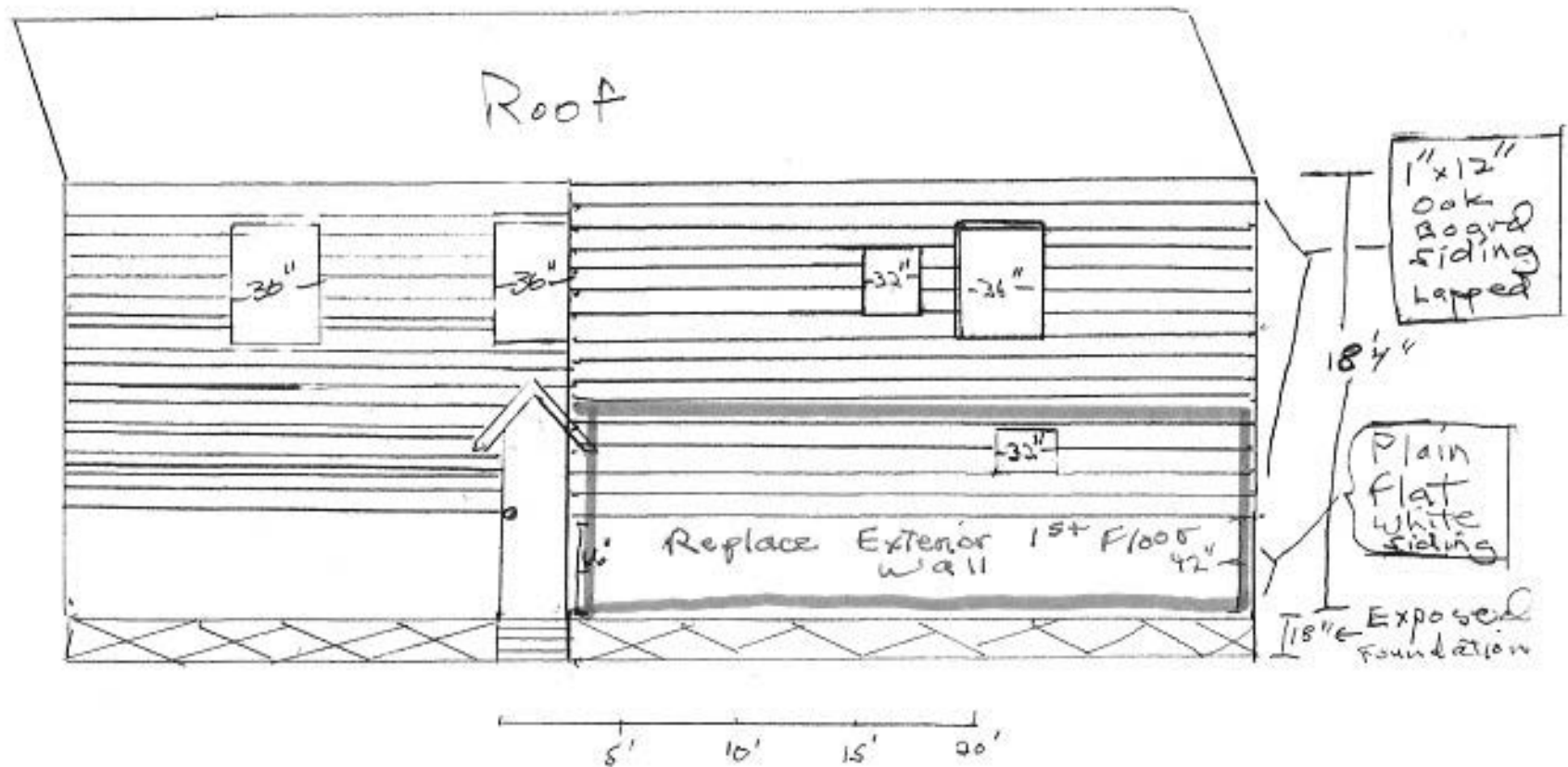
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← E

North Facade
1514 26th Street, NW

W →



PROPOSED
POST REPAIR
North Facade
1514 26th Street, NW

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