

## APPLICATION AND REFERRAL TO THE US COMMISSION OF FINE ARTS FOR OLD GEORGETOWN REVIEW

OG		
HPA		

In accordance with the Old Georgetown Act of 1950 (Public Law 808, 81<sup>st</sup> Congress) this application/transmittal is being transmitted to the US Commission of Fine Arts (CFA) for review and recommendation before a building permit can be issued. Work in Georgetown is also subject to a coordinated historic preservation review under the DC Historic Landmark and Historic District Protection Act of 1978. These reviews are initiated with the completion and submission of this form.

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	THIS	A REQUEST FOR THE FOLLOWING REVIEW BY THE COMMISSION OF FINE ARTS:
	X	ONCEPTUAL REVIEW to receive guidance at the early stages of design
		ERMIT REVIEW to receive a recommendation on building permit application Nonave submitted a permit application with the DC Department of Consumer and Regulatory Affairs
1.	OWN	R, APPLICANT, AND PROPERTY INFORMATION
	Proje	t Address: 3017 O STREET NW
	Squar	e: 1257 Lot: 0840 (To find your square and lot, see www.propertyquest.dc.gov)
	Prope	ty Owner's Name: 3017 O STREET LLC
	Owne	Address (if different from project address):
	Owne	Phone: Owner Email:
	Appli	ant's Name (if different from owner): NEAL THOMSON
	Agent	s Capacity: □ Tenant 🕱 Architect □ Contractor □ Contract Purchaser □ Expediter □ Other
	Agent	Address (if different from owner): 5155 MACARTHUR BLVD NW WASHINGTON DC 20016
	_	Phone: 202-686-6583 Agent Email: neal@thomsoncooke.com
	SUBMALL marks for the first state of the first stat	am currently the owner of the property am a homeowner currently receiving the DC homestead deduction for this property am an authorized representative of the property owner am or represent a potential purchaser of the property  SSION MATERIALS FOR THE COMMISSION OF FINE ARTS AND HISTORIC PRESERVATION REVIEW terials must be submitted electronically via email to historic.preservation@dc.gov.  Illowing digital materials are included with this application: caled drawings, including, as applicable, floor plans, elevations, details, and a site plan sufficient to lustrate the footprint, location, height, massing, design, and materials of the proposed work and its urrounding context; site plans should show the existing footprint of the property and adjacent uildings.  omprehensive exterior photographs of the property, showing area of proposed work, views from the treet and the public alley (if applicable) and context photos (e.g., adjacent buildings, immediate urroundings, and the areas of proposed work)
		e information on submission requirements, see <u>www.cfa.gov/project-review/old-georgetown</u> or contact CFA 202-504-2200
3.	PROJ	CT DESCRIPTION (CHECK ALL THAT APPLY)
	<b>X</b> Ad	lition $\overline{\mathbf{y}}$ Exterior Alteration or Repair $\square$ New Construction $\overline{\mathbf{y}}$ Subdivision $\square$ Other
	INTERI SIDE 1 CONV	describe the nature of the project:

		\/	11-		(ove
	Is the proposed work visible from a public street or alley?	YES 💢	No □	Unsure □	
	Will there be work on the front of the building or in the front yard?	_A □	×		
	Does the project include work in public space?		X		
	Does the project include removal of roof or floor framing or bearing walls?	X			
	Is this a Fair Housing Act request for "reasonable accommodation"?	<b>∧</b>	X		
	is this a rail floasing fact request for reasonable accommodation.		А		
4.	ADDITIONAL INFORMATION FOR LARGER PROJECTS				
	For renovation or new construction projects exceeding 20,000 square feet, atta indicating the general nature of the project, program of uses, estimated gross f residential units, scope of preservation work, and any other pertinent features of sustainability. Homeowners proposing work on their own house do not need	loor area by or benefits,	use, n includi	umber of ng aspect	ts
5.	EASEMENTS	YES	No	Unsure	
	Is there a conservation easement on the property?	×			
	If yes, have you discussed the project with the easement holder?	X			
6.	COMMUNITY CONSULTATION	YES	No	Unsure	
	Have you shared project information with abutting neighbors?		X		
	Have you contacted the affected Advisory Neighborhood Commission (ANC 2E)?		X		
	Have you contacted any neighborhood community organizations? For more information about project review by ANC 2E, see www.anc2E.com or call the	□ ANC at 202-33	<b>X</b> 8-7427		
7.	ZONING REGULATIONS AND CONSTRUCTION CODE	YES	No	Unsure	
	Will the project cause a change in building footprint or lot occupancy?	X			
	Are any zoning variances or special exceptions required for the project?		X		
	If yes, have you discussed the project with the Zoning Administrator?				
	If yes, have you discussed the project with the Office of Planning?				
	Is any building code relief required for the project?		X		
	Briefly describe the nature of any zoning variances or code relief being sought:				
8.	CERTIFICATION				
	I hereby certify that the information given in this application is true and accura the owner, I certify that I have the owner's permission to make this application		ing as a	an agent c	of
	VII 1				

When completed, submit this form with all plans, photographs, and other attachments to the Historic Preservation Office (HPO) via email to <a href="https://historic.preservation@dc.gov">historic.preservation@dc.gov</a>. Upon review of this submission, CFA or HPO staff may contact the owner or agent for consultation, and may request additional information if determined necessary to review the project.

Referral to CFA or the Historic Preservation Review Board, if required, may be deferred if information is not received within sufficient time to allow staff evaluation and preparation for review. All application materials are part of the public record and are made available to the public for inspection. For more information, see <a href="https://www.preservation.dc.gov">www.preservation.dc.gov</a>.



Historic Preservation Office DC Office of Planning (202) 442-8800 historic.preservation@dc.gov



## Kapani Residence

3017 O Street NW Washington, DC 20007



## PROJECT SCO

ZONING:

INTERIOR RENOVATION AT ALL LEVELS OF EXISTING 3 STORY SINGLE FAMILY DWELLING W/ BASEMENT. PROPOSED REAR & SIDE 1-STORY ADDITIONS. UNDERPIN EXISTING FOUNDATION. NEW LANDSCAPE ELEMENTS (UNDER SEPERATE SUBMISSION). EXISTING GARAGE TO REMAIN

CONVERSION OF EXISTING 800-LOT TO RECORD LOT THROUGH LOT

ADDRESS: 3017 O Street NW Washington, DC 20007
LOCATION: SQUARE 1257, LOT 0840

SETBACKS:

SIDE: NON REQ'D, REAR: 20', FRONT: NONE PER DC SURVEYORS OFFICE

LOT AREA:

11,772 SF

HISTORIC AREA: GEORGETOWN HISTORIC DISTRICT

ALLOWED: PROPOSED:

BUILDING HEIGHT: 35' NO CHANGE

40%

R-20

BUILDING AREA:

LOT COVERAGE:

PROPOSED AREA: NEW AREA: BASEMENT FLOOR AREA: 1,557 SF 1132 SF FIRST FLOOR AREA: 2,720 SF 2,825 SF 105 SF 0 SF SECOND FLOOR AREA: 1,972 SF O SF ATTIC FLOOR AREA: TOTAL FLOOR AREA: 8,221 SF 9,458 SF 1,237 SF

30.9%

EXISTING PERSPECTIVE

Surface Materials

	Stando	ırd Abbrev	<u>riations</u>							
	A/C	Air Condition(er, ing, ed)	D	Drain, Dryer	GWB	Gypsum Wall Board	NIC	Not in Contract	SIM	Similar
	AB	Anchor Bolt	DBL	Double	GYP	Gypsum	NO	Number	SK	Addendum Sheet
	ABV	Above	DEM	Demolition	HB	Hose Bibb	NOM	Nominal	SP	Stand Pipe
	AD	Area Drain	DET	Detail	HD	Head	NTS	Not to Scale	SPEC	Specification
	ADJ	Adjustable	DIA	Diameter	HDR	Header	0	Oven	SQ	Square
	AFF AGG	Above Finish Floor	DIAG DIFF	Diagonal Diffuser	HDWD HDWR	Hardwood Hardware	OC OD	On Center Outside Diameter	SS ST	Stainless Steel Street
	AHU	Aggregate Air Handling Unit	DIM	Dimension	HGR	Hanger	OFF	Office	STD	Standard
	ALUM	Aluminum	DISP	Dispenser	HORIZ	Horizontal	OPNG	Opening	STL	Steel
	ANOD	Anodized	DISPOS	Disposal	HR	Hour	OPP	Opposite	STND	Stained
	AP	Access Panel	DIV	Division	HT	Height	P	Pantry	STOR	Storage
	ARCH	Architect(ural)	DL	Dead Load	HVAC	Heating, Ventilating & A/C	PART	Partition	STRUCT	Structur(al)
	AUTO	Automatic	DN	Down	HVC	Hose Valve Cabinet	PC	Portland Cement	SUSP	Suspension or Suspended
	AVG	Average	DR	Door	HWH	Hot Water Heater	PDR	Powder Room	SYS	System
	BA	Bath	DS	Down Spout	<u>ID</u>	Inside Diameter	PL	Plate	TBD	To Be Determined
	BD	Board	DM	Dishwasher	INST	Installation	PLAM	Plastic Laminate	TD	Terrace Drain
	BEV	Bevel (Ed)	E	East	INSUL	Insulation/Insulating	PLAS	Plaster	TECH	Technical
	BIT BLDG	Bituminous Building	EA EF	Each Exhaust Fan	INT	Interior Length	PLAST PLYWD	Plastic Plywood	TEL TEMP	Telephone Temperature
	BLK	Block	EJ	Expansion Joint	LAM	Laminated	PNL	Panel	TO	Top Of
	BLKG	Blocking	EL	Elevation	LAW	Lavatory	POL	Polished	TP	Toilet Paper
	BM	Beam	ELEC	Electric(al)	LB	Pound	PR	Pair	 T	Tread
	BMT	Basement	ELEV	Elevator	LIB	Library	PROP	Property	T&B	Top And Bottom
	BOT	Bottom	EMER	Emergency	LIN	Linear	PSF	Pounds Per Square Foot	T&G	Tongue and Groove
	BR	Bedroom	ENCL	Enclosure	LIN	Linen Closet	PSI	Pounds Per Square Inch	THK	Thick
	BRG	Bearing	ENG	Engineering	LL	Live Load	PT	Point	THR	Threshold
	BRK	Brick	EP	Elec Panel	LLH	Long Leg Horizontal	PT	Pressure Treated	TOS	Top of Slab
	BRL BTW	Building Restriction Line	EQ EQUIP	Equal	LLV LP	Long Leg Vertical Low Point	PTD PVC	Painted Polyvinyle Chloride	TOST TOW	Top Of Steel Top of Wall
	C/C	Between Center To Center	EW	Equipment Each Way	LP LR	Living Room	PVC	Polyvinyle Chloride Pavement	TS	Tubular Steel
	CAB	Cabinet	EX	Exposed	LV	Low Voltage	PTW	Pressure Treated Wood	TYP	Typical
	CEM	Cement	EXIST	Existing	LVL	Laminated Veneer Lumber	PUE	Public Utility Easement	UNO	Unless Noted Otherwise
	CI	Cast Iron	EXP	Expansion	LW	Light Weight	QTY	Quantity	UON	Unless Otherwise Noted
	CL	Center Line	EXT	Exterior	MC	Medicine Cabinet	R	Radius, Riser	UTIL	Utility
	CL	Closet	FIN	Finish	MACH	Machine	R/S	Rod And Shelf	VAN	Vanity
	CLG	Ceiling	FT	Feet or Foot	MAINT	Maintenance	RAB	Rabbet (Ed)	VB	Vapor Barrier
	CLR	Clear (ance)	FA	Fire Alarm	MAS	Masonry	RB	Rubber	VCT	Vinyl Composition Tile
	CO COL	Clean Out	FD FDTN	Floor Drain	MATL MAX	Material Maximum	RCP RD	Reflected Ceiling Plan Roof Drain	VERT VEST	Vertical
	CPT	Column Carpet	FG	Foundation Fiberglass	MECH	Mechanical	REBAR	Reinforcing Bar	VEST	Vestibule Verify in Field
	CT	Ceramic Tile	FIXT	Fixture	MEMB	Membrane	RECP	Receptacle	W	West
	CTR	Center	FL	Floor	MET	Metal, Metalic	REF	Reference, Refrigerator	W/	With
	CTV	Cable TV	FOM	Face of Masonry	MFG	Manufacturer	REFL	Reflected	W/O	Without
	CJ	Construction Joint	FOS	Face of Stud	MIN	Minimum	REG	Register	WD	Wood
	CJT	Control Joint	FP	Fire Place	MISC	Miscellaneous	REQR	Required	WDW	Window
	CLL	Contract Limit Line	FR	Fire Rated	ML	Microllam	REV	Revised, Reverse	WIC	Walk-in Closet
	CMU	Concrete Masonry Unit	FR	Frame	MO	Masonry Opening	RFG	Roofing	WP	Waterproofing
	CONC	Concrete	FTG	Footing	MO	Masonry Opening	RM	Room	WT	Weight
	CONST CONT	Construction Continuous	FUR GA	Furred or Furring Gage or Gauge	MSL MTD	Mean Sea Level Mounted	RO ROW	Rough Opening Right Of Way	WWF	Welded Wire Fabric
	CONTR	Contractor	GAL	Gallon	MTG	Mounting	now S	South		
	CRS	Courses	GALV	Galvanized	WITG N	North	SCHED	Schedule		
	CTOP	Countertop	GC	Gen Contractor	N/A	Not Applicable	SECT	Section		
	CTSK	Countersink	GL	Glass	NEC	Necessary	SHT	Sheet		
	CU FT	Cubic Feet	GR	Grade	NHC	No Head Casing	SHWR	Shower		
∟						<del>-</del>				

VICINITY MAP

Brick - Running	Ceramic Tile - Size Varies	Brick	Earth
Block - Running	Stone Tile - Size Varies	Poured Concrete	Steel
Parged oncrete	Flagstone Irregular	CMU	Finish Wood
hingles/ Shakes	Flagstone Random Rectangular	Rubble Stone	Plywood
tal Roof	Wood Floor/ Siding	Fire Brick	Dimensional Lumber
ate Roof	Stone Veneer	Finish Stone/ Slate	Wood Blocking
Marble/Granite			

Section Materials

	Drawing Sym	bols	Proj
	1	DRAWING 1	ARCHI Thoms
<i>Y//</i>	A2-3/ Building Section	SHEET A2-3	5155 N Washir
	DRAWING A2-1 SHEET	DRAWING  A3-1  SHEET	202-68
///////////////////////////////////////	Building Elevation	Wall Section/Detail	
	DRAWING OF FACING WALL 2 SHEET	RUN 8 RISE	
	Interior Elevation	Roof Slope	
	TOP OF PLATE 0'-2 1/2"	8'-0"	
	Level Elevation: Section/Elevation	Level Elevation: Plan	
	2 Revision		
	A Window		
	2 Door		
	2 Structure Member		
	2 Footing		

	Project Team
WING	ARCHITECT Thomson+Cooke Architects pllc 5155 MacArthur Blvd NW Washington, DC 20016 202-686-6583

11	COVE
T2	Win/Door Schedules & Details
T3	Existing Site Plan
T4	Proposed Site Plan
T5	Existing Pictures
T6	Historical Documents
T7	Proposed Renderings
A1-0	Basement Plans
A1-1	First Floor Plans
A1-2	Second Floor Plans
1	

Drawing List

T1 Cover

- A1-3 3rd Floor Plans
  A1-4 Roof Plans
  A2-1 Front Elevations
  A2-2 Existing Right Elevation
  A2-3 Proposed Right Elevation
- A2-2 Existing Right Elevation
  A2-3 Proposed Right Elevation
  A2-4 Rear Elevation
  A2-5 Existing Left Elevation
  A2-6 Proposed Left Elevation
- A2-5 Existing Left Elevation
  A2-6 Proposed Left Elevation
  A2-7 Existing Building Section
  A2-8 Proposed Building Section

T1

Kapani Residence O Street NW Washington DC 2

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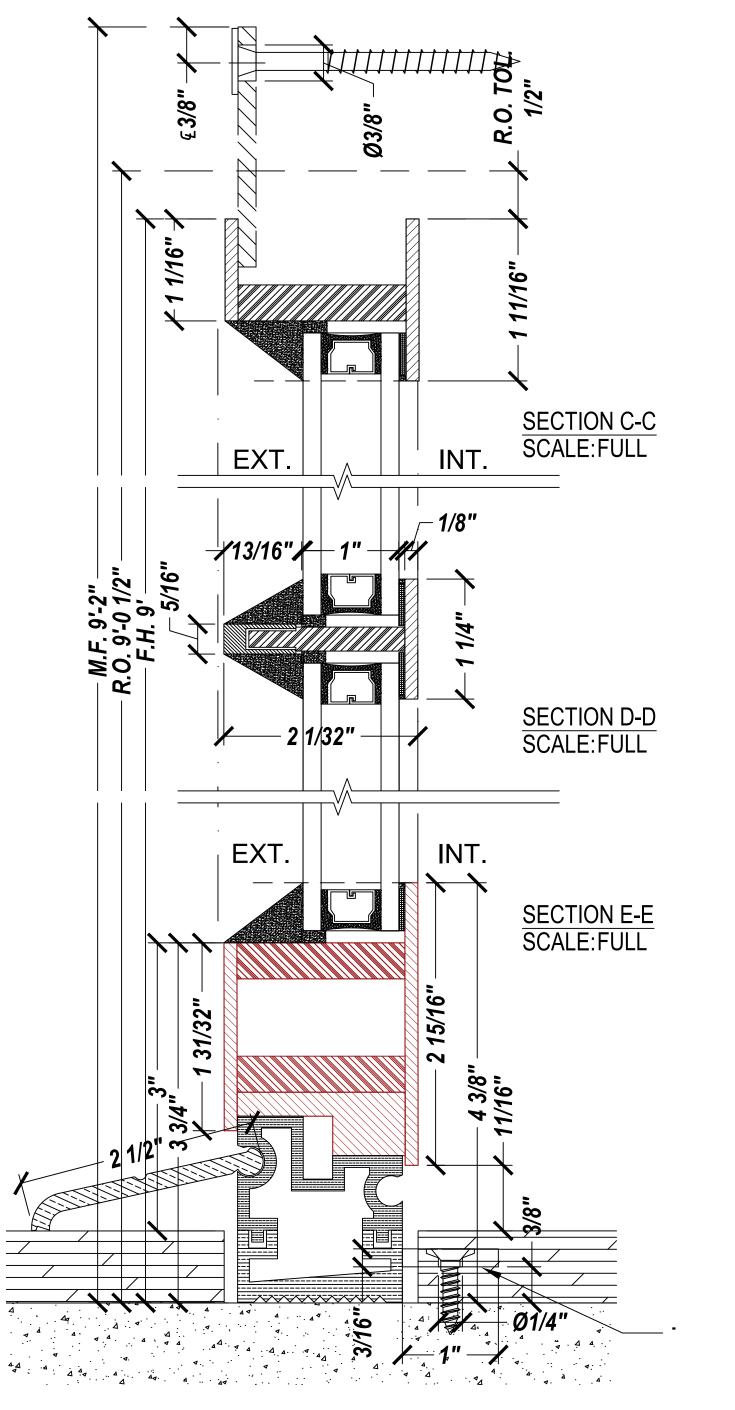
Cover

OGB CONCEPT V2

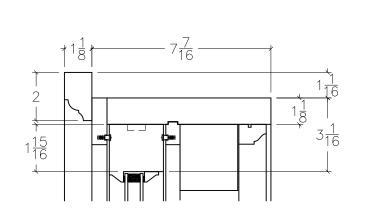
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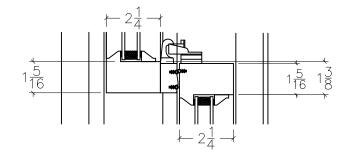
Exteri	ior Doc	or Schedule					
ID	Qty	Туре	Manufacturer	Model/Size	Lites	Location	Note
D100	1	Steel Pivot Door	Portella	·2-9 1/2x8-5	See Elevation	Den Bay	
D101	1	Steel Pivot Door	Portella	2-9 1/2x8-5	See Elevation	Den Bay	
D102	1	Steel Pivot Door	Portella	2-9 1/2x8-5	See Elevation	Den Bay	
D103	1	Steel Pivot Door	Portella	-2-9 1/2x8-5	See Elevation	Den Bay	
D105	1	Glazed/Paneled	Tradewood	3-0x8-0	3W4H	Rear Entry	

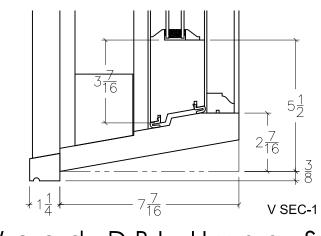
Wind	ow Scl	hedule						
ID	Qty	Units	Model/Size	Туре	Manuf.	Lites	Location	Note
W001	1	2	2-8x5-0 2W	Casement	Tradewood	3W4H	Bedroom 5	Egress
W100	1	1	4-6x8-5	Steel FIXED	Portella	See Elevation	Den Bay	
W101	1	1	4-6x8-5	Steel FIXED	Portella	See Elevation	Den Bay	
W102	1	1	8-0x8-0	Casement	Tradewood	6W4H	Den	
W103	1	1	2-4x4-6	Casement	Tradewood	2W3H	Rear Entry	
W104	1	1	2-4x4-6	Casement	Tradewood	2W3H	Kitchen	
W105	1	1	2-10x5-2	Double Hung	Tradewood	3W2H/2W2H	Stair Hall	
W106	1	1	2-10x5-2	Double Hung	Tradewood	3W2H/2W2H	Stair Hall	
W107	1	1	2-10x5-2	Double Hung	Tradewood	3W2H/2W2H	Stair Hall	
W108	1	1	2-10x5-2	Double Hung	Tradewood	3W2H/2W2H	Vest	
W200	1	1	3-3x6-7	Double Hung	Tradewood	3W2H/2W2H	Master Bedroom	
W300	1	1	2-7x4-5	Double Hung	Tradewood	3W2H/2W2H	Sitting Room	



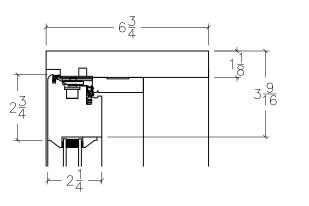
Typ. Steel Window/Door Section

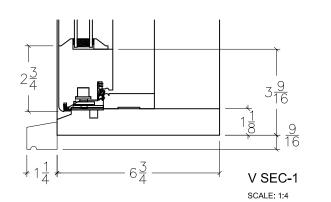






Typ. Wood DBL Hung Section



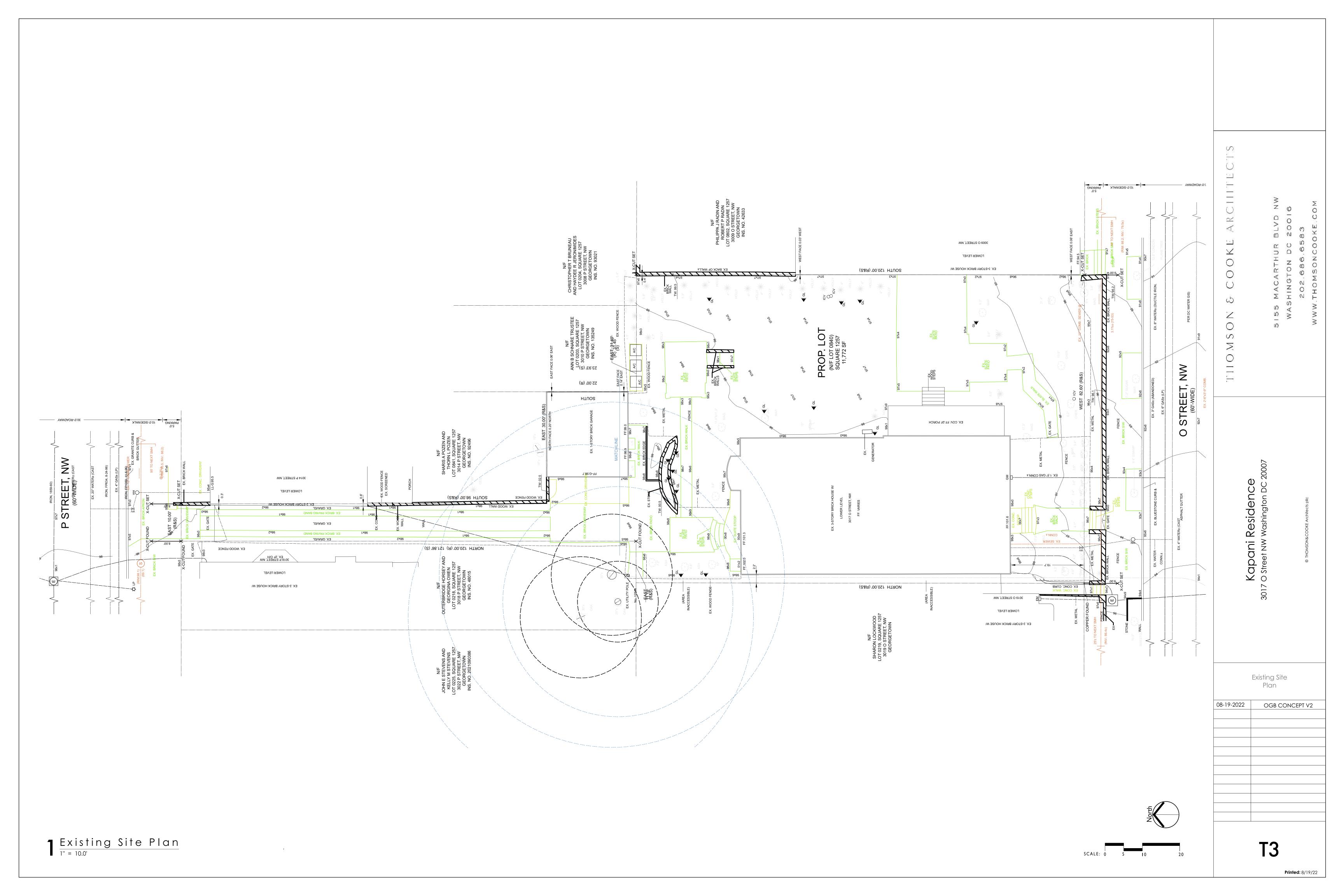


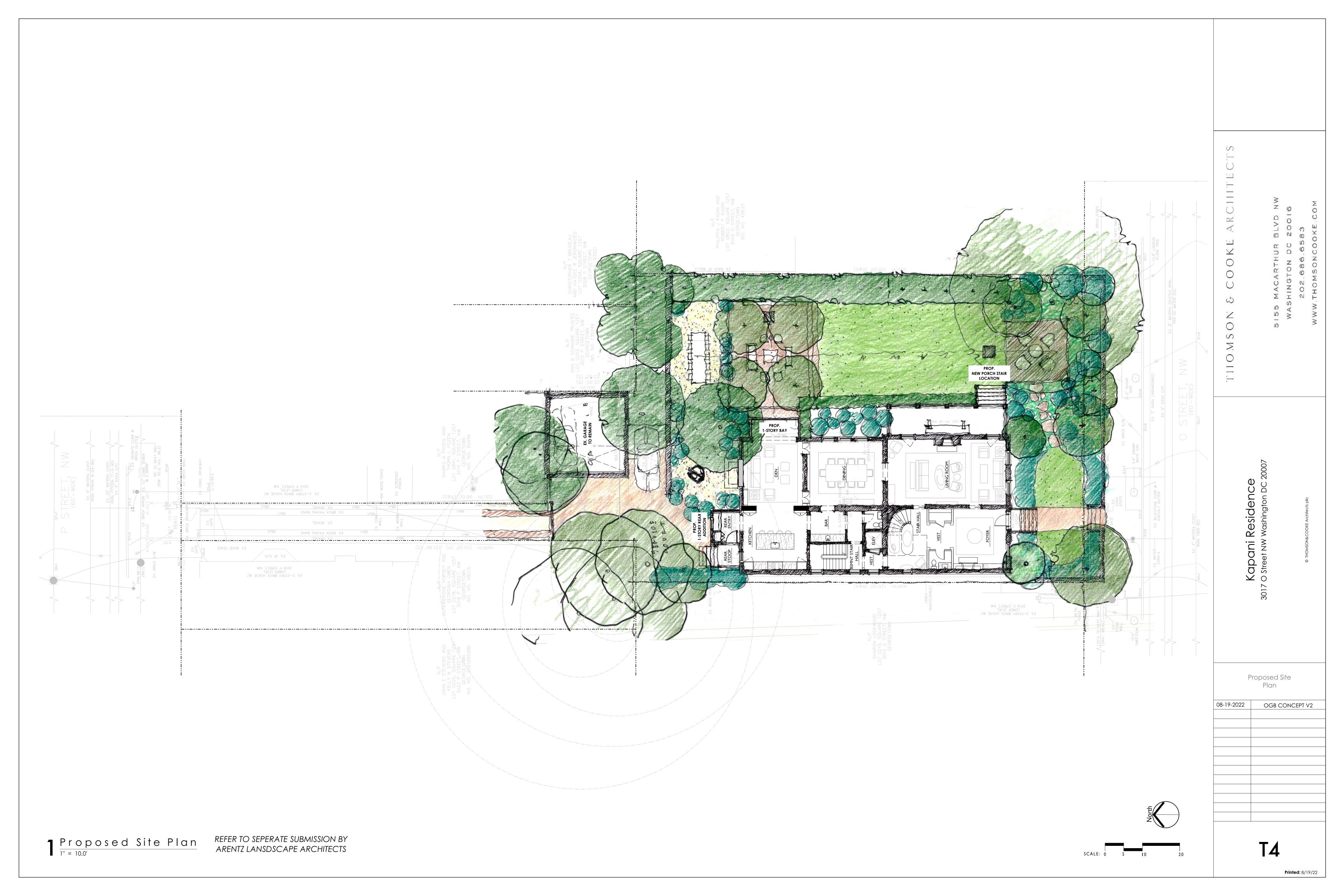
Typ. Wood Casement Section

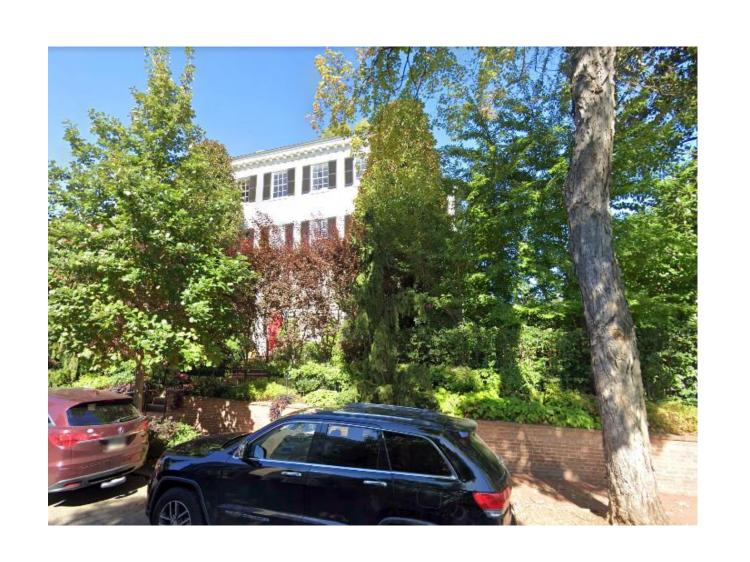
THOMSON &		WASH	2	T.WWW
	3017 O Street NW Washington DC 20007		© THOMSON&COOKE Architects pllc	
	Win/Do Schedule Detail	es &		
08-19-2022	OGB	CONC	CEPT V	/2

**T2** 

ARCHITECTS







VIEW FROM O STREET



VIEW FROM P STREET



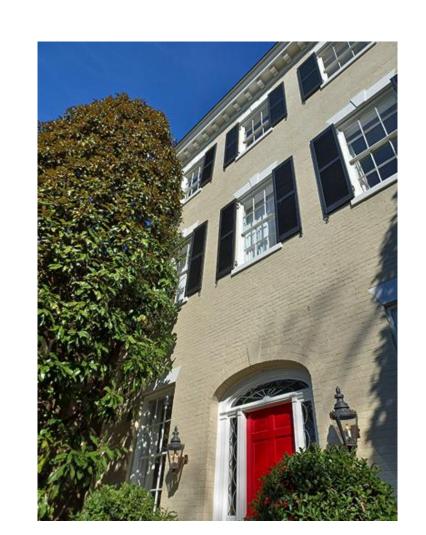
EXISTING WEST ELEVATION



EXISTING DBL HUNG WINDOWS ON WEST ELEVATION



EXISTING DETACHED GARAGE



**EXISTING FRONT ELEVATION** 



**EXISTING REAR ELEVATION** 



EXISTING 2ND FLOOR PORCH

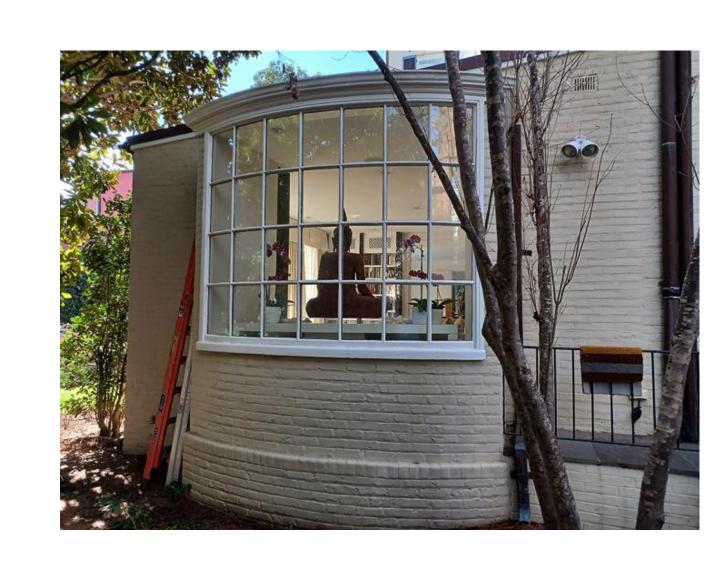
EXISTING SIDE YARD AND EAST ELEVATION



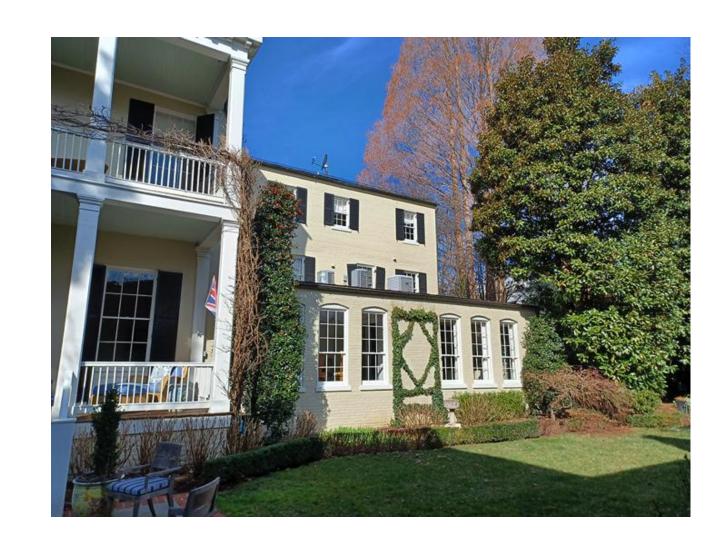
EXISTING PORCH STAIR



**EXISTING PORCH** 



**EXISTING REAR BAY** 



**EXISTING REAR STOOP** 



EXISTING REAR BAY



Existing Pictures

08-19-2022

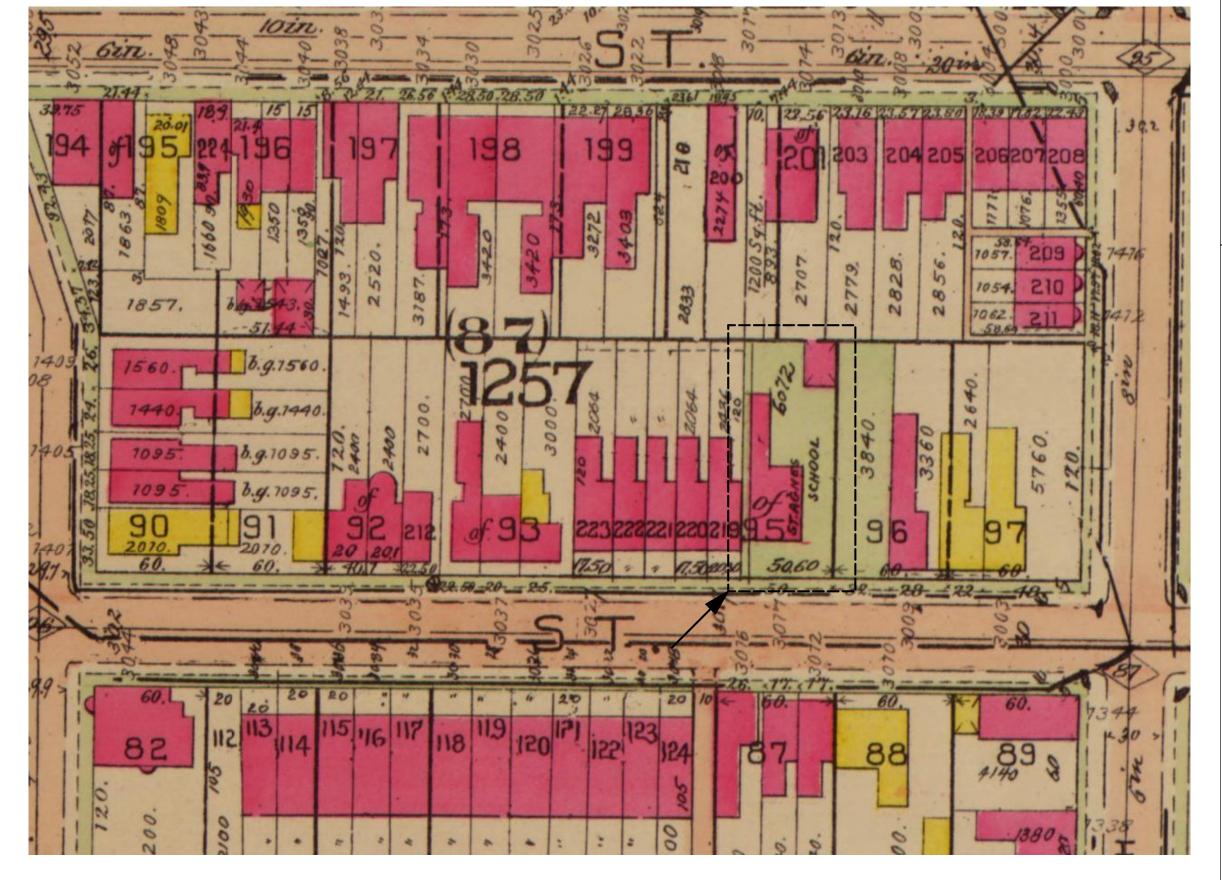
Kapani Residence 3017 O Street NW Washington DC 2

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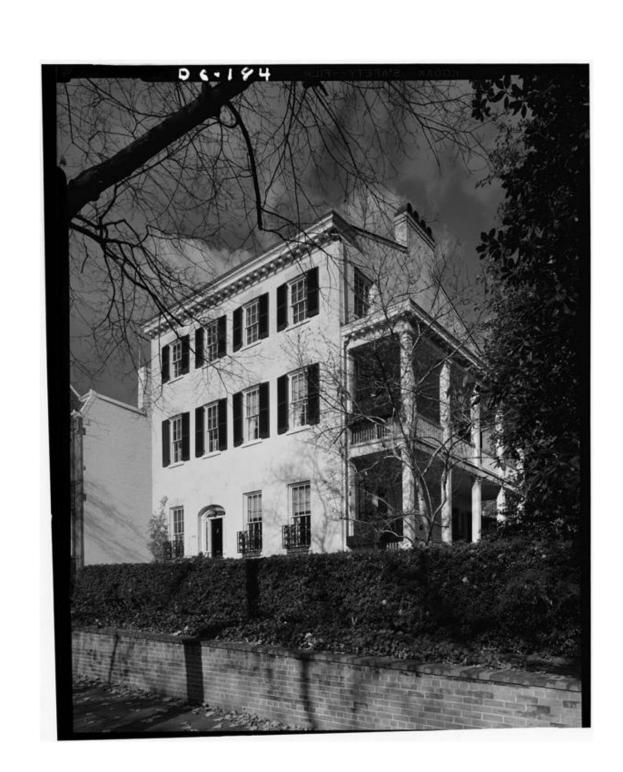
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EXISTING SIDE YARD AND EAST ELEVATION

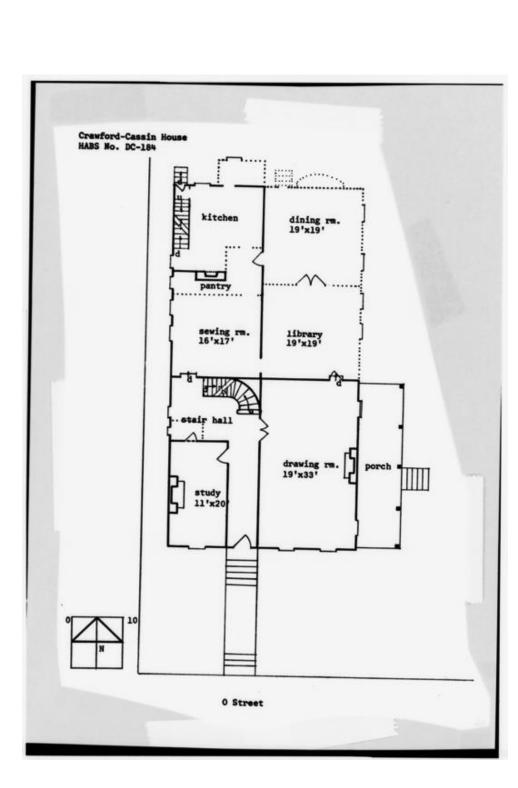
1937 Baist Map

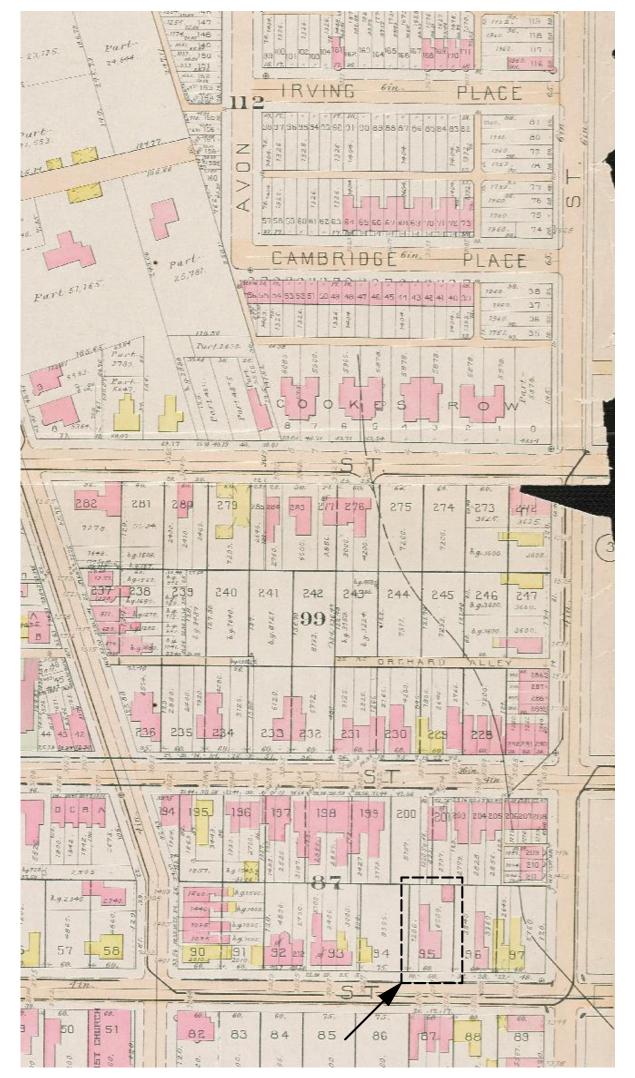


1909 Baist Map



Historic American Buildings Survey J. Alexander, Photographer February 1969 General View from Southeast Crawford-Cassin House Photo & Plan from Survey HABS DC-184





Real estate plat-book of Washington District of Columbia, volume 3, 1894 Plate 4



Sanborn Fire Insurance Map from Washington, District of Columbia, Sanborn Map Company 1903 - 1916 Vol. 1, 1903

**T6** 

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Kapani Residence 3017 O Street NW Washington DC 2

Historical Documents

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Proposed View Of Side Yard W/ New Bay



View Of Proposed Addition From Driveway

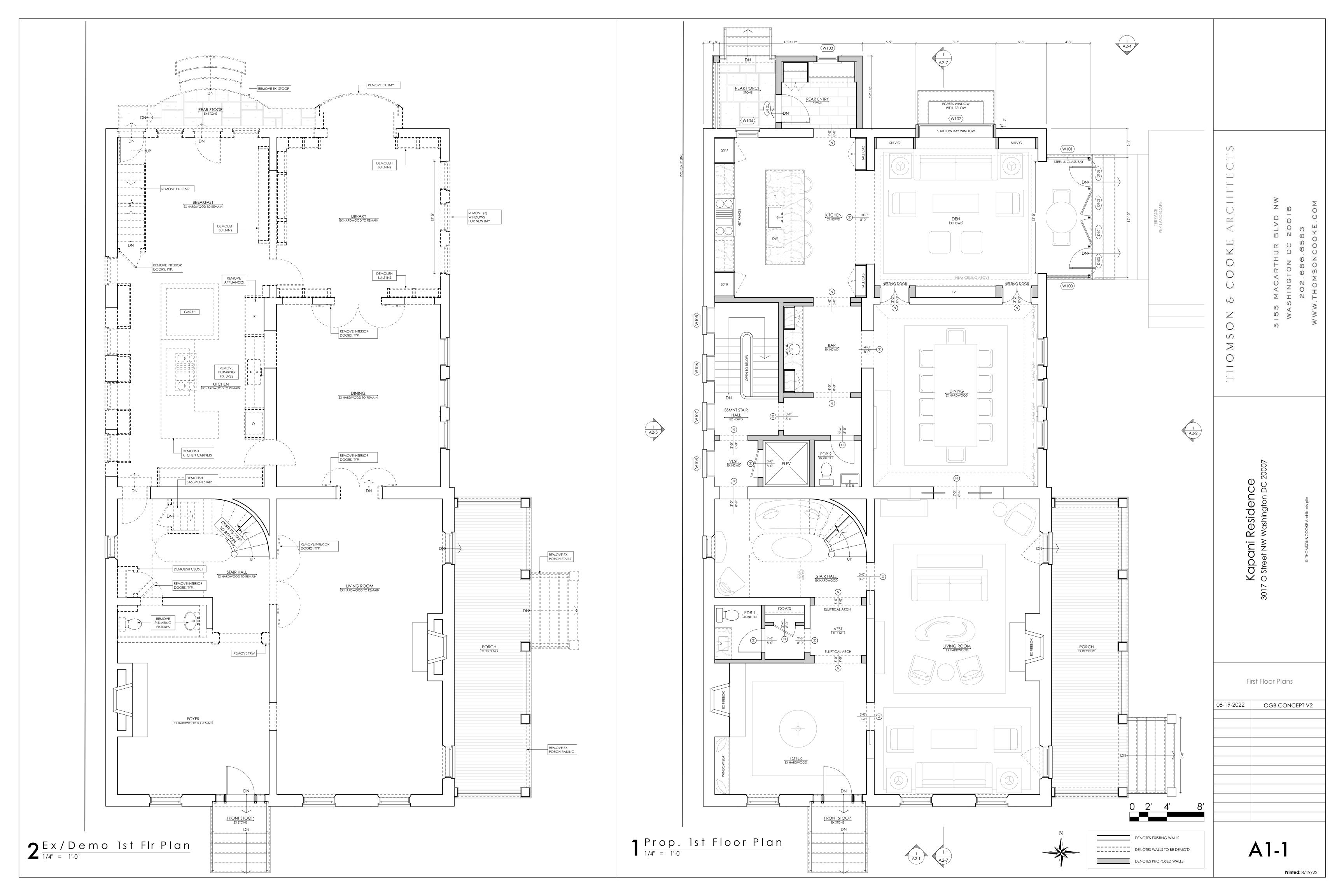
(I)	THOMSON & COOKE ARCHITECTS	
20007		
	5155 MACARTHUR BLVD NW	
	WASHINGTON DC 20016	
	202,686,6583	

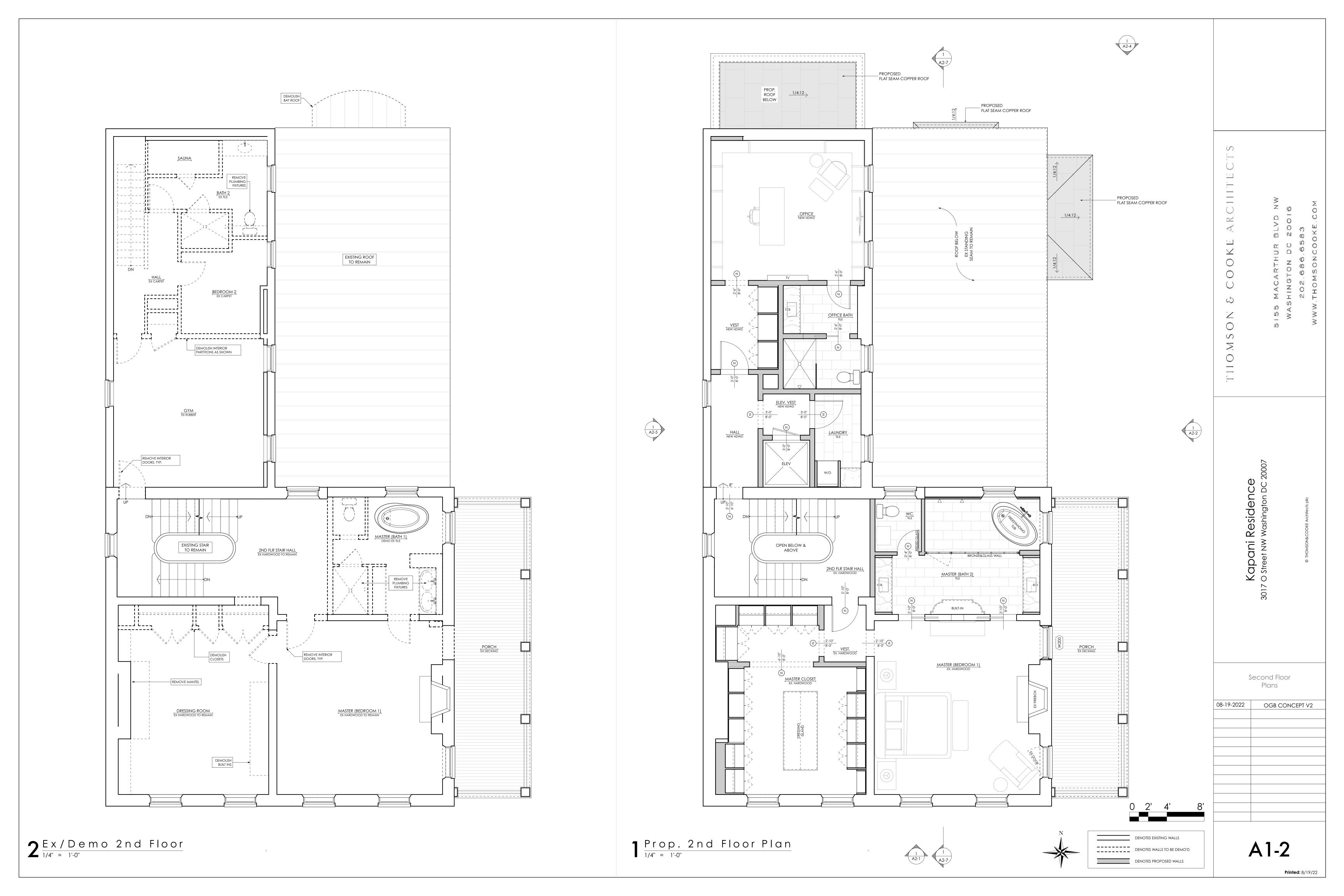
Proposed Renderings

OGB CONCEPT V2

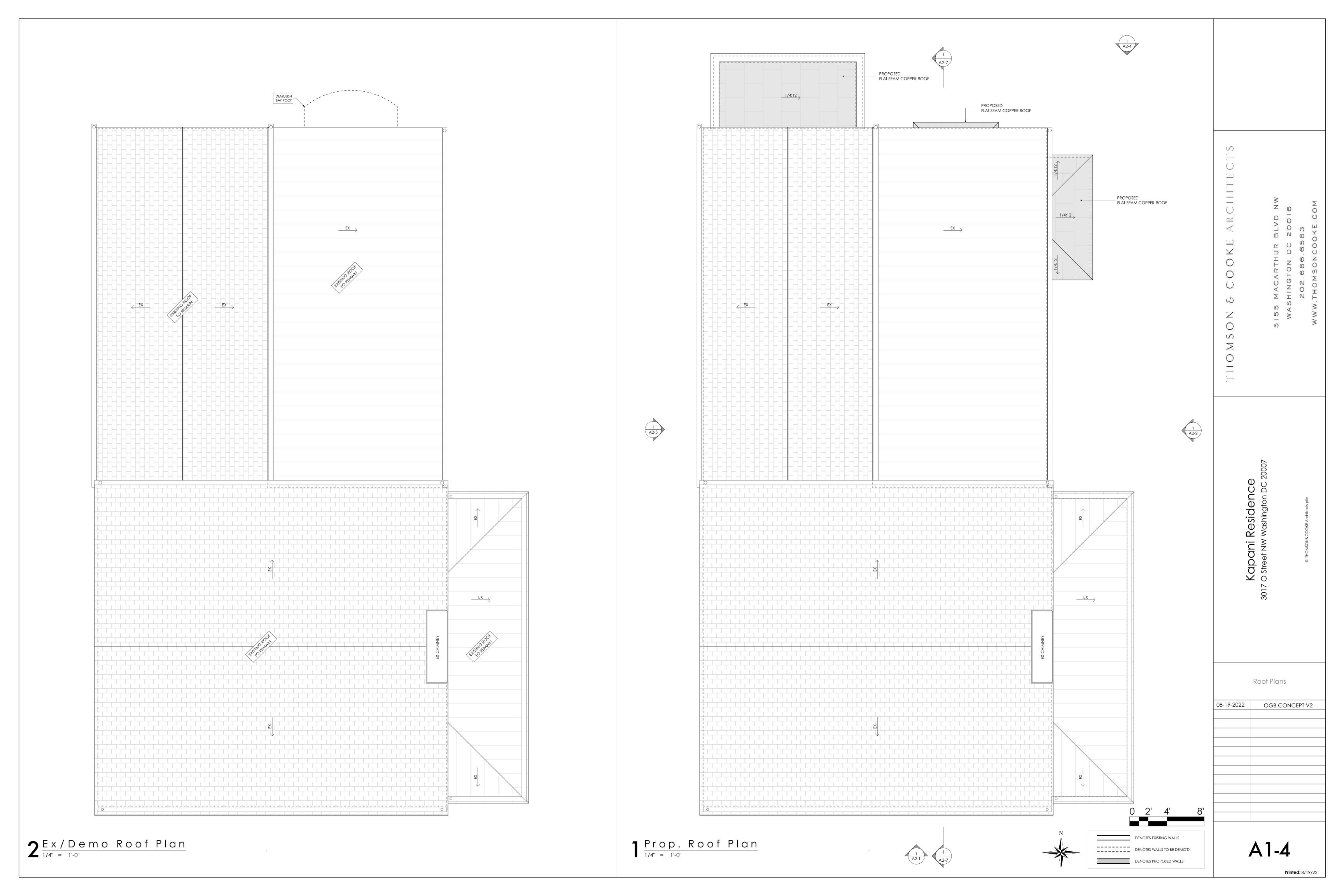
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TIIOMSON & COOKE ARCIIITECTS

SISS MACARTHUR BLVD NW

WASHINGTON DC 20016

202.686.6583

WWW.THOMSONCOOKE.COM

Kapani Residence 3017 O Street NW Washington DC 20007

Existing Right Elevation

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A2-2



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5155 MACARTHUR BLVD NW
WASHINGTON DC 20016
202.686.6583
WWW.THOMSONCOOKE.COM

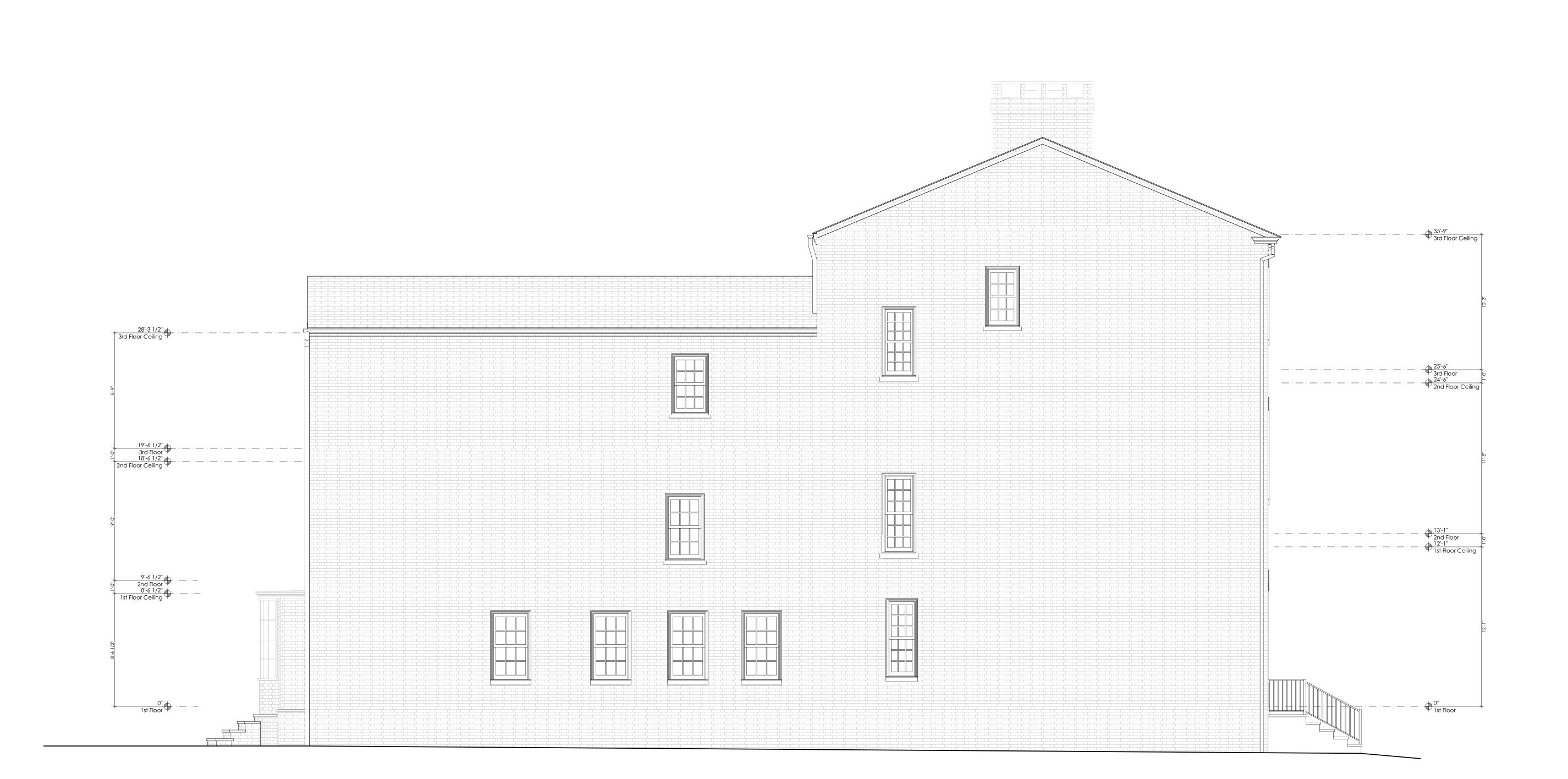
Kapani Residence 3017 O Street NW Washington DC 20007

Proposed Right Elevation

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A2-3





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> Existing Left Elevation

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A2-5

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Proposed Left Elevation

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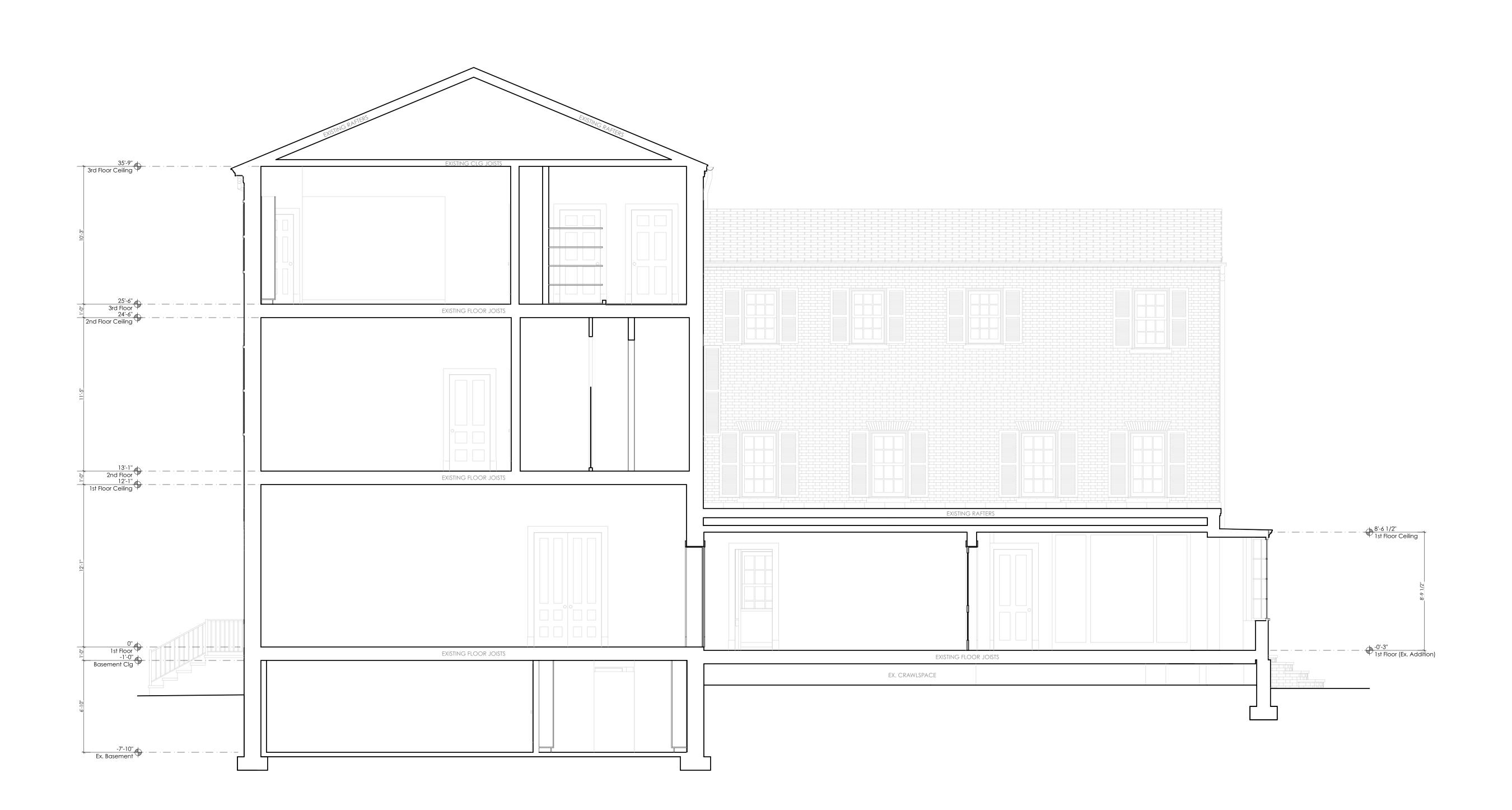
0 2' 4' 8'

Prop. Left Elevation

1/4" = 1'-0"

A2-6

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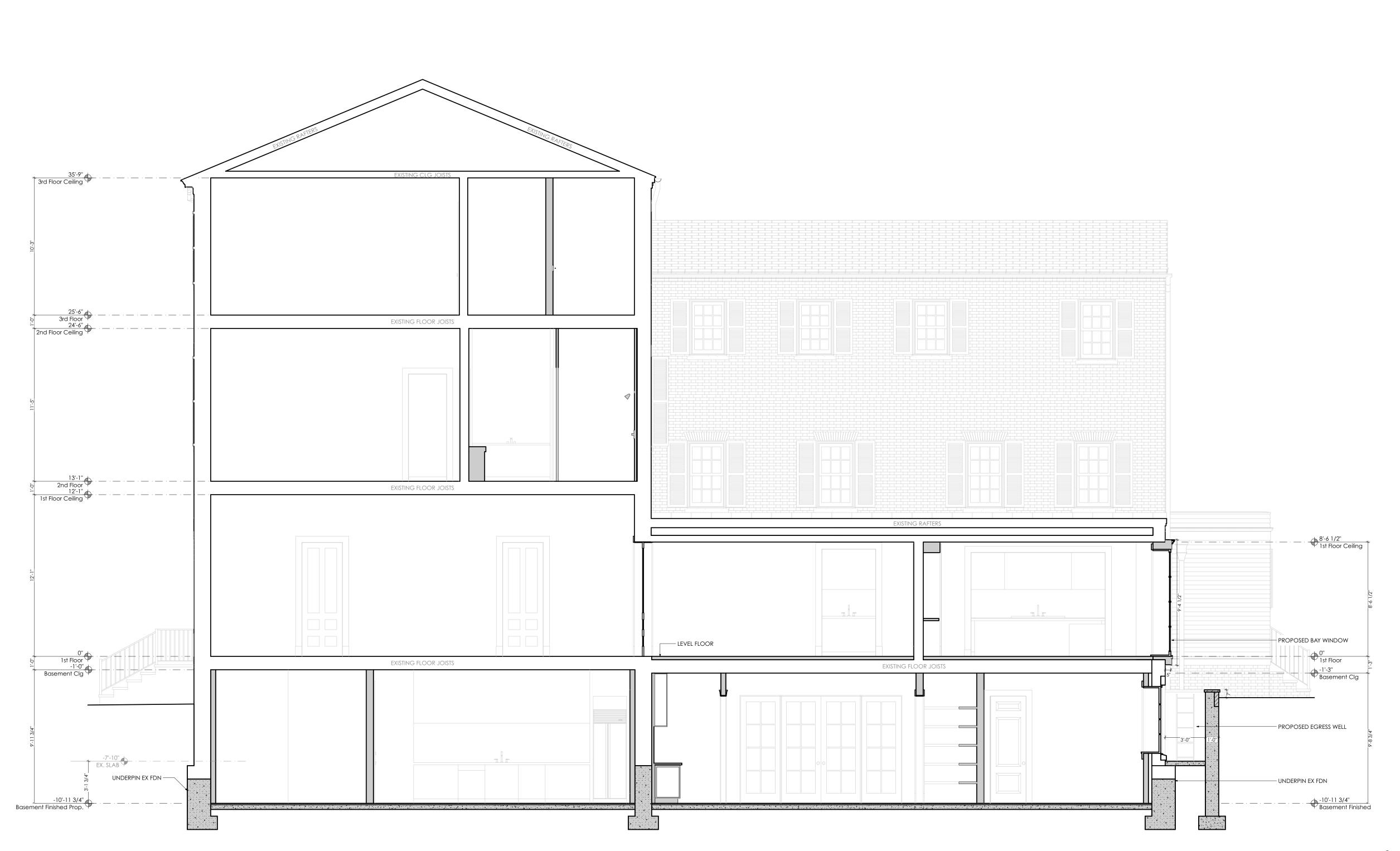
Existing Building Section

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A2-7

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 $1 \frac{\text{Existing Building Section}}{\frac{1}{4"} = \frac{1}{9}}$ 



ARCHITECTS 5155 MACARTHUR BLVD NW WASHINGTON DC 20016 202.686.6583 WWW.THOMSONCOOKE.COM  $\sim$ THOMS Kapani Residence 3017 O Street NW Washington DC 2 Proposed Building Section 08-19-2022 OGB CONCEPT V2

A2-8

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 $1 \frac{\text{Building Section 1}}{\frac{1}{4"} = \frac{1}{0}}$