



Government of the  
District of Columbia

# APPLICATION AND REFERRAL TO THE US COMMISSION OF FINE ARTS FOR OLD GEORGETOWN REVIEW

OG

HPA

In accordance with the Old Georgetown Act of 1950 (Public Law 808, 81<sup>st</sup> Congress) this application/transmittal is being transmitted to the US Commission of Fine Arts (CFA) for review and recommendation before a building permit can be issued. Work in Georgetown is also subject to a coordinated historic preservation review under the DC Historic Landmark and Historic District Protection Act of 1978. These reviews are initiated with the completion and submission of this form.

**THIS IS A REQUEST FOR THE FOLLOWING REVIEW BY THE COMMISSION OF FINE ARTS:**

- ☒ **CONCEPTUAL REVIEW** to receive guidance at the early stages of design
- ☐ **PERMIT REVIEW** to receive a recommendation on building permit application No. \_\_\_\_\_  
*I have submitted a permit application with the DC Department of Consumer and Regulatory Affairs*

## 1. OWNER, APPLICANT, AND PROPERTY INFORMATION

Project Address: **3017 O STREET NW**

Square: **1257** Lot: **0840** (To find your square and lot, see [www.propertyquest.dc.gov](http://www.propertyquest.dc.gov))

Property Owner's Name: **3017 O STREET LLC**

Owner Address (if different from project address): \_\_\_\_\_

Owner Phone: \_\_\_\_\_ Owner Email: \_\_\_\_\_

Applicant's Name (if different from owner): **NEAL THOMSON**

Agent's Capacity: ☐ Tenant ☒ Architect ☐ Contractor ☐ Contract Purchaser ☐ Expediter ☐ Other

Agent Address (if different from owner): **5155 MACARTHUR BLVD NW WASHINGTON DC 20016**

Agent Phone: **202-686-6583** Agent Email: **neal@thomsoncooke.com**

- ☐ I am currently the owner of the property
- ☐ I am a homeowner currently receiving the DC homestead deduction for this property
- ☒ I am an authorized representative of the property owner
- ☐ I am or represent a potential purchaser of the property

## 2. SUBMISSION MATERIALS FOR THE COMMISSION OF FINE ARTS AND HISTORIC PRESERVATION REVIEW

All materials must be submitted electronically via email to [historic.preservation@dc.gov](mailto:historic.preservation@dc.gov).

The following digital materials are included with this application:

- ☒ Scaled drawings, including, as applicable, floor plans, elevations, details, and a site plan sufficient to illustrate the footprint, location, height, massing, design, and materials of the proposed work and its surrounding context; site plans should show the existing footprint of the property and adjacent buildings.
- ☒ Comprehensive exterior photographs of the property, showing area of proposed work, views from the street and the public alley (if applicable) and context photos (e.g., adjacent buildings, immediate surroundings, and the areas of proposed work)

For more information on submission requirements, see [www.cfa.gov/project-review/old-georgetown](http://www.cfa.gov/project-review/old-georgetown) or contact CFA staff at 202-504-2200

## 3. PROJECT DESCRIPTION (CHECK ALL THAT APPLY)

☒ Addition ☒ Exterior Alteration or Repair ☐ New Construction ☒ Subdivision ☐ Other

Briefly describe the nature of the project: \_\_\_\_\_  
INTERIOR RENOVATION AT ALL LEVELS OF EXISTING 3 STORY SINGLE FAMILY DWELLING W/ BASEMENT. PROPOSED REAR & SIDE 1-STORY ADDITIONS. UNDERPIN EXISTING FOUNDATION. NEW LANDSCAPE ELEMENTS. EXISTING GARAGE TO REMAIN. CONVERSION OF EXISTING 800-LOT TO RECORD LOT THROUGH LOT CONSOLIDATION/RECORDATION PROCESS AS PART OF PROJECT SCOPE.

(over)

	YES	NO	UNSURE
Is the proposed work visible from a public street or alley?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Will there be work on the front of the building or in the front yard?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Does the project include work in public space?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Does the project include removal of roof or floor framing or bearing walls?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is this a Fair Housing Act request for "reasonable accommodation"?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

#### 4. ADDITIONAL INFORMATION FOR LARGER PROJECTS

For renovation or new construction projects exceeding 20,000 square feet, attach a full narrative description indicating the general nature of the project, program of uses, estimated gross floor area by use, number of residential units, scope of preservation work, and any other pertinent features or benefits, including aspects of sustainability. *Homeowners proposing work on their own house do not need to provide this information.*

#### 5. EASEMENTS

	YES	NO	UNSURE
Is there a conservation easement on the property?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, have you discussed the project with the easement holder?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

#### 6. COMMUNITY CONSULTATION

	YES	NO	UNSURE
Have you shared project information with abutting neighbors?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Have you contacted the affected Advisory Neighborhood Commission (ANC 2E)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Have you contacted any neighborhood community organizations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

*For more information about project review by ANC 2E, see [www.anc2E.com](http://www.anc2E.com) or call the ANC at 202-338-7427*

#### 7. ZONING REGULATIONS AND CONSTRUCTION CODE

	YES	NO	UNSURE
Will the project cause a change in building footprint or lot occupancy?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are any zoning variances or special exceptions required for the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, have you discussed the project with the Zoning Administrator?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, have you discussed the project with the Office of Planning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is any building code relief required for the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Briefly describe the nature of any zoning variances or code relief being sought: \_\_\_\_\_

\_\_\_\_\_

#### 8. CERTIFICATION

I hereby certify that the information given in this application is true and accurate. If applying as an agent of the owner, I certify that I have the owner's permission to make this application.

Signature:  Date: 08-10-2022

When completed, submit this form with all plans, photographs, and other attachments to the Historic Preservation Office (HPO) via email to [historic.preservation@dc.gov](mailto:historic.preservation@dc.gov). Upon review of this submission, CFA or HPO staff may contact the owner or agent for consultation, and may request additional information if determined necessary to review the project.

Referral to CFA or the Historic Preservation Review Board, if required, may be deferred if information is not received within sufficient time to allow staff evaluation and preparation for review. All application materials are part of the public record and are made available to the public for inspection. For more information, see [www.cfa.gov](http://www.cfa.gov) or [www.preservation.dc.gov](http://www.preservation.dc.gov).



**Historic Preservation Office**  
DC Office of Planning  
(202) 442-8800  
[historic.preservation@dc.gov](mailto:historic.preservation@dc.gov)



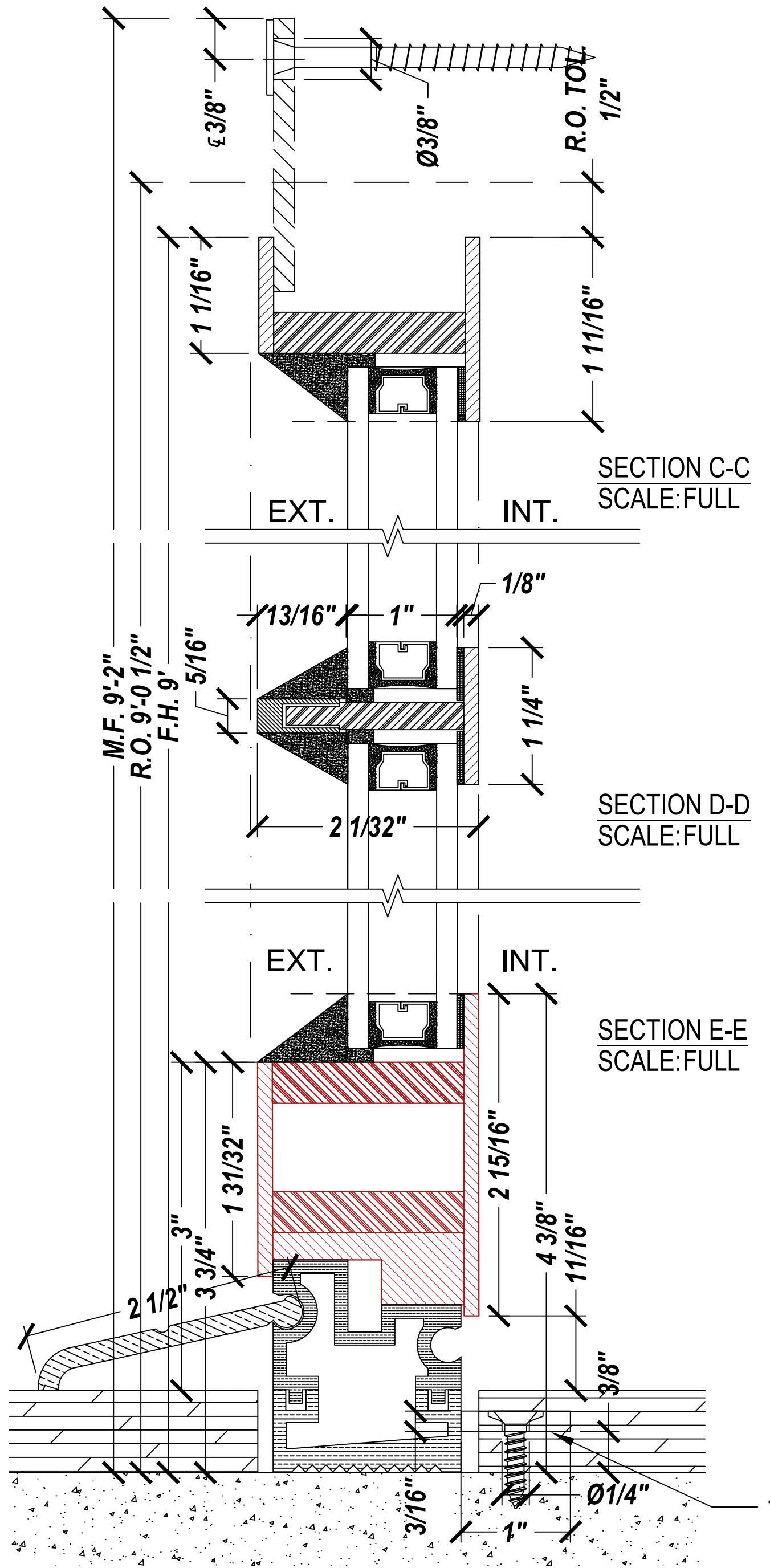


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Washington, DC 20007

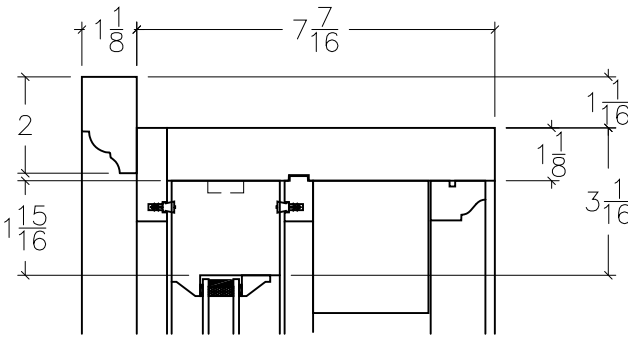


# T1

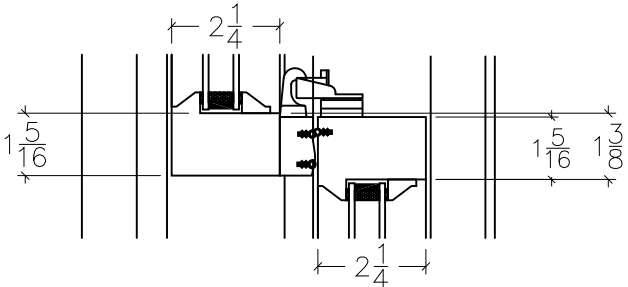




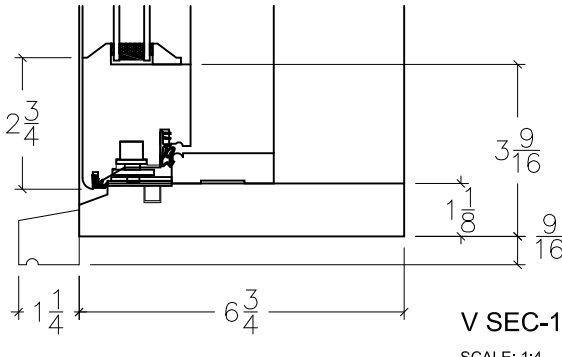
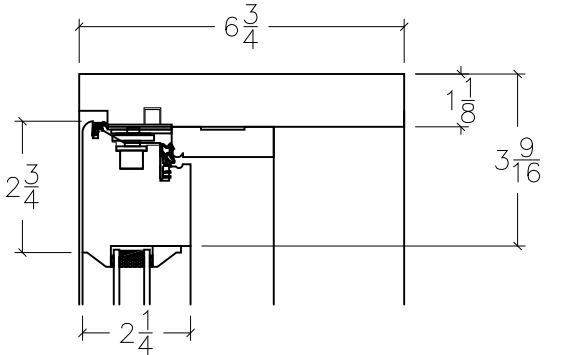
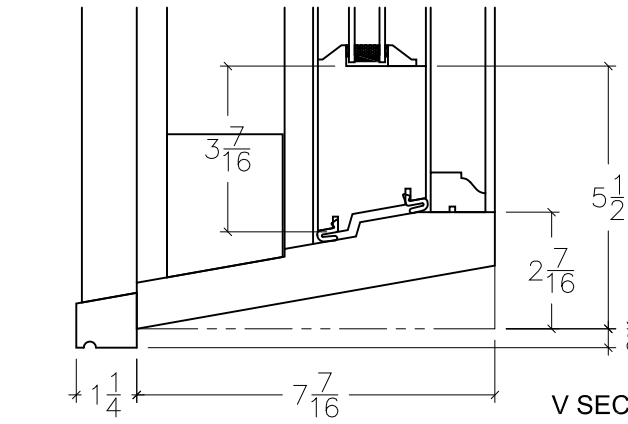
Typ. Steel Window/Door Section  
NTS



Typ. Wood DBL Hung Section  
NTS



Typ. Wood Casement Section  
NTS



Exterior Door Schedule							
ID	Qty	Type	Manufacturer	Model/Size	Lites	Location	Note
D100	1	Steel Pivot Door	Portella	2-9 1/2x8-5	See Elevation	Den Bay	---
D101	1	Steel Pivot Door	Portella	2-9 1/2x8-5	See Elevation	Den Bay	---
D102	1	Steel Pivot Door	Portella	2-9 1/2x8-5	See Elevation	Den Bay	---
D103	1	Steel Pivot Door	Portella	2-9 1/2x8-5	See Elevation	Den Bay	---
D105	1	Glazed/Paneled	Tradewood	3-0x8-0	3W4H	Rear Entry	

Window Schedule								
ID	Qty	Units	Model/Size	Type	Manuf.	Lites	Location	Note
W001	1	2	2-8x5-0 2W	Casement	Tradewood	3W4H	Bedroom 5	Egress
W100	1	1	4-6x8-5	Steel FIXED	Portella	See Elevation	Den Bay	---
W101	1	1	4-6x8-5	Steel FIXED	Portella	See Elevation	Den Bay	---
W102	1	1	8-0x8-0	Casement	Tradewood	6W4H	Den	
W103	1	1	2-4x4-6	Casement	Tradewood	2W3H	Rear Entry	
W104	1	1	2-4x4-6	Casement	Tradewood	2W3H	Kitchen	
W105	1	1	2-10x5-2	Double Hung	Tradewood	3W2H/2W2H	Stair Hall	
W106	1	1	2-10x5-2	Double Hung	Tradewood	3W2H/2W2H	Stair Hall	
W107	1	1	2-10x5-2	Double Hung	Tradewood	3W2H/2W2H	Stair Hall	
W108	1	1	2-10x5-2	Double Hung	Tradewood	3W2H/2W2H	Vest	
W200	1	1	3-3x6-7	Double Hung	Tradewood	3W2H/2W2H	Master Bedroom	
W300	1	1	2-7x4-5	Double Hung	Tradewood	3W2H/2W2H	Sitting Room	

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Win/Door  
Schedules &  
Details

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OG8 CONCEPT V2

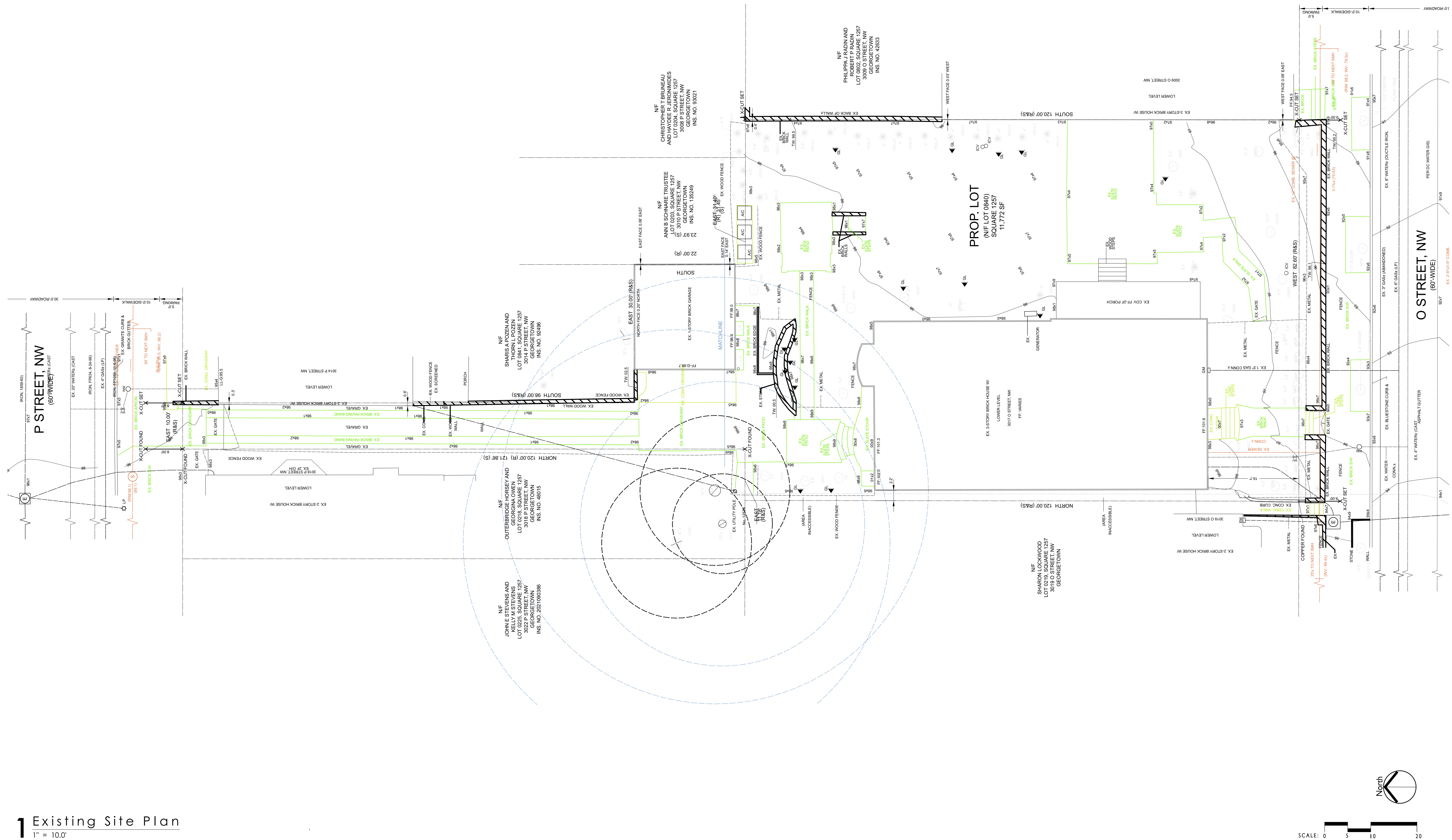
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T2

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REFER TO SEPERATE SUBMISSION BY  
ARENTZ LANDSCAPE ARCHITECTS



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# T4

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VIEW FROM O STREET



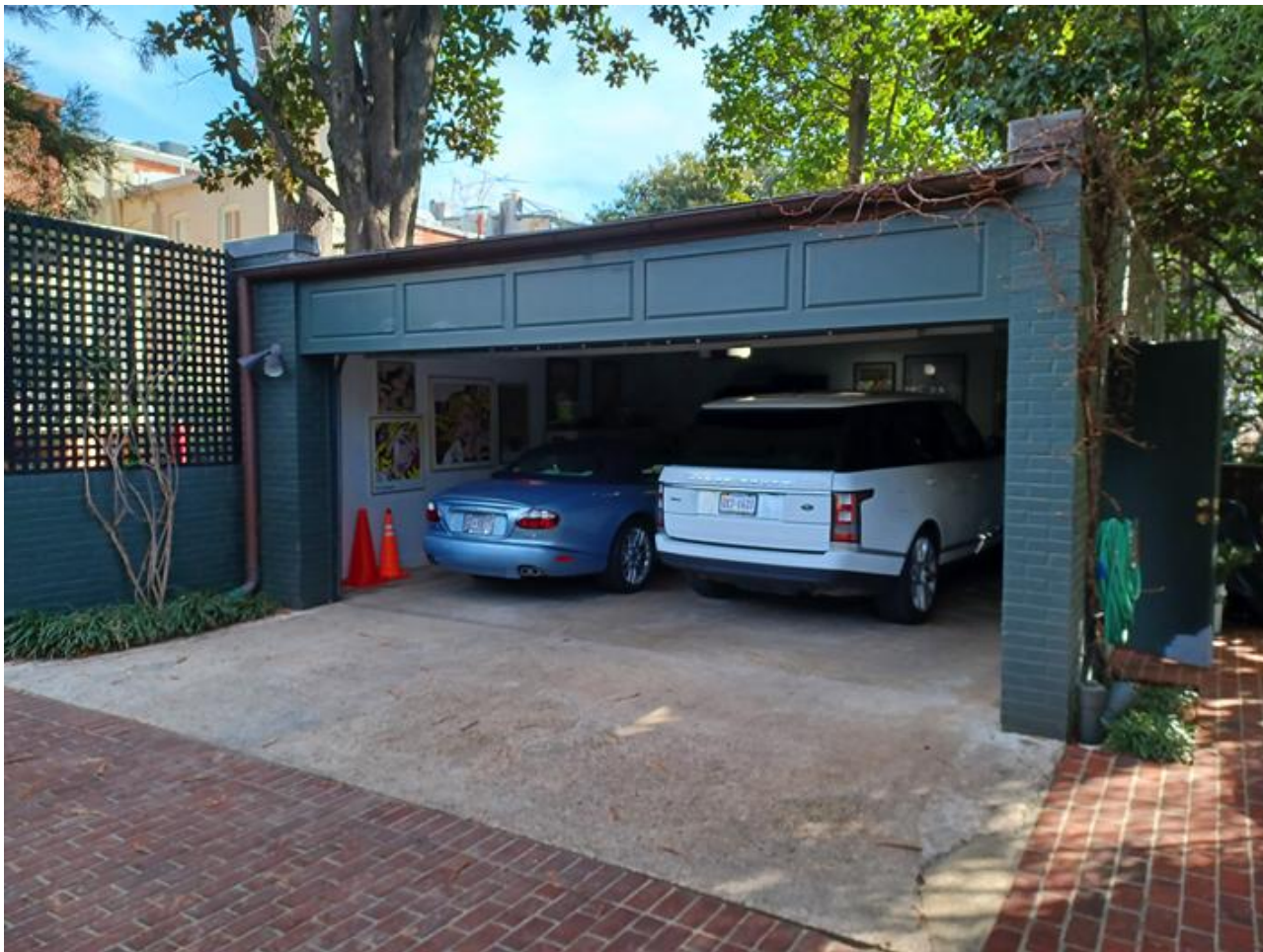
VIEW FROM P STREET



EXISTING WEST ELEVATION



EXISTING DBL HUNG WINDOWS ON WEST ELEVATION



EXISTING DETACHED GARAGE



EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



EXISTING 2ND FLOOR PORCH



EXISTING PORCH STAIR



EXISTING PORCH



EXISTING REAR BAY



EXISTING SIDE YARD AND EAST ELEVATION



EXISTING SIDE YARD AND EAST ELEVATION



EXISTING REAR STOOP



EXISTING REAR BAY

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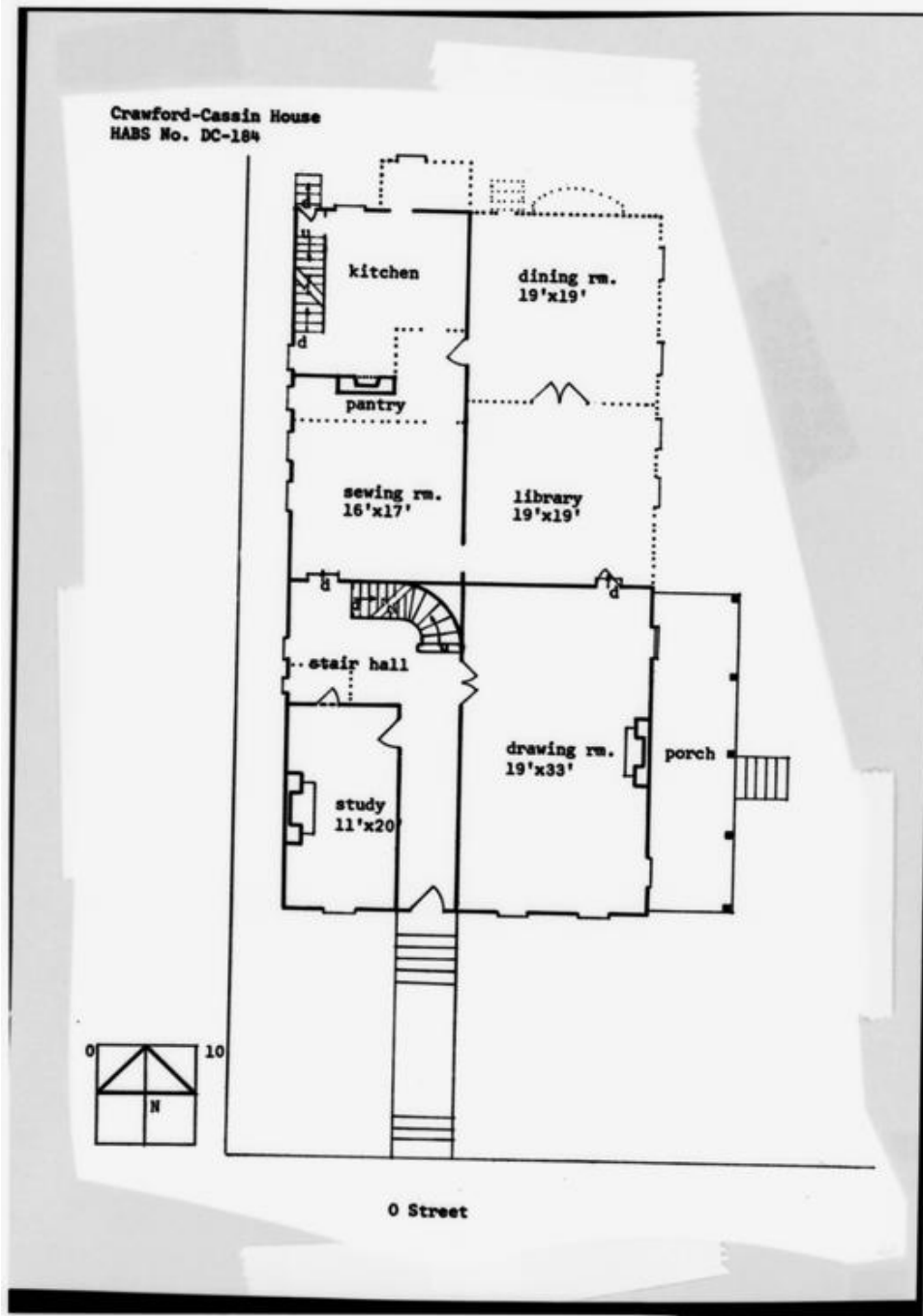
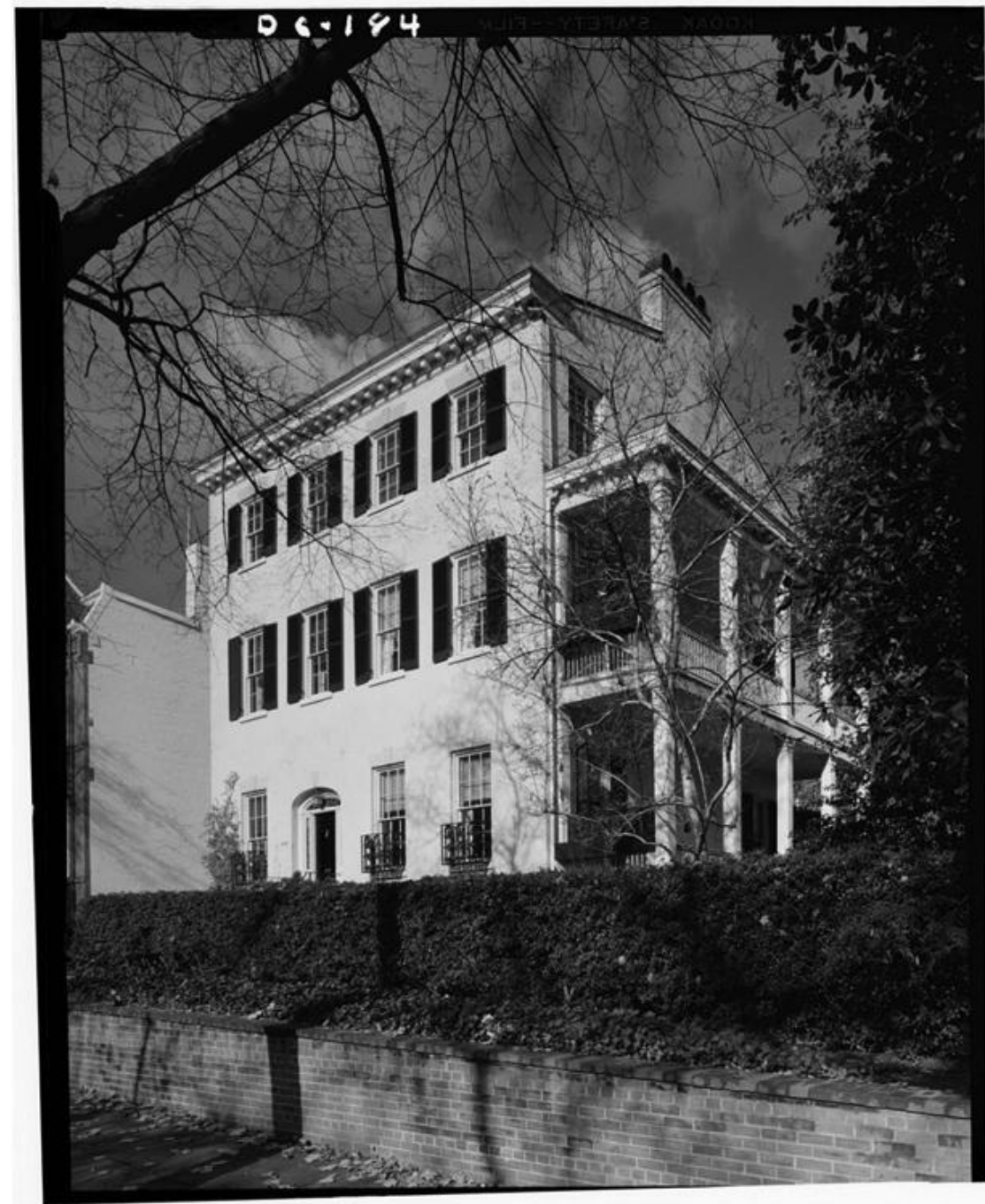
Existing Pictures

08-19-2022	OGB CONCEPT V2
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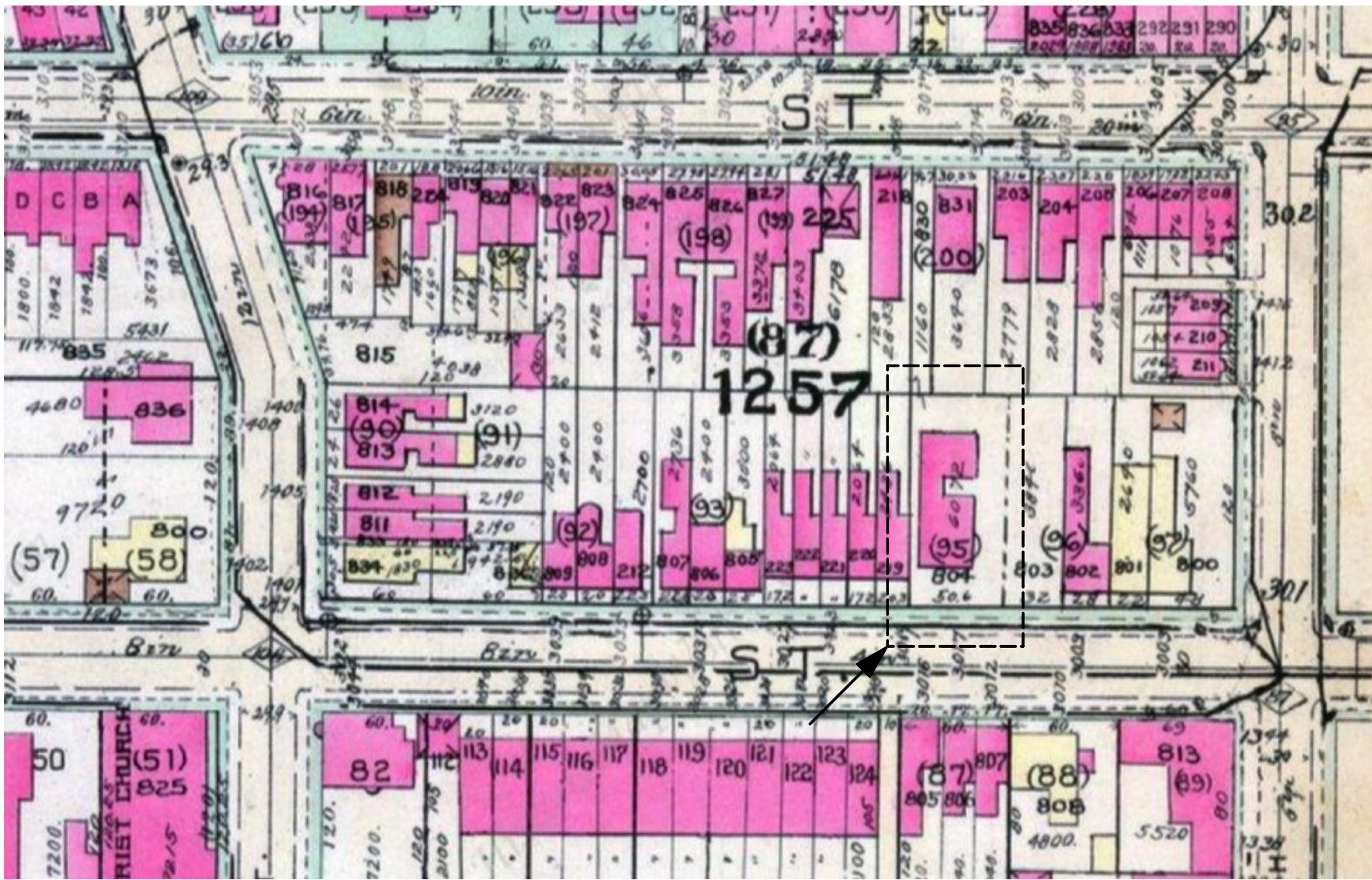
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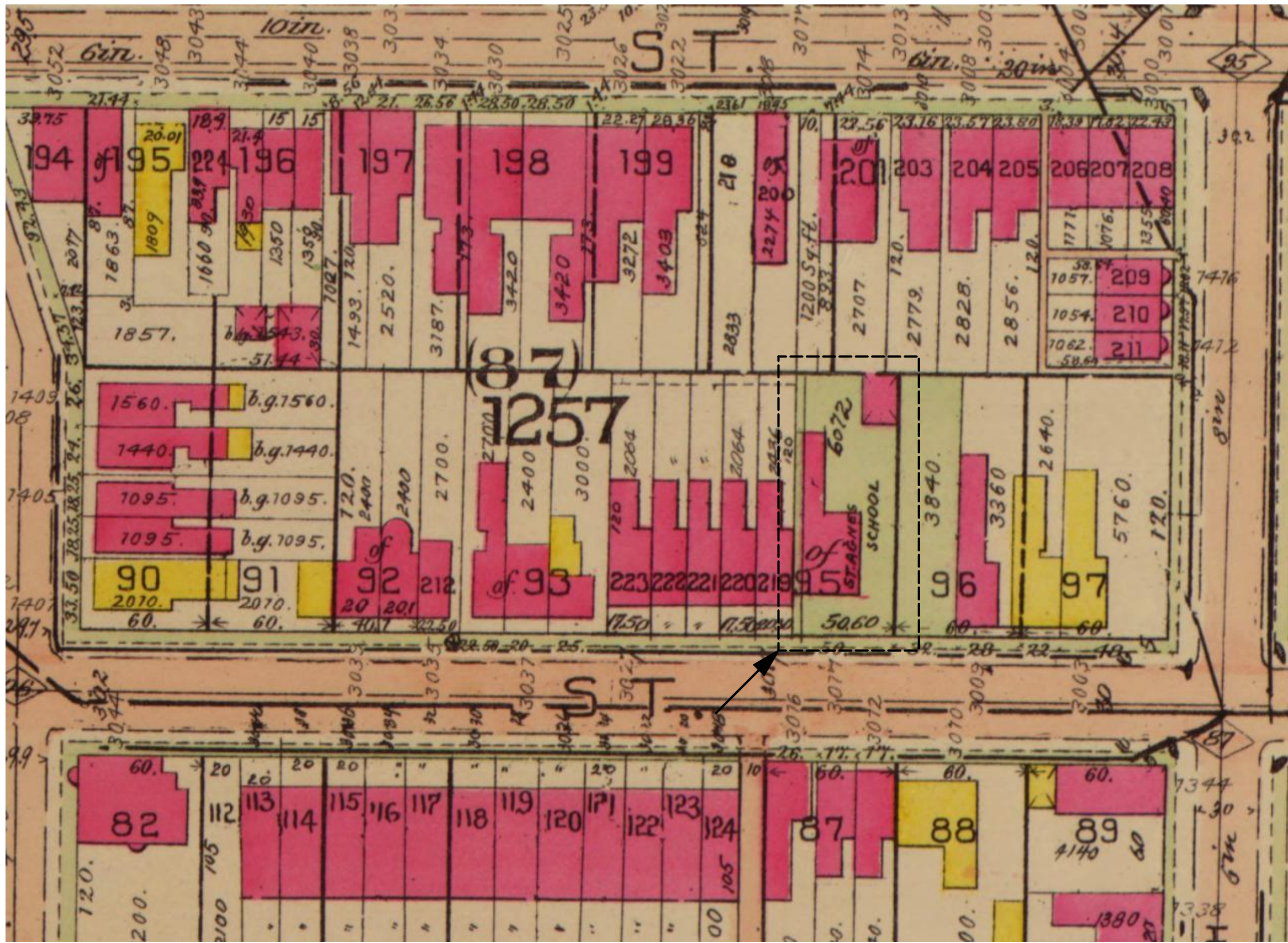




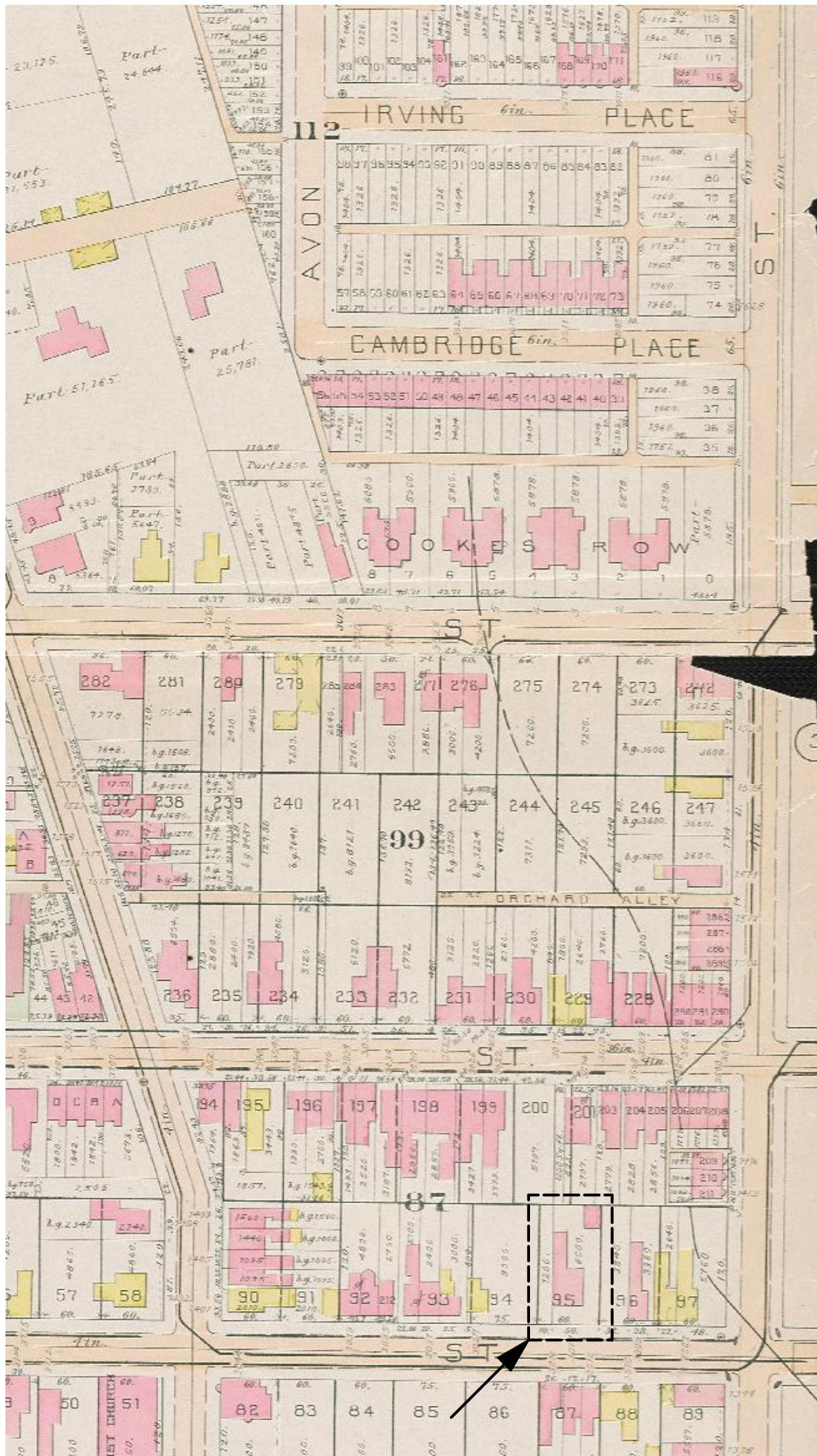
Historic American Buildings Survey  
J. Alexander, Photographer  
February 1969  
General View from Southeast  
Crawford-Cassin House  
Photo & Plan from Survey HABS DC-184



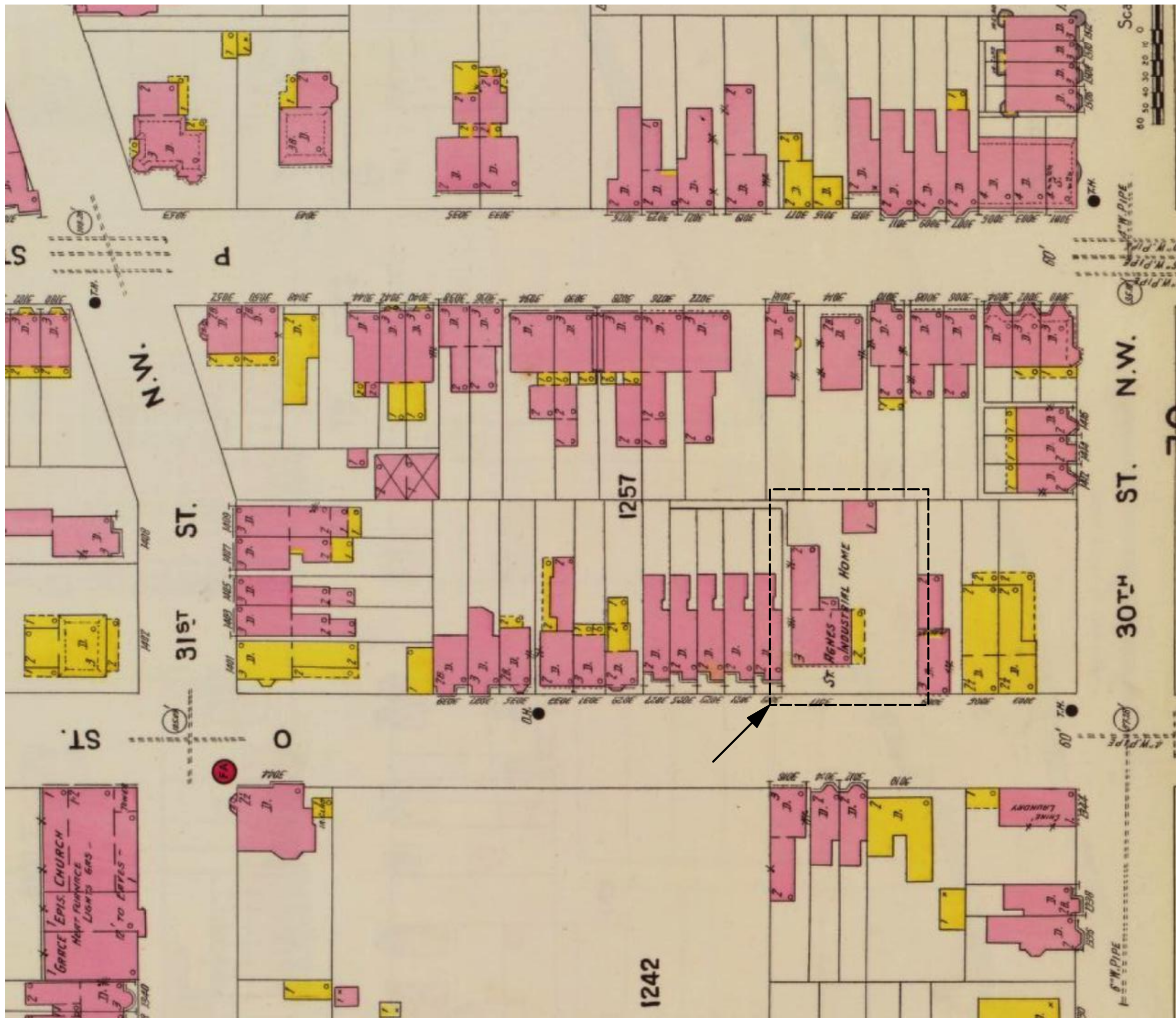
1937 Baist Map



1909 Baist Map



Real estate plat-book of Washington  
District of Columbia, volume 3, 1894  
Plate 4



Sanborn Fire Insurance Map  
from Washington, District of Columbia, Sanborn Map Company  
1903 - 1916 Vol. 1, 1903

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Historical Documents

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Proposed  
Renderings

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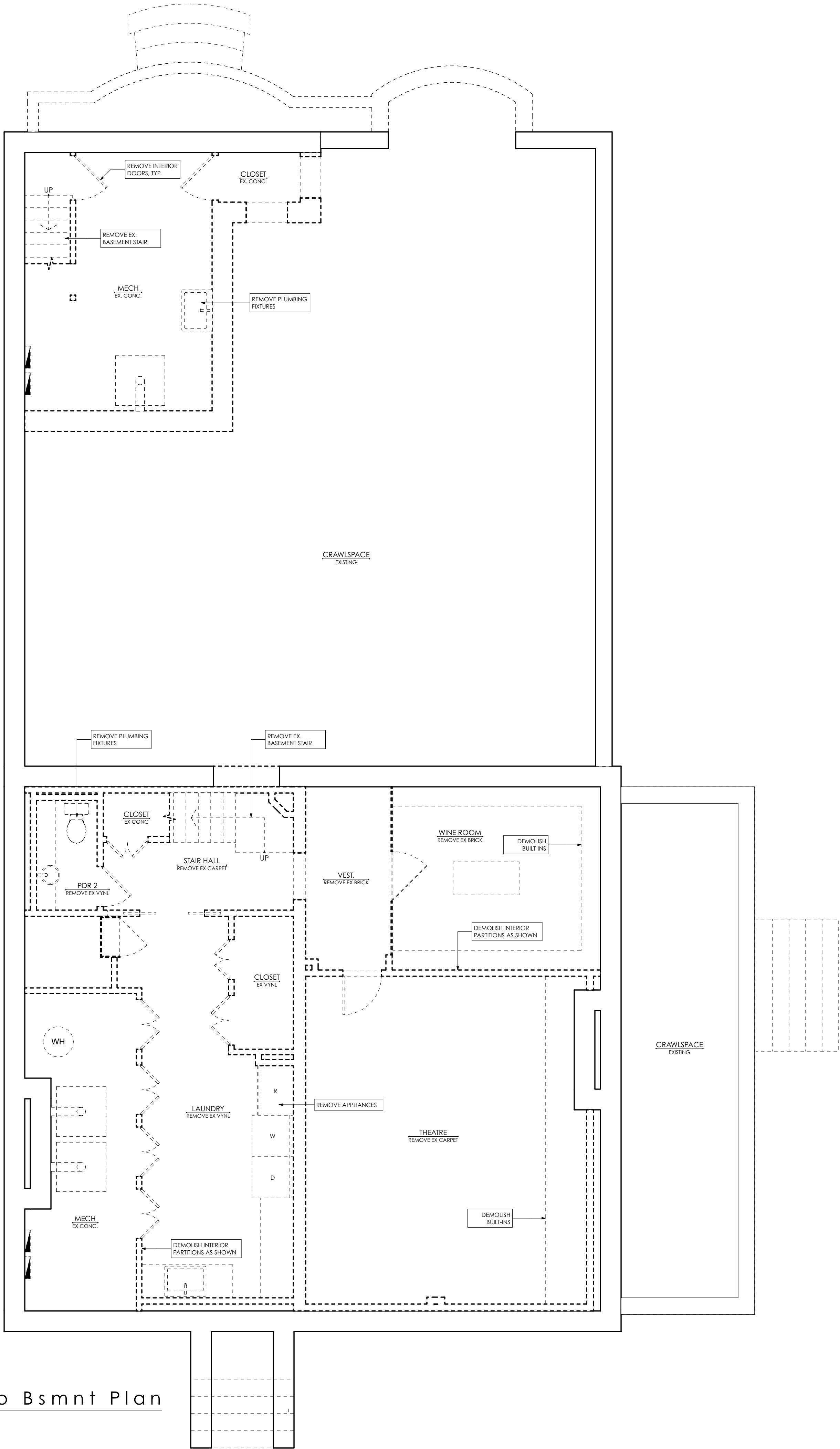
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**T7**

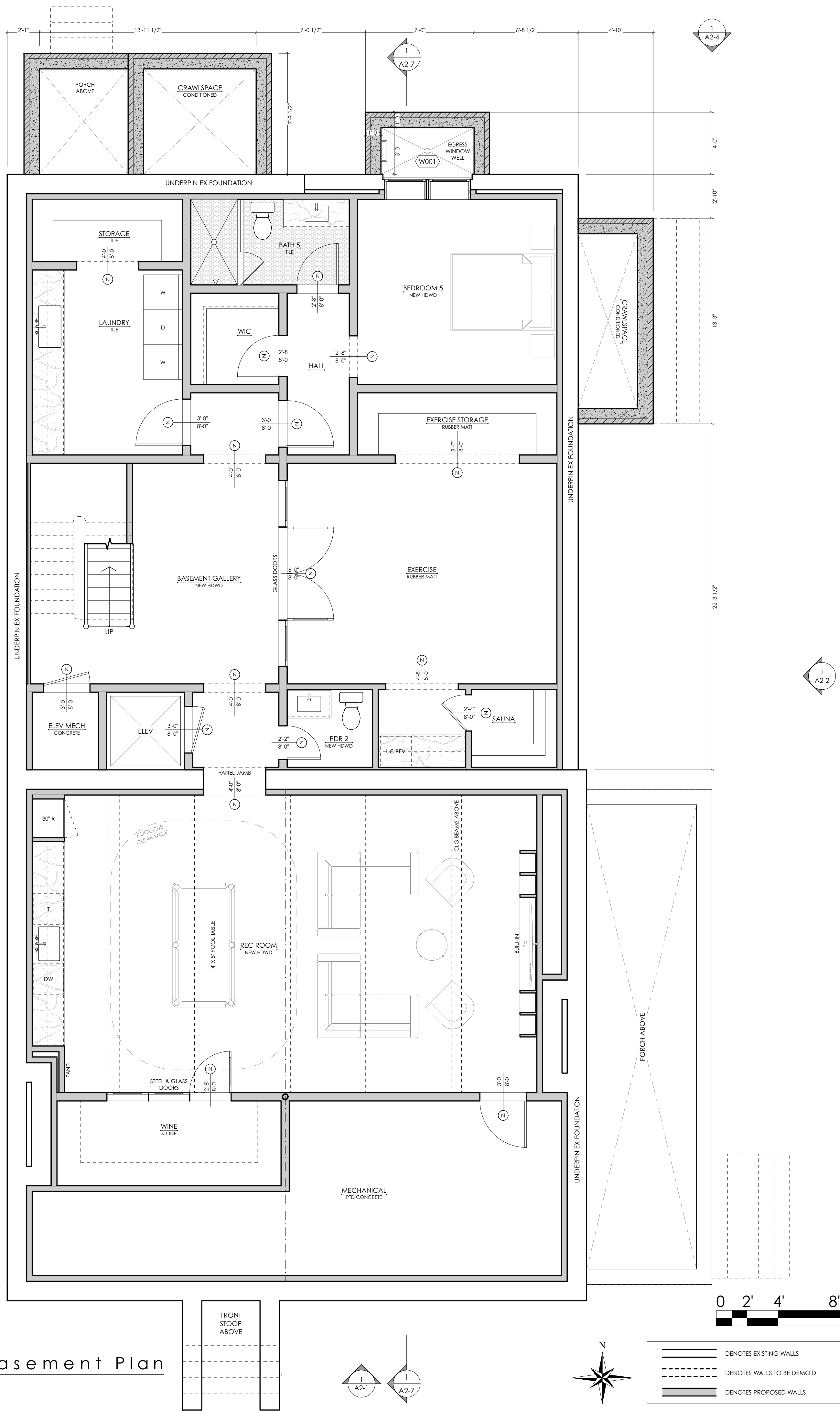
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2 Ex/Demo Bsmnt Plan  
1/4" = 1'-0"



1 Prop. Basement Plan  
1/4" = 1'-0"



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Basement Plans

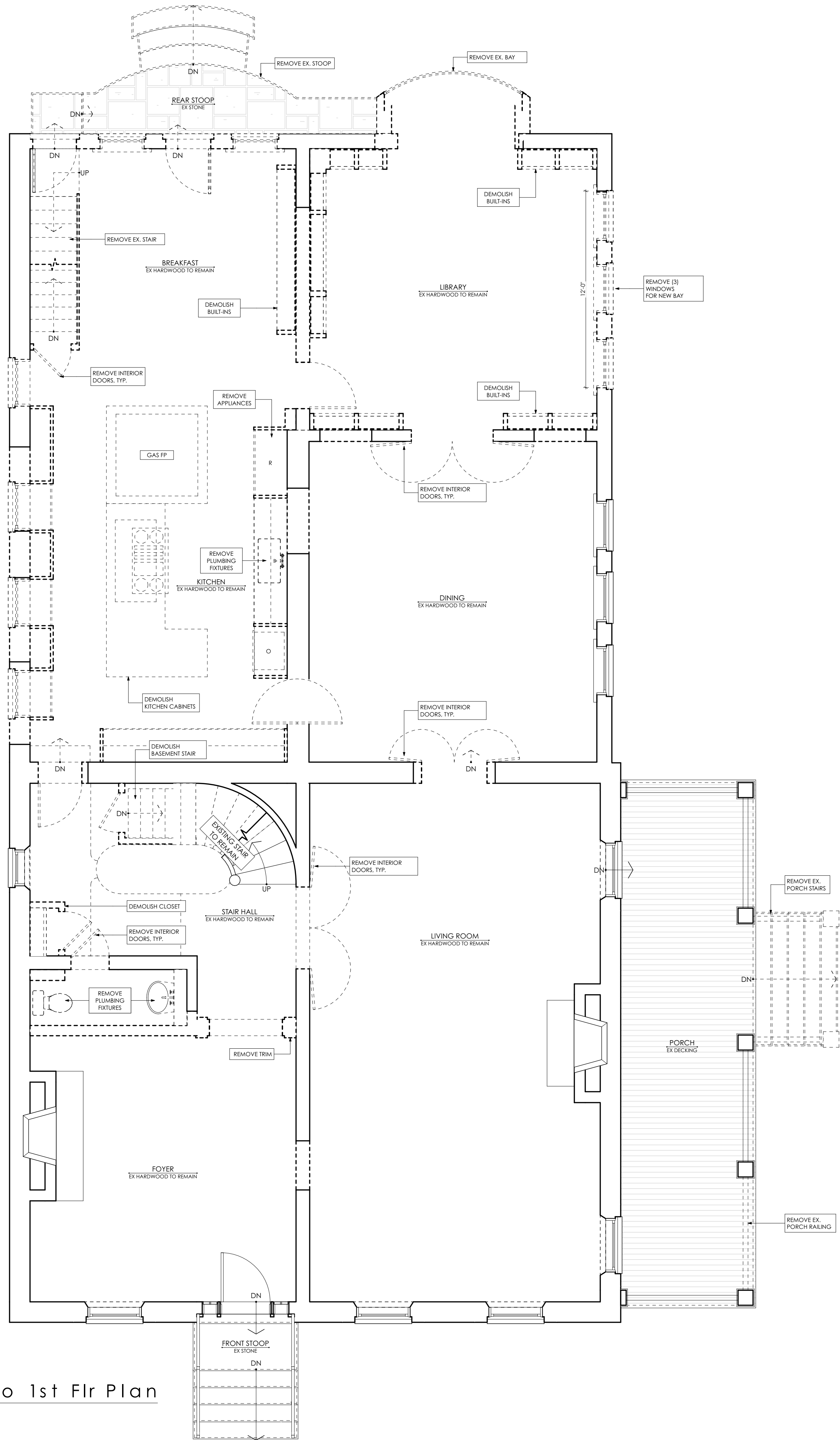
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A1-0

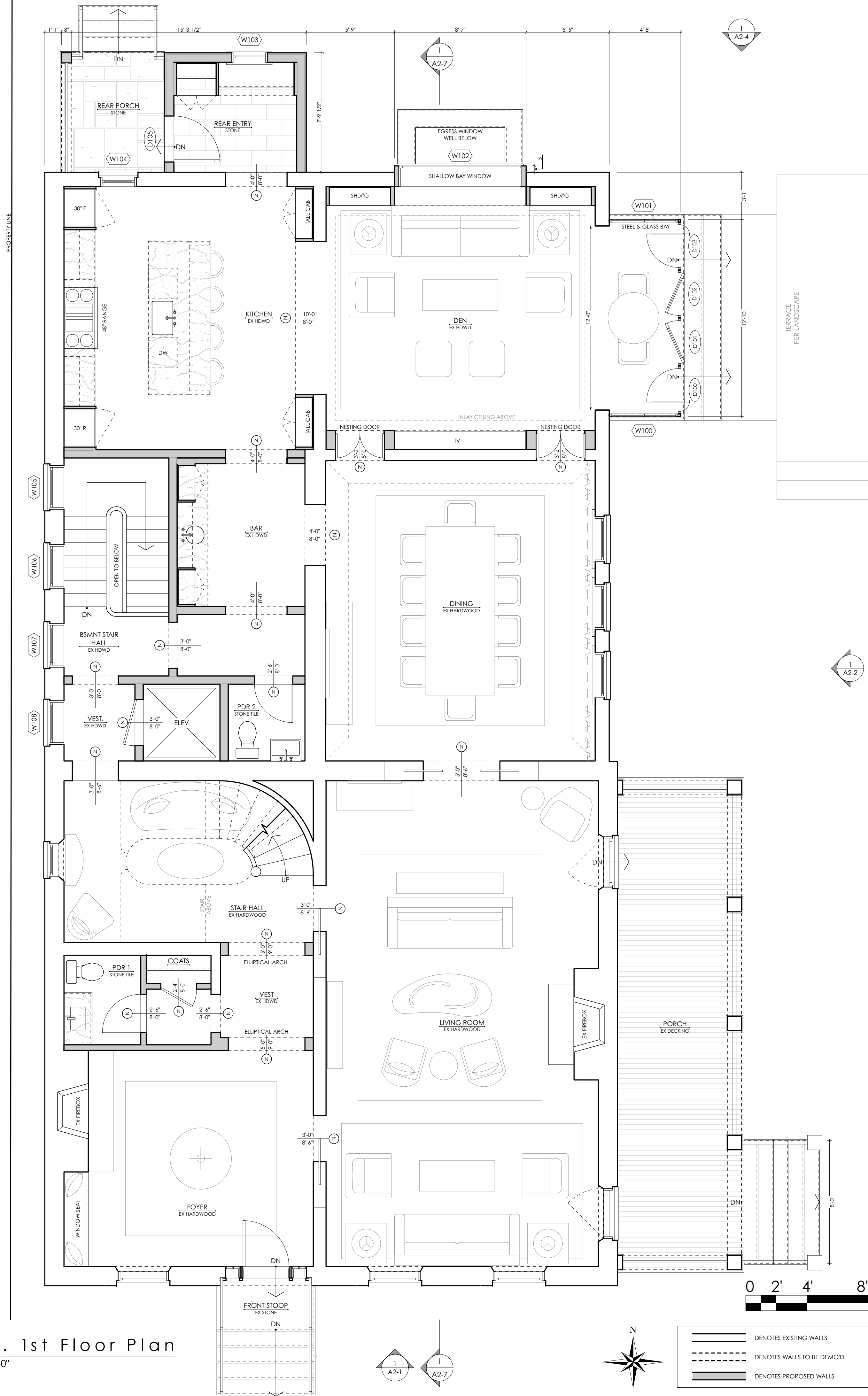
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2 Ex/Demo 1st Flr Plan  
1/4" = 1'-0"



1 Prop. 1st Floor Plan  
1/4" = 1'-0"



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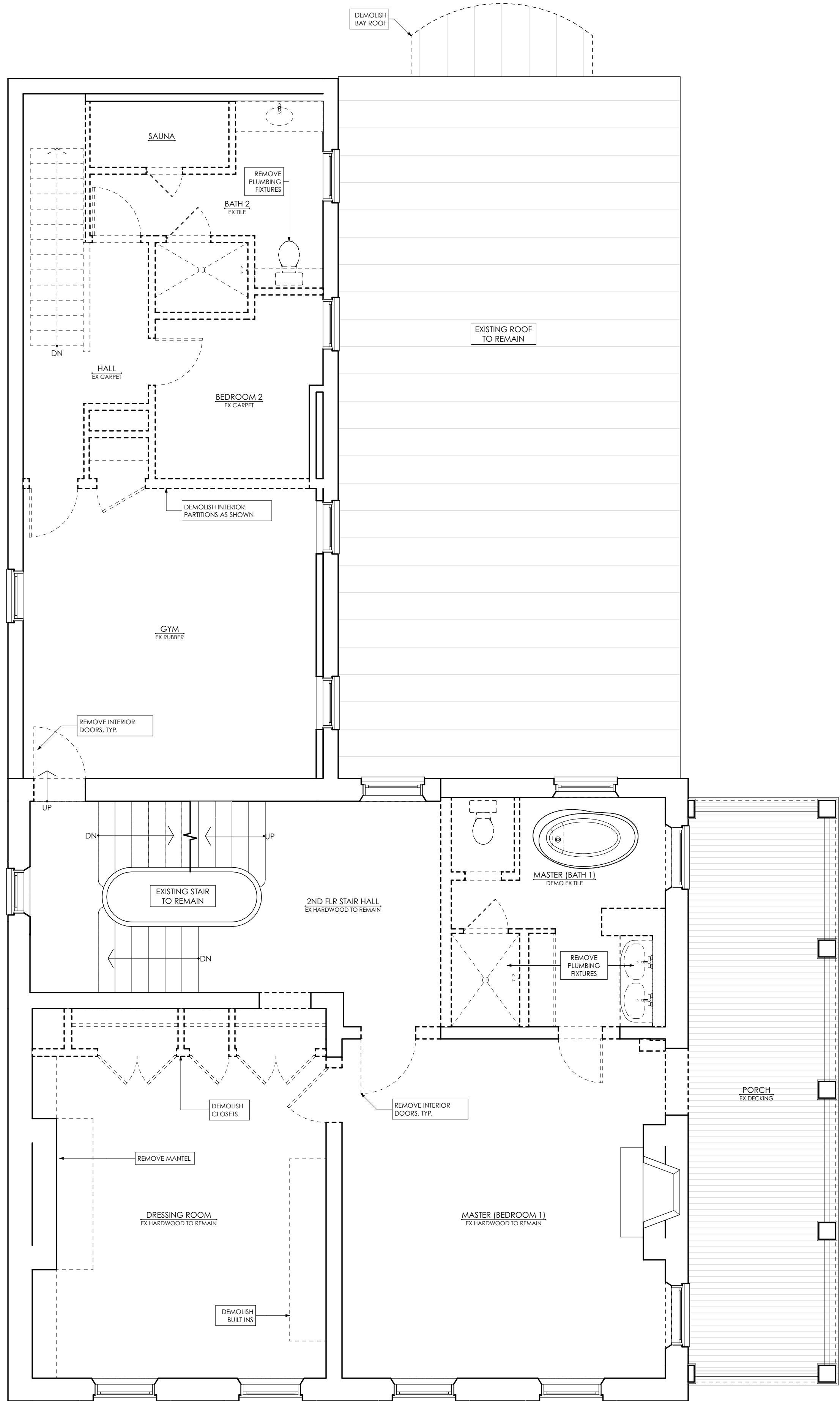
First Floor Plans

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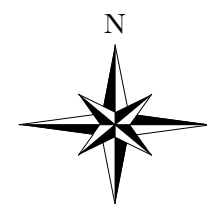
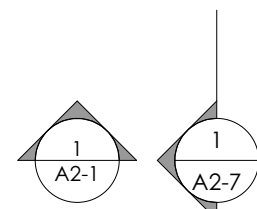
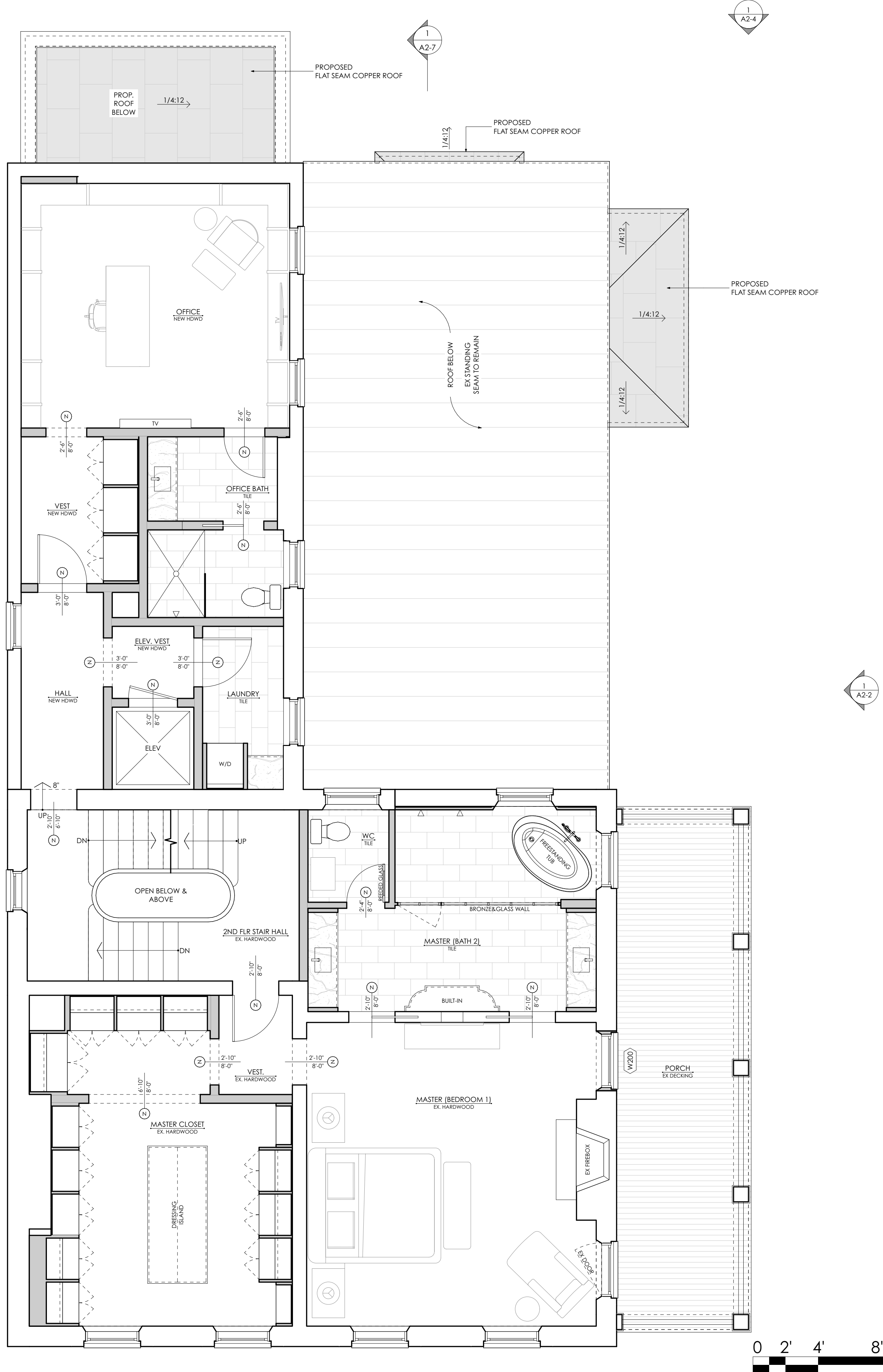
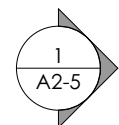
A1-1

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2 Ex/Demo 2nd Floor  
1/4" = 1'-0"



1 Prop. 2nd Floor Plan  
1/4" = 1'-0"



- DENOTES EXISTING WALLS
- - - DENOTES WALLS TO BE DEMO'D
- DENOTES PROPOSED WALLS

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Second Floor  
Plans

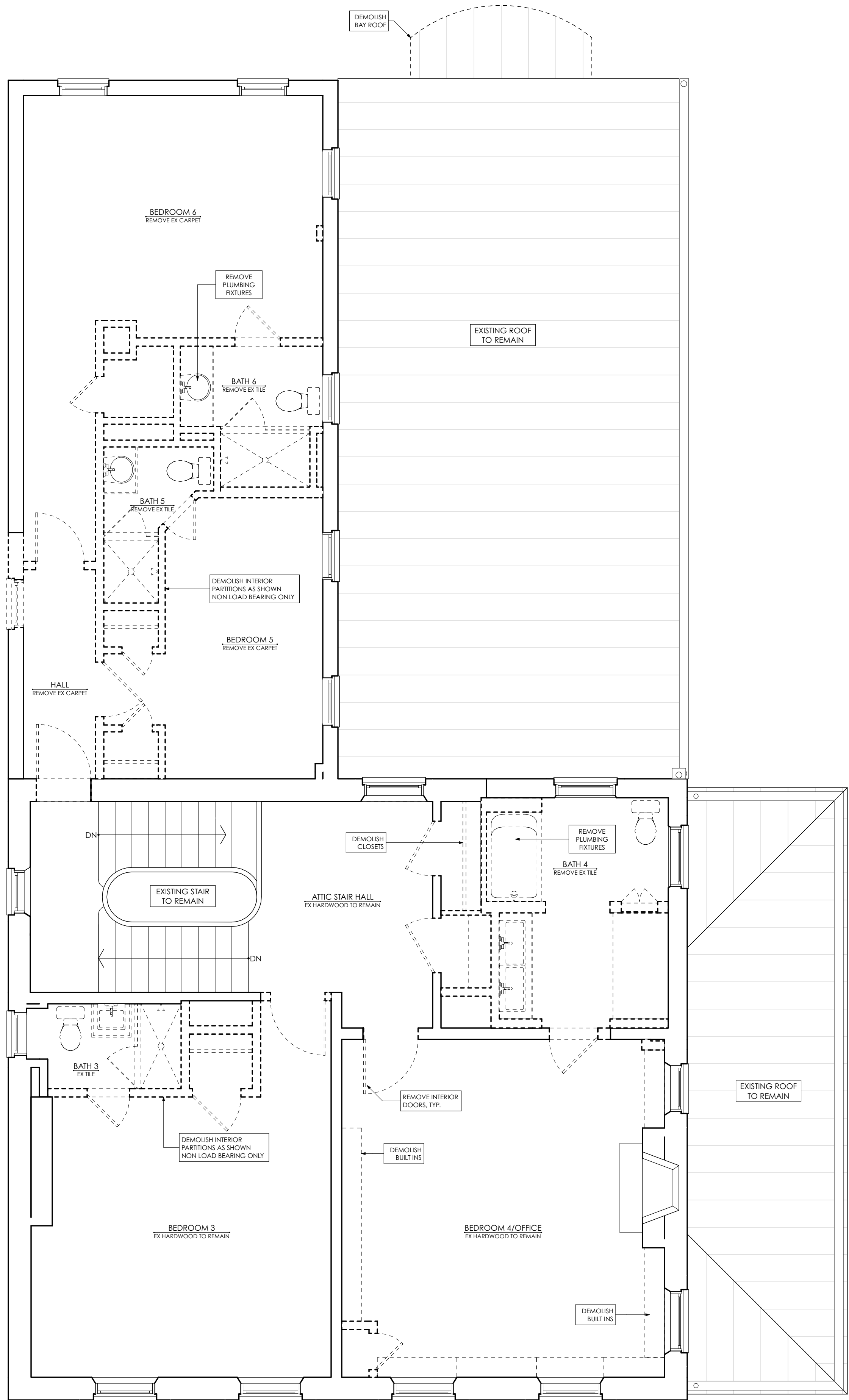
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A1-2

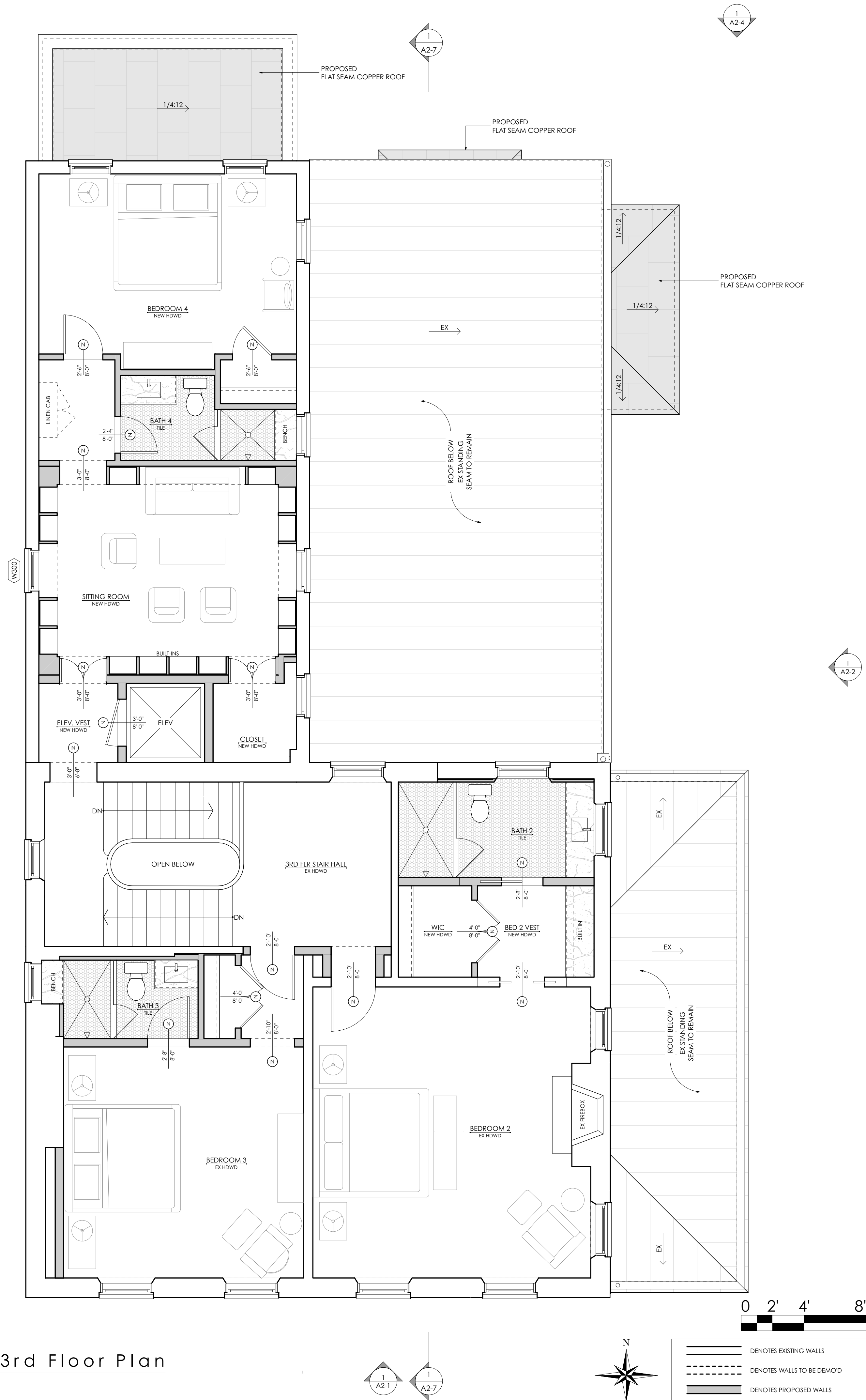
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2 Ex/Demo 3rd Floor Plan  
1/4" = 1'-0"



1 Prop. 3rd Floor Plan  
1/4" = 1'-0"



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3rd Floor Plans

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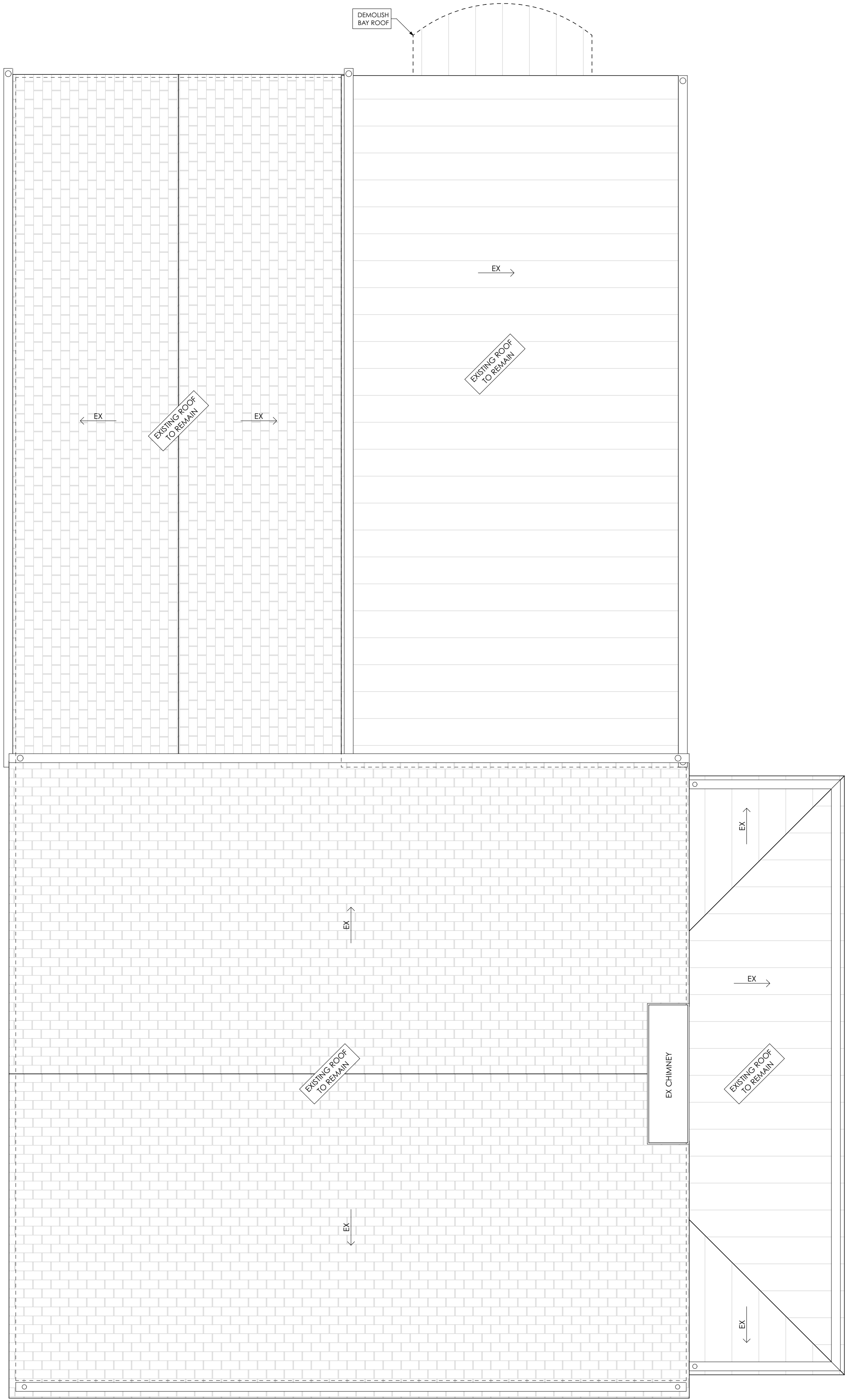
A1-3

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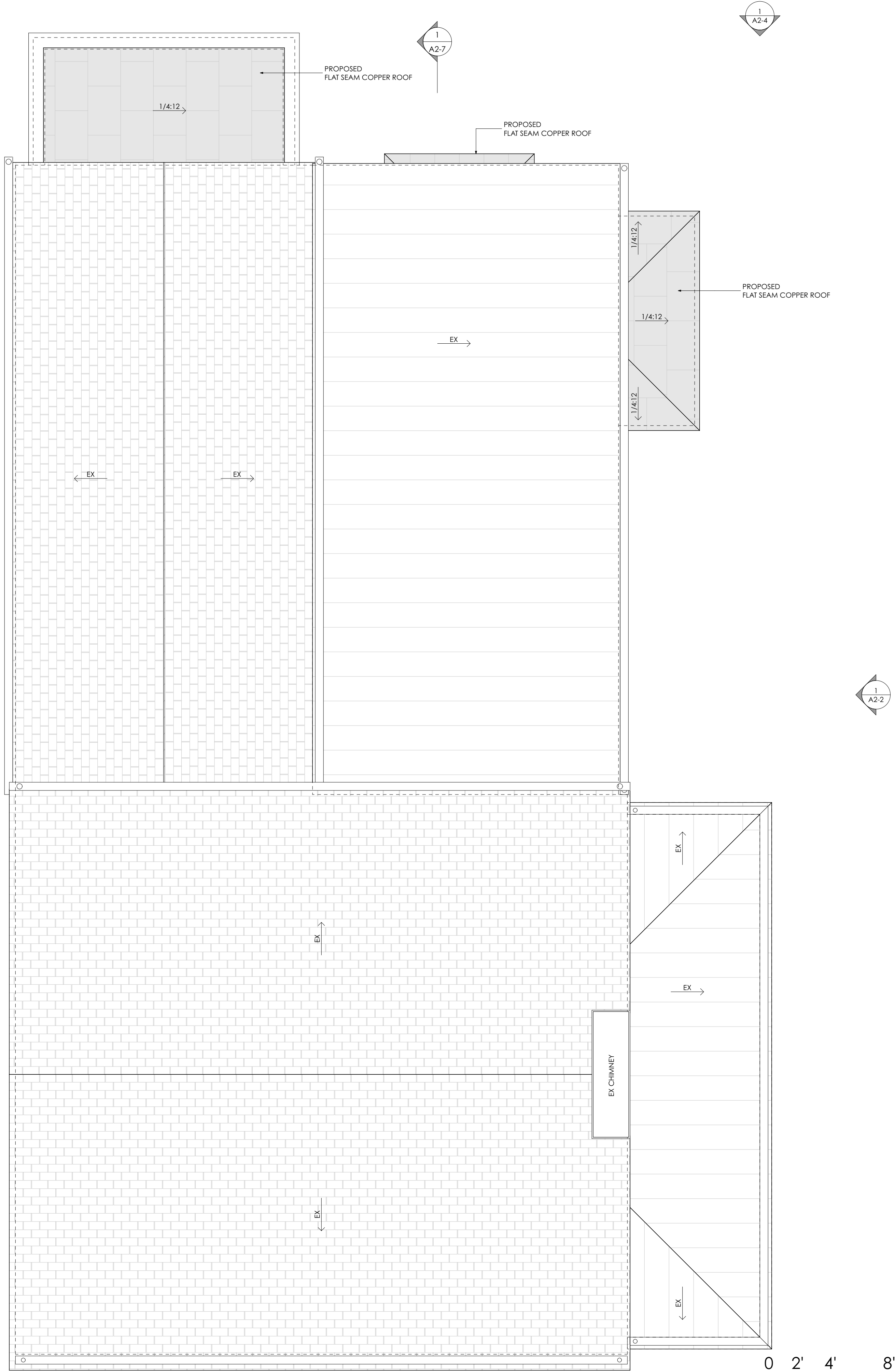
2 Ex/Demo Roof Plan

1/4" = 1'-0"



1 Prop. Roof Plan

1/4" = 1'-0"



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Roof Plans

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A1-4

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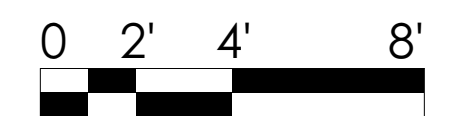




**2** Ex. Front Elevation  
1/4" = 1'-0"



**1** Prop. Front Elevation  
1/4" = 1'-0"



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Front Elevations

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**A2-1**

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1 Existing Right Elevation  
1/4" = 1'-0"



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Existing Right  
Elevation

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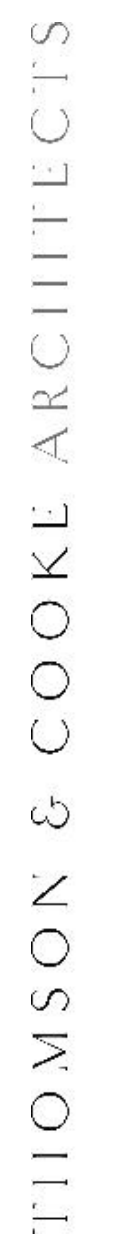
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A2-2

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**Kapahi Residence**  
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Proposed Right  
Elevation

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## A2-3

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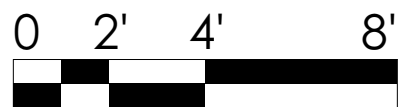




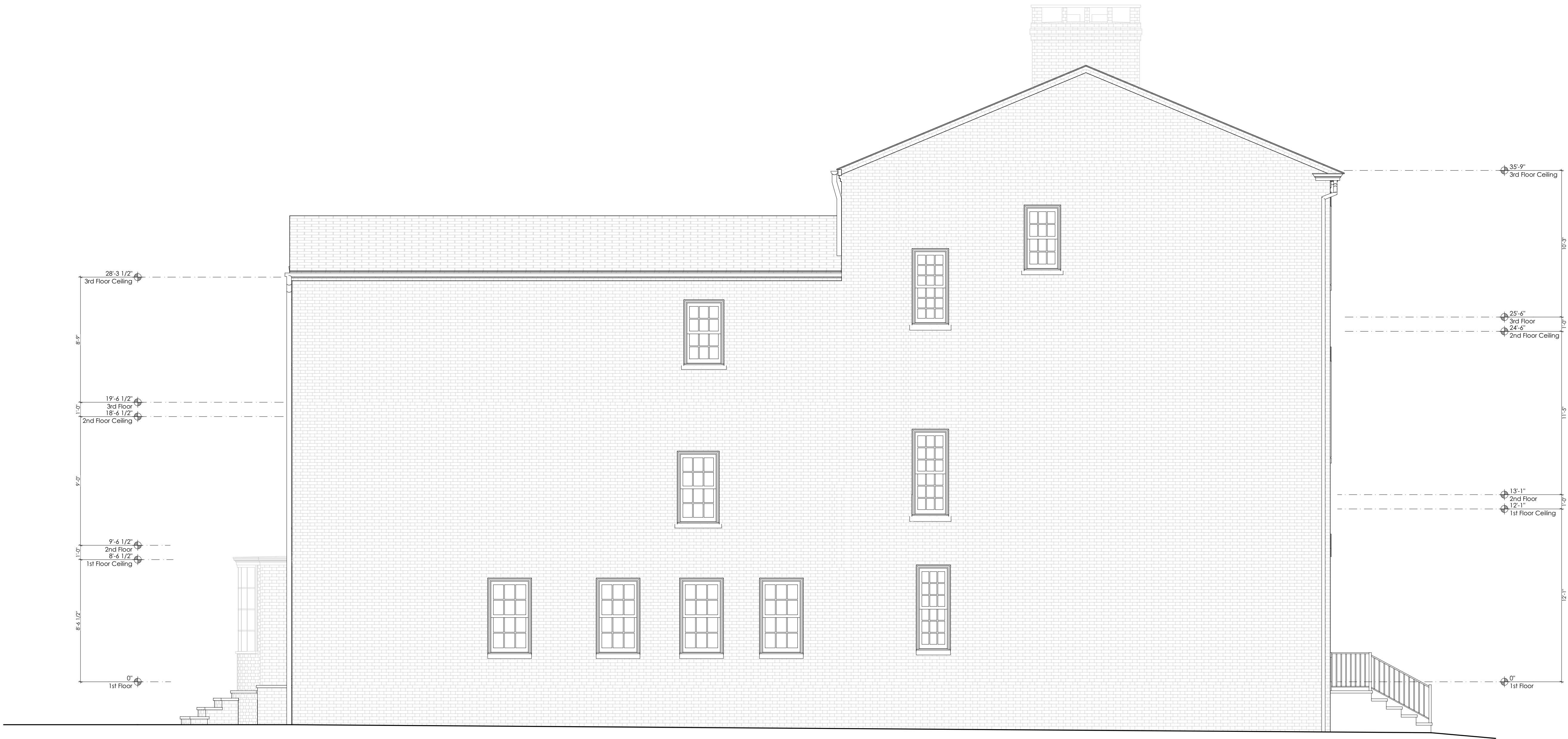
**2** Ex. Rear Elevation  
1/4" = 1'-0"



**1** Prop. Rear Elevation  
1/4" = 1'-0"







1 Existing Left Elevation  
1/4" = 1'-0"



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Existing Left  
Elevation

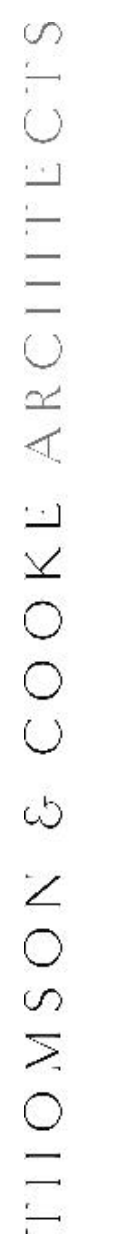
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A2-5

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Proposed Left  
Elevation

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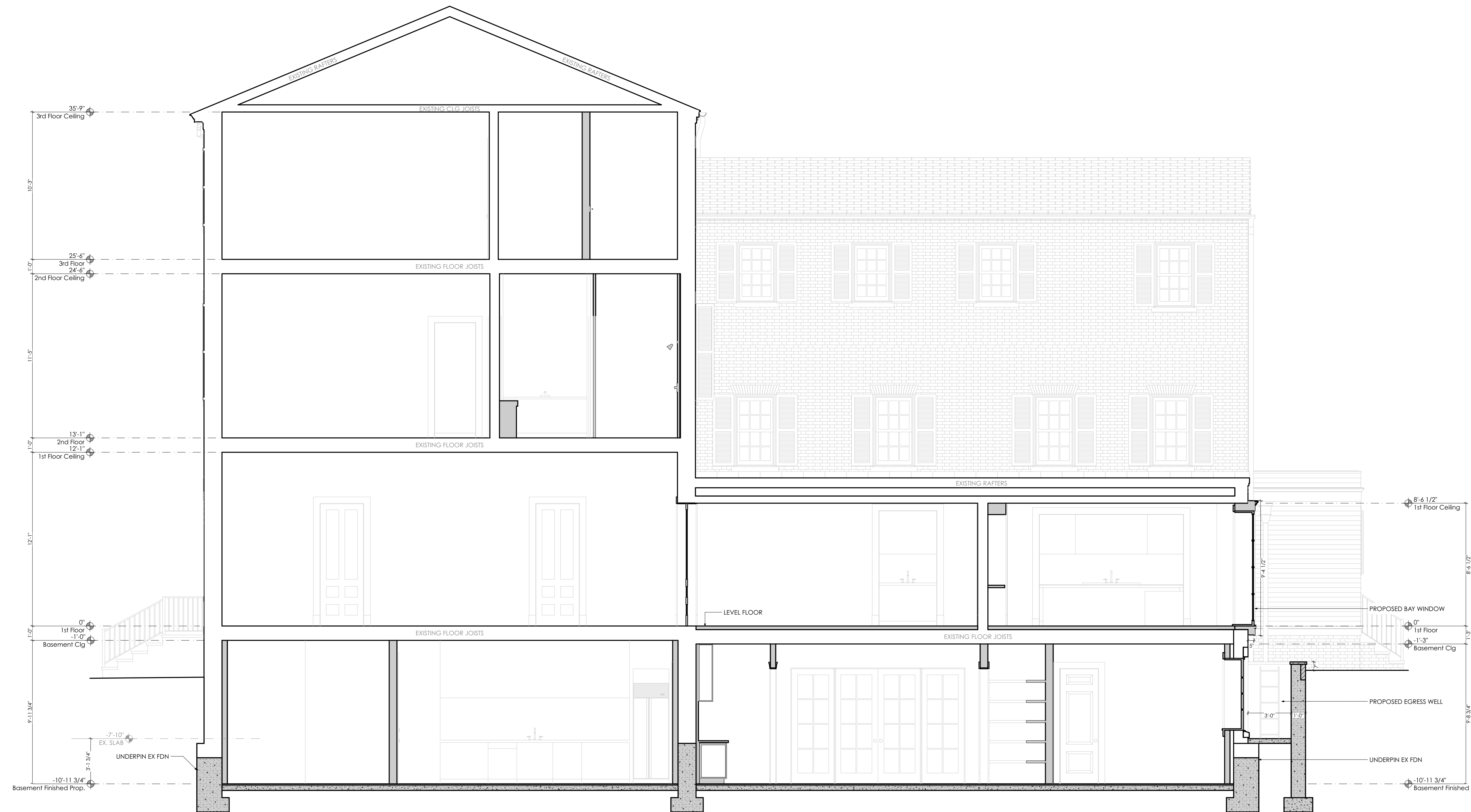
**A2-6**

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**1** Building Section 1  
1/4" = 1'-0"



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Proposed  
Building  
Section

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A2-8

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