





















ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE
AFF	ABOVE FINISH FLOOR
ARCH	ARCHITECT
BLDG.	BUILDING
BM	BEAM
C	CONTRACTOR (GENERAL)
CJ	CONTROL JOINT
CL	CENTER LINE
CLG.	CEILING
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
DTL.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
DWG.	DRAWING
E.A.	EACH
EJ	EXPANSION JOINT
ELEC.	ELECTRIC \ ELECTRICAL
EQ.	EQUAL
EXIST.	EXISTING
FIN.	FINISH
GA.	GAUGE
GYP.	GYPSUM
GWB.	GYPSUM WALL BOARD
HB.	HOSE BIB
HC.	HANDICAPPED
HM	HOLLOW METAL
HORIZ.	HORIZONTAL
HGT.	HEIGHT
HVAC	HEATING, VENTILATING, AIR CONDITIONING
I	INSTALLED MEANS CLEANED & CONNECTED FOR USE
INSUL.	INSULATION
MAS.	MASONRY
MECH.	MECHANICAL
MANUF.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTL.	METAL
NIC.	NOT IN CONTRACT
NTS	NOT TO SCALE
O	OWNER
O.C.	ON CENTER
P	PROVIDED MEANS SUPPLIED & INSTALLED
P-LAM	PLASTIC LAMINATE
PLYWD.	PLYWOOD
REINF.	REINFORCED
REQ'D	REQUIRED
S	SUPPLIED MEANS UNCRATED DELIVERED TO SITE
SHT	SHEET
TEL	TELEPHONE
TYP.	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VF.	VERIFY IN FIELD
VCT	VINYL COMPOSITION TILE

MATERIALS

	BATT INSULATION
	RIGID INSULATION
	GYPSON DRYWALL
	CONCRETE
	STEEL
	WOOD-ROUGH (CONT.)
	WOOD-ROUGH (NON CONT.)
	PLYWOOD
	EARTH
	CMU

SYMBOLS

	DETAIL NUMBER
	SHEET NUMBER
	INTERIOR ELEVATION
	PLAN DETAIL NUMBER
	ELEVATION
	PARTITION TYPE
	PLAN NOTES NUMBER
	ROOM NUMBER
	EQUIPMENT NUMBER
	WINDOWS

DECK RAIL REPLACEMENT for:
THE WILLIAMS HOUSE CONDOMINIUM

3101 P STREET, NW
WASHINGTON DC 20007

SOW(Scope of Work)

Replace Unsafe and Deteriated Rails
Reduce existing height of 54" to 42"
Replace the Dividing Rail Partition
Reuse Existing Post Brackets

DRAWING INDEX

1CS	COVER SHEET
1S1	EXISTING PHOTOS
1S2	PHOTOS & SITE PLAN
A1.1	EXISTING & PROPOSED ROOF PLANS
A1.2	EXISTING & PROPOSED DECK PLANS, ELEVATIONS
A1.3	PROPOSED RAIL DETIALS

BUILDING INFORMATION

BLDG. PERMIT #

LOT 42 SQUARE 1270

JURISDICTION: DISTRICT OF COLUMBIA

ZONE; R-

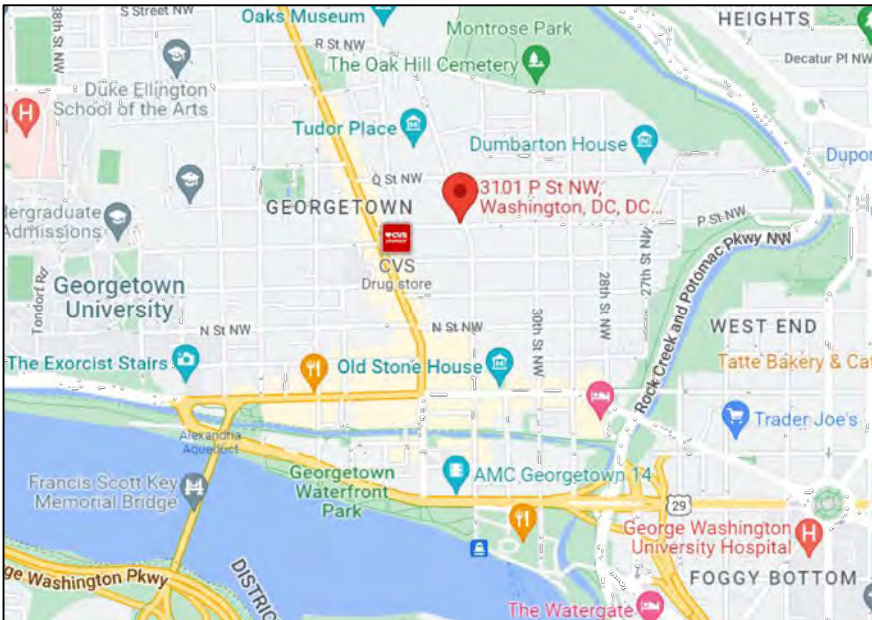
NATIONAL HISTORIC REGISTRY

DCRA DECK/STAIR GUIDE based on 2017 IRC

	REQUIRED	PROVIDED ²
GUARD CAP & RUNNER	2X6 & 2X4	2" X 1 1/4" STEEL TUBE
RAILING GUARD HEIGHT	36"	42
RAIL POST SPACING	6'	4'-9" or Less
BALLUSTER SIZE	2X2	3/4" X 3/4" SQ STEEL TUBE
BALLUSTER SPACING	4"	4"
POST SIZE	6x6	2 1/2" X 2 1/2" STEEL TUBE

GENERAL NOTES

- Information contained in these drawings is based on site drawings, visual inspections, and limited field measurements taken by the Contractor. In case any adjustments or modifications are required to conform with existing conditions, contractor shall inform Architect prior to such changes.
-
- If any errors or omissions appear on drawings that become apparent to the Contractor, he shall notify the Architect so that corrective measures can be taken.
- Contractor shall be fully responsible for the protection of existing facilities during construction – any damage occasioned or arising from the acts of the Contractor or his subcontractors, shall be corrected at the Contractor's expense.
- All cutting and patching shall be performed in a neat workmanlike manner – any existing finishes disturbed or damaged during construction shall be repaired to match existing in kind and finish.
-
- Contractor shall be responsible for cleaning all existing and new prior to occupancy of new space by Owner.
-
- General Contractor shall anticipate and make provisions for a substantial amount of coordination among existing conditions.
- Contractor to conform in strict accordance with manufacturer's instructions and recommendations.
- All dimensions on plans are to face of finish unless otherwise noted.
- Contractor shall be fully responsible for the removal of materials off-site at no additional cost to the owner and shall observe all required safety precautions in the performance of his work.
- Contractor to support all work prior to the removal of materials.
- Patch and repair any voids made by construction with same materials as existing adjacent surface.
- Contractor to verify all field conditions prior to construction and shall be responsible for necessary manpower, equipment and materials required to complete the project.



1 VICINITY MAP
NTS

DO NOT SCALE THE DRAWINGS, USE WRITTEN DIMENSIONS

SPACE RESERVED FOR DCRA PERMIT REVIEWERS

EDWIN LEE
ARCHITECTS, LLC

RESIDENTIAL COMMERCIAL
MD VA DC

100 LAKEVIEW AVE.
EDGEWATER, MD 21037
(Vicinity of Annapolis)

Washington Metropolitan: 410-991-7021
EdwinLeeAIA@gmail.com

These drawings are the property of the Architect, Edwin Lee Architects. Unauthorised reproduction for any purpose is an infringement upon copyright laws. Violators will be subject to prosecution by federal and state law.

Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from the dimensions and conditions shown by these drawings.



District of Columbia License: #102967
Expiration: April 30, 2022

REVISIONS:

DATE	DESCRIPTION:
08/10/22	Owner's Review Set
08/19/22	Historic Submission
1/22	Permit Submission
1/22	Permit Comments
1/22	Construction Set

PROJECT:

DECK RAIL
REPLACEMENT

3101 P Street, NW
Washington DC,
20007

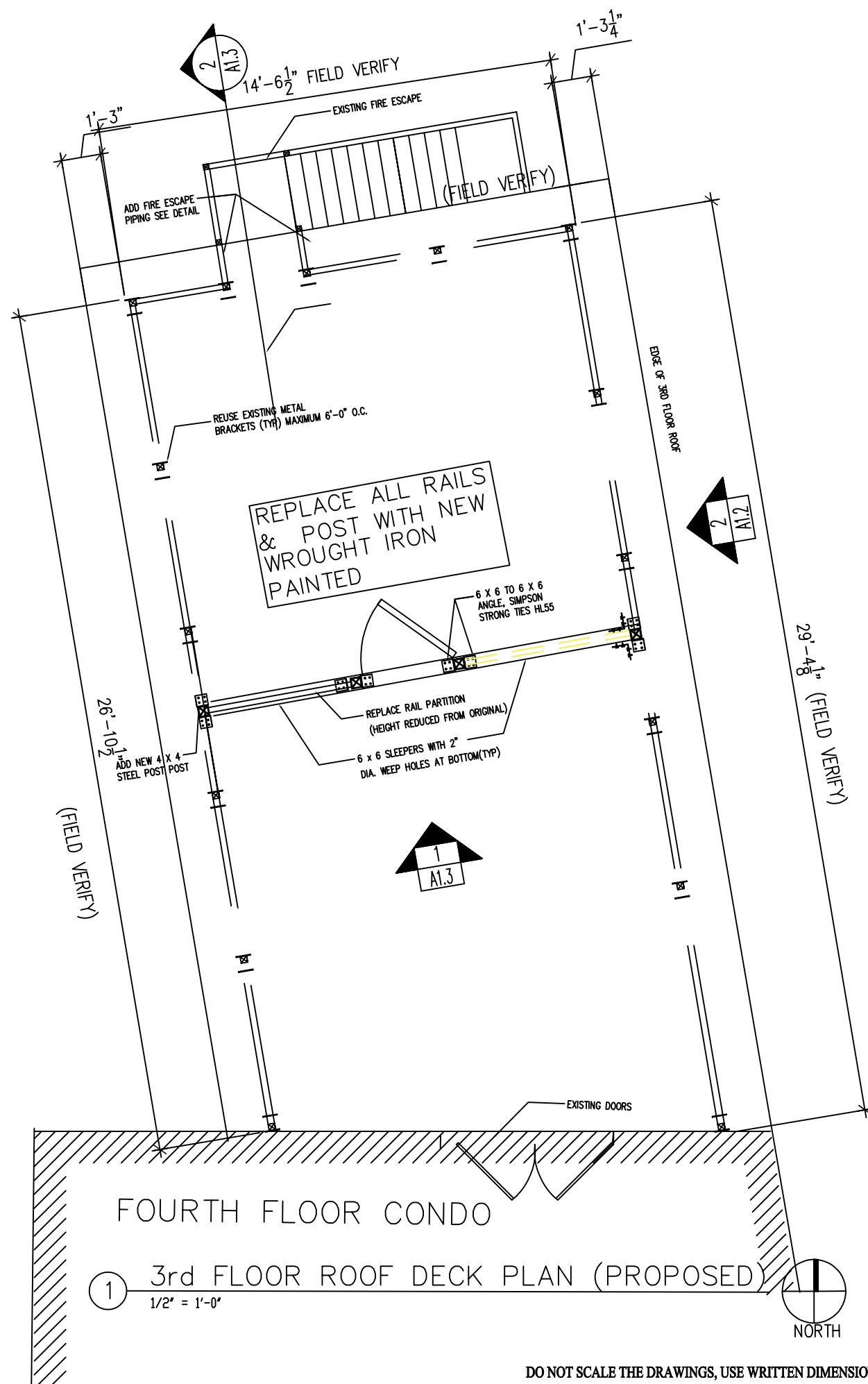
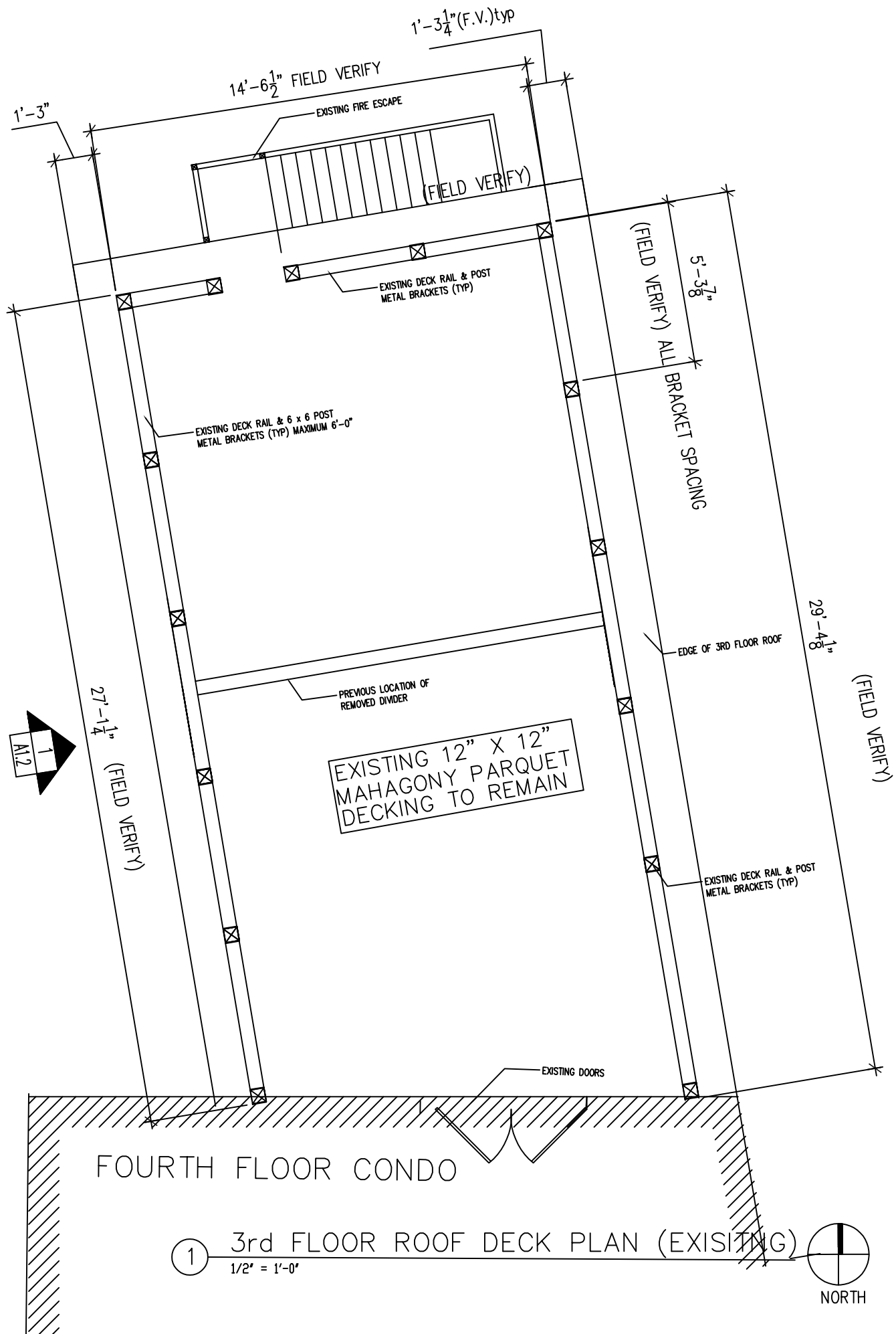
DRAWING:

COVERSHEET

ARCHITECT: EL
DRAWN BY: EL & SM

DATE:
08/10/2022
PROJECT NO:
#20.002

1CS



SPACE RESERVED FOR DCRA PERMIT REVIEWERS

EDWIN LEE
ARCHITECTS, LLC

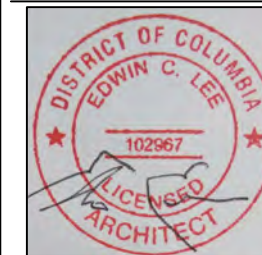
RESIDENTIAL COMMERCIAL
MD VA DC

100 LAKEVIEW AVE.
EDGEWATER, MD 21037
(Vicinity of Annapolis)

Washington Metropolitan: 410-991-7021
EdwinLeeAIA@gmail.com

These drawings are the property of the Architect, Edwin Lee Architects. Unauthorised reproduction for any purpose is an infringement upon copyright laws. Violators will be subject to prosecution by federal and state law.

Within dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from the dimensions and conditions shown by these drawings.



District of Columbia License: #102967

Expiration: April 30, 2022

REVISIONS:

DATE	DESCRIPTION:
08/10/22	Owner's Review Set
08/19/22	Historic Submission
1/22	Permit Submission
1/22	Permit Comments
1/22	Construction Set

PROJECT:

DECK RAIL
REPLACEMENT

3101 P Street, NW
Washington DC,
20007

DRAWING:

ROOF
PLANS

ARCHITECT: EL
DRAWN BY: EL & SM

DATE:
08/10/2022
PROJECT NO:
#20.002

A1.1

DO NOT SCALE THE DRAWINGS, USE WRITTEN DIMENSIONS

FOURTH FLOOR CONDO

KEY NOTES

- 1

2-1/2"x2-1/2"x3/16"THK. STEEL TUBE POST @ MAXIMUM 6'-0" O.C.
- 2

3/4"x3/4" SQ. STEEL TUBE PICKETS @5" O.C.
- 3

4-1/4"Ø RING
- 4

POST TAP
- 5

36" X 7'-0" HIGH WROUGHT IRON GATE W HINGES.
- 6

2" X1-1/4" X 3/8" THK. TOP & BOTTOM RAIL RIVET TO STL. CHANEL
- 7

PRESSED STEEL POINTED TOP AS REQUIRED
- 8

TOP OF THE ROOF DECK
- 9

2"x2" X 3/8" THK STL. CLIP ANGLE TO BE RIVETED TO STL. POST AND WELDED TO RAIL
- 10

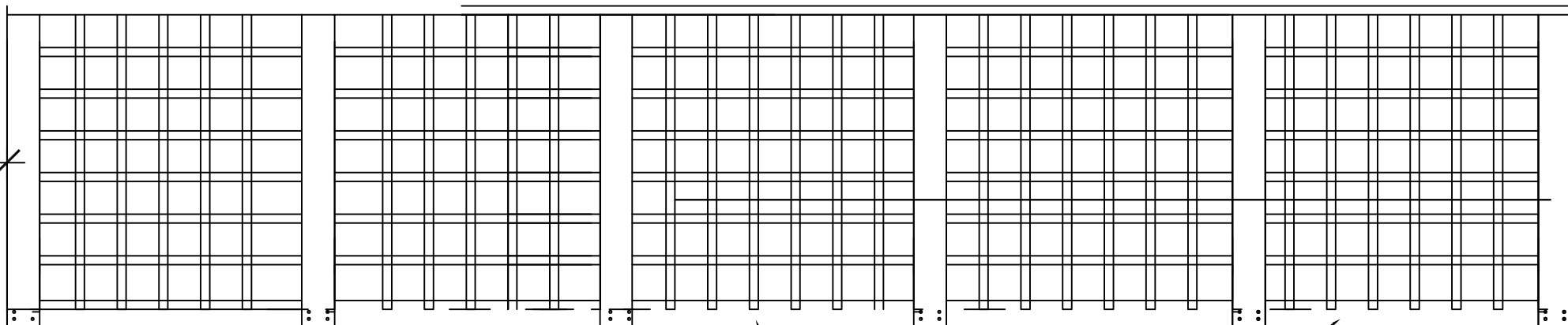
4"x4"x3/16"THK. STEEL TUBE POST FOR GATE
- 11

FENCE PAINT FINISH, BLACK
- 12

EXISTING METAL POST BRACKETS

02 PROPOSED RAIL PLAN & ELEVATION (TYP)
1'-1'-0"

1'-3"
TYP. FIELD VERIFY



2 x 6 P. T. ON EXISTING.
METAL BRACKETS (TYP)

EXISTING POST & RAIL

01 EXISTING RAIL PLAN & ELEVATION (TYP)
1'-1'-0"

DO NOT SCALE THE DRAWINGS, USE WRITTEN DIMENSIONS

SPACE RESERVED FOR DCRA PERMIT REVIEWERS

EDWIN LEE
ARCHITECTS, LLC

RESIDENTIAL COMMERCIAL
MD VA DC

100 LAKEVIEW AVE.
EDGEWATER, MD 21037
(Vicinity of Annapolis)

Washington Metropolitan: 410-991-7021
EdwinLeeAIA@gmail.com

These drawings are the property of the Architect, Edwin Lee Architects. Unauthorised reproduction for any purpose is an infringement upon copyright laws. Violators will be subject to prosecution by federal action of the law.
Within dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from the dimensions and conditions shown by these drawings.



District of Columbia License: #102967

Expiration: April 30, 2022

REVISIONS:	
DATE	DESCRIPTION:
08/10/22	Owner's Review Set
08/19/22	Historic Submission
/1/22	Permit Submission
/1/22	Permit Comments
/1/22	Construction Set

PROJECT:

DECK RAIL
REPLACEMENT

3101 P Street, NW
Washington DC,
20007

DRAWING:

EXISTING
PROPOSED

ARCHITECT: EL
DRAWN BY: EL & SM

DATE:
08/10/2022

PROJECT NO:
#20.002

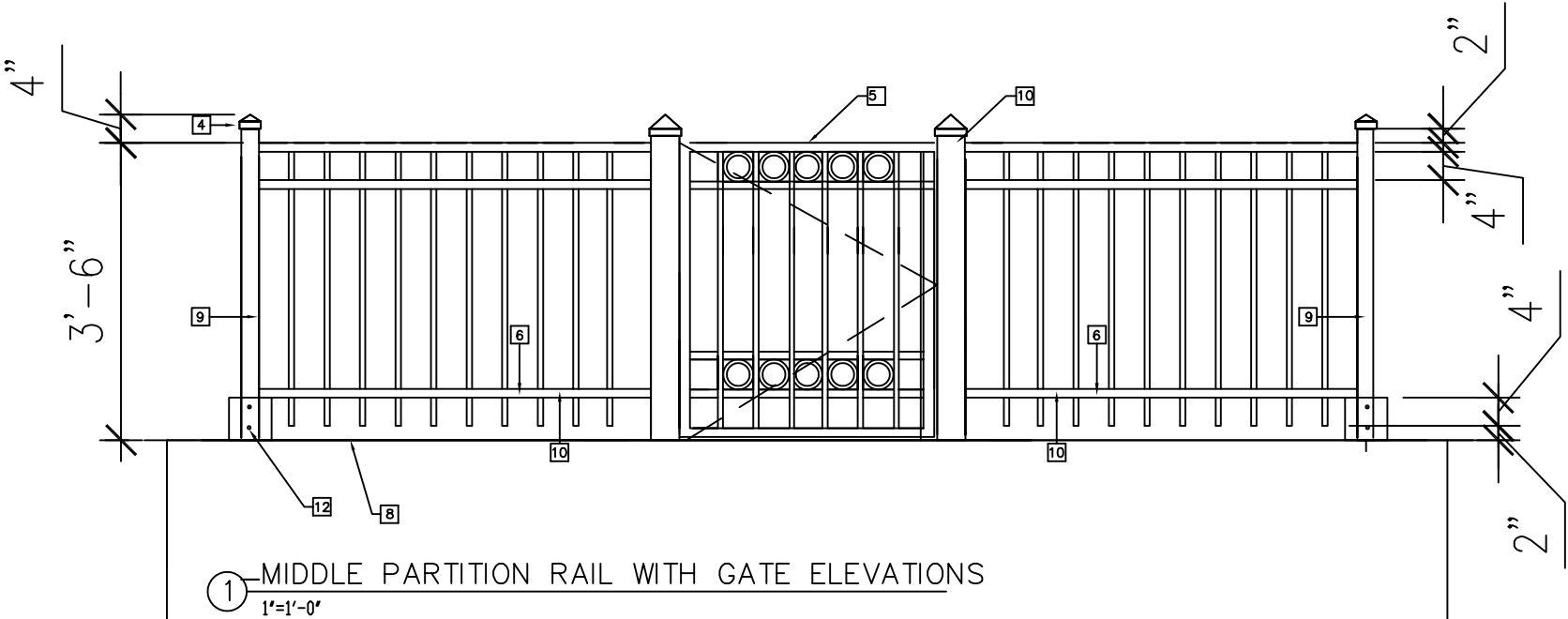
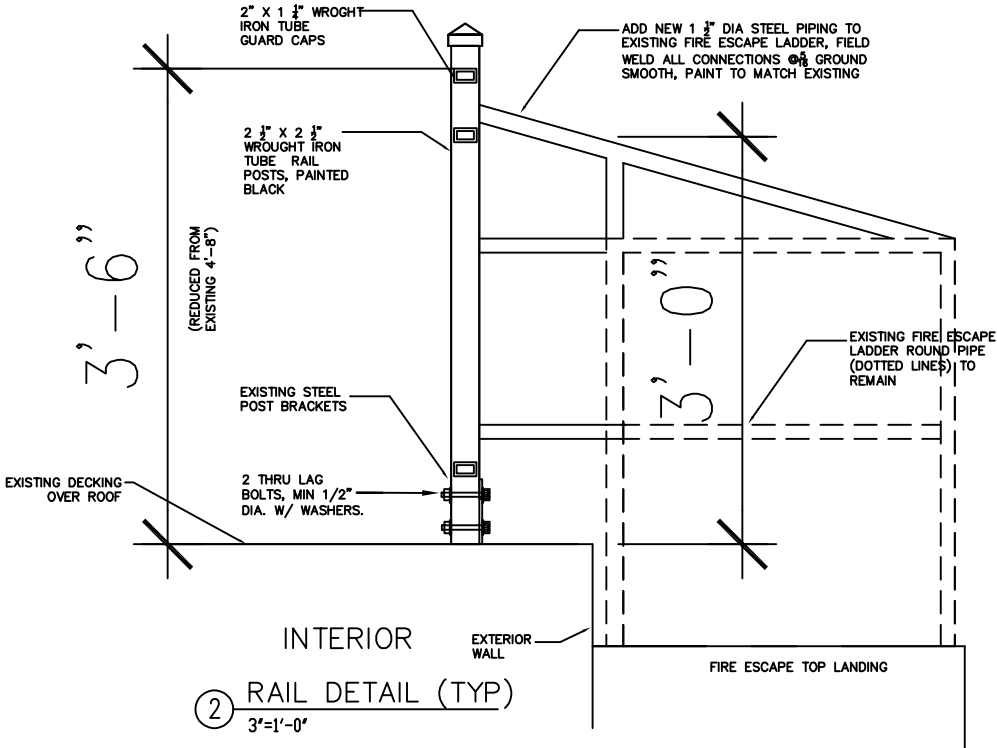
A1.2

GENERAL DECK RAIL DEMOLITION NOTES

- 1. ALL WORK TO BE IN COMPLETE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- 2. THE HOUSE WILL BE AVAILBLE SOLELY FOR THE DEMOLITION AND RENOVATION, GC HAS A FULL CONTROL OF THE PROPERTY DURING THE COURSE OF THE ENTIRE PROJECT GC SHALL SAFEGUARD THE PROPERTY AND RESPONSIBLE FOR ITS PROPERTY, THE CONTENT AND THE OCCUPANTS. THE OWNER SHALL NOTIFY AND COORDINATE CONTRACTOR IF WHEN A VISITOR. MAKE NECESSARY VISITS DURING THE CONSTRUCTION PERIOD.
- 3. REMOVE ALL EXISTING COMPONENTS AS NECESSARY TO PREPARE FOR NEW CONSTRUCTION AND REPAIRING AND PREPING ANY DECK COMPONENTS TO A CONDITION APPROPRIATE TO INSTALLATION OF NEW.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMOVAL AND DISCARDING OF ALL DEMOLITION WASTE INCLUDING ANY UNFORSEEN HAZARDOUS WASTE OR MATERIALS ENCOUNTERED WITHIN THE SCOPE OF THE PROJECT.
- 6. CONTRACTOR SHALL SHORE-UP AND BRACE AS REQUIRED DURING DEMOLITION TO ENSURE THE COMPLETE STRUCTURAL INTEGRITY OF THE DECK RAIL DURING AND AFTER COMPLETION OF THE ENTIRE SCOPE OF WORK.
- 7. THROUGHOUT THE DEMOLITION, GC TO INVESTIGATE EXISTING STRUCTURE FOR CRACKS, DETERIATION, AND OTHER SIGNS OF DAMAGE, GC TO SUBMIT FINDINGS TO EDWIN LEE ARCHITECTS, LLC AND OWNER.

KEY NOTES

- 1 2-1/2"x2-1/2"x3/16"THK. STEEL TUBE POST @ MAXIMUM 6'-0" O.C.
- 2 3/4"x3/4" SQ. STEEL TUBE PICKETS @5" O.C.
- 3 4-1/4"Ø RING
- 4 POST TAP
- 5 36" X 40" HIGH WROUGHT IRON GATE W HINGES.
- 6 2" X1-1/4" X 3/8" THK. TOP & BOTTOM RAIL RIVET TO STL. CHANEL
- 7 PRESSED STEEL POINTED TOP AS REQUIRED
- 8 TOP OF THE ROOF DECK
- 9 2"x2" X 3/8" THK STL. CLIP ANGLE TO BE RIVETED TO STL. POST AND WELDED TO RAIL
- 10 4"x4"x3/16"THK. STEEL TUBE POST FOR GATE
- 11 FENCE PAINT FINISH, BLACK
- 12 EXISTING METAL POST BRACKETS



DO NOT SCALE THE DRAWINGS, USE WRITTEN DIMENSIONS

SPACE RESERVED FOR DCRA PERMIT REVIEWERS

EDWIN LEE
ARCHITECTS, LLC

RESIDENTIAL COMMERCIAL
MD VA DC

100 LAKEVIEW AVE.
EDGEWATER, MD 21037
(Vicinity of Annapolis)

Washington Metropolitan: 410-991-7021
EdwinLeeAIA@gmail.com

These drawings are the property of the Architect, Edwin Lee Architects. Unauthorised reproduction for any purpose is an infringement upon copyright laws. Violators will be subject to prosecution by federal action of the law.
Within dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from the dimensions and conditions shown by these drawings.



District of Columbia License: #102967

Expiration: April 30, 2022

REVISIONS:

DATE	DESCRIPTION:
08/10/22	Owner's Review Set
08/19/22	Historic Submission
1/22	Permit Submission
1/22	Permit Comments
1/22	Construction Set

PROJECT:

DECK RAIL
REPLACEMENT

3101 P Street, NW
Washington DC,
20007

DRAWING:

ELEVATION
DETAILS

ARCHITECT: EL
DRAWN BY: EL & SM

DATE: 08/10/2022

PROJECT NO: #20.00020.002

A1.3

3101 P Street, NW

- Site Visit: 7/26/2022



Figure 1 - Exterior View: Looking south on 31st Street, NW.



Figure 2 - Exterior View: Looking south on 31st Street, NW.



Figure 3 - Exterior View: Looking southwest on 31st Street, NW.



Figure 4 - Exterior View: Looking southwest on 31st Street, NW.



Figure 5 - Exterior View: Looking west from 31st Street, NW.



Figure 6 - Exterior View: Looking west from 31st Street, NW.



Figure 7 - Interior View: Looking north / to the rear.



Figure 8 - Interior View: Looking north / to the rear.



Figure 9 - Exterior View: Looking north / to the rear.



Figure 10 - Exterior View: Looking northwest / to the rear.



Figure 11 - Exterior View: Looking northeast / to the rear.



Figure 12 - Exterior View: Looking north / to the rear.



Figure 13 - Exterior View: Looking northeast / to the rear.

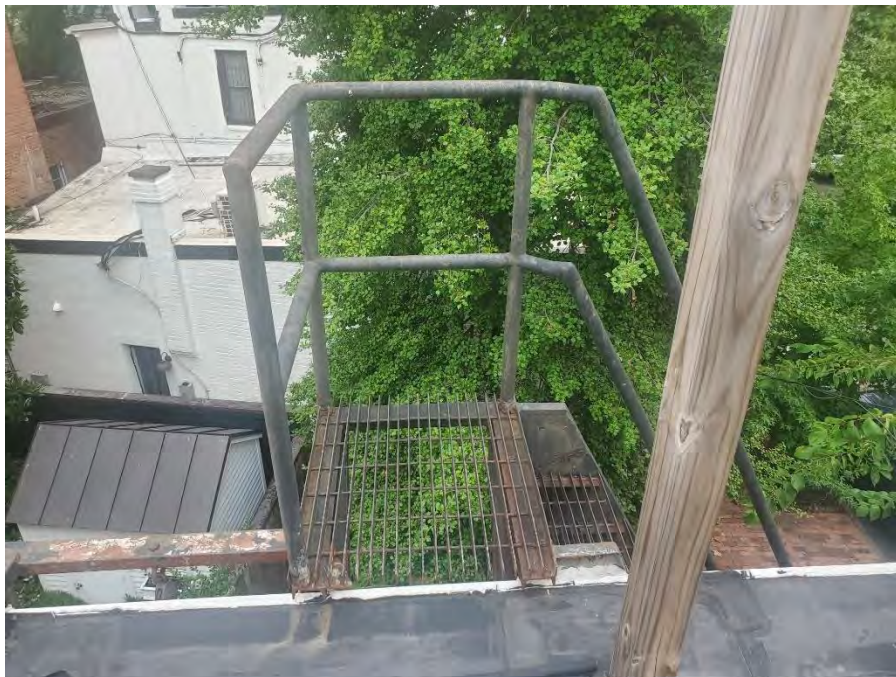


Figure 14 - Exterior View: Looking north / to the rear.



Figure 15 - Exterior View: Looking south.



Figure 16 - Exterior View: Looking south.

Department of Consumer and Regulatory Affairs
 Permit Operations Division
 1100 4th Street SW
 Washington DC 20024
 Tel. (202) 442 - 4589 Fax (202) 442 - 4862

B

BUILDING PERMIT

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS OF WORK UNTIL WORK IS COMPLETED AND APPROVED

Issue Date: 11/05/2019
 Expiration Date: 11/05/2020

PERMIT NO. B2001410

Address of Project:
 3101 P ST NW 4

Zone:	Ward:	Square	Suffix:	Lot:
R-3	2	1270		2004

Permit Restrictions: CFA, HPRB, YEARBUILT PRIOR 1978

Description Of Work:
 Repairing a decayed wooden railing on the existing rooftop, and repair the existing interior floors.

Permission Is Hereby Granted To: Cp Holdings Llc	Owner Address: 4401 WILSON BLVD 4401 WILSON BLVD STE 600 ARLINGTON, VA 22203	PERMIT FEE: \$71.50
---	---	------------------------

Permit Type: Alteration and Repair	Existing Use: Condo - R-2	Proposed Use: Condo - R-2	Building Construction Type TYPE V - Any Materials Permitted	Floor(s): 0
---------------------------------------	------------------------------	------------------------------	--	----------------

Agent Name / Address:	Contractor Name / Address :	Existing Dwell Units: 1	Proposed Dwell Units: 1	No. of Stories: 4
-----------------------	-----------------------------	----------------------------	----------------------------	----------------------

Conditions/ Restrictions:

Work restricted to minor component repair/replacement. No change in overall appearance of existing railing assembly.

This Permit Expires if no Construction is Started Within 1 Year or if the Inspection is Over 1 Year.

All Construction Done According To The Current Building Codes And Zoning Regulations:

As a condition precedent to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all work authorized by this permit and to require any change in construction which may be necessary to ensure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under this Permit must start within one(1) year of the date appearing on this permit or the permit is automatically void. If work is started, any application for partial refund.

Lead Paint Abatement
 Whenever any such work related to this Permit could result in the disturbance of lead based paint, the permit holder shall abide by all applicable paint activities provisions of the 'Lead Hazard Prevention and Elimination Act of 2008' and the EPA 'Lead Renovation, Repair and Painting rule' regarding lead-based include adherence to lead-safe work practices. For more information, go to <http://ddoe.dc.gov>, Lead and Healthy Housing.

Director: *Ernest Chrappah*
 Ernest Chrappah

Permit Clerk: *Jacqueline Arce*
 Jacqueline Arce

TO REPORT WASTE, FRAUD OR ABUSE BY ANY DC GOVERNMENT OFFICIAL, CALL THE DC INSPECTOR GENERAL AT 1-800-521-1639
 To schedule a CONSTRUCTION INSPECTION or for INQUIRIES CALL (202) 442-9657
 Call Miss Utility at 611 or 1-800-257-7777 at least 48 Hours prior to excavation to obtain a ticket. <http://www.missutility.net/washingtondc/dstateclaw.asp>

Figure 17 - DCRA Building Permit.

Research on Past OGB / CFA Reviews – 3101 P Street, NW:

- From CFA Files –

1. OG: OG 03-330

HPA: HPA 03-592

Submitted: 9/30/03

Received: 9/30/03

Returned: 10/24/03

Agent: Long Fence

Project: Replacement fence - permit

Lot: 2002

Square: 1270

Action: No objection to issuance of permit for proposed replacement of existing stockade fence on side yard with a 6'0" high board and batten wood fence to be stained, provided fence meets code requirements. Note is made that permit application is pending final zoning review. Any modifications to the approved design as a result of the further review in the permit process must be submitted to the Commission for approval.

2. OG: OG 81-48

HPA: HPA 81-134

Submitted: 12/31/80

Received: 1/2/81

Returned: 1/8/81

Agent: Dunn & Partners

Project: Revision of design. Wood fence 42" high in public space.

Action: Issue permit for lattice fence painted to match other lattice on building. January 8, 1981

3. OG: OG 81-42

HPA: HPA 81-110

Submitted: 12/11/80

Received: 12/12/80

Agent: John Brady

Project: Change proposed brick wall at areaway to wood fence.

Action: Alteration of approved plans is not recommended. Vertical louvered type of fence is out of character with this building and nearby fences. Recommend restudy of fence design, though there is no objection to it being wood. Suggest a trellis design to match that on roof deck of this building.

4. OG: OG 79-109

HPA: HPA 79-286

Submitted: 6/18/79

Received: 6/19/79

Returned: 6/21/79

Agent: John Brady (Dunn & Preston)

Project: Revise approved P St. elevation. Retain 4th floor window opening width, lower sill only. This is a change to building permit #B-264535

Action: Issue permit

5. OG: OG 78-101

Submitted: 5/16/78

Received: 5/16/78

Returned: 5/18/78

Agent: John W. Brady

Project: New window openings, interior layout as per drawings.

Action: Issue permit. Recommend that rooftop lattice work be checked against code.

6. OG: OG 78-77

Submitted: 3/31/78

Received: 4/3/78

Returned: 4/5/78

Agent: Alfred J. Cerdini

Project: Make new exterior masonry openings, large areaway, install new stair, reframe part of roof and 2 floors, repair failure in existing masonry wall, install 4 new skylights, replace existing windows.

Action: No objection to preliminary [illegible]. Submit working drawings for CFA review prior to issuance of permit.

7. OG: OG 78-69

Submitted: 3/7/78

Received: 3/7/78

Returned: 3/9/78

Agent: Dunn & Preston

Project: Conversion of 7 unit apartment structure into 4 unit luxury condominium)1 unit/fl).

Action: Do not issue. Recommend restudy with less change to existing opening, particularly those [illegible]ome of the character of the original and adjacent [illegible]ing. Though kitchen windows may be acceptable. The more dramatic arched openings may be too far from the original, existing or district character to suitable.

8. S6 - NW Corner of P St and 31st Sts.

Submitted: 8/7/51

Project: Informal inquiry on replacement of front door

Action: Three lighia [sic] in each door omitting the veriicake [sic]

9. FAA-OG-Inf. Subm.- 3101 P St NW (Door)

Project: Remodel entrance. Date on file folder, 8/7/51.

Action: See notes in folder