

DRAWING LIST

ISSUE TYPE	ISSUE DATE	CONCEPT REVIEW PACKAGE	CONCEPT REVISION 1
	2022.10.27		
	2022.11.28		

DRAWING	ARCHITECTURAL		
T-001	TITLE SHEET	•	•
G-001	DIGITAL PHOTOGRAPHS	•	•
G-002	DIGITAL PHOTOGRAPHS	•	•
G-003	DOOR SCHEDULE	•	•
AD-100	DEMOLITION FLOOR PLANS	•	•
AD-101	DEMOLITION STOREFRONT ELEVATION	•	•
A-102	FIXTURE PLAN	•	•
A-103	FLOOR FINISH PLAN	•	•
A-106	REFLECTED CEILING LIGHTING PLAN	•	•
A-201	EXISTING STOREFRONT PLAN, ELEVATION, PHOTOGRAPHS	•	•
A-202	PROPOSED STOREFRONT PLAN AND ELEVATION	•	•
A-203	EXISTING & PROPOSED STOREFRONT SECTION & DETAILS	•	•

SCOPE OF WORK

PROJECT DESCRIPTION AND SCOPE OF WORK:
 THE PROPOSED TENANT IMPROVEMENT WORK CONSISTS OF NEW PARTITIONS, FINISH CEILING AND FLOORING WITHIN A EXISTING MERCANTILE TENANT SPACE. THE PROPOSED WORK INCLUDES INSTALLATION OF NEW RETAIL FIXTURES, INTERIOR FINISHES, LIGHTING AND MISC. MILLWORK. THE WORK IS TO COMPLY WITH ALL APPLICABLE BUILDING CODES.
 TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY WITH ALL APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITIES HAVING JURISDICTION IN ACCORDANCE WITH LOCAL BUILDING CODES.

CODE CRITERIA

GOVERNING CODES:
 BUILDING CODE: 2017 DC BUILDING CODE
 MECHANICAL CODE: 2017 DC MECHANICAL CODE
 ELECTRICAL CODE: 2017 DC ELECTRICAL CODE
 PLUMBING CODE: 2017 DC PLUMBING CODE
 FIRE CODE: 2017 DC FIRE CODE
 ACCESSIBILITY: CHAPTER 11 OF THE 2017 DC BUILDING CODE 2010 ADA 2009 ANSI A117.1
 ENERGY CODE: 2017 DC ENERGY CONSERVATION CODE

CONSTRUCTION CLASSIFICATION:
 TYPE III-B, SPRINKLERED

CODE ANALYSIS

SUITE #219

OCCUPANCY GROUP:
 EXISTING: GROUP M, MERCANTILE
 PROPOSED: GROUP M, MERCANTILE
 TOTAL SALES: 1,323 S.F.
 TOTAL BACK OF HOUSE: 2,143 S.F.
 TOTAL SQUARE FOOTAGE: 3,466 S.F.

PROJECT DIRECTORY

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GENERAL CONTRACTOR
 TBD

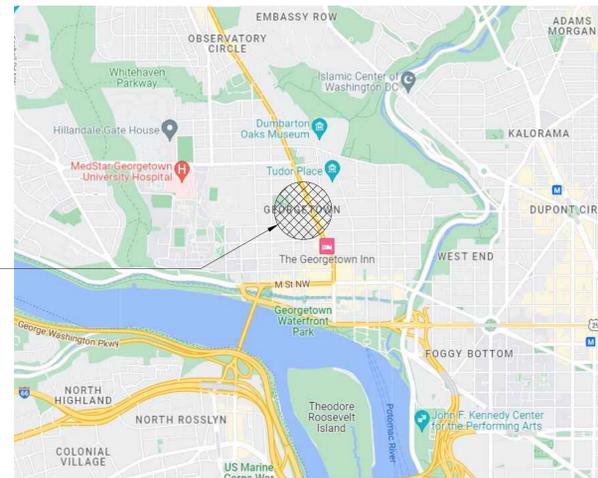
MILLWORK CONTRACTOR
 TBD

TENANT COORDINATOR
 TBD



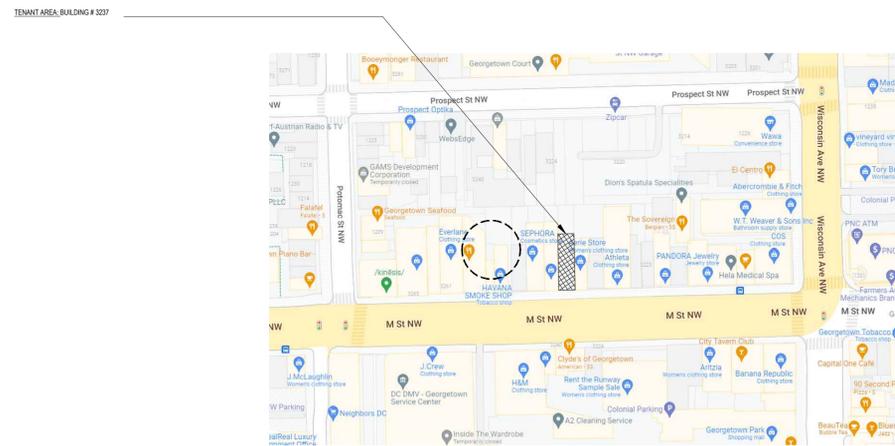
**AWAY TRAVEL
 GEORGETOWN**
 3237 M STREET NW
 WASHINGTON, DC 20007

PROJECT LOCATION



PROPERTY ADDRESS INFORMATION (OVERALL SITE):
 3237 M STREET NW, WASHINGTON, DC 20007

A AREA PLAN
 SCALE: NTS



B MALL PLAN
 SCALE: NTS



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PROJECT MANAGER: VIVIANA AGUDELO

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. ALL BUILDING WORK TO COMPLY WITH CURRENT RELEVANT IBC. SIREN DESIGN IS TO BE NOTIFIED OF ANY DISCREPANCIES IN THE DIMENSIONS AND SETTING OUT OF THE WORK, FOR RESOLUTION. COPYRIGHT OF DESIGNS SHOWN HEREON IS RETAINED BY THIS OFFICE. AUTHORITY IS REQUIRED FOR ANY REPRODUCTION.



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MEP ENGINEER



ARCHITECT OF RECORD: JERALD L. CLARK

SEAL

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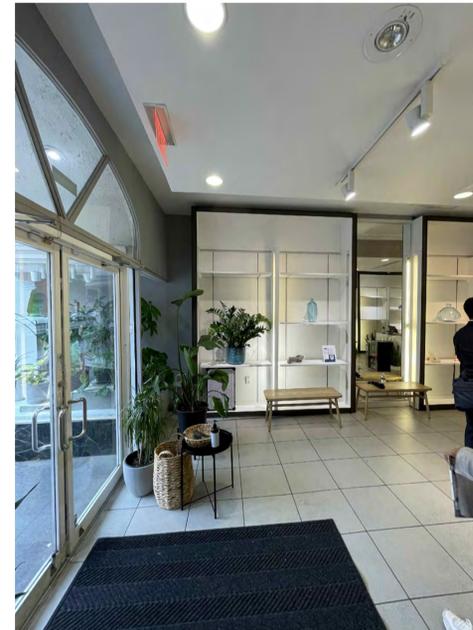
TITLE SHEET

T-001

EXTERIOR PHOTOGRAPHS



FIRST FLOOR PHOTOGRAPHS



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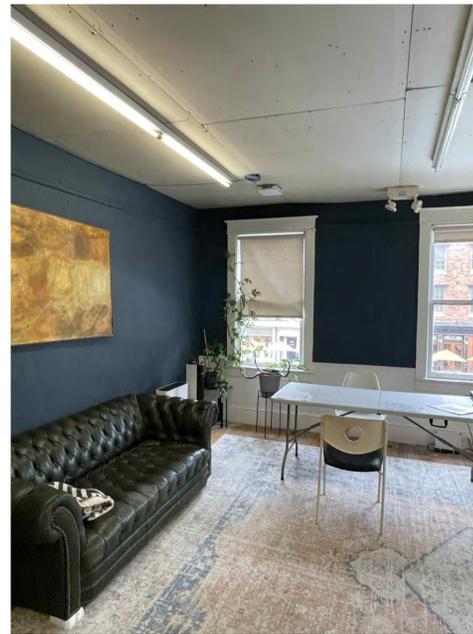
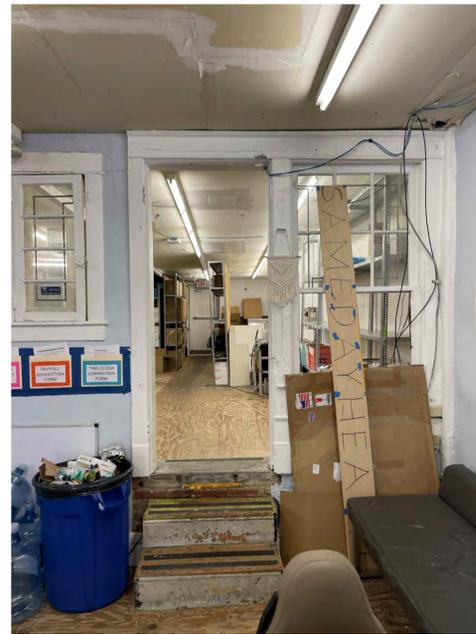
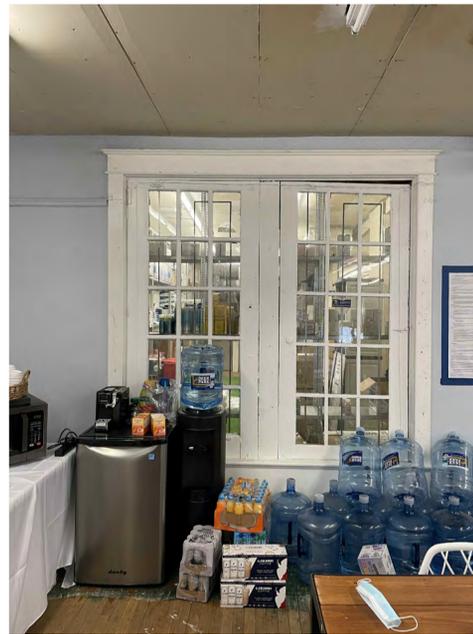
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DIGITAL PHOTOGRAPHS

G-001

SECOND FLOOR PHOTOGRAPHS



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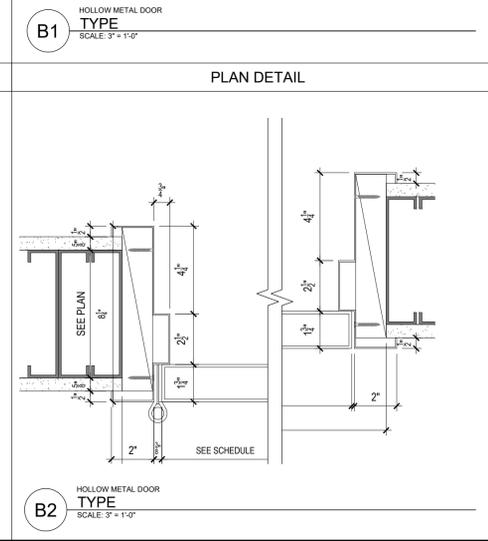
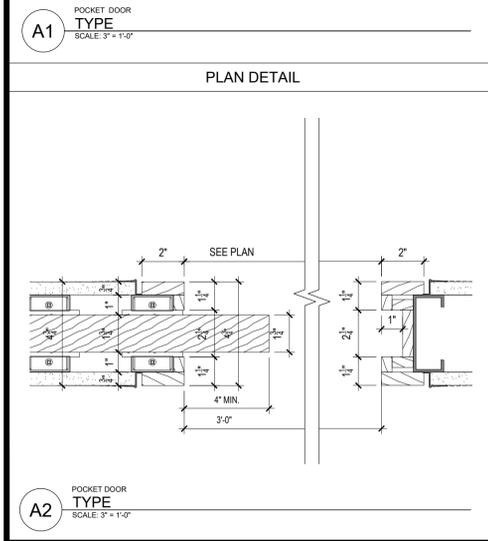
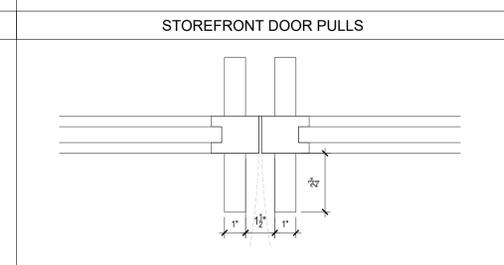
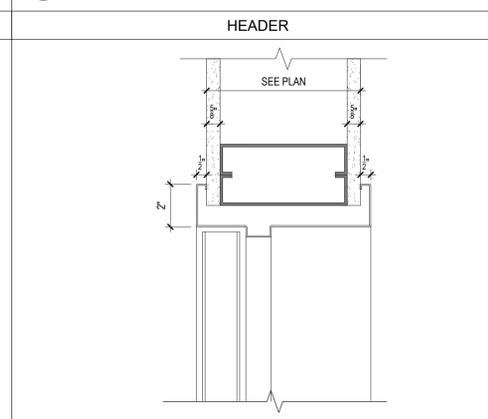
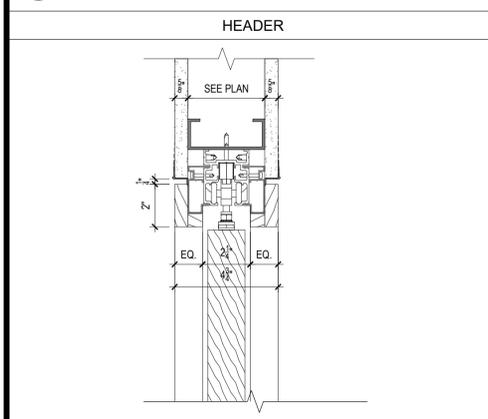
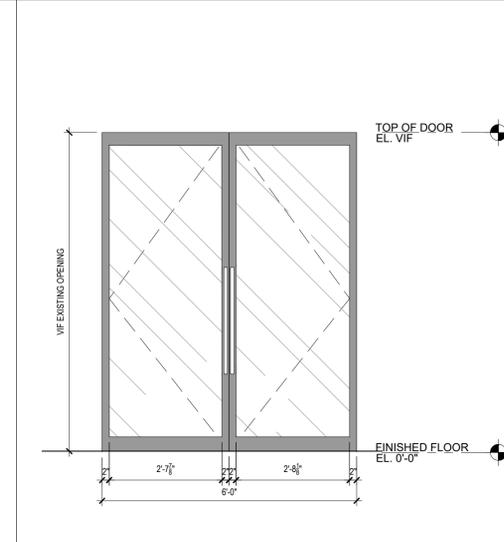
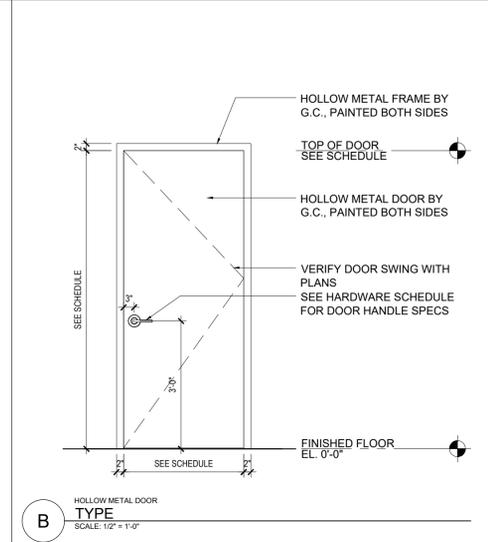
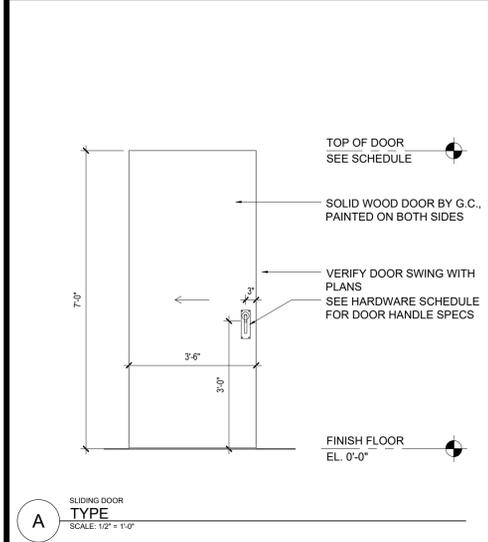
G-002

DOOR TYPES											
DOOR NUMBER	DOOR LOCATION	DOOR TYPE	DOOR SIZE	DOOR MATERIAL	DOOR FINISH	HARDWARE TYPE	HARDWARE FINISH	FRAME	RATING	RESPONSIBILITY	ADDITIONAL NOTES & REMARKS
100	STOREFRONT ENTRY	C	3'-0" X 7'-6" (VIF)	METAL	TO MATCH EXIST.	1	TO MATCH EXIST.	N/A	N/A	G.C.	NOTE: EXISTING TO REMAIN
101	POCKET DOOR	A	3'-6" x 7'-0"	WOOD	PT-2	2	US19	N/A	N/A	G.C.	
102	MANAGERS OFFICE	B	3'-0" x 7'-0"	HOLLOW METAL	PT-1	3	REFER TO HARDWARE TYPE	N/A	N/A	G.C.	NOTE: DETAILS TO MATCH DOOR TYPE 'C'. MAX OPENING FORCE OF 5LB. PERMITTED PER CODE, SEE SHEET G-002

DOOR SCHEDULE NOTES

- ALL HARDWARE SUBSTITUTIONS SHALL BE SUBMITTED TO AND APPROVED BY ARCHITECT / LANDLORD.
- ALL FIRE AND/OR SMOKE DOORS AND FRAMES SHALL BE FURNISHED WITH PERMANENTLY AFFIXED LABELS INDICATING: -HOURLY RATING / -ALPHABETICAL CLASS RATING OR -BOTH
- ALL RATED DOORS SHALL BE A TIGHT FITTING SMOKE AND DRAFT CONTROL ASSEMBLY WITH LATCH CONNECTIONS.
- BOTTOM 10" OF ALL DOORS SHALL HAVE SMOOTH UNINTERRUPTED SURFACE FOR OPENING BY WHEEL CHAIR FOOTREST.
- ALL HARDWARE SHALL CONFORM WITH APPLICABLE LOCAL CODES.
- FINISH HARDWARE SUPPLIER SHALL BE RESPONSIBLE FOR COORDINATING THE MODIFICATION OF STANDARD TAILPIECES OR CAMS OR OBTAINING SPECIAL CAMS FROM LOCK MANUFACTURER TO PROPERLY OPERATE DEVICES OF OTHER MANUFACTURERS THAT THE LOCKS WILL BE INSTALLED INTO
- ONLY TEMPORARY CYLINDERS ARE TO BE USED DURING CONSTRUCTION PERIOD. PERMANENT CYLINDERS TO BE INSTALLED IN THE PRESENCE OF A CLIENT'S REPRESENTATIVE AND KEYS FOR THIS HARDWARE ARE TO BE DELIVERED AT THAT TIME. ALL LOCKS TO ACCEPT BEST/FALCON 7-PIN INTERCHANGEABLE CORES.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. ALL CLOSERS AND PIVOTS SHALL BE ADA COMPLIANT FOR THE WEIGHT OF DOOR THEY OPERATE
- THE MOUNTING HEIGHT OF ALL HARDWARE SHALL COMPLY WITH ADAAG AND ANY/ALL OTHER APPLICABLE LOCAL CODES.
- ALL DOOR LATCHES SHALL BE EQUIPPED WITH LEVER TYPE HANDLES OR PANIC BARS. DOOR OPENING HARDWARE SHALL BE MOUNTED BETWEEN 30" AND 44" AFF.
- ALL EGRESS DOORS SHALL BE OPERABLE FROM THE SIDE OF WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- FIRE EXIT (PANIC) DEVICES SHALL BE FURNISHED COMPLETE WITH ALL REQUIRED STRIKES. ALL ITEMS ARE TO BE PRODUCTS OF THE SAME MANUFACTURER.
- EXIT ALARMS SHALL BE FURNISHED COMPLETE WITH THE REQUIRED STRIKES AND NEW BATTERIES.
- THE OPERATING DEVICES SHALL BE CAPABLE OF OPERATION WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
- TEMPLATES ARE REQUIRED TO BE INCLUDED BY THE MANUFACTURER FOR EACH DOOR AND FRAME AS REQUIRED FOR PREPARATION TO RECEIVE HARDWARE.
- ALL HARDWARE ON EXISTING DOORS TO REMAIN SHALL BE REPLACED AS SPECIFIED ON DRAWINGS AND DOOR SCHEDULE UNLESS OTHERWISE NOTED.
- FLOOR AREAS AT EACH SIDE OF ALL DOORS SHALL BE CLEAR AND LEVEL.
- ALL SIGNAGE TO BE INSTALLED ON DOORS OR ADJACENT TO DOORS, AS REQUIRED BY APPLICABLE CODES, WILL BE FURNISHED & INSTALLED BY GC. SUBMIT SHOP DRAWING/SPECIFICATION FOR ARCHITECT APPROVAL.

DOOR TYPES



HARDWARE SETS							
SET	LOCKSET FUNCTION	LOCKSET FUNCTION	MANUFACTURER	SPECIFICATION	COLOR/NUMBER	DIMENSION/COMPOSITION	NOTES
1	ENTRY	HANDLE	ASSA ABLOY / ROCKWOOD	ROCKWOOD RM7907	TO MATCH EXISTING ENTRY DOOR U.O.N.	"GRIP: 1"X1" CTC: 24" U.O.N. PROJECTION: 2 3/4"	EQUAL OR ALT APPROVED BY OWNER
		DOOR STOP	HEWI	DOOR STOP 615B	FLAT BLACK US19	52MM X 42.5MM	EQUAL OR ALT APPROVED BY OWNER
		DOOR STOP ALT	ASSA ABLOY / EMTEK	HALF DOME 2251	"POLISHED CHROME (US26)"	1 13/16" DIA. x 1"H	EQUAL OR ALT APPROVED BY OWNER
2	POCKET / PASSAGE	EDGE PULL	ASSA ABLOY/EMTEK	EDGE PULL 2221	FLAT BLACK US19		
		FLUSH PULL	ASSA ABLOY/EMTEK	MODERN RECTANGLE FLUSH PULL	FLAT BLACK US19	2" X 7" X 1/2"	
		SLIDE SET	EZ CONCEPT	SLIDE SET (INCLUDES DOOR, FRAME, SLIDE, FLOOR GUIDE, GYP BD TRIM, ETC)		SEE DOOR SCHEDULE	FLUSH POCKET DOOR SLIDE SET AND TRIM KIT. INCLUDE EZ SOFT CLOSER IN SPECIFICATION
3	OFFICE	CLOSER	EZ CONCEPT	EZ SOFT CLOSER			
		LOCKSET / HANDLE	ASSA ABLOY/EMTEK	ELAN LEVER KEYED ENTRY LOCK: F51 ELA 625	BRIGHT CHROME		
		CLOSER	LCN	4110 SERIES SMOOTHIE	ALUMINUM 689		
		HINGE	HAGER	BEARING HINGE BB1191	POLISHED CHROME (US26)	4" X 4" (VERIFY)	
	DOOR STOP	HEWI	DOOR STOP 615B	FLAT BLACK (US19)	52MM X 42.5MM		
	SILENCER	ASSA ABLOY / EMTEK	21R/SR64			1/2" THICKNESS, 1/8" PROJECTION	

NOTE: GC TO REPLACE CORES AND KEYS OF ALL EXISTING EXTERIOR DOORS



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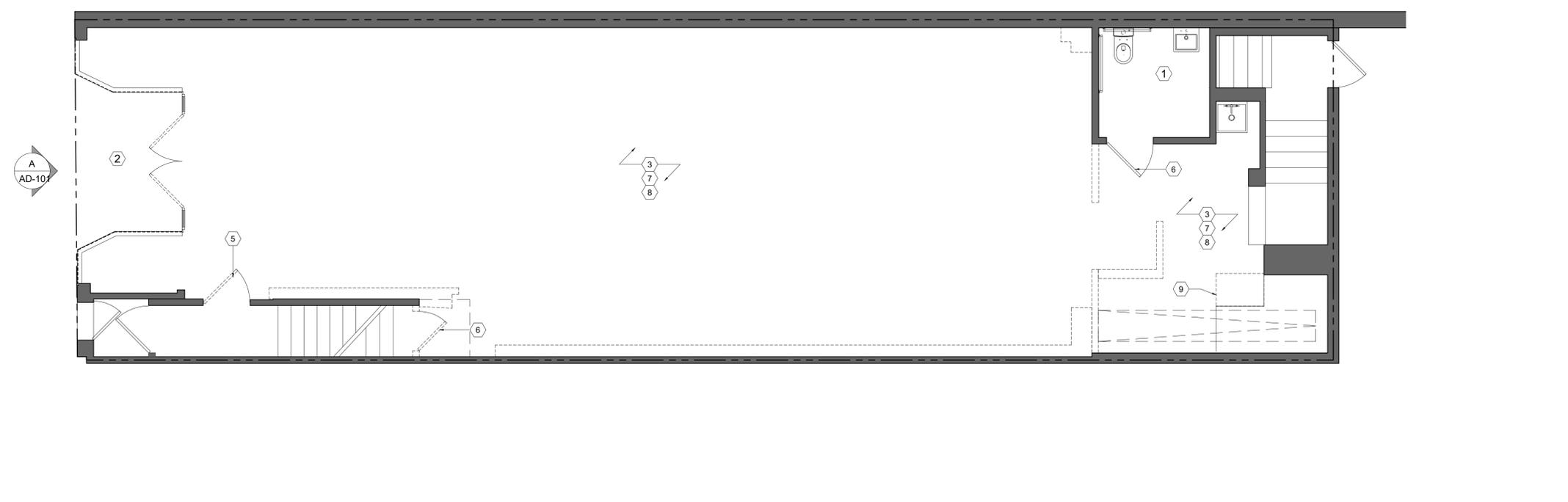
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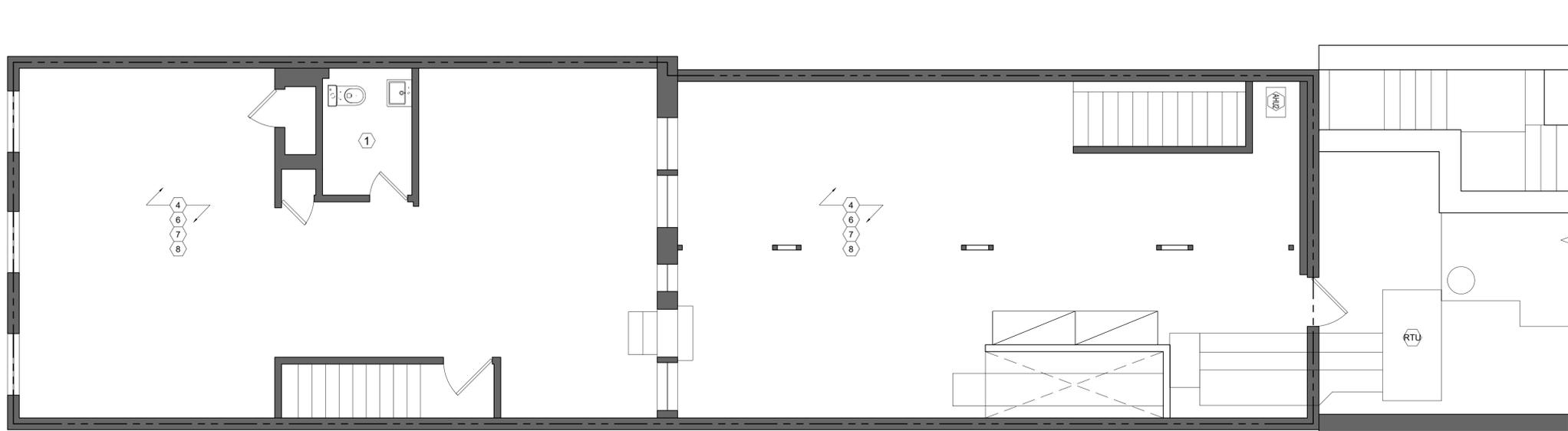
DOOR SCHEDULE

G-003

F
E
D
C
B
A



A DEMOLITION PLAN FIRST FLOOR
SCALE: 1/4" = 1'



B DEMOLITION PLAN SECOND FLOOR
SCALE: 1/4" = 1'

GENERAL FIXTURE NOTES

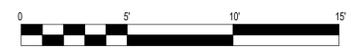
- GENERAL NOTES:**
1. PROTECT ADJACENT CONSTRUCTION AND SURFACES TO REMAIN.
 2. COMMON SPACES OUTSIDE AREA OF WORK AND ADJACENT TENANTS TO BE PROTECTED FROM DEMOLITION DUST AND DEBRIS.
 3. FOR EXISTING LIGHTING WITHIN AREA OF WORK TO BE REMOVED, PULL ALL ABANDONED WIRING BACK TO SOURCE.
 4. REMOVE ALL EXISTING FLOOR FINISHES AND PREP FLOOR TO RECEIVE FINISHES.
 5. EXISTING CONDITIONS INTENDED TO REMAIN THAT ARE DEMOLISHED OR DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING AT THE CONTRACTOR'S EXPENSE.
 6. PARTITIONS TO REMAIN THAT ARE MODIFIED BY DEMOLITION TO BE PATCHED AND REPAIRED.
 7. GC TO COORDINATE WITH DEMOLITION SCOPE OF MECH, ELEC, PLUMBING, SPRINKLER, AND FIRE ALARM SYSTEMS. LIFE SAFETY SYSTEMS THAT MUST REMAIN OPERATIONAL DURING CONSTRUCTION TO BE MAINTAINED.
 8. ALL STRUCTURAL COMPONENTS TO REMAIN. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER UPON DISCOVERY OF ANY UNDOCUMENTED OR SUSPECTED STRUCTURAL COMPONENTS.
 9. ALL EXISTING FIRE RATINGS TO REMAIN SHALL BE PROTECTED. PATCH AND REPAIR DAMAGE TO ENSURE RATINGS ARE MAINTAINED.

FIXTURE PLAN SYMBOL LEGEND

SYMBOL	TYPE
---	TENANT LEASE LINE
---	REQUIRED CLEARANCES, PER CODE
(X)	KEY NOTE TAG
(100)	DOOR TAG - SEE SHEET G-008
(X-XXX)	ELEVATION TAG

KEY NOTES

1. EXISTING RESTROOM FIXTURES AND FLOORING TO REMAIN
2. EXISTING STOREFRONT STUCCO ENTRY VAULT TO REMAIN. GC TO REPLACE STOREFRONT GLASS AND ENTRY DOORS. SIDELIGHTS AND TRANSOM TO REMAIN. PATCH AND REPAIR EXTERIOR ELEMENTS IN THE STOREFRONT THAT ARE DAMAGED. EXTERIOR FLOOR TO REMAIN
3. REMOVE EXISTING FLOORING THROUGHOUT. PREPARE FLOOR FOR FINISH, INCLUDING LEVELING EXISTING SUBFLOOR SURFACE AS REQ'D.
4. EXISTING FLOORING TO REMAIN
5. REMOVE EXISTING DOOR
6. EXISTING DOORS TO REMAIN
7. REMOVE EXISTING I.T. EQUIPMENT
8. EXISTING WALLS TO REMAIN
9. GC REMOVE PORTION OF PLATFORM



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SEAL

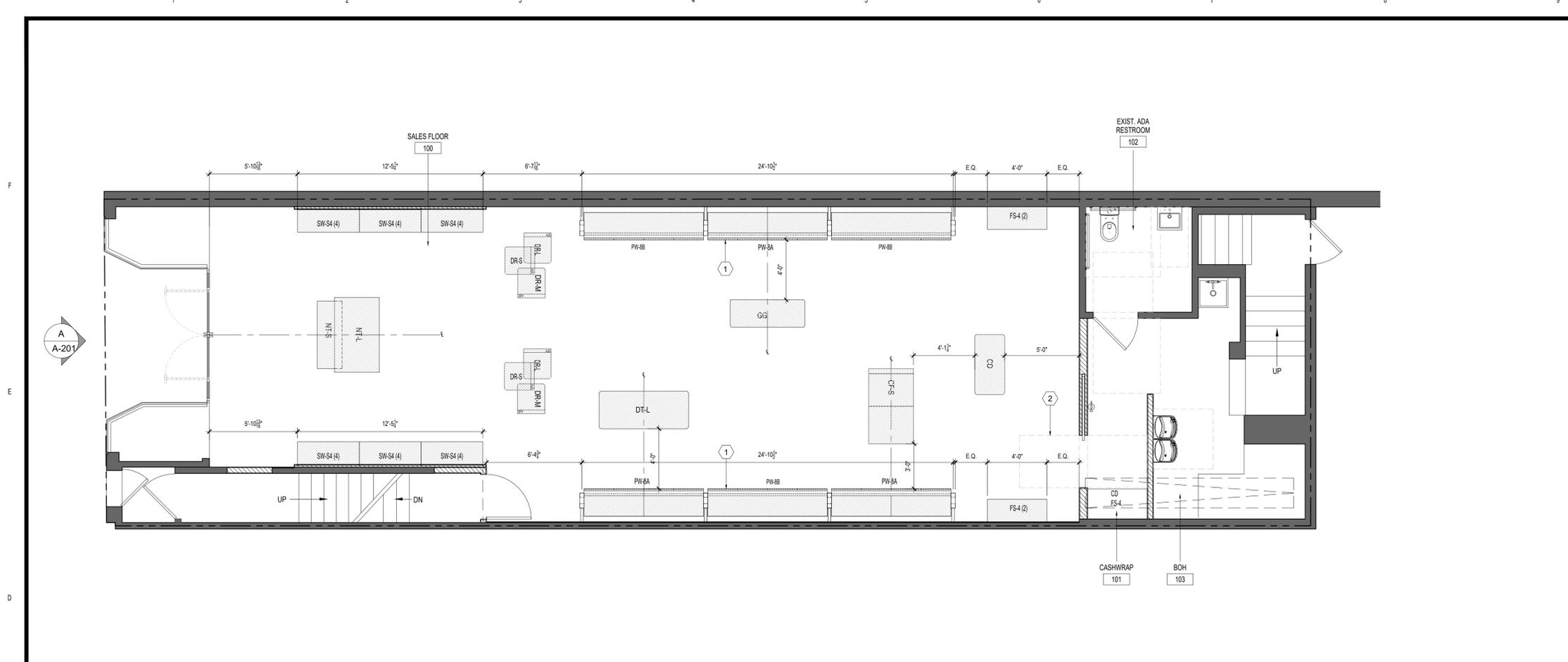
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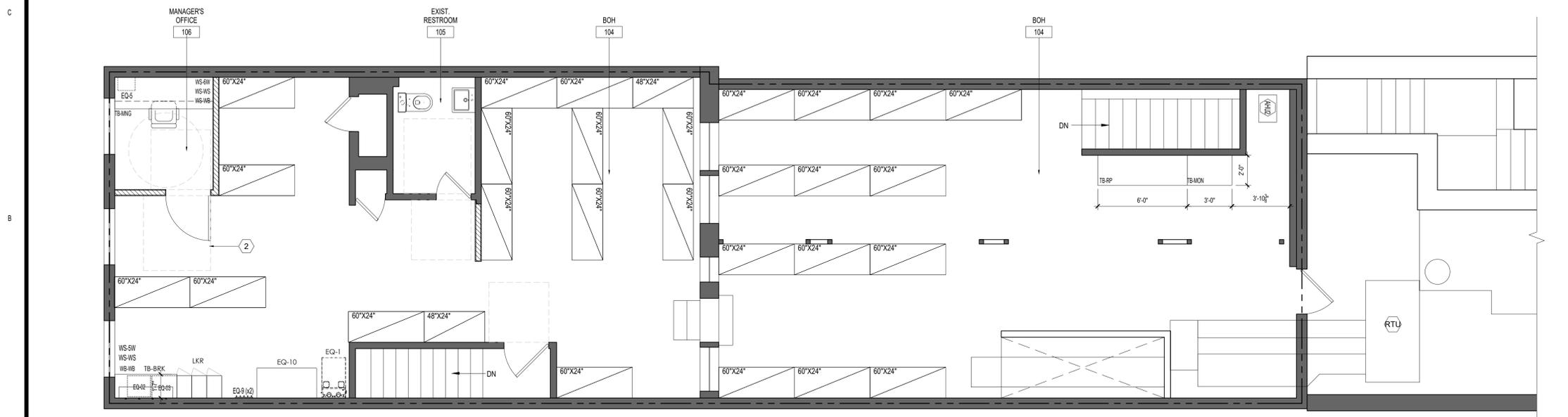
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DEMOLITION PLAN

AD-100



A FIXTURE PLAN- FIRST FLOOR
SCALE: 1/4" = 1'



B FIXTURE PLAN- SECOND FLOOR
SCALE: 1/4" = 1'

GENERAL FIXTURE NOTES

- IT IS THE RESPONSIBILITY OF THE TENANT OR TENANT'S G.C. TO FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- NOTHING SHALL BE ATTACHED TO, SUSPENDED FROM, OR PENETRATE THROUGH THE FLOOR OR ROOF DECK ABOVE.
- TENANT IS REQUIRED TO FRAME, BRACE AND/OR SUSPEND AS REQUIRED TO/FROM THE TOP CHORD OF JOISTS OR STRUCTURAL STEEL WHICH EXIST ABOVE TENANT'S SPACE.
- IT IS THE RESPONSIBILITY OF THE TENANT OR TENANT'S G.C. TO FIELD VERIFY EXISTING ELECTRICAL SERVICE AND TO MAKE ANY AND ALL MODIFICATIONS REQUIRED TO ENSURE THAT THE TOTAL CONNECTED LOAD DOES NOT EXCEED ELECTRICAL SERVICE.
- NEW SLABS OR TOPPING TO BE 4000 PSI WITH 6x6 #10 W.W.M. ON COMPACTED FILL AND 4mil VAPOR BARRIER TO EXTEND VERTICALLY AT EXISTING MALL SLAB AND TILE MUD BED.
- TENANT SHALL PROVIDE ADEQUATE EXIT SIGNS AND EMERGENCY LIGHT ALONG EGRESS PATH.
- TENANT SHALL PROVIDE A COMPLETELY HYDRAULICALLY CALCULATED FIRE SPRINKLER SYSTEM. (CALCULATIONS AND SPRINKLER PLAN TO BE INCLUDED WITH CONSTRUCTION DOCUMENTS TO CITY AS PART OF PERMIT SET FOR PREMISES REQUIRING 50 HEADS OR MORE.) THE FINAL DESIGN MUST BE CONFIRMED BY HYDRAULIC CALCULATION. MAXIMUM AREA PER SPRINKLER HEAD TO BE 120 SF. SPRINKLER HEAD TYPE TO BE QUICK RESPONSE K=8.0
- SCREEN BACKSIDES OF EXIT SIGNS AT STOREFRONT.

NOTE TO MILLWORK CONTRACTOR:
SHOP DRAWINGS ARE REQUIRED FOR ALL MILLWORK. SUBMIT SHOP DRAWINGS & SAMPLES FOR TENANT & LANDLORD APPROVAL. MILLWORK CONTRACTOR TO COORDINATE LOCKING REQUIREMENTS WITH LANDLORD

REFER TO MILLWORK DRAWINGS FOR EXACT FLOOR FIXTURE DIMENSIONS

FIXTURE PLAN SYMBOL LEGEND

SYMBOL	TYPE
---	TENANT LEASE LINE
---	REQUIRED CLEARANCES, PER CODE
(X)	KEY NOTE TAG
(100)	DOOR TAG - SEE SHEET G-008
(X) X-XXX	ELEVATION TAG

KEY NOTES

- PROVIDE BACKING FOR WALL MOUNTED FIXTURES, SEE ELEVATIONS.
- G.C. TO ENSURE REQUIRED CLEAR FLOOR SPACE IS PROVIDED AS MARKED ON PLANS

FIXTURE SCHEDULE

ITEM	QTY	DESCRIPTION	RESP.
CD	1	P.O.S TABLE	MWC
CF-L	1	CAMEL TABLE (LARGE)	MWC
DP-M	2	DISPLAY PLATFORM (MEDIUM) - VERIFY QTY OF SIZES W/ OWNER	MWC
DR-L	2	DISPLAY PLATFORM (LARGE) - VERIFY QTY OF SIZES W/ OWNER	MWC
DR-S	2	DISPLAY PLATFORM (SMALL) - VERIFY QTY OF SIZES W/ OWNER	MWC
DT-L	1	DISPLAY TABLE LARGE	MWC
NT-L	1	NESTING TABLE (LARGE)	MWC
NT-S	1	NESTING TABLE (SMALL)	MWC
PB	1	GRAB AND GO TABLE	MWC
PW-8A	3	8' PRODUCT WALL- CONF. A	MWC
PW-8B	3	8' PRODUCT WALL- CONF. B	MWC
PW-6A	-	6' PRODUCT WALL- CONF. A	MWC
PW-6B	-	6' PRODUCT WALL- CONF. B	MWC
PW-FS4	2	48" WALL MTD FLOATING SHELF	MWC
SW-S4	6	STORY WALL ADJ SHELF	MWC
SW-CH	6	STORY WALL WALL CHANNELS	MWC



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MEP ENGINEER



ARCHITECT OF RECORD: JERALD L. CLARK

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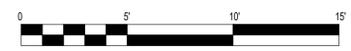
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3	ISSUED FOR LANDLORD REVIEW	2022.10.04
4	ISSUED FOR CONCEPT REVIEW	2022.11.28

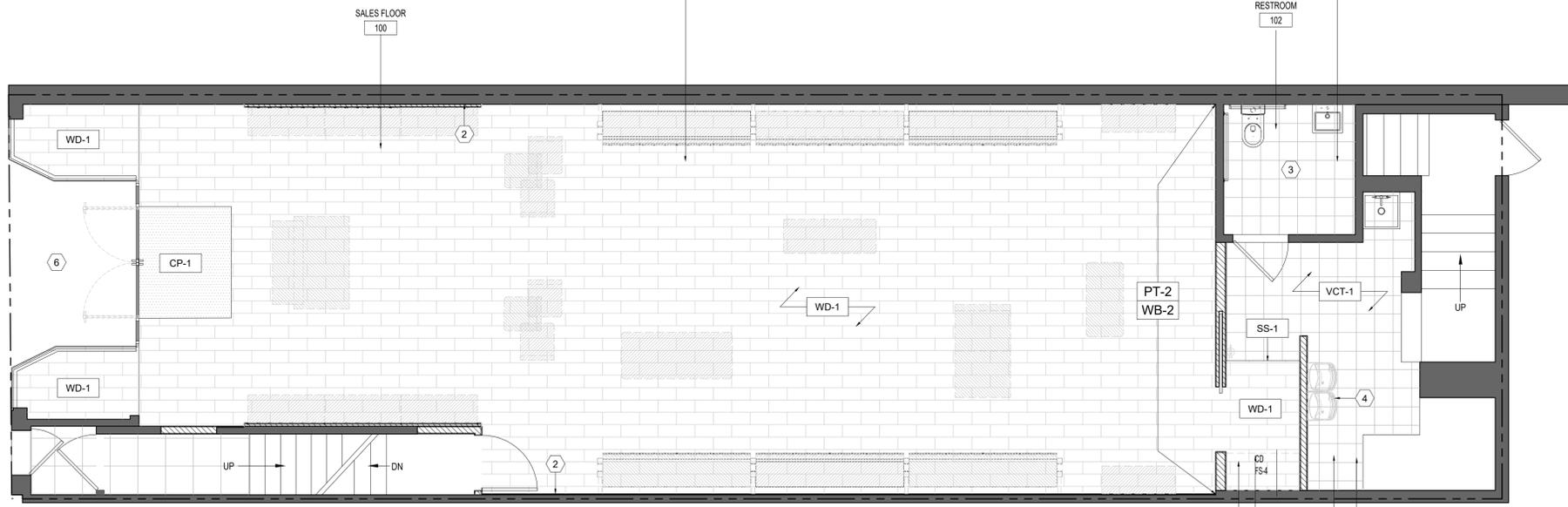
FIXTURE PLAN

A-102



100	SALES AREA
WALLS: PT-1	FLOOR: WD-1
CEILING: PT-1F	BASE: WB-1

102	EXIST ADA RESTROOM
WALLS: PT-1	FLOOR: EXISTING
CEILING: PT-1F	BASE: EXISTING



101	CASHWRAP
WALLS: PT-2	FLOOR: WD-1
CEILING: PT-2F	BASE: WB-2

103	BACK OF HOUSE
WALLS: PT-1	FLOOR: VCT-1
CEILING: PT-1F	BASE: EXISTING / VB-1

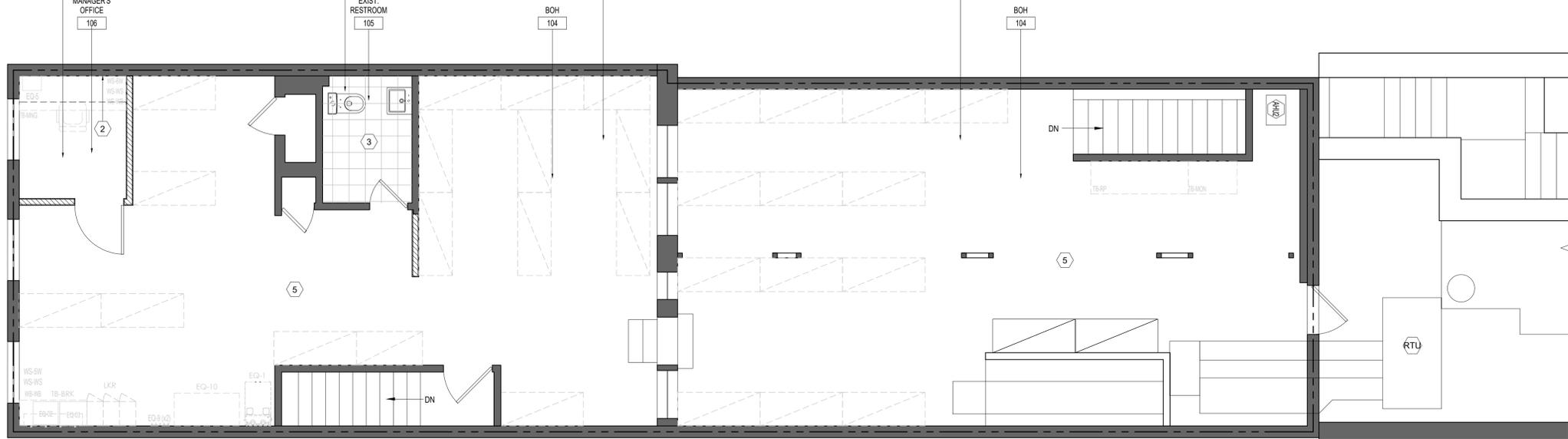
A FLOOR FINISH PLAN- FIRST FLOOR
SCALE: 1/4" = 1'

106	MANAGER'S OFFICE
WALLS: PT-1	FLOOR: EXISTING
CEILING: ACT	BASE: EXISTING / VB-1

105	EXISTING RESTROOM
WALLS: PT-1	FLOOR: EXISTING
CEILING: PT-1F	BASE: EXISTING

104	BACK OF HOUSE
WALLS: PT-1	FLOOR: EXISTING
CEILING: EXISTING	BASE: VB-2

104	BACK OF HOUSE
WALLS: PT-1	FLOOR: EXISTING
CEILING: EXISTING	BASE: VB-2



B FLOOR FINISH PLAN- SECOND FLOOR
SCALE: 1/4" = 1'

NOTES

- GC TO ENSURE ALL FLOOR FINISHES AND TRANSITIONS INSTALLED LEVEL AND FLAT.
- LEVEL FLOOR AS NECESSARY AT ALL NEW FINISHES. LEVELING PRODUCT SHALL BE APPROPRIATE TO FINISH TYPE, COMPATIBLE WITH FINISH ADHESIVES (WHEN APPLICABLE) AND AS RECOMMENDED BY FINISH MANUFACTURER.
- WATERPROOFING OR UNDERLAY FINISHES SHALL BE COMPATIBLE WITH FINISHES AND ADHESIVES, WHEN APPLICABLE.
- GROUT SUBMITTALS FOR PRODUCT AND COLOR SHALL BE SUBMITTED WITH TILE SUBMITTALS AND SHALL ALLOW MINIMUM 72 HOUR REVIEW BY ARCHITECT.
- ALL FLOORING TRANSITIONS OCCURRING AT DOORS THAT ARE LESS WIDE THAN DOORS SHALL BE CENTERED UNDER THE REFER TO TRANSITION DETAILS FOR ADDITIONAL INFORMATION.
- ALL FLOORING TRANSITIONS OCCURRING AT DOORS THAT ARE WIDER THAN DOORS SHALL BE LOCATED SUCH THAT IT IS NOT VISIBLE FROM HALLWAY SIDE OF DOOR. REFER TO TRANSITION DETAILS FOR ADDITIONAL INFORMATION.
- REFER TO DOOR SCHEDULE FOR DOOR FINISHES. PAINTED DOORS SHALL MATCH ADJACENT WALL COLOR WITH SATIN SHEET.
- ALL FINISHES SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING MATERIALS.
- REFER TO MATERIAL SCHEDULE FOR FINISH SPECIFICATIONS
- ENSURE ALL FLOOR TRANSITIONS COMPLY WITH ADA REQUIREMENTS. DETAILS CALL FOR 'SCHLUTER' TYPE STRIPS. WIDE TRANSITION STRIPS WILL NOT BE PERMITTED.
- ALL SURFACES AT ACCESSIBLE ROUTES TO BE STABLE AND SLIP RESISTANT. ENSURE COMPLIANCE WITH LOCAL CODES.

FINISH LEGEND

SEE DETAILED MATERIAL SCHEDULE

SYMBOL	SYMBOL	DESCRIPTION
	CP-1	FLOOR MAT
	SS-1	FLOOR TRANSITION
	VCT-1	VINYL FLOORING AT STOCK ROOM AND OFFICE (EXISTING)
	WD-1	WOOD FLOORING @ SALES FLOOR AND CASH WRAP VESTIBULE

SYMBOL LEGEND

ROOM / AREA #	ROOM / AREA USE
WALL FINISH	FLOOR FINISH
CEILING FINISH	BASE TYPE

BASE DETAILS.
REFER TO SHEET G-010

TRANSITION DETAILS.
REFER TO SHEET G-010

KEYNOTES

- RECESSED COCOA FIBER MAT AT ENTRY, BY GC
- GC TO FINISH DEMISING WALL TO LEVEL 5 FINISH TO RECEIVE PAINT FINISH PER FINISH SCHEDULE.
- RESTROOM FINISHES TO REMAIN. PATCH AND REPAIR AS REQUIRED FOR A LIKE NEW APPEARANCE.
- GC TO PROVIDE FRP PANELS BEHIND HI-LO DRINKING FOUNTAIN UP TO 48"
- ALL FINISHES TO REMAIN. GC TO ASSESS CONDITION OF FLOOR AND PROVIDE FEEDBACK OF AREAS THAT NEED REPAIRS.
- EXISTING FLOOR FINISH AT ENTRY TO REMAIN. GC TO ASSESS CONDITION OF FLOOR AND PROVIDE FEEDBACK ON AREAS THAT NEED REPAIR. ALL REPAIRS TO BE TO MATCH EXISTING



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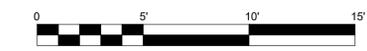
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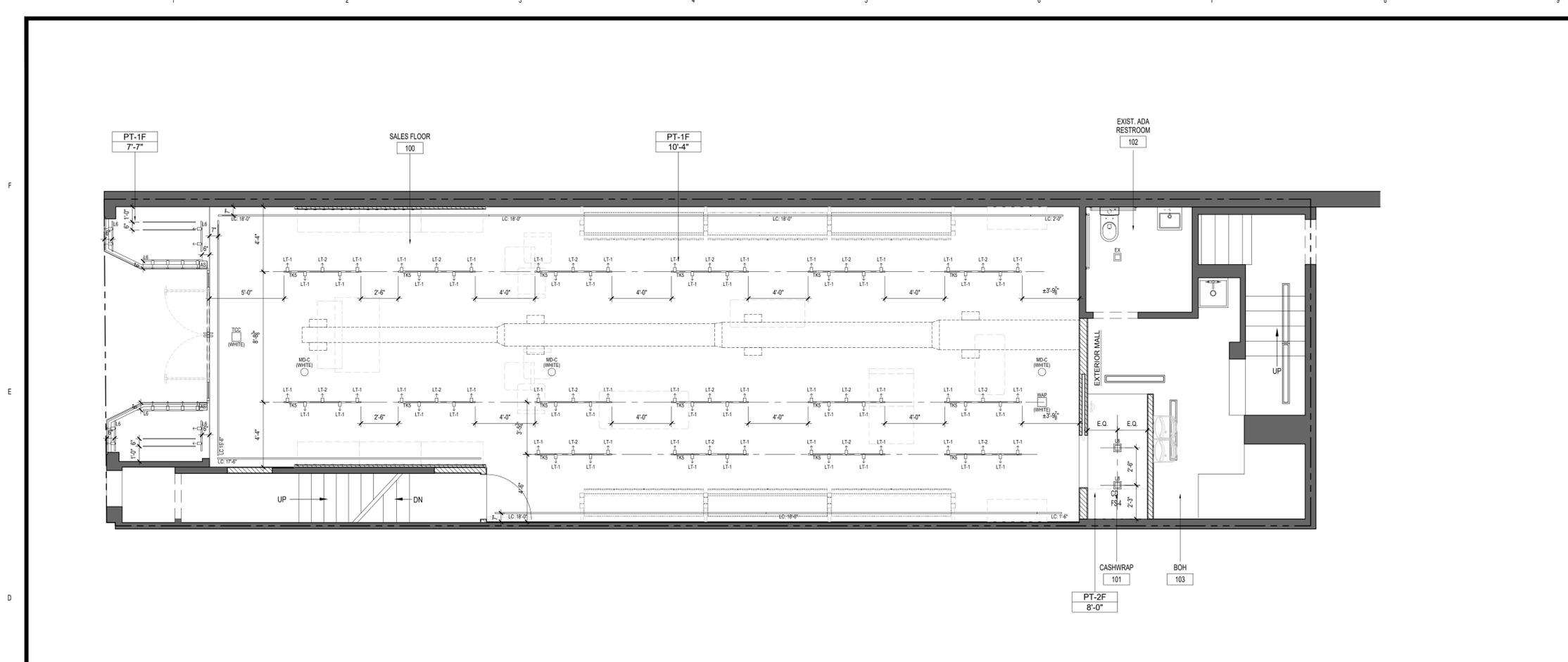
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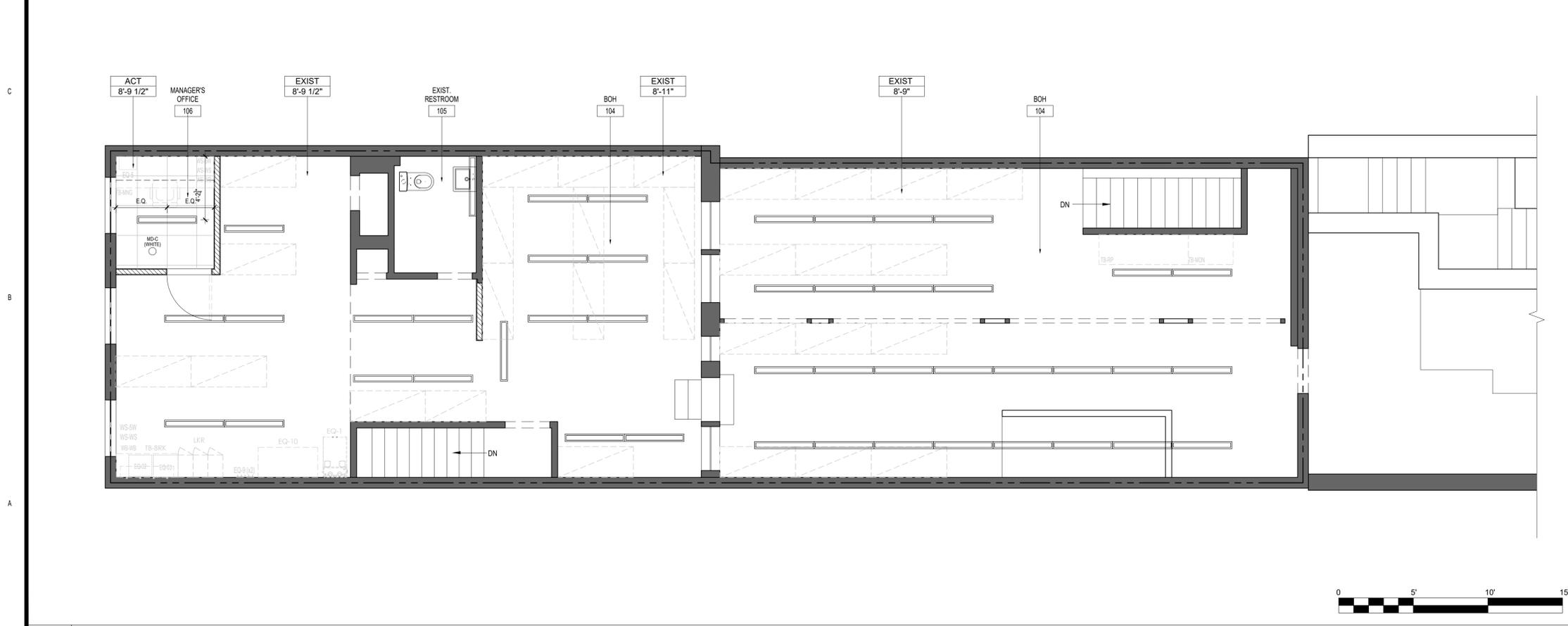
FLOOR FINISH PLAN

A-103





A REFLECTED CEILING LIGHTING PLAN - FIRST FLOOR
SCALE: 1/4" = 1'



B REFLECTED CEILING LIGHTING PLAN - SECOND FLOOR
SCALE: 1/4" = 1'



- NOTES**
- GC TO ENSURE ALL SPRINKLER HEADS FULLY RECESSED WITHIN GWB CEILINGS. POWDER COATED SPINKLER CAPS TO MATCH ADJACENT CEILING FINISH.
 - GC TO ENSURE ALL SPRINKLER HEADS WITHIN ACT CEILINGS BE SEMI RECESSED. HEADS TO BE CENTERED IN ACT TILE UNLESS OTHERWISE NOTED.
 - G.C. TO FURNISH AND INSTALL SPEAKERS AND RUN ALL WIRING - ENSURE SPEAKERS ARE FLUSH WITH GWB CEILING. ANY BRAND LABELING SHALL BE REMOVED.
 - REFER TO LIGHTING SCHEDULE FOR DETAILED SPECS.
 - REFER TO RESPONSIBILITY MATRIX TO DETERMINE SUPPLY OF LIGHT FIXTURES. GC TO INSTALL ALL FIXTURES UNLESS OTHERWISE NOTED.
 - DIMENSIONS SHOWN ARE TO CENTERLINE OF FIXTURE.
 - VERIFY THAT ALL FIXTURES ARE 'UL' RATED.
 - COORDINATE ALL REQUIRED ACCESS PANELS WITH ARCHITECT AND/OR MWC PRIOR TO INSTALL.
 - GC TO FOR COORDINATE ALL CEILING RELATED TRADES. GC TO SUBMIT A SHOP DRAWING INDICATING ALL CEILING ELEMENTS (DIFFUSER, SPRINKLER, LIFE SAFETY DEVICE, LIGHT FIXTURES, SECURITY DEVICE, ETC.) TO ARCHITECT PRIOR TO CONSTRUCTION.
 - FOR ALL LIGHT FIXTURE CIRCUITING SEE ELECTRICAL ENGINEERING DRAWINGS, SWITCHING & RELATED WORK MODIFICATIONS. ALL VOLTAGES TO BE CONFIRMED WITH ELECTRICAL ENGINEER. ALL EMERGENCY LIGHTING REQUIREMENTS TO BE COORDINATED WITH ELECTRICAL ENGINEER.
 - GC TO V.I.F. SUFFICIENT POWER AVAILABLE ON EXISTING PANELS TO MANAGE THE LOADS AND DESIGN AS INDICATED PRIOR TO CONSTRUCTION.
 - ALL ELECTRICAL AND HVAC EQUIPMENT REQUIRE SHOP DRAWING SUBMISSION TO BOTH AOR AND EOR FOR REVIEW AND APPROVAL.
 - CUSTOM PLATE CONFIGURATIONS TO BE USED AS REQUIRED TO GANG MULTIPLE SWITCHES OR RECEPTACLES. COORDINATE THERMO STAT LOCATION WITH AOR TO ENSURE ALIGNMENT WITH SWITCHES.
 - ALL MEP CEILING ELEMENTS (SPEAKERS, SPRINKLER HEADS, LIGHT SAFETY DEVICES, HVAC GRILLES, DIFFUSERS, ETC.) SHALL BE CENTERED IN ALIGNMENT WITH LIGHTING LAYOUT U.O.N.
 - GC TO ENSURE ALL WIRING (EXPOSED, CONCEALED OR IN PLENUM SPACE) SHALL BE PROTECTED TO MEET APPLICABLE LOCAL, STATE AND FEDERAL ELECTRICAL CODES. ANY EXPOSED CONDUIT LOCATIONS SHALL BE SUBMITTED FOR APPROVAL BY AOR AND OWNER PRIOR TO CONSTRUCTION
 - UNTIL COMPLETION OF PUNCH LIST, GC IS RESPONSIBLE FOR ALL LIGHT FIXTURE LAMPING. GC TO THOROUGHLY CLEAN ALL LIGHT FIXTURES PRIOR TO COMPLETION.
 - COORDINATE WITH SECURITY VENDOR TO DETERMINE LOCATION WIRING, AND CONNECTION OF ALL SECURITY DEVICES. ALL POWER SUPPLIED BY GC. ALL DATA CABLING SECURITY VENDOR TO SUPPLY.
 - ENSURE ALL CEILING MOUNTED DEVICES NOT PREVIOUSLY LISTED (FIRE STROBES, SPRINKLERS, MOTION DEVICES, SMOKE DETECTORS, ETC...) TO BE IN ALIGNMENT WITH CEILING LAYOUT INSTALLED ON CENTER LINES OF LIGHT FIXTURES. GC TO REVIEW LAYOUT WITH AOR PRIOR TO INSTALLATION.
 - GC TO PROVIDE WRITTEN INSTRUCTIONS GIVEN THE OPERATION OF THERMOSTATS, TIMERS, FANS, AND A/C UNITS. GC TO SUBMIT TO OWNER ONCE PUNCH LIST IS COMPLETE.
 - GC TO PROVIDE ALL NECESSARY TESTING, PROGRAMMING, FINAL CONNECTION REQUIRED TO TIE ALL DEVICES WITHIN THE SPACE INTO A BUILDING FIRE SPRINKLER/ALARM SYSTEM. UPON COMPLETION OF CONSTRUCTION ALL REQUIRED CERTIFICATES OF INSPECTION SHALL BE PROVIDED.
 - PRIOR TO CONSTRUCTION COMPLETION GC TO SUBMIT AN AIR BALANCE REPORT TO ENGINEER'S REVIEW AND APPROVAL. APPROVED CONTRACTOR BY THE INDEPENDENT AIR BALANCE COUNCIL THE BALANCE REPORT SHALL BE PREPARE REPORT .
 - GC TO ENSURE ALL GWB FINISHES TO MATCH LEVEL 5 FINISH.
 - ON TENANT'S MAIN ELECTRICAL SERVICE FUSIBLE DISCONNECT SWITCH IN LANDLORD'S DISTRIBUTION PANEL GC TO ENSURE ELECTRICAL CONTRACTOR PROVIDES IDENTIFICATION NAMEPLATE. NAMEPLATE MUST BY 1/8" THICK PLASTIC, BLACK ON WHITE ETCHED TO LEAVE WHITE LETTERS. THE SIZE SHALL BE ONE INCH HIGH BY REQUIRED LENGTH, WITH TENANT'S SPACE NUMBER ENGRAVED ON IT. PERMANENTLY AFFIX TO DISTRIBUTION PANEL.
 - IDENTIFY ALL FIRE DAMPERS BY A STICKER INSTALLED ON CEILING BELOW. DUCT FIRE DAMPER MUST BE INSTALLED WITH A BREAKAWAY CONNECTION. PLENUM CANNOT CONTAIN ANY COMBUSTIBLES.
 - GC TO COORDINATE WITH CLIENT AND ARCHITECT TO CONFIRM FINISHES.

LIGHT FIXTURE LEGEND

SYMBOL	TAG	DESCRIPTION
	LT-1	TRACK HEAD
	LK (#)	TRACK
	LC (#)	COVE LIGHT
	L8	RECESSED FIXTURE

REFER TO LIGHTING SCHEDULES FOR MORE INFO

SECURITY DEVICE LEGEND

SYMBOL	DESCRIPTION
	PEOPLE COUNTER - CEILING RECESSED
	CEILING MOUNTED 360° SECURITY CAMERA - CEILING RECESSED
	CEILING MOUNTED MINI MICRODOME SECURITY CAMERA
	MOTION DETECTOR
	GLASS BREAK DETECTOR



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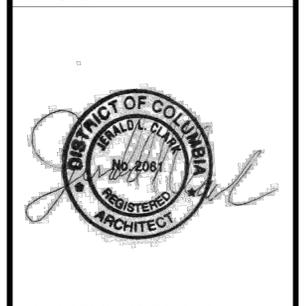
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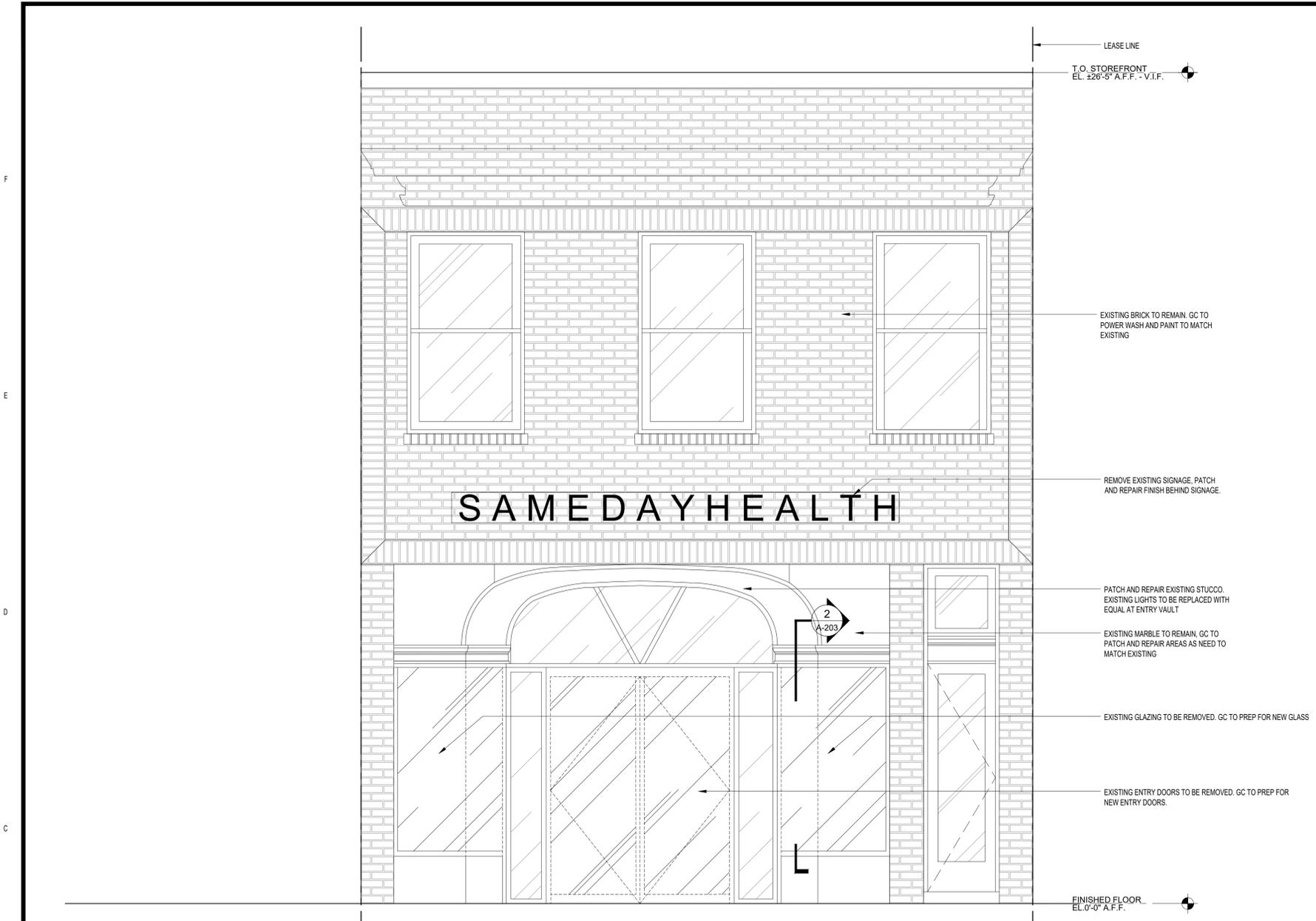
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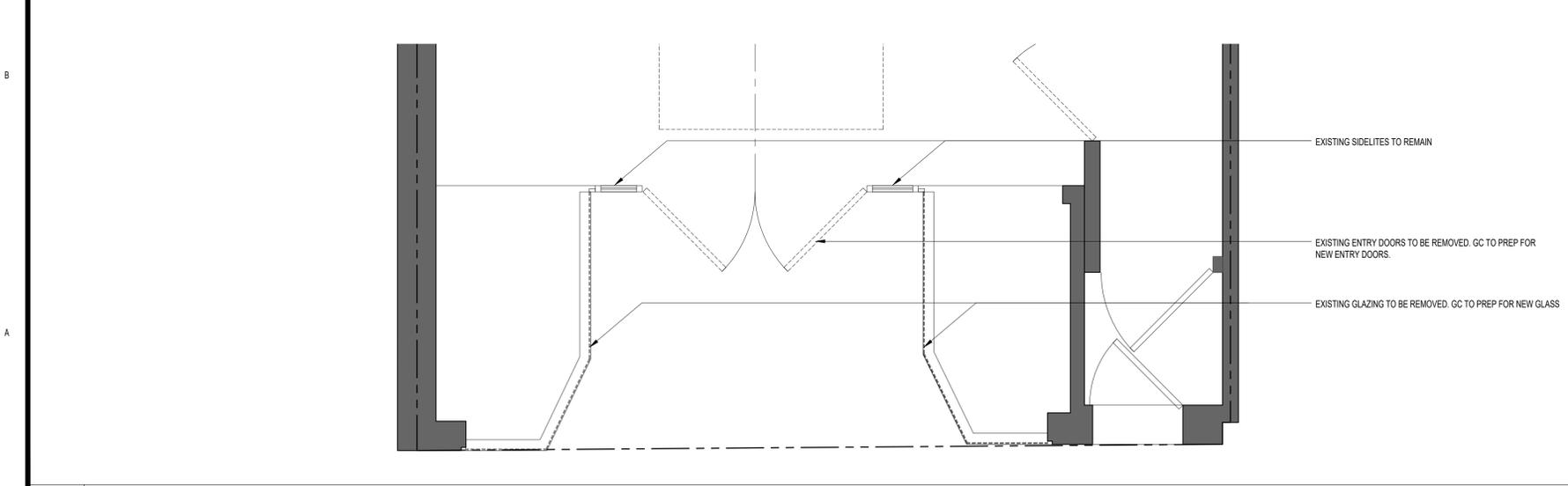
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REFLECTED CEILING LIGHTING PLAN

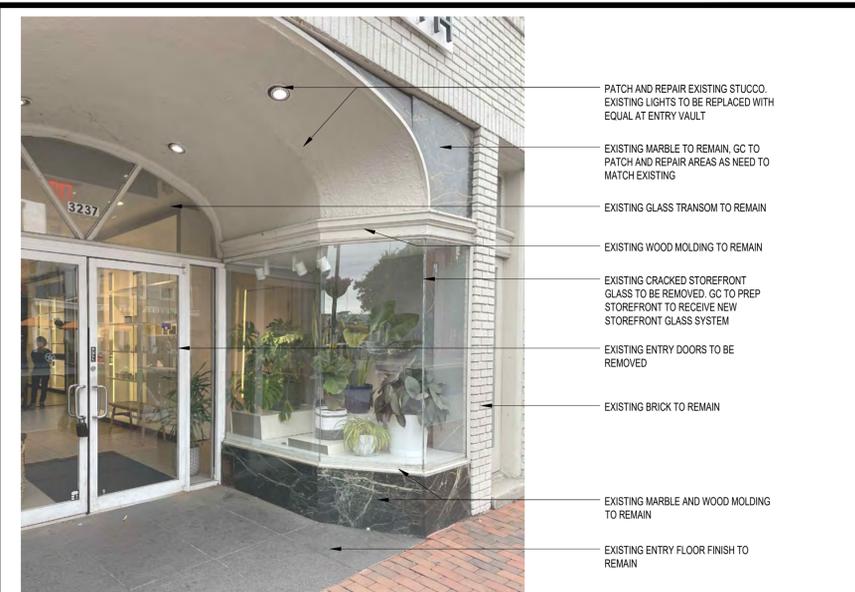
A-106



A EXISTING STOREFRONT
SCALE: 1/2" = 1'



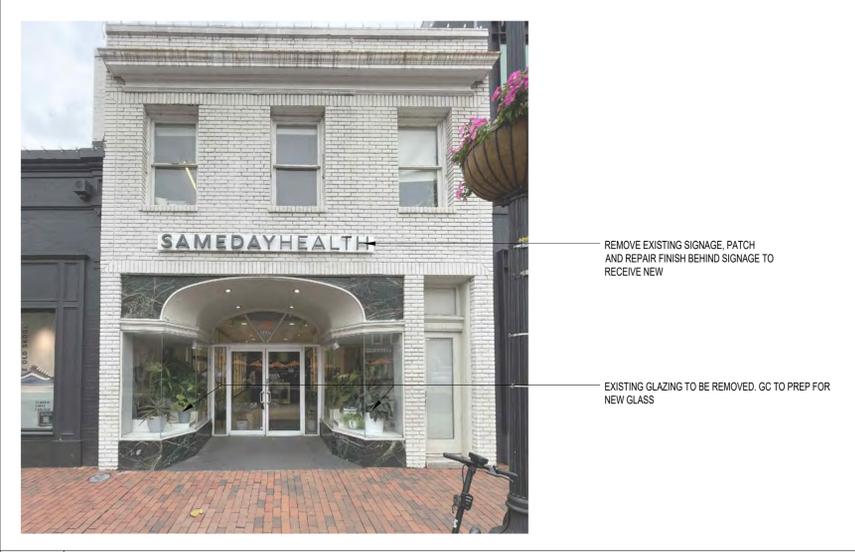
1 EXISTING STOREFRONT
SCALE: 1/2" = 1'



B EXISTING STOREFRONT
NTS



C EXISTING STOREFRONT
NTS



C EXISTING STOREFRONT
NTS



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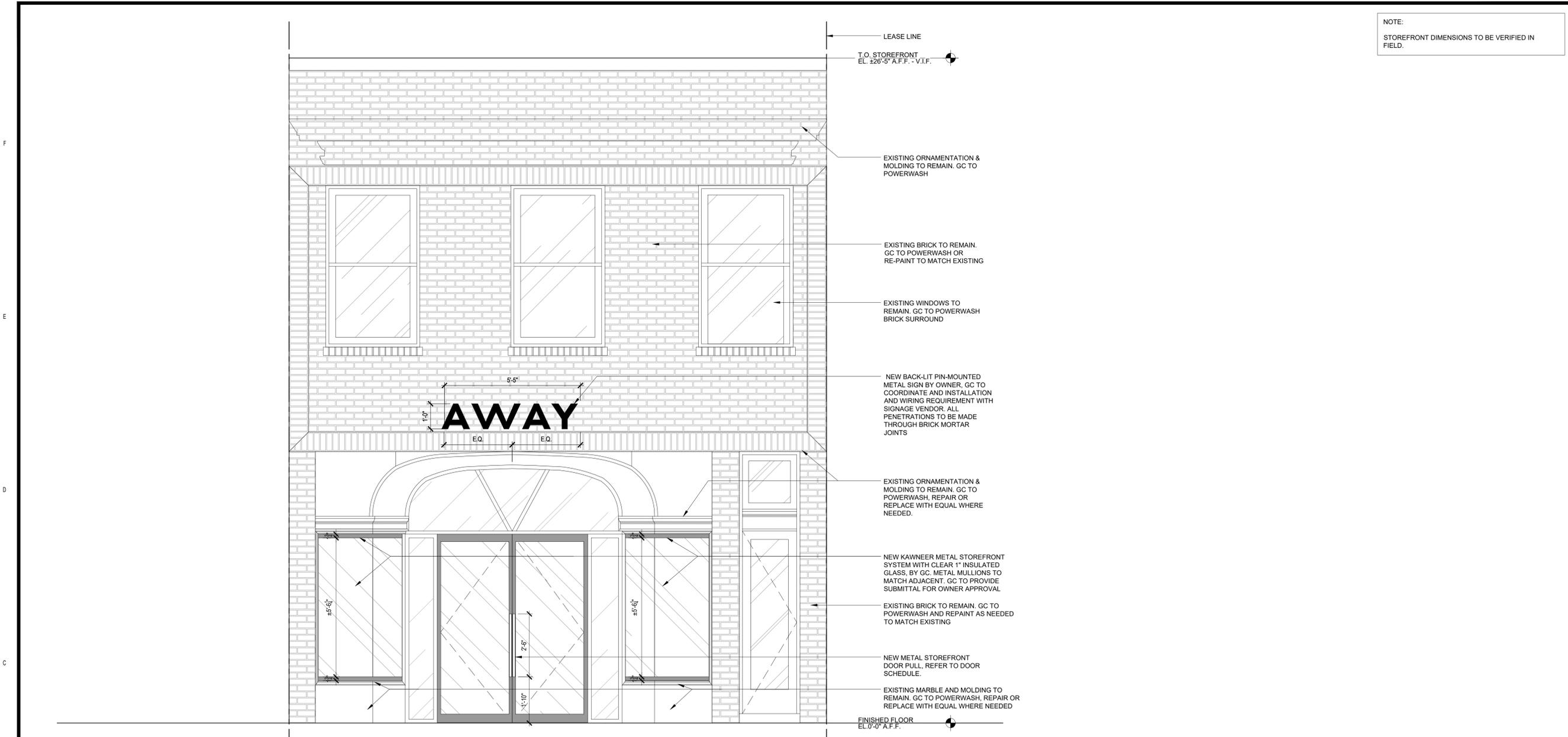
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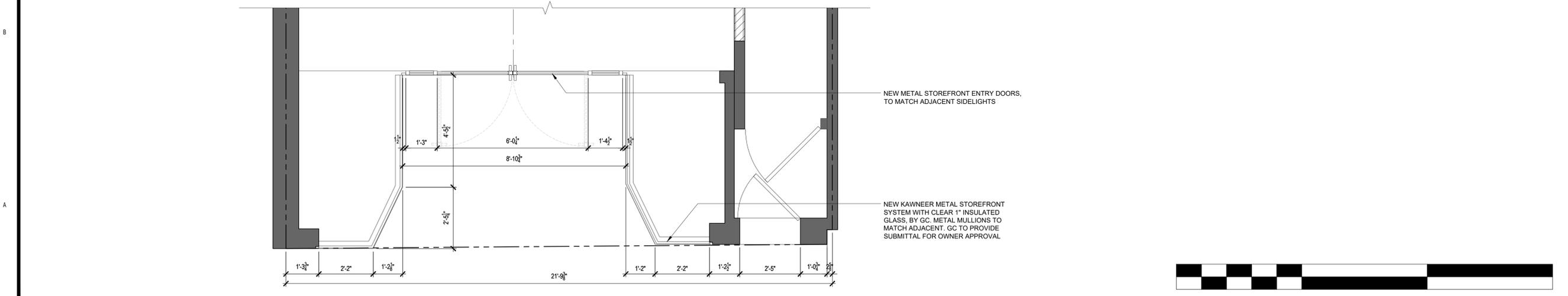
EXISTING STOREFRONT
PLAN & ELEVATION

A-201

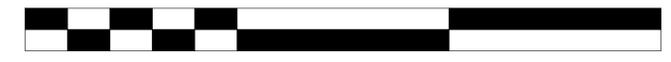


NOTE:
STOREFRONT DIMENSIONS TO BE VERIFIED IN FIELD.

A STOREFRONT ELEVATION
SCALE: 1/2" = 1'-0"



1 STOREFRONT PLAN
SCALE: 1/2" = 1'-0"



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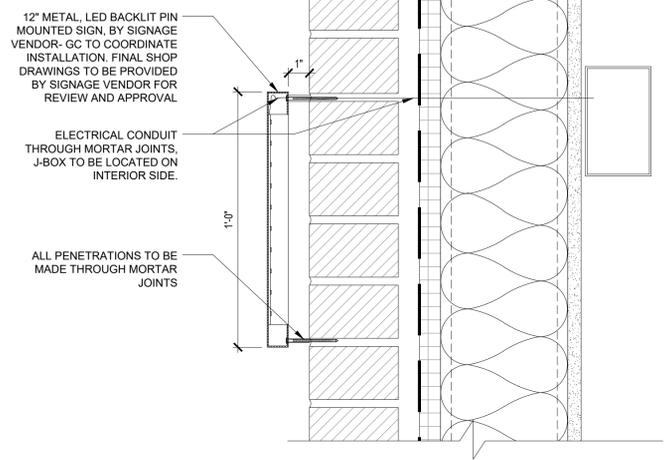
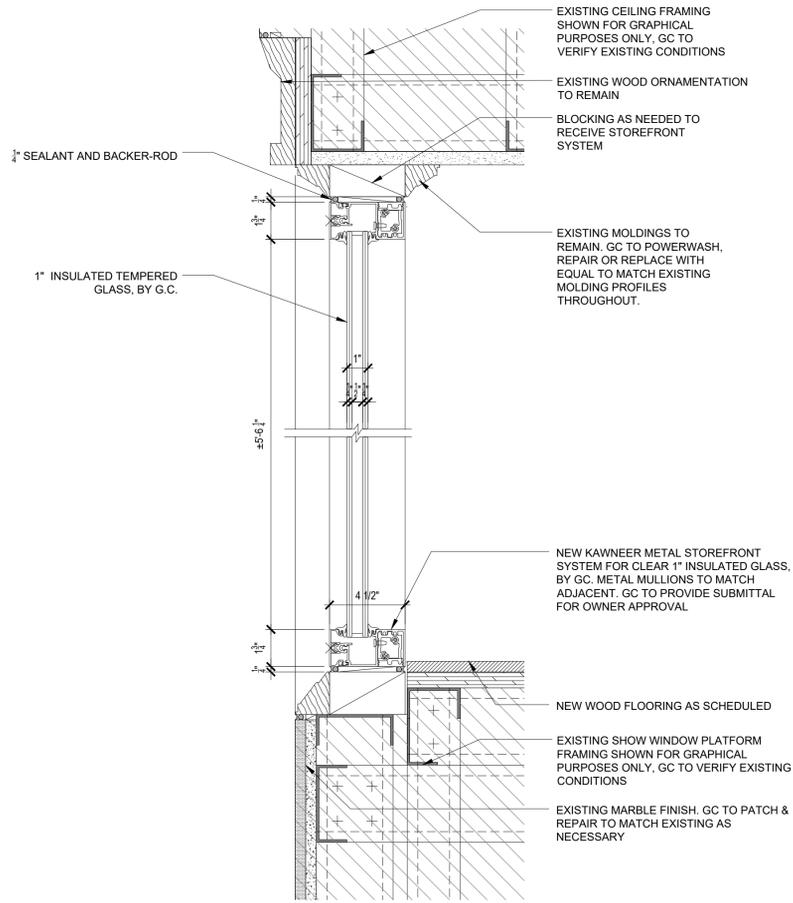
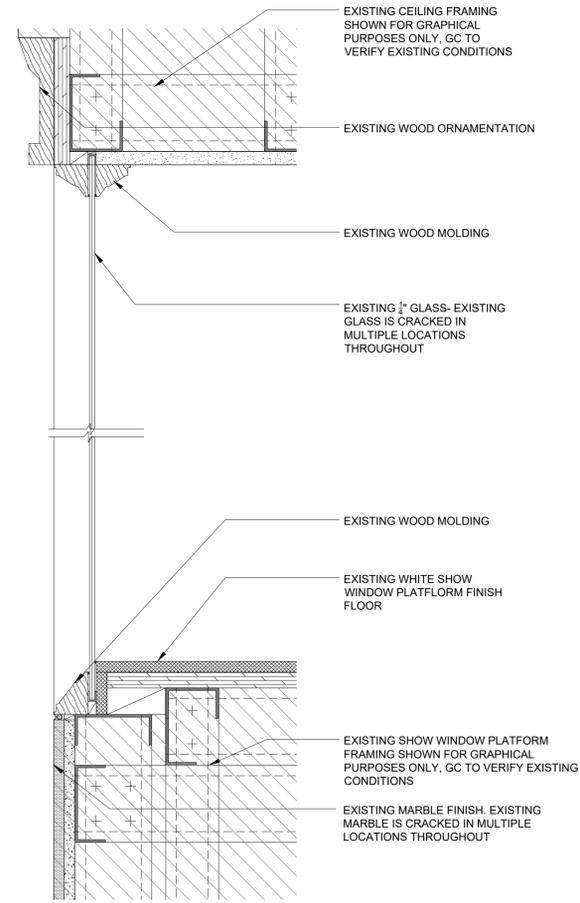
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PROPOSED STOREFRONT

A-203

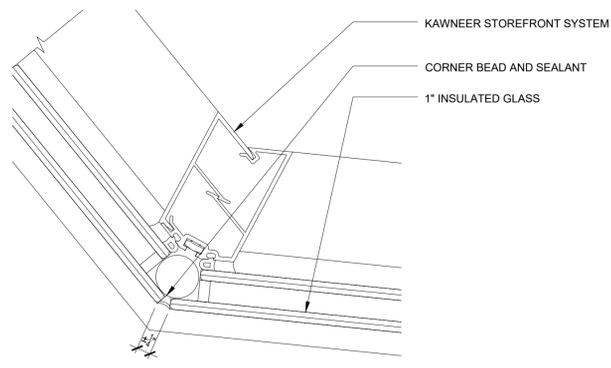


NOTE:
STOREFRONT DIMENSIONS TO BE VERIFIED IN FIELD.

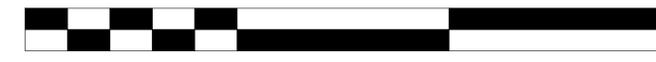
A EXISTING STOREFRONT ENLARGED SECTION DETAIL
SCALE: 3" = 1'-0"

B PROPOSED STOREFRONT ENLARGED SECTION DETAIL
SCALE: 3" = 1'-0"

C PROPOSED SIGNAGE DETAIL
SCALE: 3" = 1'-0"



1 PROPOSED GLASS JOINT DETAIL @ CORNERS
SCALE: 6" = 1'-0"



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No.	ISSUED / REVISED	DATE
1	ISSUED FOR SCHEMATIC DESIGN	2022.08.31
2	ISSUED FOR DESIGN DEVELOPMENT	2022.09.20
3	ISSUED FOR LANDLORD REVIEW	2022.10.04
4	ISSUED FOR CONCEPT REVIEW	2022.11.28

EXISTING & PROPOSED STOREFRONT SECTION & DETAILS