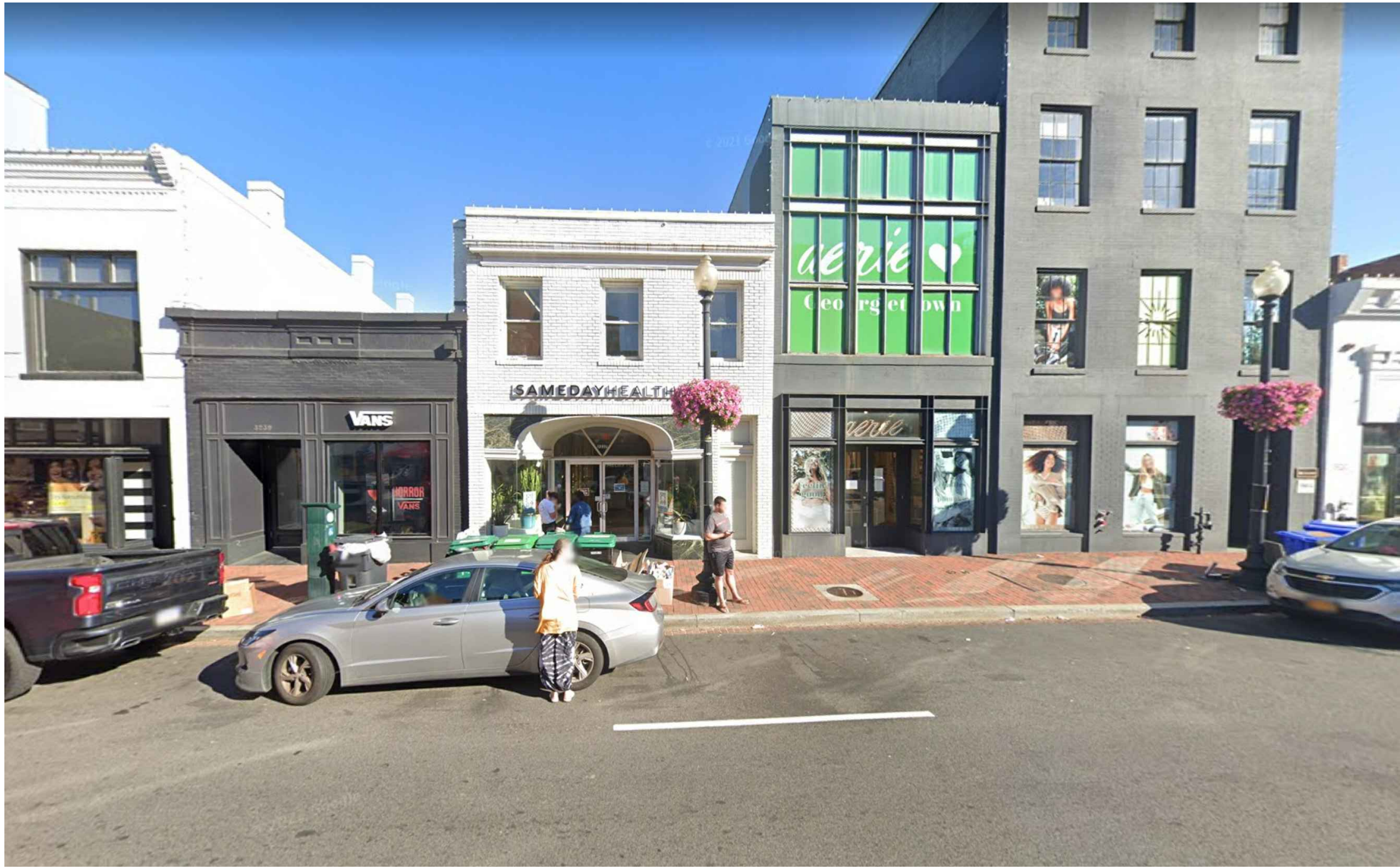


EXTERIOR PHOTOGRAPHS



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PROJECT

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3	ISSUED FOR LANDLORD REVIEW	2022.10.04
4	ISSUED FOR CONCEPT REVIEW	2022.11.28

DIGITAL PHOTOGRAPHS

G-001

FIRST FLOOR PHOTOGRAPHS



SECOND FLOOR PHOTOGRAPHS



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DIGITAL PHOTOGRAPHS

G-002

A

12. FIRE EXIT (PANIC) DEVICES SHALL BE FURNISHED COMPLETE WITH ALL REQUIRED STRIKES. ALL ITEMS ARE TO BE PRODUCTS OF THE SAME MANUFACTURER.
13. EXIT ALARMS SHALL BE FURNISHED COMPLETE WITH THE REQUIRED STRIKES AND NEW BATTERIES.
14. THE OPERATING DEVICES SHALL BE CAPABLE OF OPERATION WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
15. TEMPLATES ARE REQUIRED TO BE INCLUDED BY THE MANUFACTURER FOR EACH DOOR AND FRAME AS REQUIRED FOR PREPARATION TO RECEIVE HARDWARE.
16. ALL HARDWARE ON EXISTING DOORS TO REMAIN SHALL BE REPLACED AS SPECIFIED ON DRAWINGS AND DOOR SCHEDULE UNLESS OTHERWISE NOTED.
17. FLOOR AREAS AT EACH SIDE OF ALL DOORS SHALL BE CLEAR AND LEVEL.
18. ALL SIGNAGE TO BE INSTALLED ON DOORS OR ADJACENT TO DOORS, AS REQUIRED BY APPLICABLE CODES, WILL BE FURNISHED & INSTALLED BY GC. SUBMIT SHOP DRAWING/SPECIFICATION FOR ARCHITECT APPROVAL.

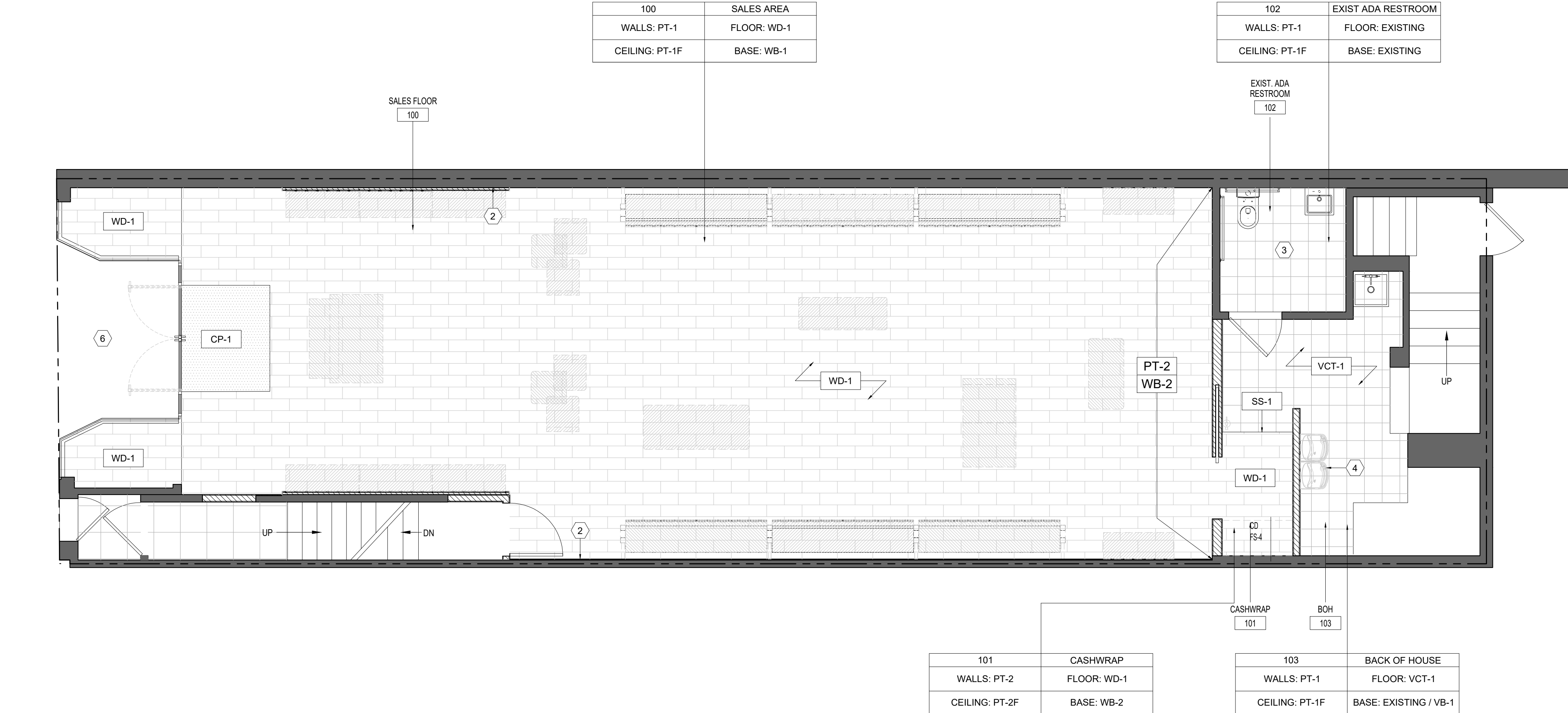
G-003

F
E
D
C
B
A

A

FLOOR FINISH PLAN- FIRST FLOOR

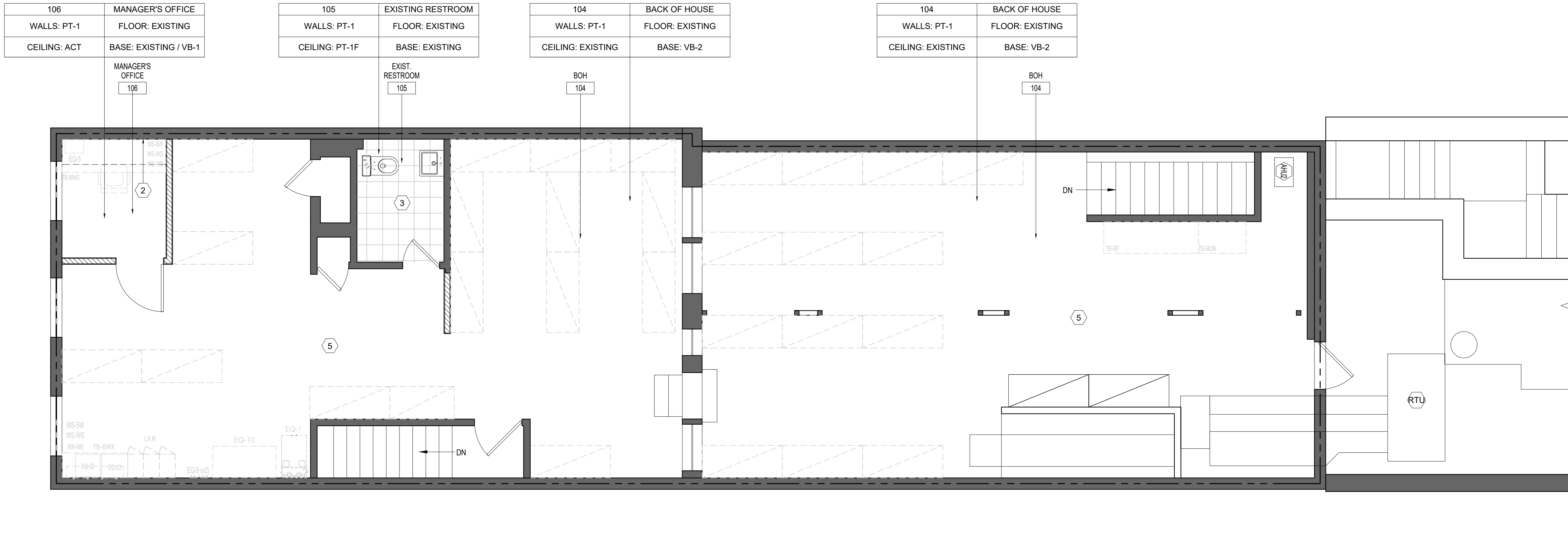
SCALE: 1/4" = 1'



B

FLOOR FINISH PLAN- SECOND FLOOR

SCALE: 1/4" = 1'



- NOTES
- GC TO ENSURE ALL FLOOR FINISHES AND TRANSITIONS INSTALLED LEVEL AND FLAT.
 - LEVEL FLOOR AS NECESSARY AT ALL NEW FINISHES. LEVELING PRODUCT SHALL BE APPROPRIATE TO FINISH TYPE, COMPATIBLE WITH FINISH ADHESIVES (WHEN APPLICABLE) AND AS RECOMMENDED BY FINISH MANUFACTURER.
 - WATERPROOFING OR UNDERLAY FINISHES SHALL BE COMPATIBLE WITH FINISHES AND ADHESIVES, WHEN APPLICABLE.
 - GROUT SUBMITTALS FOR PRODUCT AND COLOR SHALL BE SUBMITTED WITH TILE SUBMITTALS AND SHALL ALLOW MINIMUM 72 HOUR REVIEW BY ARCHITECT.
 - ALL FLOORING TRANSITIONS OCCURRING AT DOORS THAT ARE LESS WIDE THAN DOORS SHALL BE CENTERED UNDER THE REFER TO TRANSITION DETAILS FOR ADDITIONAL INFORMATION.
 - ALL FLOORING TRANSITIONS OCCURRING AT DOORS THAT ARE WIDER THAN DOORS SHALL BE LOCATED SUCH THAT IT IS NOT VISIBLE FROM HALLWAY SIDE OF DOOR. REFER TO TRANSITION DETAILS FOR ADDITIONAL INFORMATION.
 - REFER TO DOOR SCHEDULE FOR DOOR FINISHES. PAINTED DOORS SHALL MATCH ADJACENT WALL COLOR WITH SATIN SHEET.
 - ALL FINISHES SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING MATERIALS.
 - REFER TO MATERIAL SCHEDULE FOR FINISH SPECIFICATIONS
 - ENSURE ALL FLOOR TRANSITIONS COMPLY WITH ADA REQUIREMENTS. DETAILS CALL FOR 'SCHLUTER' TYPE STRIPS. WIDE TRANSITION STRIPS WILL NOT BE PERMITTED.
 - ALL SURFACES AT ACCESSIBLE ROUTES TO BE STABLE AND SLIP RESISTANT. ENSURE COMPLIANCE WITH LOCAL CODES.

FINISH LEGEND		
SEE DETAILED MATERIAL SCHEDULE		
SYMBOL	SYMBOL	DESCRIPTION
	CP-1	FLOOR MAT
	SS-1	FLOOR TRANSITION
	VCT-1	VINYL FLOORING AT STOCK ROOM AND OFFICE (EXISTING)
	WD-1	WOOD FLOORING @ SALES FLOOR AND CASH WRAP VESTIBULE

SYMBOL LEGEND	
ROOM / AREA #	ROOM / AREA USE
WALL FINISH	FLOOR FINISH
CEILING FINISH	BASE TYPE
BASE DETAILS. REFER TO SHEET G-010	
TRANSITION DETAILS. REFER TO SHEET G-010	

KEYNOTES		
①	RECESSED COCOA FIBER MAT AT ENTRY, BY GC	
②	GC TO FINISH DEMISING WALL TO LEVEL 5 FINISH TO RECEIVE PAINT FINISH PER FINISH SCHEDULE.	
③	RESTROOM FINISHES TO REMAIN. PATCH AND REPAIR AS REQUIRED FOR A LIKE NEW APPEARANCE.	
④	GC TO PROVIDE FRP PANELS BEHIND HI-LO DRINKING FOUNTAIN UP TO 48"	
⑤	ALL FINISHES TO REMAIN. GC TO ASSESS CONDITION OF FLOOR AND PROVIDE FEEDBACK OF AREAS THAT NEED REPAIRS.	
⑥	EXISTING FLOOR FINISH AT ENTRY TO REMAIN. GC TO ASSESS CONDITION OF FLOOR AND PROVIDE FEEDBACK ON AREAS THAT NEED REPAIR. ALL REPAIRS TO BE TO MATCH EXISTING	



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PROJECT

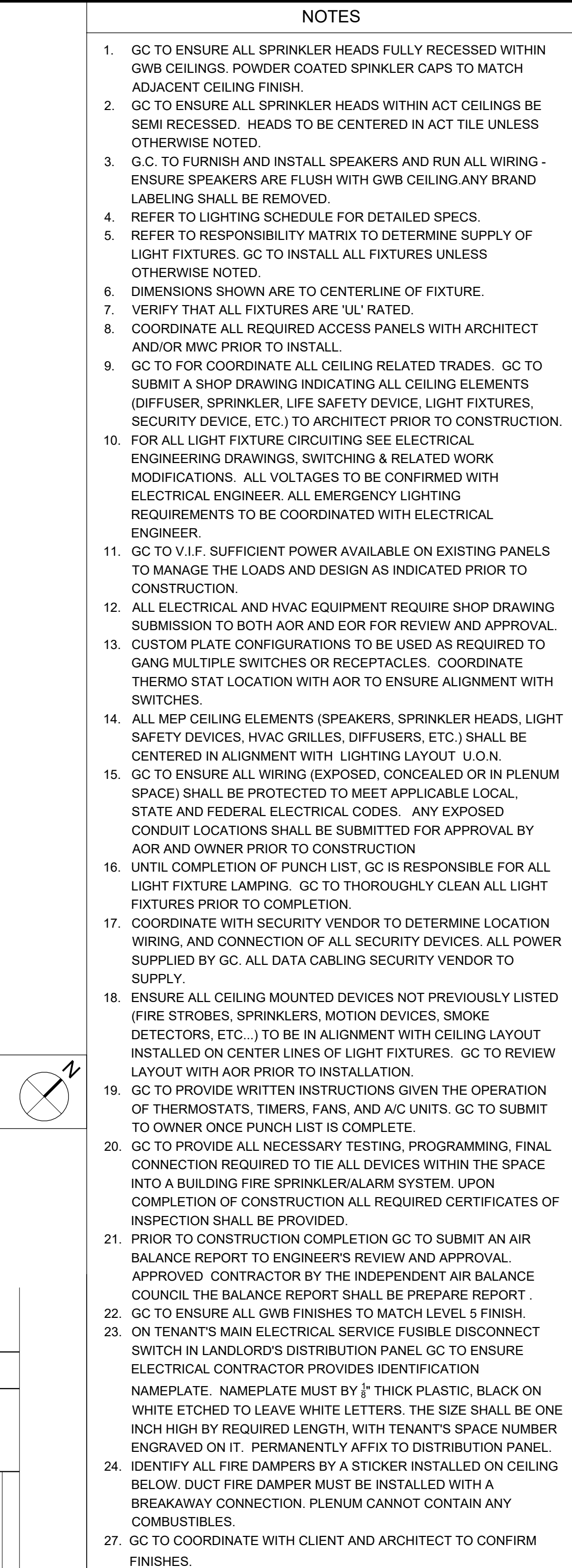
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
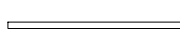


FLOOR FINISH PLAN






A-103



SCALE: 1/4" = 1'



LIGHT FIXTURE LEGEND		
SYMBOL	TAG	DESCRIPTION
	LT-1	TRACK HEAD
	LK (#)	TRACK
	LC (#)	COVE LIGHT
	L8	RECESSED FIXTURE

SECURITY DEVICE LEGEND	
SYMBOL	DESCRIPTION
CNT 	PEOPLE COUNTER - CEILING RECESSED
360 CAM 	CEILING MOUNTED 360° SECURITY CAMERA - CEILING RECESSED
MINI DOME CAM 	CEILING MOUNTED MINI MICRODOME SECURITY CAMERA
MD-C 	MOTION DETECTOR
GLB 	GLASS BREAK DETECTOR



SCALE: 1/4" = 1'



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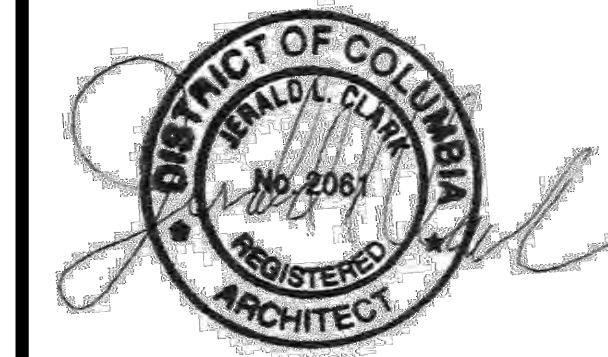
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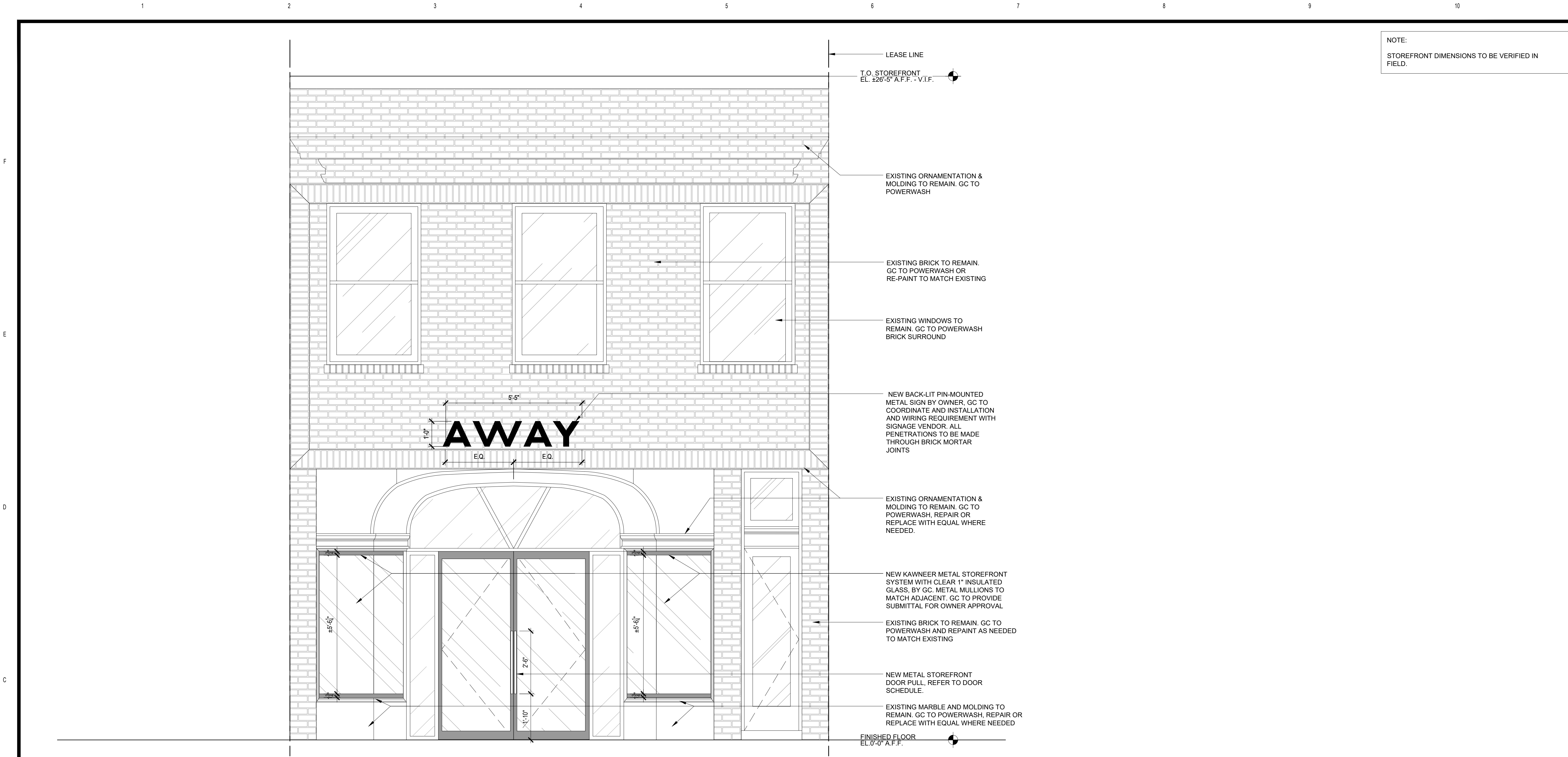
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REFLECTED CEILING LIGHTING PLAN

A-106



NOTE:
STOREFRONT DIMENSIONS TO BE VERIFIED IN FIELD.



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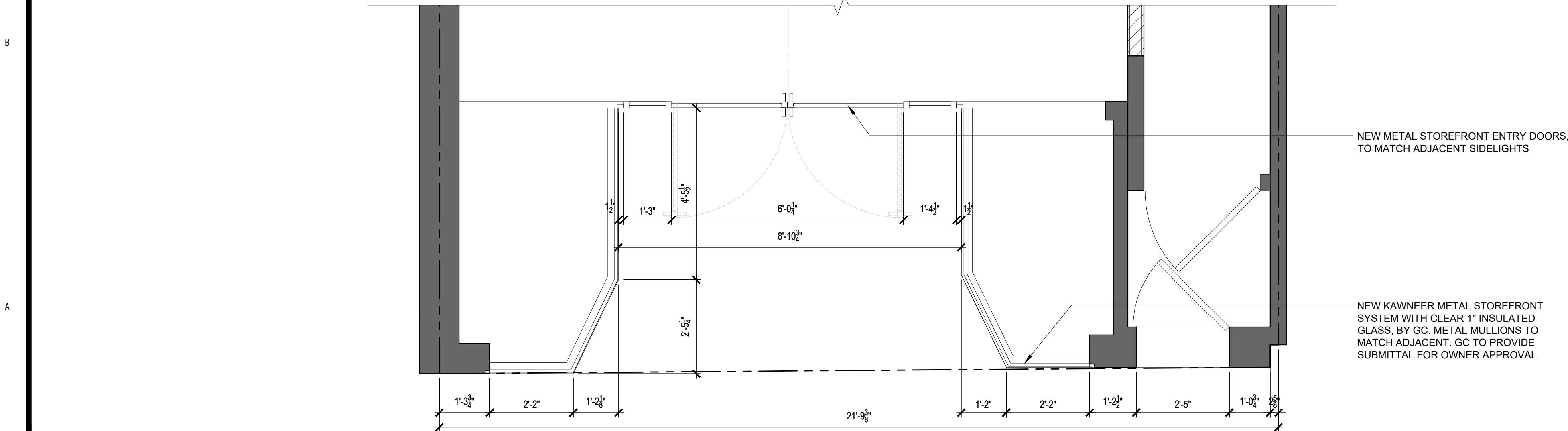
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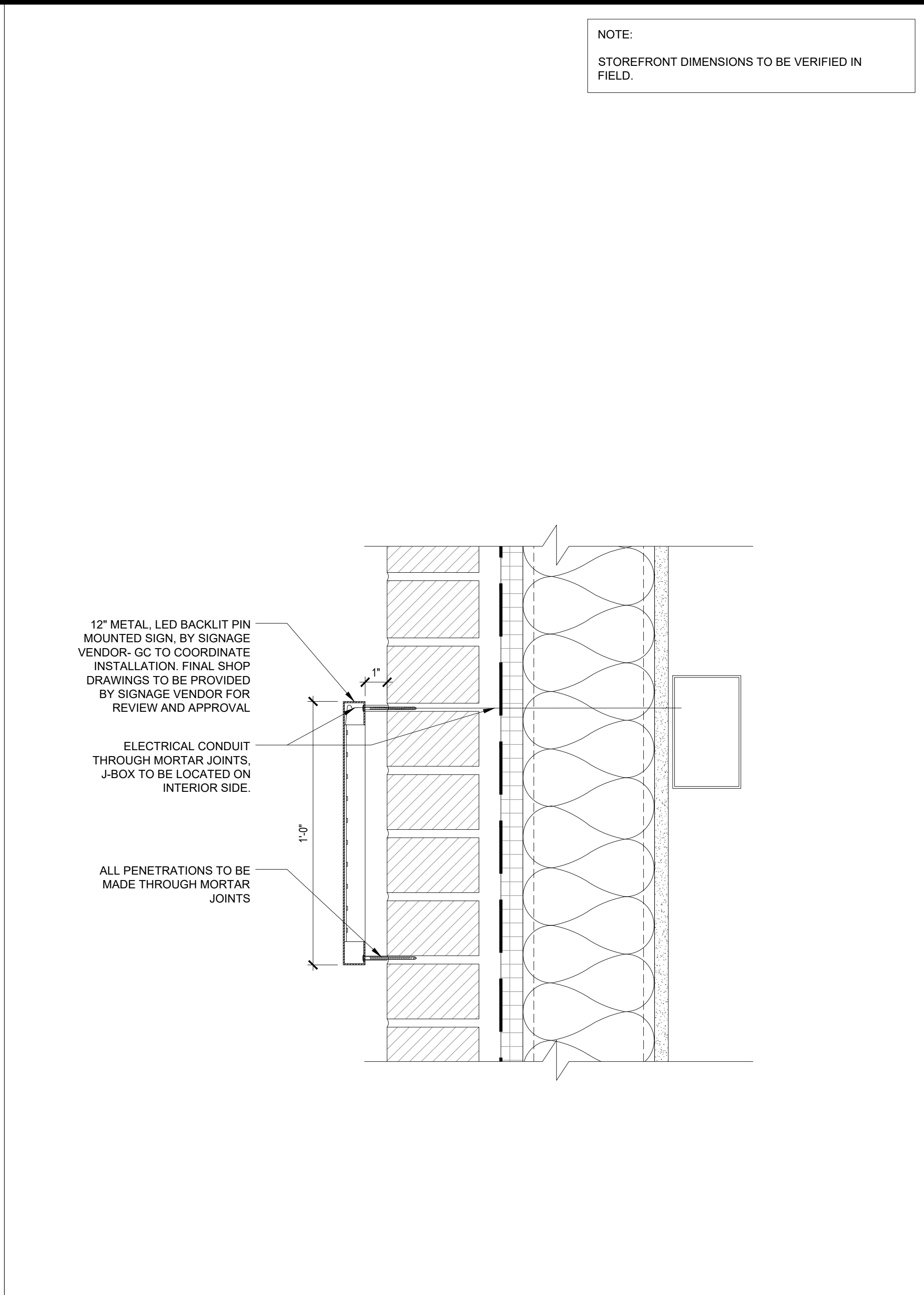
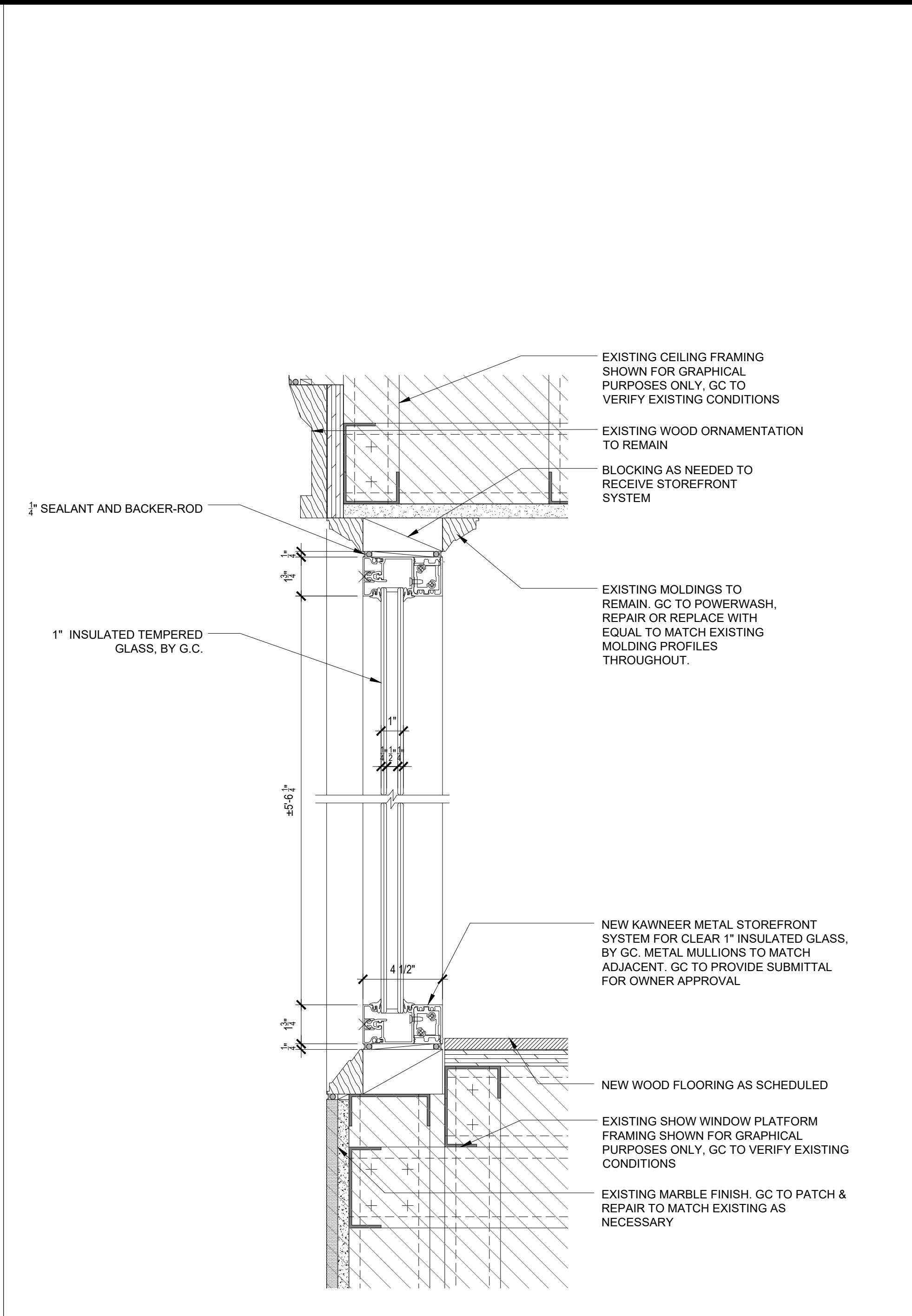
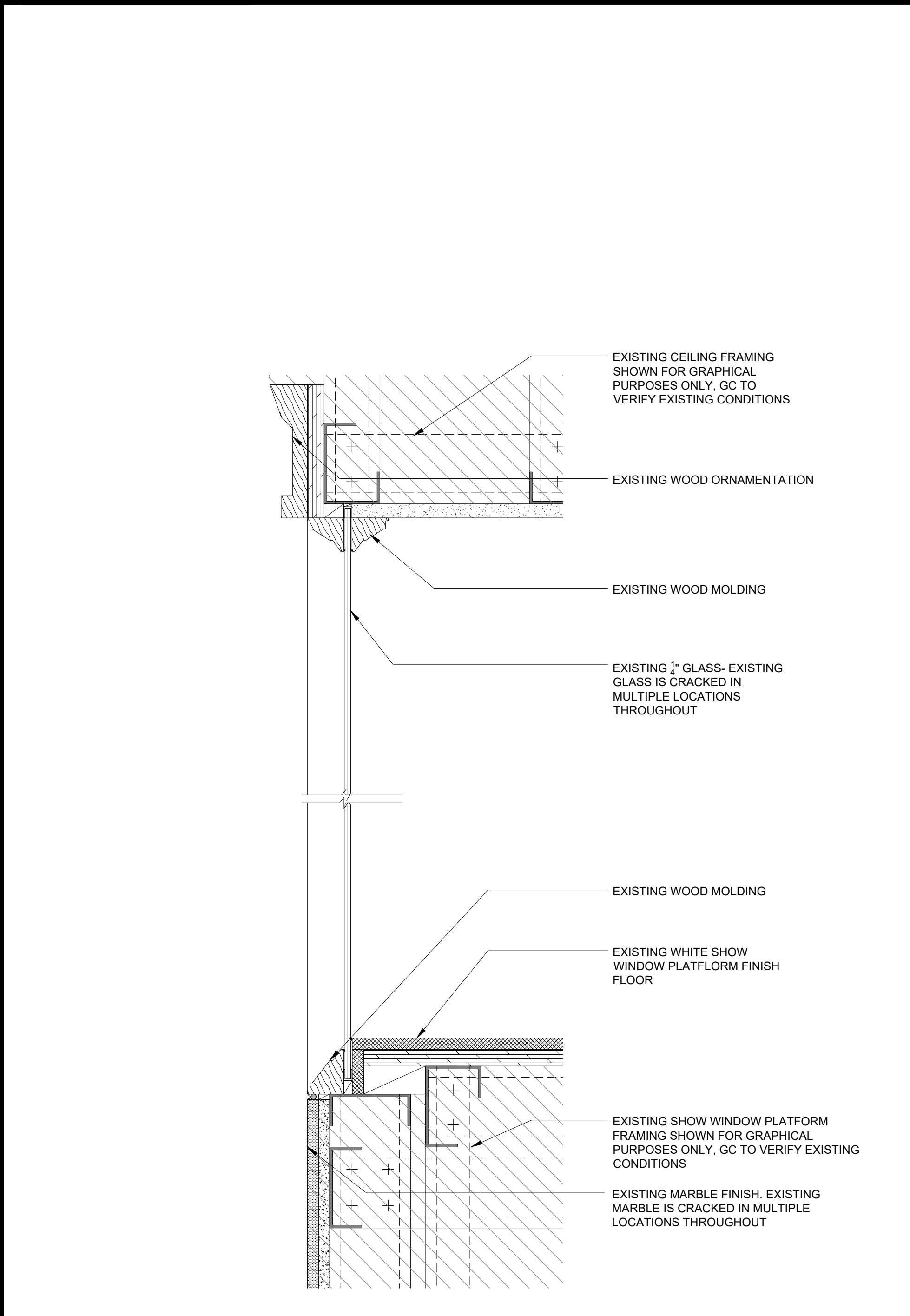
PROPOSED STOREFRONT

A-203

A STOREFRONT ELEVATION
SCALE: 1/2" = 1'-0"



1 STOREFRONT PLAN
SCALE: 1/2" = 1'-0"

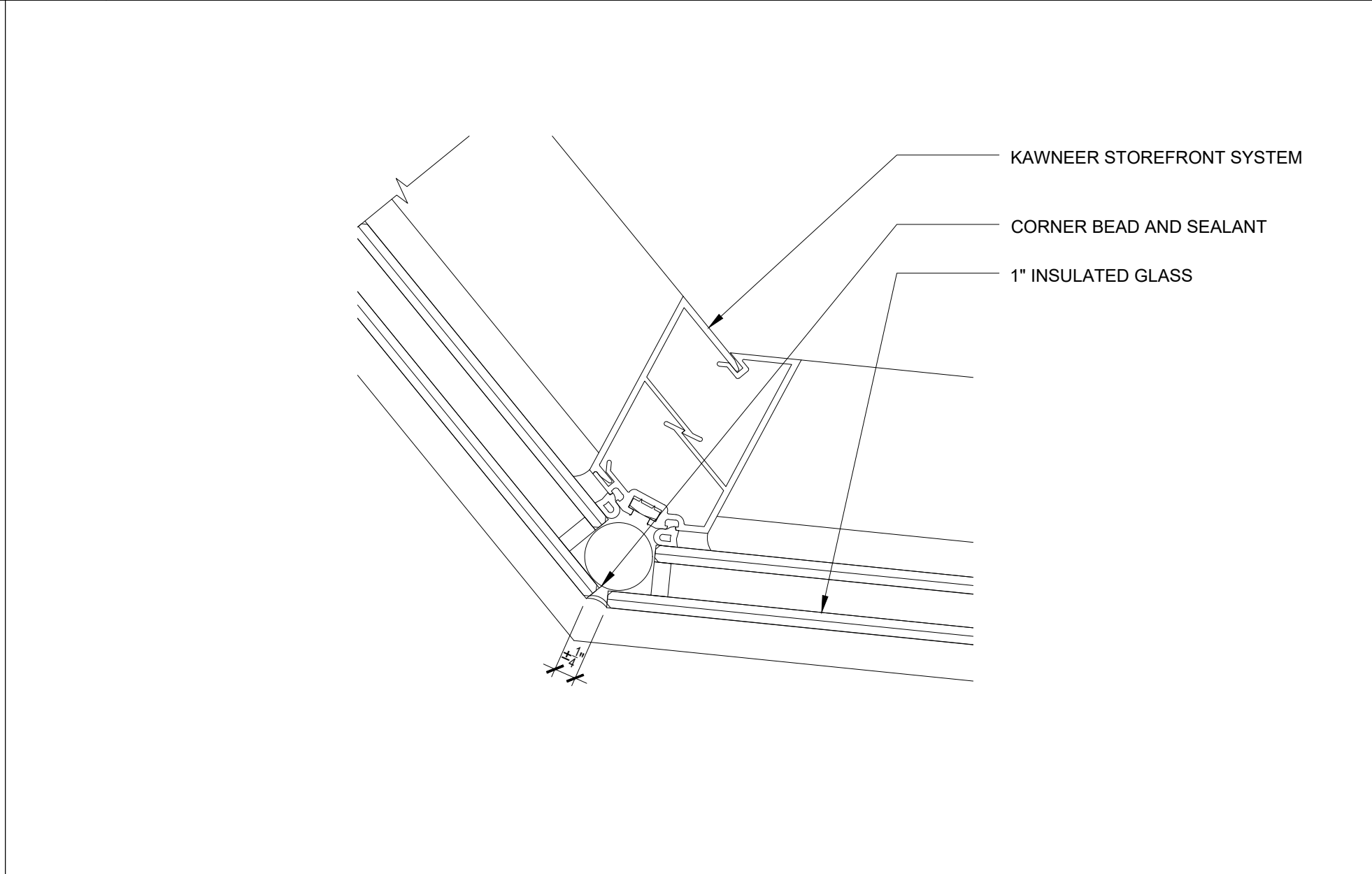


NOTE:
STOREFRONT DIMENSIONS TO BE VERIFIED IN FIELD.

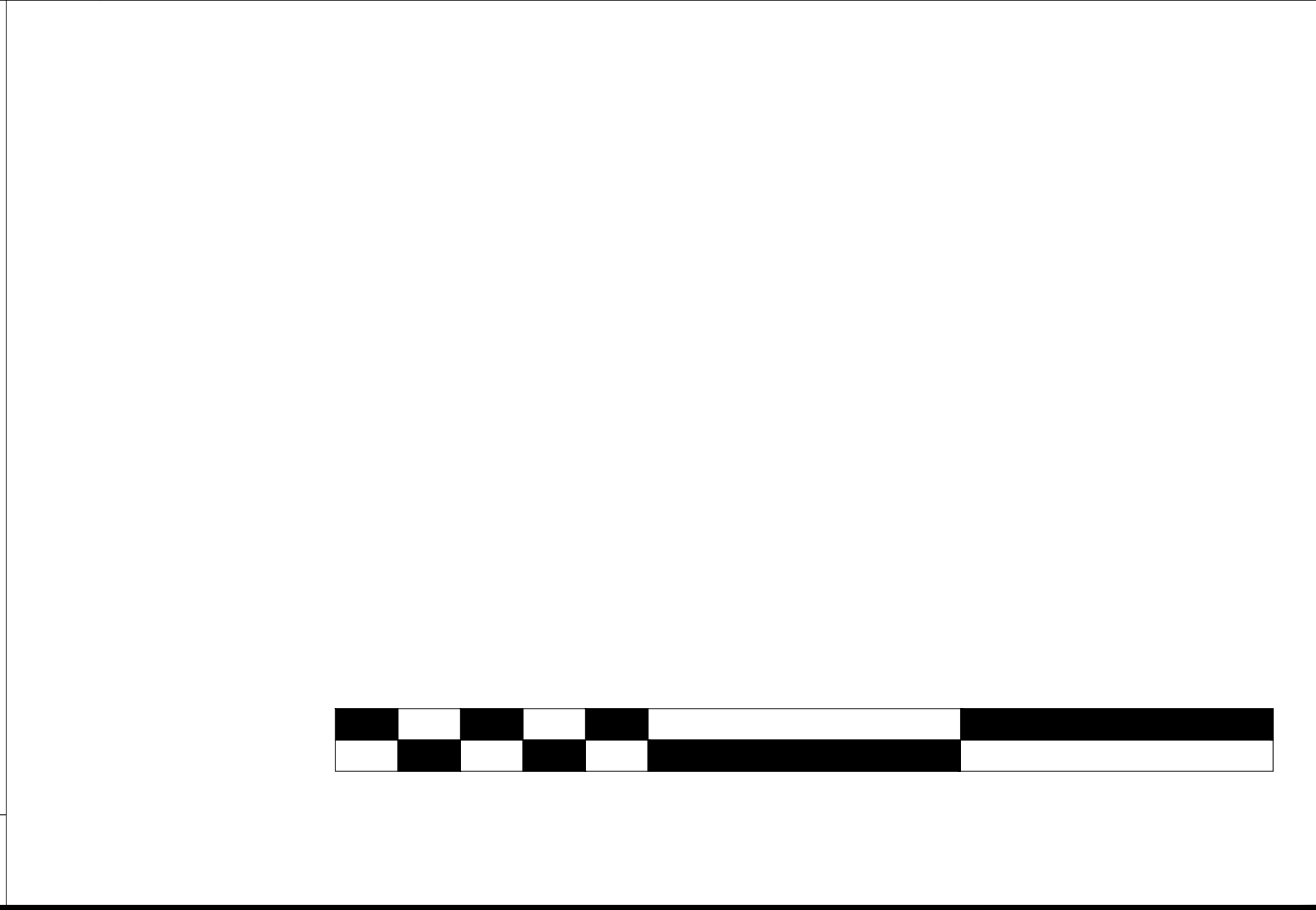
A EXISTING STOREFRONT ENLARGED SECTION DETAIL
SCALE: 3" = 1'-0"

B PROPOSED STOREFRONT ENLARGED SECTION DETAIL
SCALE: 3" = 1'-0"

C PROPOSED SIGNAGE DETAIL
SCALE: 3" = 1'-0"



1 PROPOSED GLASS JOINT DETAIL @ CORNERS
SCALE: 6" = 1'-0"



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EXISTING & PROPOSED STOREFRONT
SECTION & DETAILS

A-203