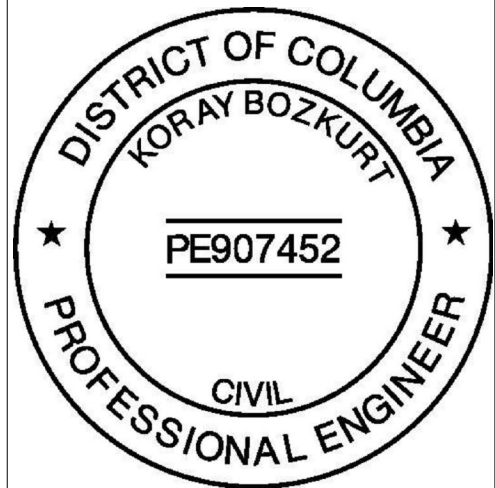


1631 WISCONSIN AVE. NW. DC 20007

SIGN DRAWING



APPLICABLE CODES

1. THIS MODIFICATION HAS BEEN DESIGNED IN ACCORDANCE IBC 2015 AS AMENDED BY DCMR 12 2017.
DISTRICT OF COLUMBIA
- 2015 DC CONSTRUCTION CODES SUPPLEMENT (DCMR 12)
- 2015 INTERNATIONAL BUILDING CODE (DCMR12A)
- 2015 INTERNATIONAL FUEL GAS CODE (DCMR 12D)
- 2015 INTERNATIONAL MECHANICAL CODE (DCMR 12E)
- 2015 INTERNATIONAL PLUMBING CODE (DCMR 12F)
- 2015 INTERNATIONAL FIRE CODE (DCMR 12H)
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE (DCMR 12I)
- 2015 INTERNATIONAL EXISTING BUILDING CODE (DCMR 12J)
- 2015 INTERNATIONAL GREEN CONSTRUCTION CODE

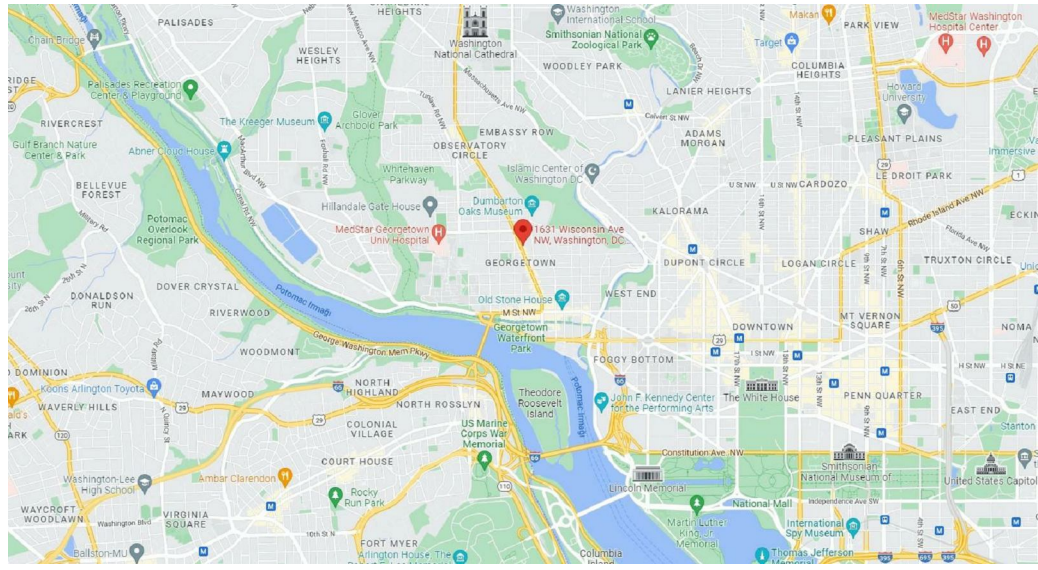
SHEET INDEX

Sheet List	
Sheet Number	Sheet Name
A001	SITE PLAN
A002	ELEVATION
C001	COVER SHEET

AREA OF THE WORK



VICINITY MAP SITE



DISCLAIMERS

A. THIS DRAWINGS IS AN INSTRUMENT OF SERVICE. SHALL REMAIN THE PROPERTY OF BOZ ENGINEERING GROUP. IT SHALL NOT BE MODIFIED, ALTERED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN APPROVAL OF BOZ ENGINEERING GROUP.

B. BOZ ENGINEERING GROUP DOES NOT WARRANT THE ABSOLUTE ACCURACY OF DELINEATION OF EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS. ACTUAL FIELD CONDITIONS MAY VARY.

C. EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF THE WORK AND ANY DISCREPANCIES, HIDDEN AND UNFORESEEN CONDITIONS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF BOZ ENGINEERING GROUP.

D. BOZ HEREBY STATES THAT INSTRUCTIONS HAS BEEN GIVEN TO THE OWNER OR HIS REPRESENTATIVE IN CHARGE OF CONSTRUCTION THAT PROPER SHORING SHALL BE SECURED PRIOR TO ANY STRUCTURAL MODIFICATIONS.

PROJECT DIRECTORY

OWNERS	- 1631 WISCONSIN AVE. NW. DC 20007
ARCHITECT	BOZ ENGINEERING GROUP 7181 LEE HWY, FALLS CHURCH, VA 22046 (202) 355-5055
CONTRACTOR	BUILD DESIGN CENTER 1631 WISCONSIN AVE. NW. DC 20007

PROJECT DESCRIPTION

NEW STORE FRONT SIGN

GENERAL NOTES

1. BASE BUILDING EXISTING CONDITIONS CAD PLANS FORWARDED TO SORRELL DESIGN BY THE CLIENT. ACCURACY OF THE BASE BUILDING CORE, PERIMETER, & TEANT DEMISING WALL CONDITIONS REPRESENTED.
2. GC TO VERIFY BASE BUILDING CONDITIONS PRIOR TO PROCEEDING WITH WORK AND IMMEDIATELY NOTIFY ARCHITECT OF ANY CONDITIONS CONTRARY TO THOSE SHOWN OR INFERRED ON THE DRAWINGS.
3. WORK TO BE PERFORMED IN ACCORDANCE WITH THE RULES A& REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE, & FEDERAL CONSTRUCTION, SAFETY, & SANITARY LAWS, CODES, STATUES, & ORDINANCES.
4. GC IS RESPONSIBLE FOR ALL FEES, PERMITS, APPLICATIONS, & FILINGS & REQUIRED INSPECTIONS WITH STATE & GOVERNMENTAL AGENCIES.
5. A COPY OF THE PERMIT(S) FROM LOCAL JURISDICTION TO BE SUBMITTED TO BUILDING MANAGEMENT BEFORE ANY WORK CAN PROCEED.
6. GC SHALL COMPLY WITH THE BUILDING RULES & REGULATIONS FOR WORKING HOURS FOR CONSTRUCTION & DEMOLITION OPERATIONS, USE OF LOADING DOCKS & ELEVATORS, DELIVERY & HANDLING OF MATERIAL & RUBBISH REMOVAL.
7. ALL LUMBER, WOOD GROUNDS, NAILERS, & BLOCKING CONCEALED IN WALLS OR LOCATED IN CEILING PLENUMS SHALL BE FIRE-RETARDANT TREATED. COPIES OF CERTIFICATION SHALL BE SUBMITTED TO LANDLORD IF REQUIRED.
8. ALL FIRE RATED PARTITIONS - ALL PENETRATIONS & JOINTS ARE TO BE TAPED & SPACKLED SLAB TO SLAB.
9. FIRE-STOPPING/FIRE-SAFING THROUGH PARTITION ASSEMBLIES SHALL PROVIDE A FIRE RESISTIVE RATING THAT MATCHES THAT OF THE PARTITION. COMPLY WITH UL1479 "FIRE TESTS OF THROUGH PENETRATION FIRE-STOP".
10. CORNER BEADS ARE TO BE INSTALLED ON ALL CORNERS & TO BE SPACKLED SMOOTH WITH ADJACENT AREA.
11. STUD SIZE SHALL BE PER MANUFACTURER SPECIFICATION FOR HEIGHT, GAUGE, & SPACING UNLESS OTHERWISE NOTED.
12. DOUBLE STUDS ARE REQUIRED AT BOTH JAMBS OF DOOR FRAMES & HEADERS.
13. STUDS AT DOOR JAMBS & ON TOPS OF DOOR FRAMES MUST BE SCREWED TO RUNNERS AT TOPS, BOTTOMS, & BOTH SIDES.
14. PARTITIONS SHALL NOT BE FASTENED OR BRACED TO DUCTWORK, CONDUIT, OR PIPING.
15. DO NOT MECHANICALLY SECURE NEW PARTITIONS TO EXISTING WINDOW MULLIONS, WINDOW SILLS, OR CONVECTOR ENCLOSURES.
16. WHERE NEW & EXISTING BUILDING PARTITIONS ARE SHOWN TO ALIGN, THE JUNCTION SHALL BE TAPED, SPACKLED, & FINISHED SMOOTH.
17. FIRE SAFETY EQUIPMENT & THEIR ASSOCIATED CONDUIT & WIRING SYSTEMS SHALL NOT BE MARRED DURING CONSTRUCTION & SHALL BE PROTECTED FROM ANY PHYSICAL DAMAGE BY THE GC & SUBCONTRACTOR FOR THE DURATION OF THE PROJECT.
18. WHERE FIRE-PROOFING OF EXISTING COLUMNS OR BEAMS IS DISTURBED BY NEW WORK, THE FIRE-PROOFING SHALL BE RESTORED TO PROVIDE A MINIMUM RESISTANCE RATING AS REQUIRED BY NFPA & IBC BUILDING CODE.
19. GC TO ALERT ARCHITECT AS TO COMPLETION OF ANY FIRE-STOPPING FOR VISUAL INSPECTION, ARCHITECT IS NOT RESPONSIBLE IF GC PROCEEDS WITH ENCLOSURE BEFORE INSPECTION; ENCLOSURE WILL BE REQUIRED TO BE REMOVED & REBUILT AT NO COST TO THE CLIENT, VISUAL INSPECTION BY ARCHITECT MUST OCCUR.
20. EXTREME CARE SHALL BE EXERCISED IN CUTTING, DRILL, OR ANCHORING TO THE EXISTING STRUCTURE. IF ANY DETERIORATION OR DAMAGE TO THE EXISTING STRUCTURE OCCURS OR IS OBSERVED DURING DEMOLITION OPERATIONS, IT SHALL BE REPORTED TO THE BUILDING LANDLORD.
21. GC TO X-RAY SLAB PRIOR TO CUTTING & DRILLING SLAB PENETRATIONS.
22. THE FLOOR MUST REMAIN IN A STATE OF SAFE CONDITIONS WITH REGARD TO FIRE SAFETY FOR PERSONNEL WORKING ON THE FLOOR.
23. ALL FIRE STAIRS, ALARMS, SPEAKERS, ETC. MUST REMAIN ACCESSIBLE & OPERABLE AT ALL TIMES.
24. ALL POWER & HVAC OUTAGES THAT AFFECT OCCUPIED SPACE REQUIRE AT LEAST A SEVEN CALENDAR DAY NOTICE.
25. GC MUST CONTAIN ODORS & DUST WITHIN WORK AREAS & SCHEDULE ALL NOISY WORK, SUCH AS HAMMER DRILLING, AFTER NORMAL BUSINESS HOURS, 8:00AM - 4:00PM, MONDAY THROUGH FRIDAY

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Date	
Description	
No.	

BOZ ENGINEERING GROUP

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bozengineeringgroup.com

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FALLS CHURCH
VA 22046
(202) 355-5055



BOZ
ENGINEERING
GROUP

Owner:
Project Name:
1631 WISCONSIN AVE. NW. DC
20007
Sheet Title:
COVER SHEET

Project Number:

BOZ-390

Date:
11/19/2022

Drawn by
MY

Checked by
KB

Sheet #

C001

Scale:
1/4" = 1'-0"

Page Size: A3610C 10" x 24"

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., November 3 , 2022

Plat for Building Permit of :

SQUARE 1280 LOT 891

Scale: 1 inch = 20 feet

Recorded in Book A & T Page 919

Receipt No. 23-00603

Drawn by: A.S.

Furnished to: KORAY BOZKURT

“I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s).”

Koray Bozkurt

Surveyor, D.C.

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:
1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application SG2300018; and
3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:

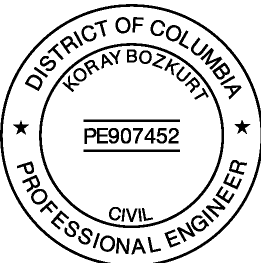
1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
3) I have ~~have not~~ (circle one) filed a subdivision application with the Office of the Surveyor;
4) I have ~~have not~~ (circle one) filed a subdivision application with the Office of Tax & Revenue; and
5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.
The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the two years prior to the date DCRA accepts a Building Permit Application as complete.
I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

Signature: *Koray Bozkurt*

Date: 11/05/2022

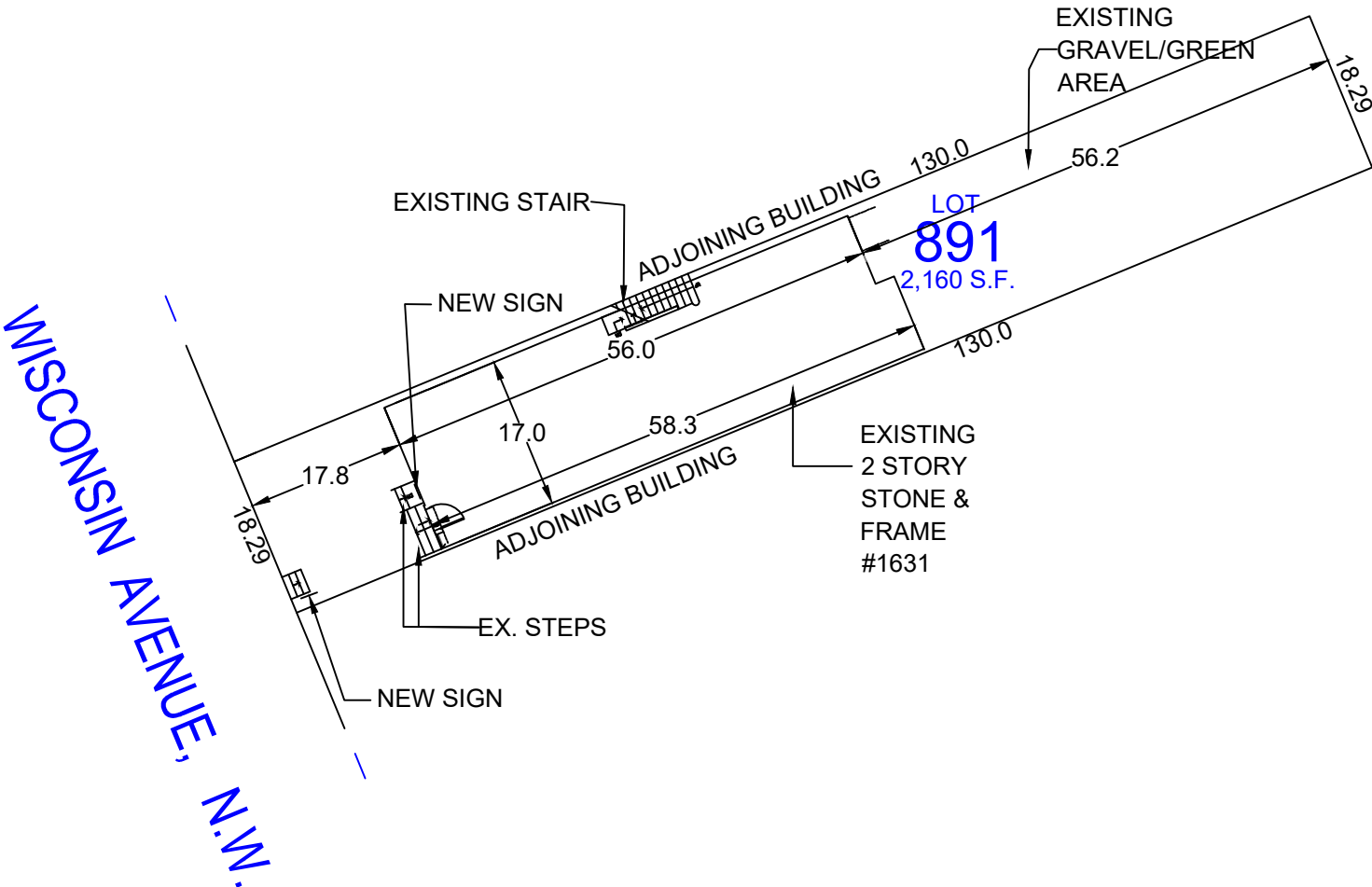
Printed Name: Koray Bozkurt Relationship
to Lot Owner: PE

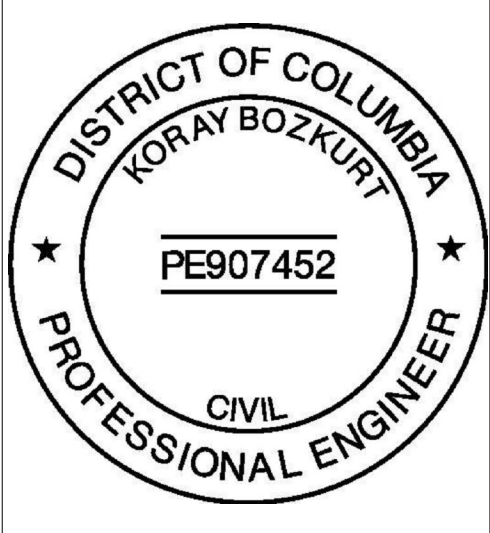
If a registered design professional, provide license number
907452 and include stamp below.



SCALE: 1:20

SQUARE 1280





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No.	Description	Date

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bozengineeringgroup.com
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FALLS CHURCH
VA 22046
(202) 355-5055



Owner:	1631 WISCONSIN AVE. NW. DC
Project Name:	20007
Sheet Title:	SITE PLAN

Project Number: **BOZ-390**

Date: **11/19/2022**

Drawn by: **MY**

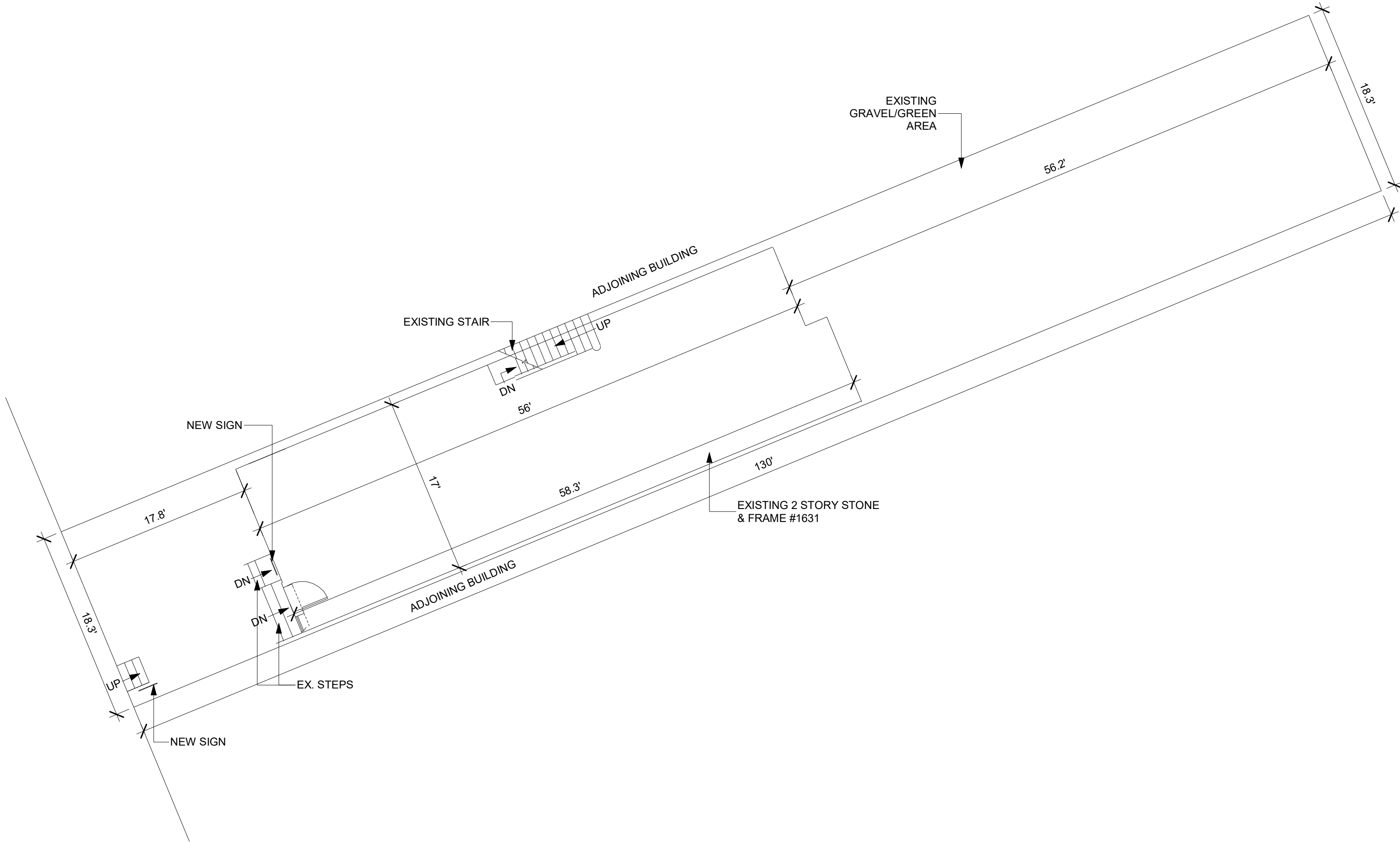
Checked by: **KB**

Sheet #

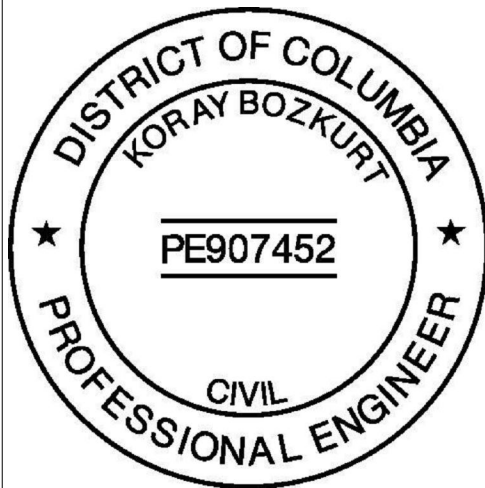
A001

Scale: **1/8" = 1'-0"**

Paper Size: ANSI C (18" x 24")



1 SITE PLAN
1/8" = 1'-0"



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FALLS CHURCH
VA 22046

(202) 355-5055



Project Name:
1631 WISCONSIN AVE. NW. DC
20007

Project Number:

0Z-390

11/19/2022

MY

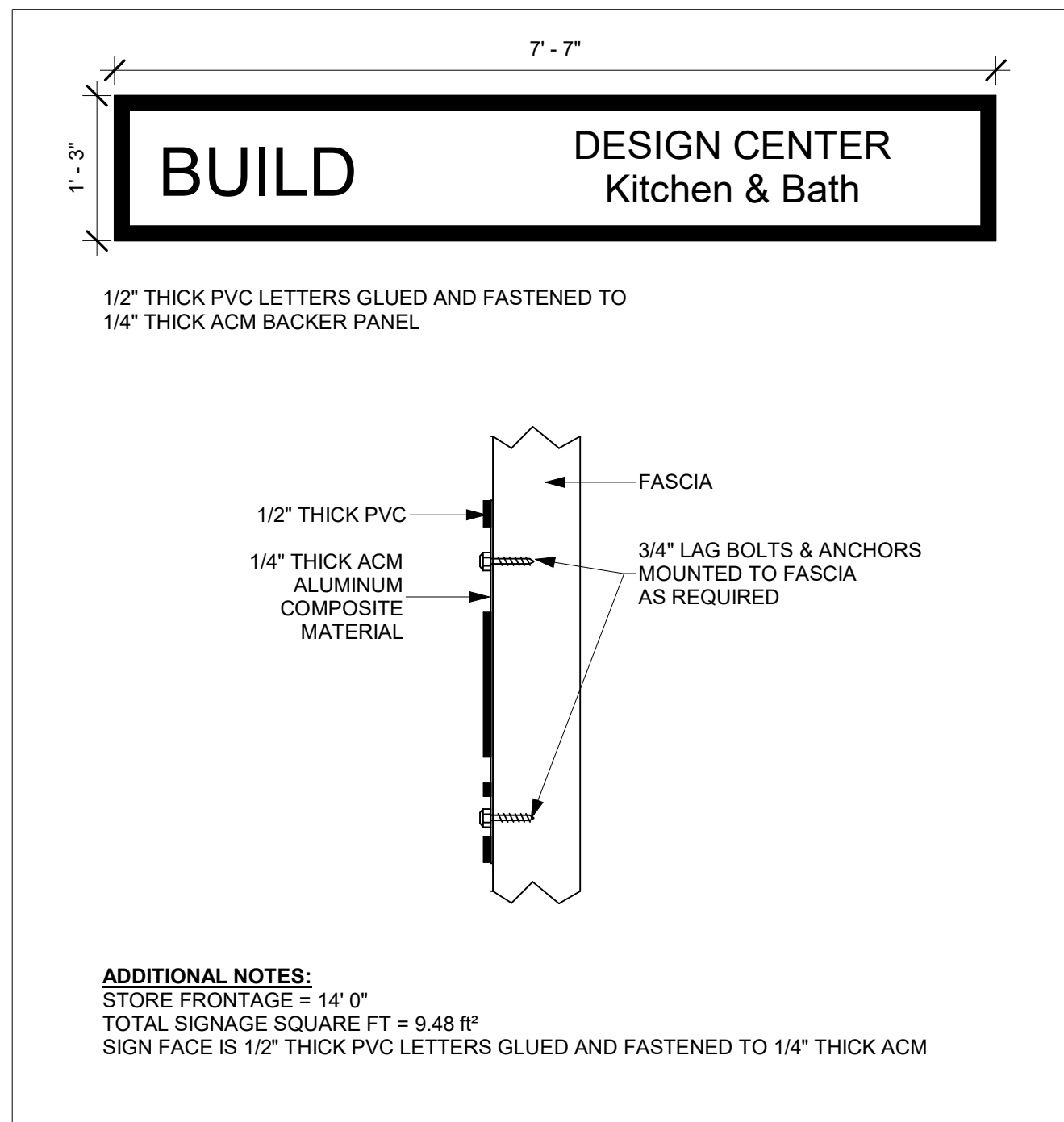
ked by

KB

A002

s indicated

Arch C (18" x 26")



Architectural drawing of the store front elevation view for the BUILD Design Center Kitchen & Bath. The drawing shows a grid of windows and a central entrance. Dimensions are provided: 14' - 0" total width, 9' - 0" total height, 7' - 7" for the main window grid, and 1' - 3" for the top section. The entrance is labeled 1631. A scale bar indicates 1" = 1'-0".

○ STORE FRONT ELEVATION VIEW
1" = 1'-0"

○ DETAIL
3/4" = 1'-0"



202.854.1453

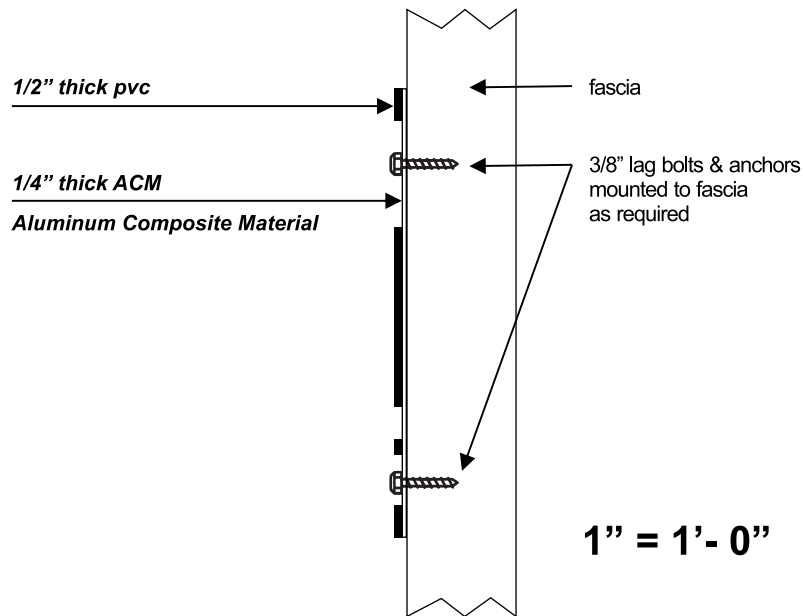
1101 30th Street NW Suite 500
Washington D.C. 20007
SIGNXUSA.COM

BUILD DESIGN CENTER
Kitchen & Bath
1631 WISCONSIN AVE NW WASHINGTON DC 20007



1/2" thick pvc letters glued and fastened to
1/4" thick ACM backer panel

1/4" = 1'-0"



1/4" = 1'-0"

ADDITIONAL NOTES:

- store frontage = 14' 0"
- total signage square ft = 9.48ft²
- sign face is 1/2" thick pvc letters glued and fastened to 1/4" thick ACM Aluminum Composite Material

Approved as is, no changes _____
Approved with noted changes _____
Revisions required, new proof required _____

LANDLORD APPROVAL SIGNATURE



BUILD

DESIGN CENTER
Kitchen & Bath

1631

11:05

5G



Mustafa Nextday Sign Photo-Cam...

All Media

8/22/22, 11:15 AM



BACCHUS
WINE CELLAR

BDC BUILD
DESIGN
CENTER
KITCHEN AND BATH