

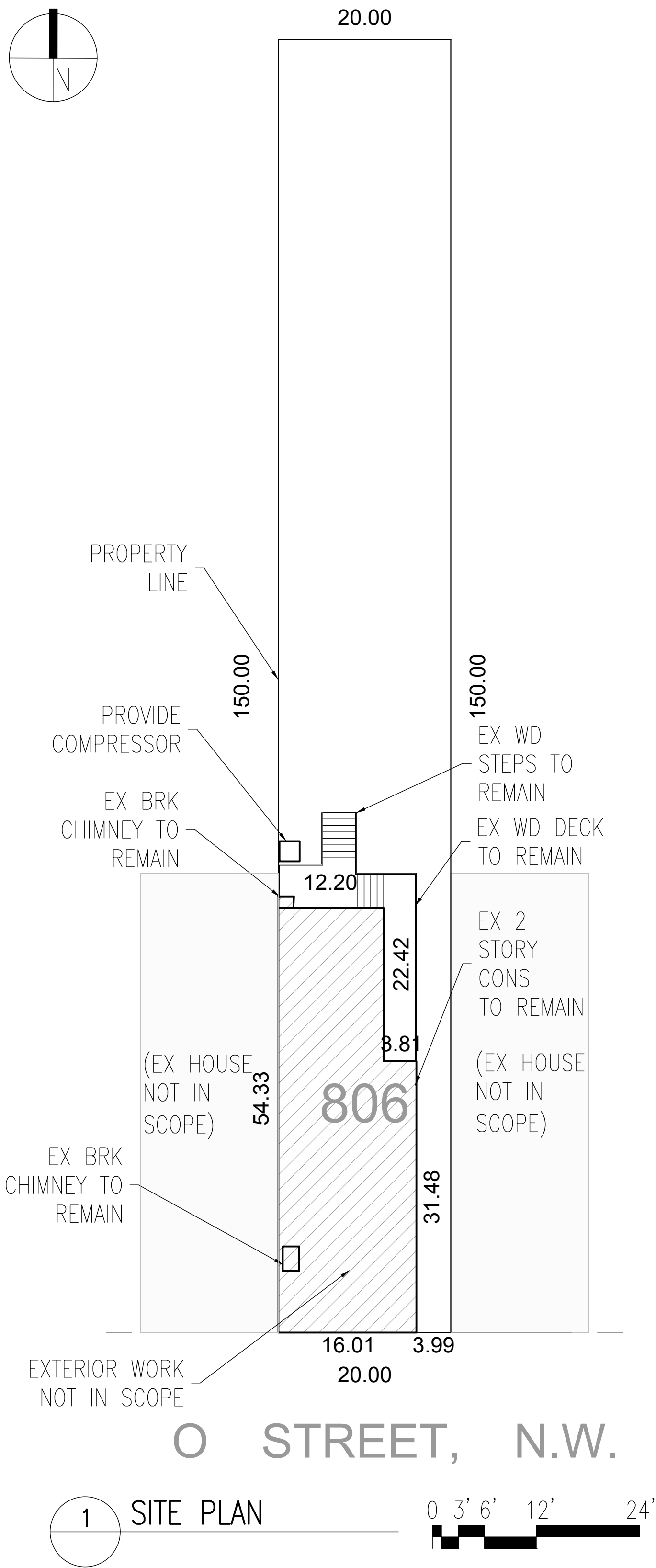
# GEORGETOWN UNIVERSITY

## TOWNHOUSE EXTERIOR REPAIRS

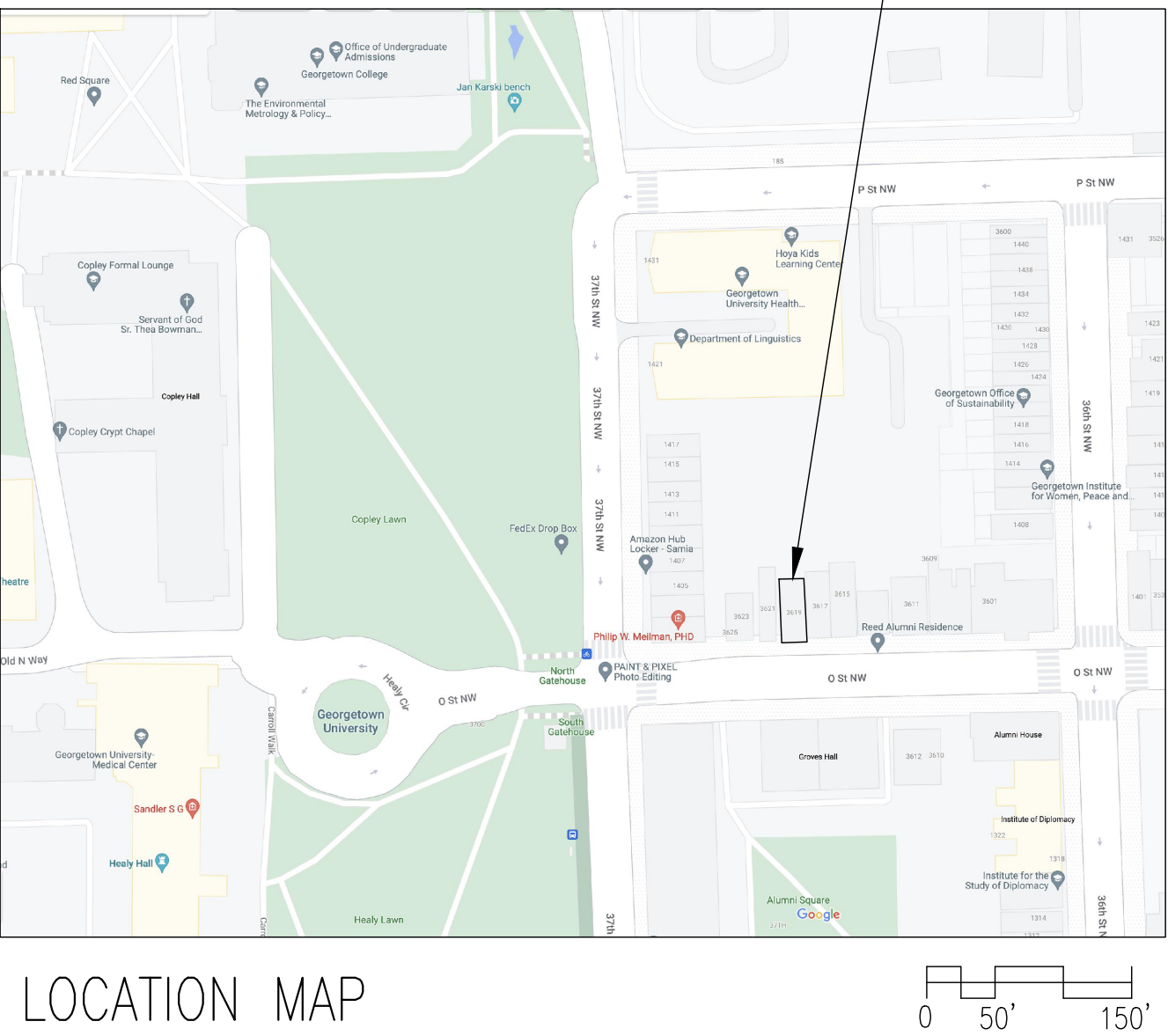
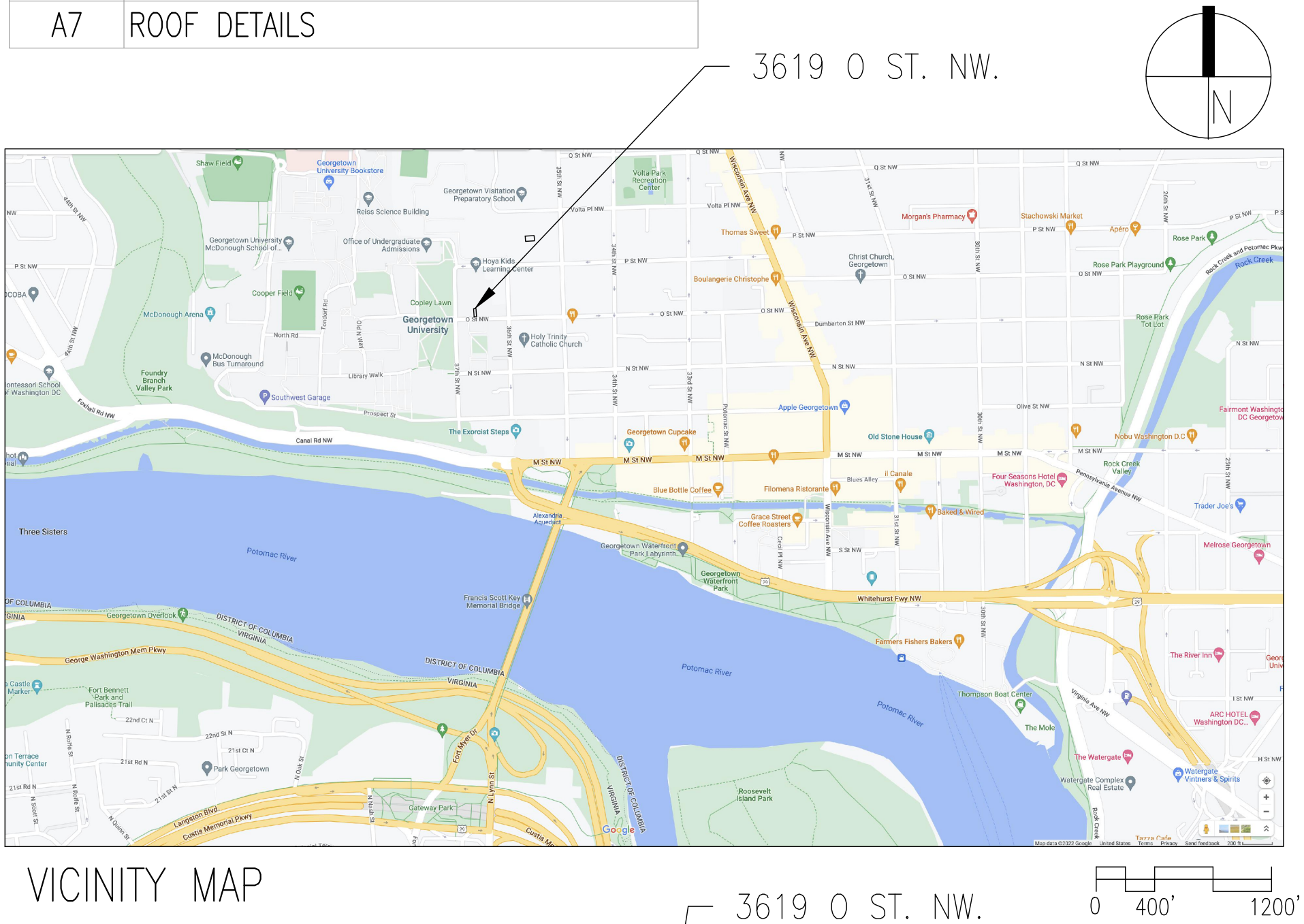
OLD GEORGETOWN BOARD SUBMISSION – JANUARY 2023

GU PROJECT ID #: 2-D07-03

PROJECT TEAM	PROJECT DATA
CLIENT:  GEORGETOWN UNIVERSITY  3700 O ST. NW, NEW SOUTH L 104 WASHINGTON DC 20057. T: 571-722-6459.	SQUARE / SUFIX / LOT: ZONING: 0 R-3/R-20 HISTORIC DISTRICT: GEORGETOWN HISTORIC DISTRICT  CLIMATE ZONE: 4A  USE AND OCUPANCY: SINGLE FAMILY DWELLING (NO CHANGE)  NUMBER OF STORIES: 2 (NO CHANGE)  NUMBER OF DWELLING UNITS: 1 (NO CHANGE)
GENERAL CONTRACTOR:  PEDRAM HATAMI PIVOT CONSTRUCTION  502 NUTLEY ST. VIENNA, VA, 22180. T: 703-677-2351.	APPLICABLE CODES  2017 DCMR12B DC RESIDENTIAL CODE. 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE. 2017 DCMR12J DC EXISTING BUILDING CODE. 2015 EXISTING BUILDING CODE.
ARCHITECT:  PETER VANDERPOEL VANDERPOEL ARCHITECTURE  1713 N. BRYAN ST. ARLINGTON, VA, 22201. T: 703-725-4328.	SCOPE OF WORK  WORK WILL CONSIST OF:  - REPLACEMENT OF EXISTING METAL ROOF WITH NEW COPPER ROOF - RESTORATION OF EXTERIOR COMPONENTS AND SELECTIVE REPLACEMENT IN KIND.
STRUCTURAL ENGINEER:  LORI LEVINE. POTOMAC ENGINEERING.  43008 RUNNING RIDGE WAY LEESBURG, VA, 20176. T: 703-622-4944.	
MEP ENGINEER:  SAM ODEH DESIGN AMERICA ENGINEERING.  14080 RED RIVER DR. CENTREVILLE, VA, 20121. T: 571-220-3239.	



SHEET INDEX	
SHEET No.	SHEET NAME
A0	COVER SHEET
A1	INTERIORS – DEMOLITION FLOOR PLANS
A2	BUILDING ELEVATIONS – EXISTING
AP1	PHOTO REFERENCES
AP2	PHOTO REFERENCES
AP3	PHOTO REFERENCES
AP4	PHOTO REFERENCES
AP5	PHOTO REFERENCES
AP6	PHOTO REFERENCES
A3	INTERIORS – PROPOSED FLOOR PLANS
A4	BUILDING ELEVATIONS – PROPOSED
A5	BUILDING SECTIONS – PROPOSED
A6	ROOF PLAN AND DETAILS
A7	ROOF DETAILS



**VanderPoel Architecture**  
 5753 N. Great St. Arlington, Virginia 22204  
 peter@pvanderpoel.com 703-725-4328

Renovations to  
3619  
O St.NW  
Washington DC.  
20007

2-D07-03

Drawing Title

COVER SHEET

Project No.	VA2205-05
Date	23 JAN 23



11x17 sheets are 1/2 size



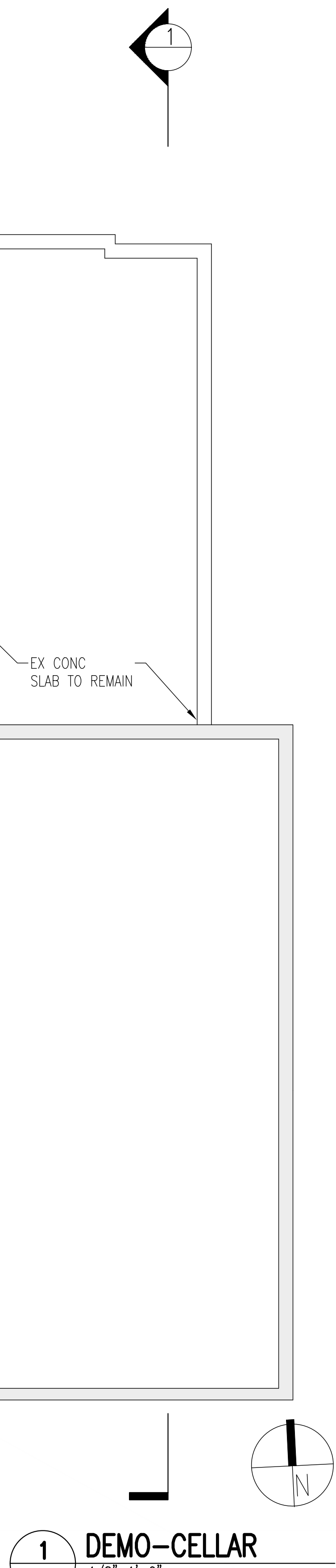
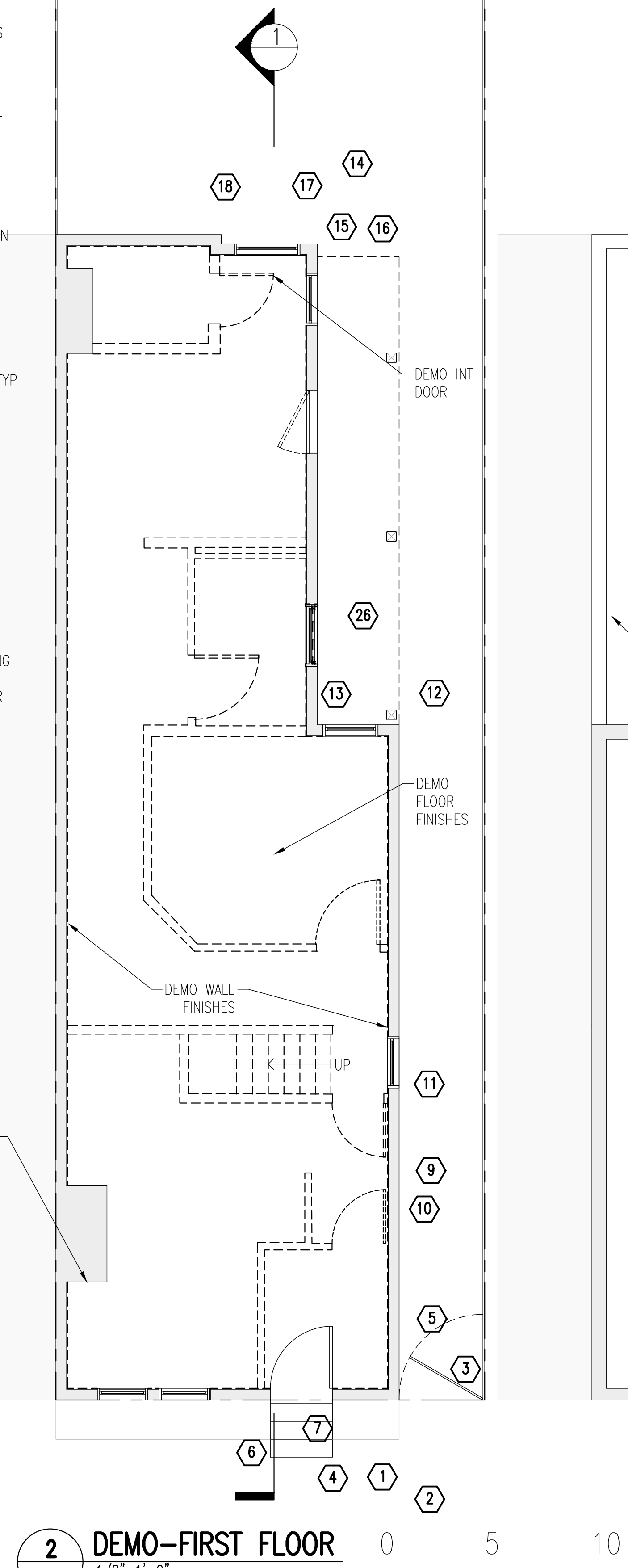
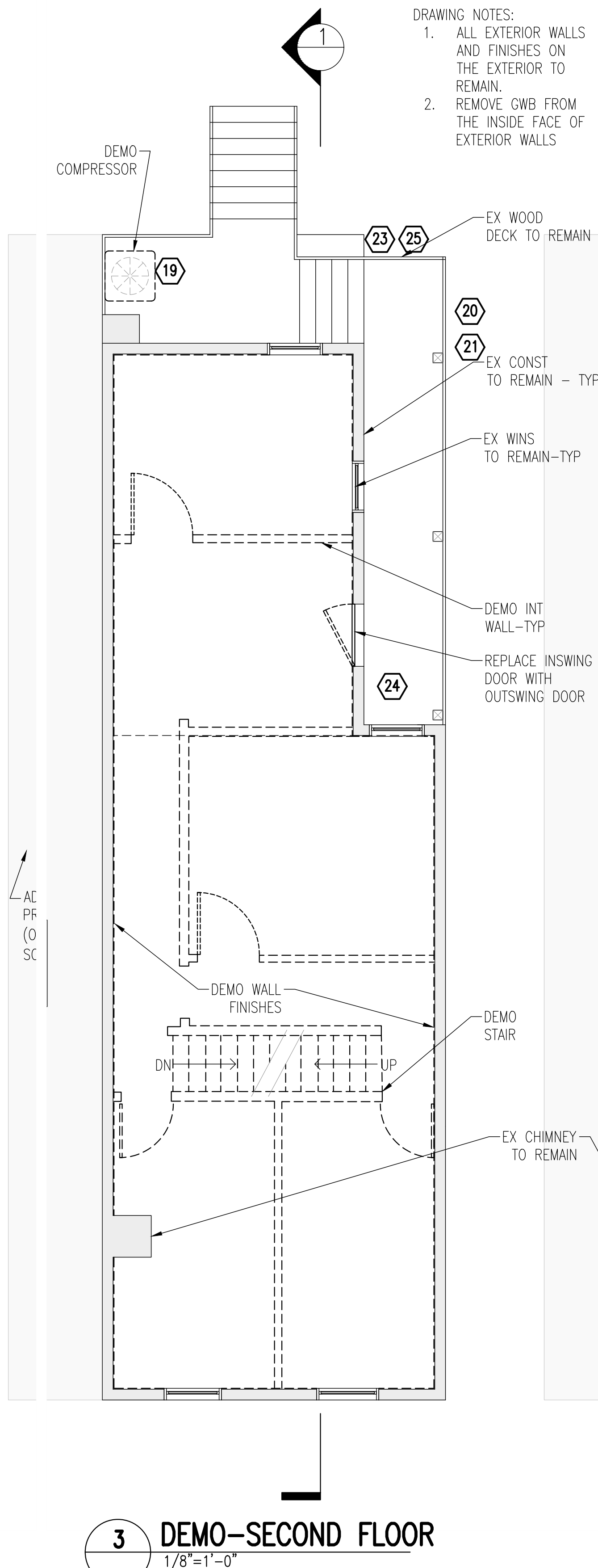
- Demolition General Notes
- A. GC to coordinate testing and abatement of hazardous materials.
  - B. Retain all structural elements including structural walls, floor joists, roof joists and slab on grade
  - C. Demo all kitchen and bathroom base and wall cabinetry
  - D. Demo all plumbing fixtures.
  - E. Demo all appliances.
  - F. Demo and replace all utility access panels.
  - G. Demo all window treatments.
  - H. Demo all existing air distribution vents.
  - I. Demo all interior railings and handrails at stairs.
  - J. Demo all tile and carpet floor / stair finishes. At carpet, demo tack strips.
  - K. Demo existing door thresholds at bathrooms.
  - L. Remove finish from all interior walls to underlying structure
  - M. Demo existing walls / doors / electrical / ductwork to allow for new work, ref. elec.

REMOVE MTL ROOF.  
EX ROOF STRUCTURE  
TO REMAIN

EX CHIMNEY  
TO REMAIN

REMOVE  
GUTTER AND  
DOWNSPT

4 DEMO-THIRD FLOOR/ATTIC  
1/8"=1'-0"



Renovations to  
3619  
O St.NW  
Washington DC.  
20007

2-D07-03

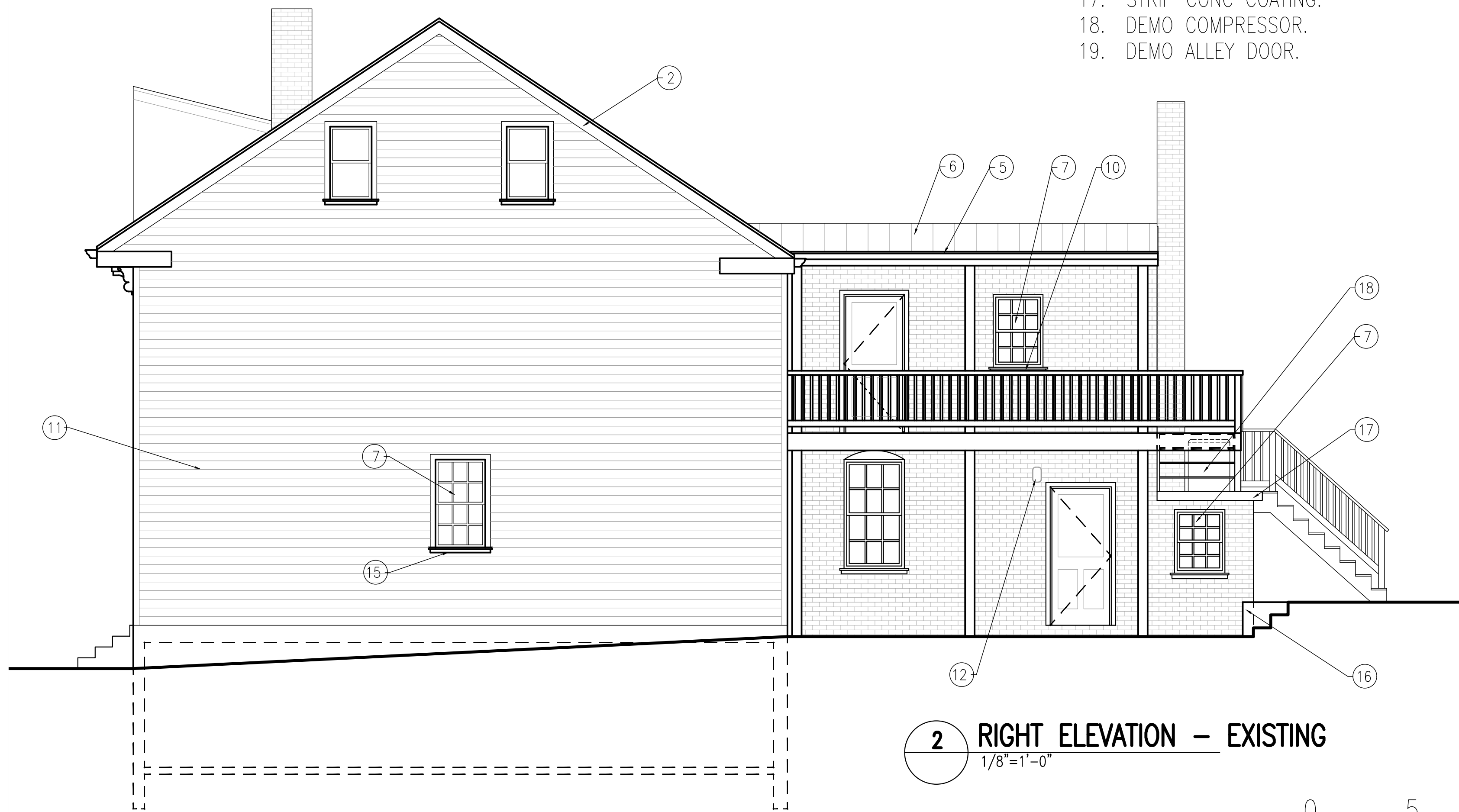
Drawing Title

INTERIORS -  
DEMOLITION  
FLOOR PLANS

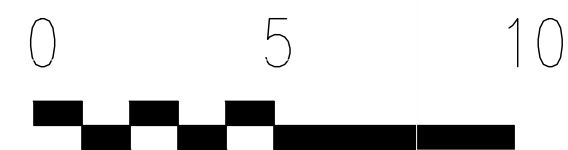
Project No. VA2205-05  
Date 23 JAN 23

A1

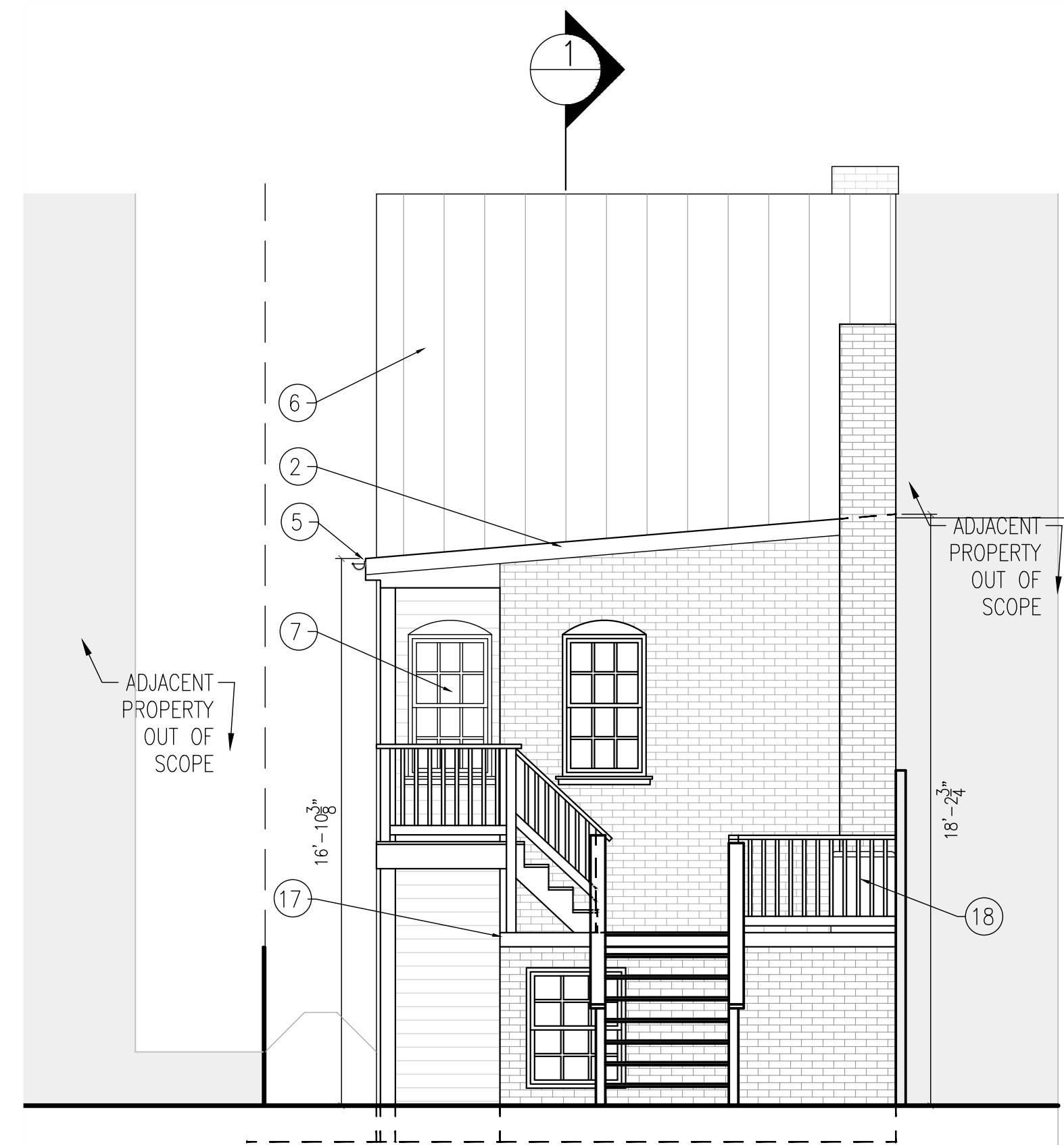
11x17 sheets are 1/2 size



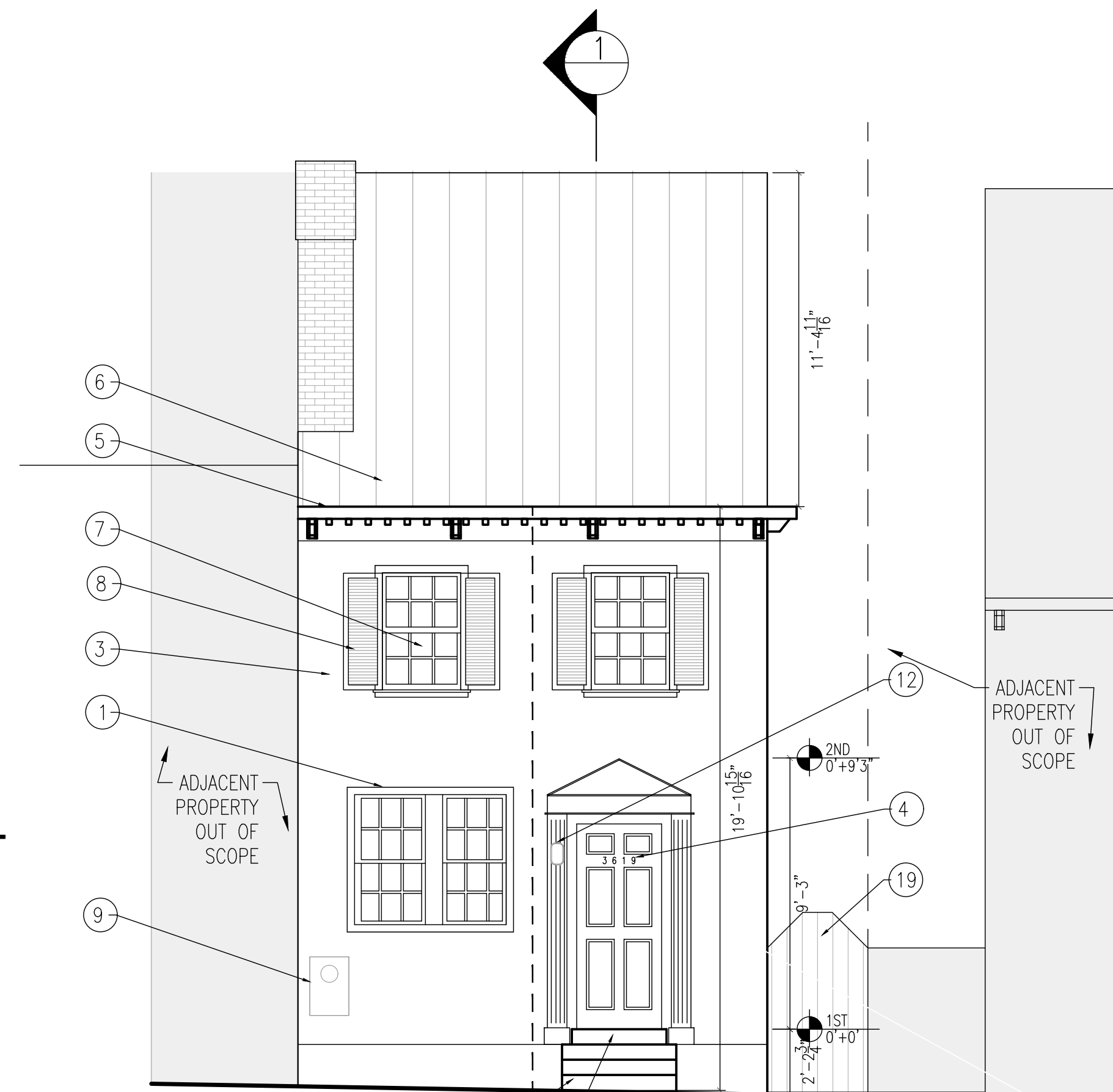
**2 RIGHT ELEVATION – EXISTING**  
1/8"=1'-0"



1. DEMO CAP FLASHING.
2. DEMO METAL FLASHING.
3. DEMO STUCCO & LATH.
4. MTL NUMBERS TO REMAIN.
5. DEMO GUTTERS AND DOWNSPOUTS.
6. DEMO MTL ROOF.
7. EX WIN TO REMAIN TYP.
8. EX SHUTTERS TO REMAIN TYP.
9. RELOCATE ELEC METER TO ALLEY.
10. DEMO DAMAGED WIN TRIMS.
11. DEMO SIDING.
12. DEMO LIGHT FIXTURE.
13. DEMO THRESHOLD BLOCK.
14. DEMO BRICK PATCH.
15. REPLACE ROTTED TRIM.
16. DEMO CONC RETAINING WALL AND STEPS.
17. STRIP CONC COATING.
18. DEMO COMPRESSOR.
19. DEMO ALLEY DOOR.



**4 REAR ELEVATION – EXISTING**  
1/8"=1'-0"



**3 FRONT ELEVATION – EXISTING**  
1/8"=1'-0"



Renovations to  
3619  
O St.NW  
Washington DC.  
20007

2-D07-03

Drawing Title

BUILDING  
ELEVATIONS –  
EXISTING

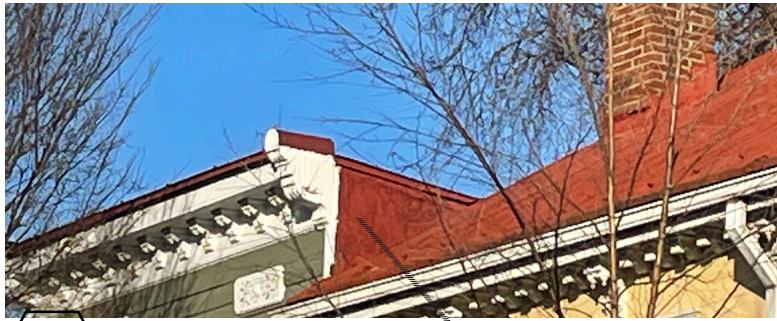
Project No. VA2205-05

Date 23 JAN 23

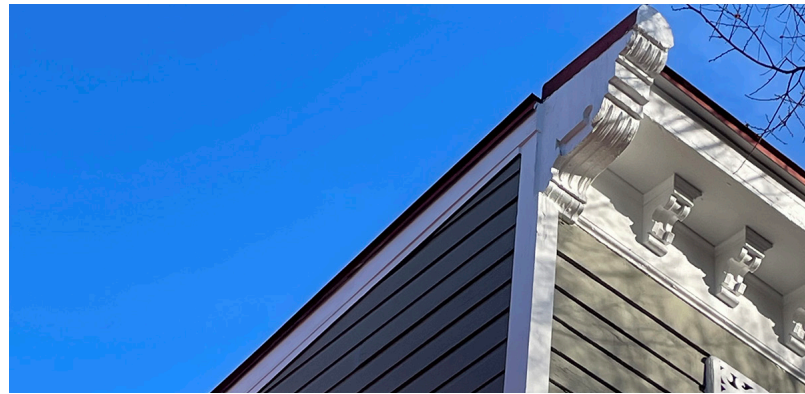
A2

11x17 sheets are 1/2 size





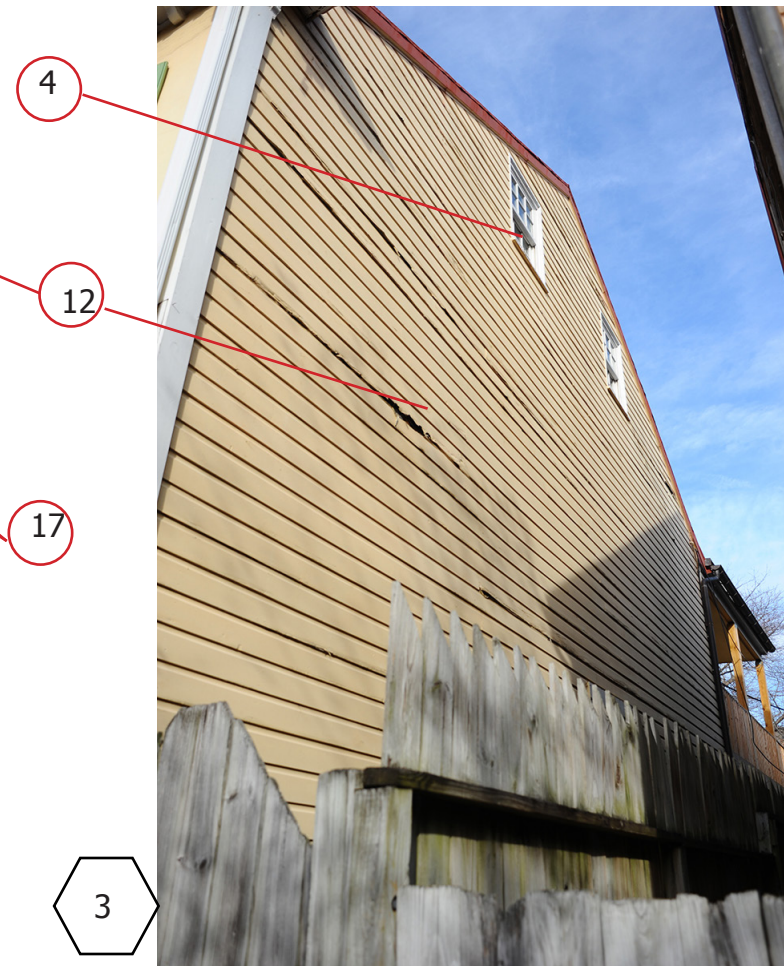
28 Existing flashing detail east face of neighboring structure 25



29 West face of neighboring structure showing proposed siding detail

1

2



Demolition Notes

1. Demo roof flashing and roofing
2. Demo stucco finish and lath
3. Remove loose parge, patch and paint
4. Existing window to remain-typical
5. Remove, refinish and reinstall existing shutters-typical
6. Demo ext light fixture
8. Demo gutter and downspout
11. Demo conc threshold block- provide limestone block
12. Demo siding
15. Sand, refinish and reinstall door
17. Sand and repaint wood trim-typical
25. Remove mtl flashing. Provide 5" german profile lap siding and trim similar to Image #29. Flash new roof under new siding.

#

indicates photo location-see plans



Renovations to  
3619  
O St.NW  
Washington DC.  
20007

2-D07-03

Drawing Title

PHOTO REFERENCES

Project No.	VA2205-05
Date	23 JAN 23

AP1



- Demolition Notes
2. Demo stucco finish and lath

4. Existing window to remain

6. Demo ext light fixture

11. Demo conc threshold block- provide limestone block

15. Sand, refinish and resinstall door

17. Sand and repaint wood trim

19. Replace rotted wood trim

20. Replace foundation vents

21. Remove conc patch-install brick treads

#

indicates photo lo-  
cation-see plans



Renovations to

3619

O St.NW

Washington DC.

20007

2-D07-03

Drawing Title

PHOTO REFERENCES

Project No.

VA2205-05

Date

23 JAN 23

AP2



Image of 8" shiplap siding beneath existing stucco



6

27

21

4



5

19



17

6



7

20



11

7



8 Not Used



Photo depicting german existing german profile siding

9



20

10



19

11



22

12



Demolition Notes

- 17. Patch, sand and repaint wood trim
- 19. Replace rotted wood trim
- 20. Replace foundation vents
- 21. Remove conc patch-install brick treads
- 22. Sand and Paint existing metal ramp guards



indicates photo lo-  
cation-see plans



Renovations to  
3619  
O St.NW  
Washington DC.  
20007

2-D07-03

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Drawing Title

PHOTO REFERENCES

Project No.	VA2205-05
Date	23 JAN 23

AP3





6

13



Demolition Notes

- 6. Demo ext light fixture
- 10. Route cabling inside house
- 12. Demo conc/tile retaining wall and provide 2 wythe brick retaining wall
- 14. Reset misaligned pavers
- 16 Repair damaged mortar
- 19. Replace rotted wood trim
- 21. Remove conc steps-install brick treads
- 23. Flash patch tread



indicates photo lo-  
cation-see plans



Renovations to  
3619  
O St.NW  
Washington DC.  
20007

2-D07-03

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Drawing Title

PHOTO REFERENCES

Project No. VA2205-05  
Date 23 JAN 23

AP4

14



23

15



16



14

21

12





17



19



Demolition Notes

- 3. Remove loose parge, patch and paint
- 14. Reset misaligned pavers
- 17. Sand and repaint wood trim
- 18. Demo compressor
- 24. Paint existing wood deck, posts and balusters



indicates photo location-see plans



Renovations to  
3619  
O St.NW  
Washington DC.  
20007

2-D07-03

Drawing Title

PHOTO REFERENCES

Project No. VA2205-05

Date 23 JAN 23

AP5



18



20



21





23



24



25



26



Demolition Notes

- 3. Remove loose parge, patch and paint
- 10. Route cabling inside house
- 17. Sand and repaint wood trim
- 19. Replace rotted wood trim
- 24. Paint existing wood deck, posts and balusters
- 25. Replace entire porch ceiling w/ bead board marine grade plywd-paint
- 26. Remove conc waterproofing, provide new coating



indicates photo location-see plans



Renovations to  
3619  
O St.NW  
Washington DC.  
20007

2-D07-03

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

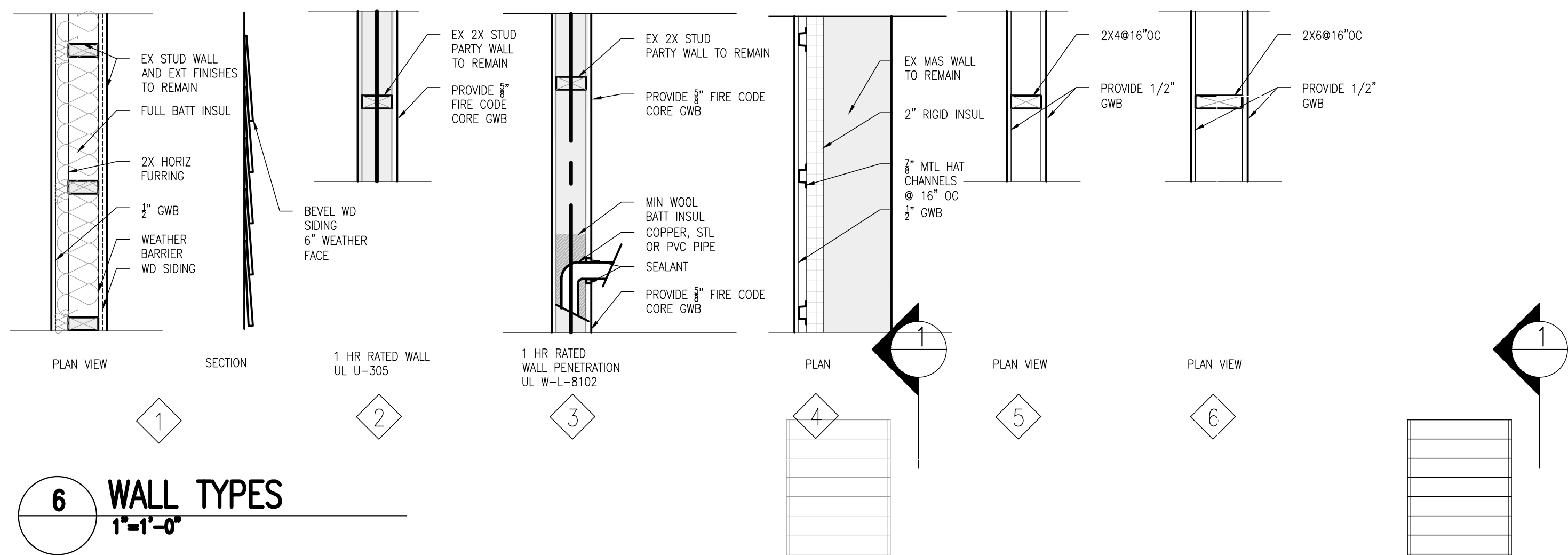
Drawing Title

PHOTO REFERENCES

Project No. VA2205-05  
Date 23 JAN 23

AP6

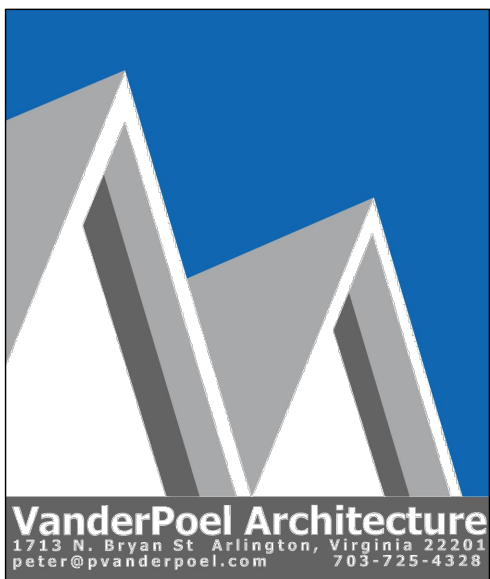




- DRAWING NOTES:
- ALL EXTERIOR WALLS AND FINISHES ON THE EXTERIOR TO REMAIN.
  - PROVIDE 2" THICKNESS INSULATION ON THE INSIDE FACE OF EXTERIOR WALLS

FINISH SCHEDULE						
ROOM	FLOOR	BASE	WALLS	CLG	CROWN	NOTES
KITCHEN	CT	WM623-PNT	GWB-PNT	GWB-PNT		
LIVING	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BR#1	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BR#2	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BATH	CT	CT	MRCWB-PNT	MRCWB-PNT		TILE BATH ADJ WALLS TO 6'-8"
BR#3	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BR#4	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BR#5	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BATH	CT	CT	MRCWB-PNT	MRCWB-PNT		TILE BATH ADJ WALLS TO 6'-8"
MECH	VCT	WM623-PNT	GWB-PNT	GWB-PNT		

DOOR SCHEDULE				
MK	SLAB DIM	MATL	STYLE	FUNCTION
101	2'-6"x6'-8"	SCW	6 PANEL	SWG
102	(2)1'-9"x6'-8"	SCW	3 PANEL	SWG
103	2'-6"x6'-8"	SCW	6 PANEL	SWG
104	(2)1'-9"x6'-8"	SCW	3 PANEL	SWG
105	2'-0"x6'-8"	SCW	6 PANEL	SWG
106	2'-0"x6'-8"	SCW	6 PANEL	SWG
201	2'-6"x6'-8"	SCW	6 PANEL	SWG
202	(2)1'-6"x6'-8"	SCW	3 PANEL	SWG
203	(2)1'-6"x6'-8"	SCW	3 PANEL	SWG
204	2'-6"x6'-8"	SCW	LOUVER	SWG
205	2'-0"x6'-8"	SCW	6 PANEL	SWG
206	2'-6"x6'-8"	SCW	6 PANEL	SWG
207	(2)1'-9"x6'-8"	SCW	3 PANEL	SWG
208	2'-6"x6'-8"	SCW	6 PANEL	SWG
209	(2)1'-9"x6'-8"	SCW	3 PANEL	SWG
210	2'-6"x6'-8"	SCW	6 PANEL	SWG



Renovations to  
3619  
O St.NW  
Washington DC.  
20007

2-D07-03

Drawing Title

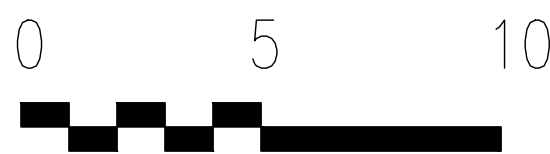
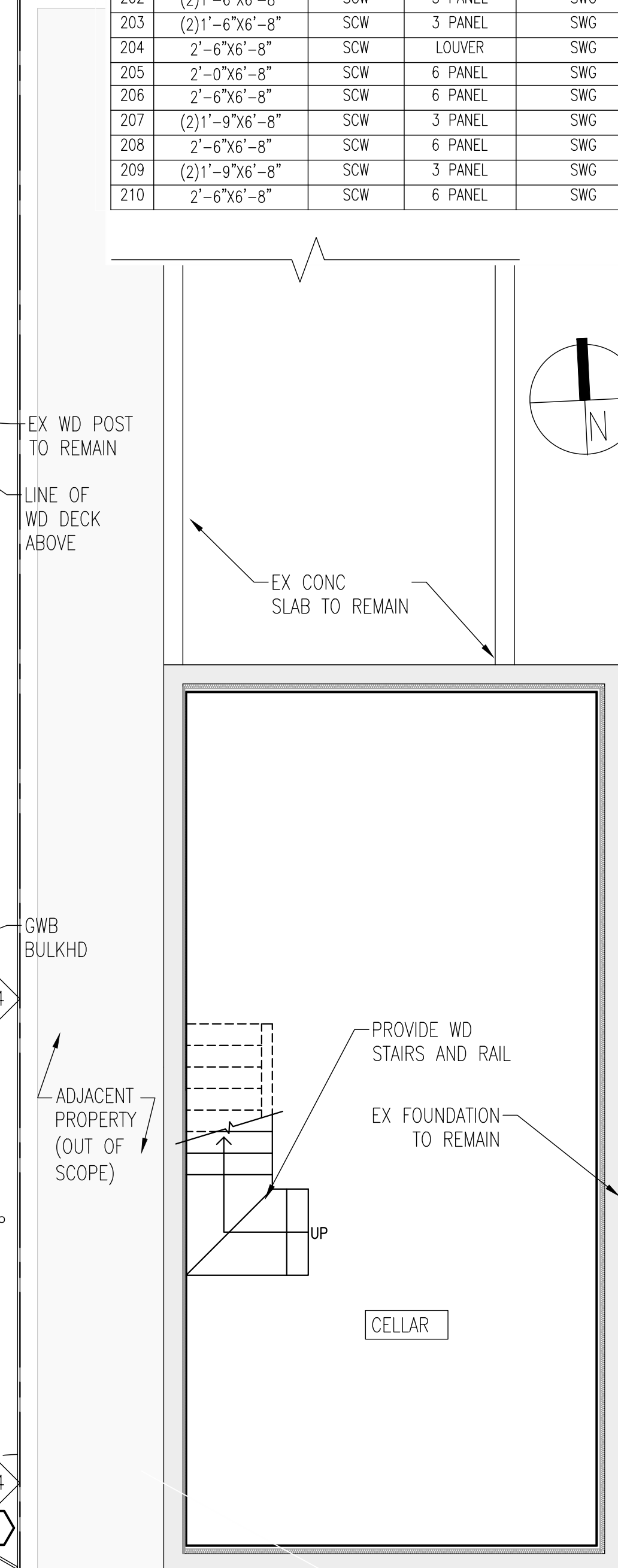
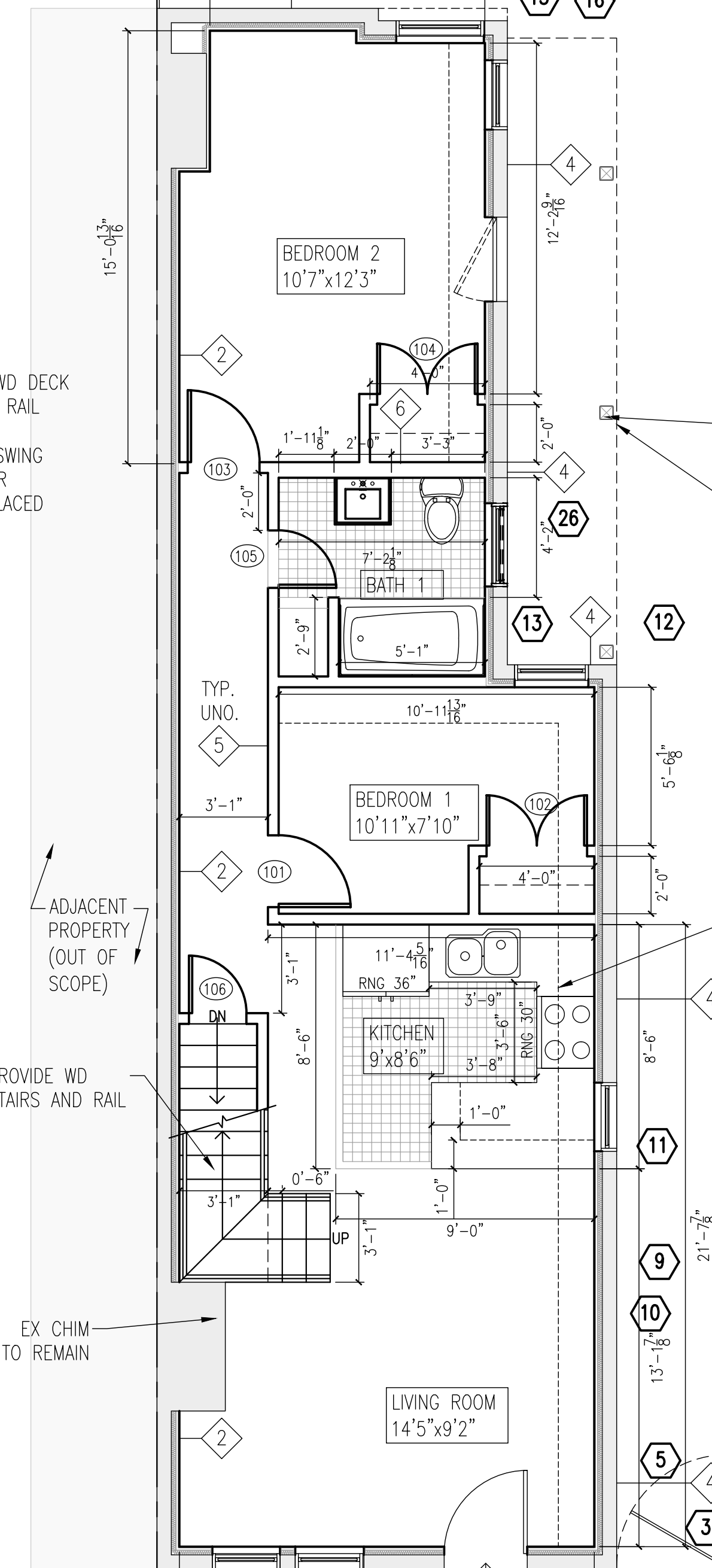
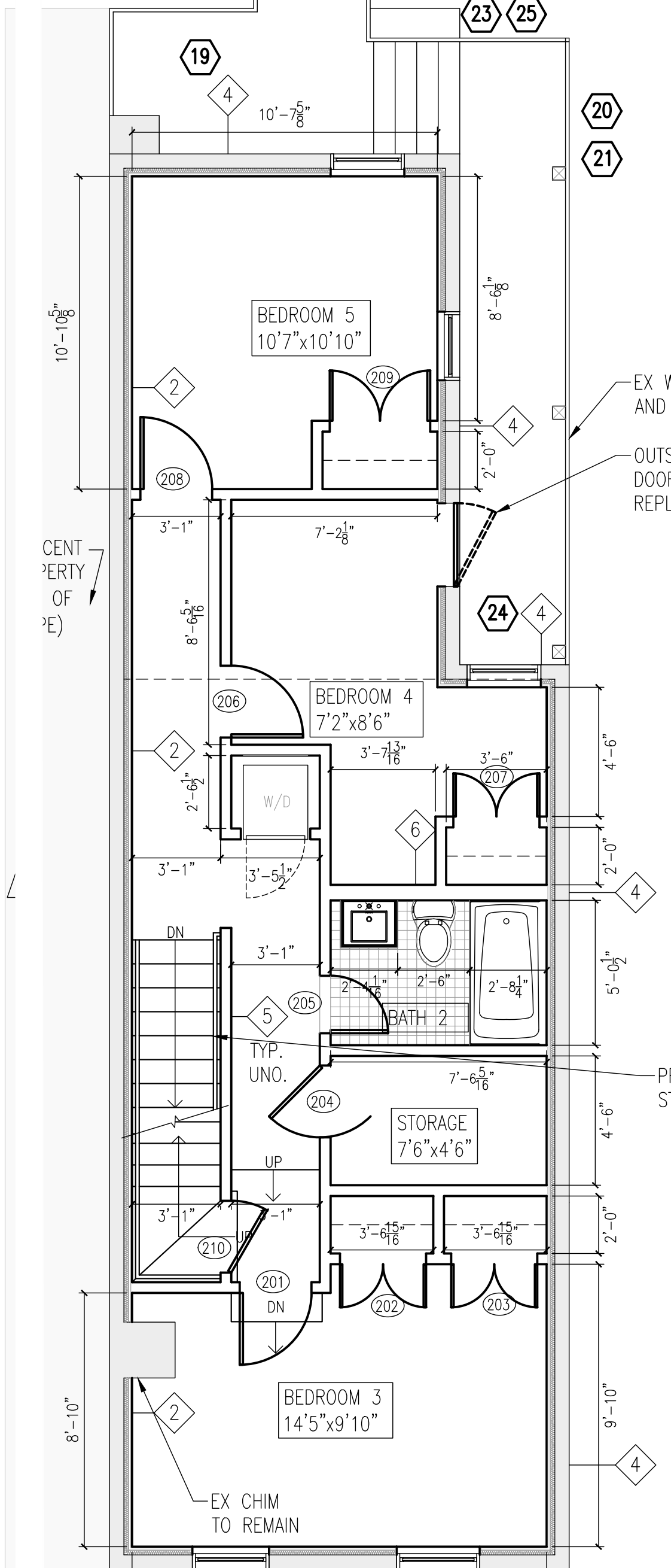
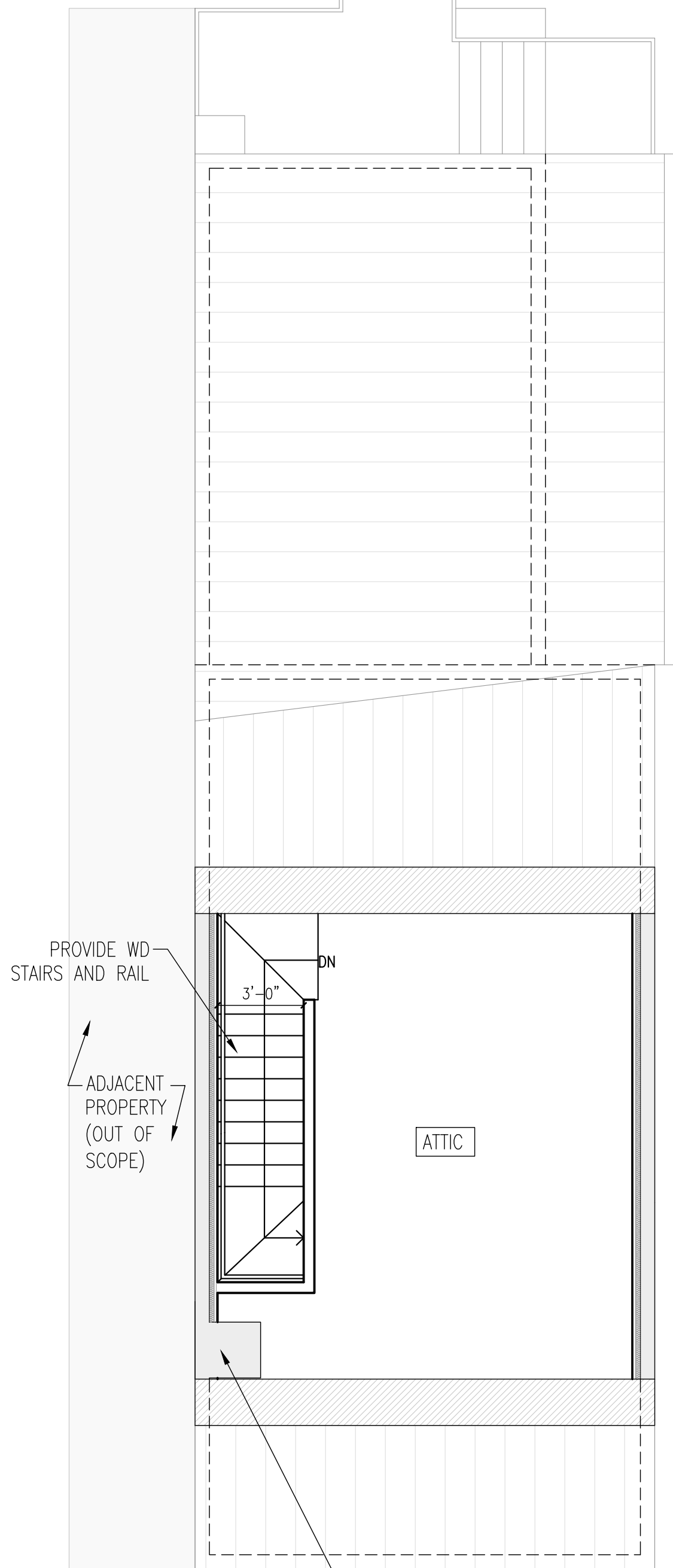
INTERIORS -  
PROPOSED  
FLOOR PLANS

Project No. VA2205-05

Date 23 JAN 23

A3

11x17 sheets are 1/2 size



4 THIRD FLOOR/ATTIC PLAN  
1/8"=1'-0"

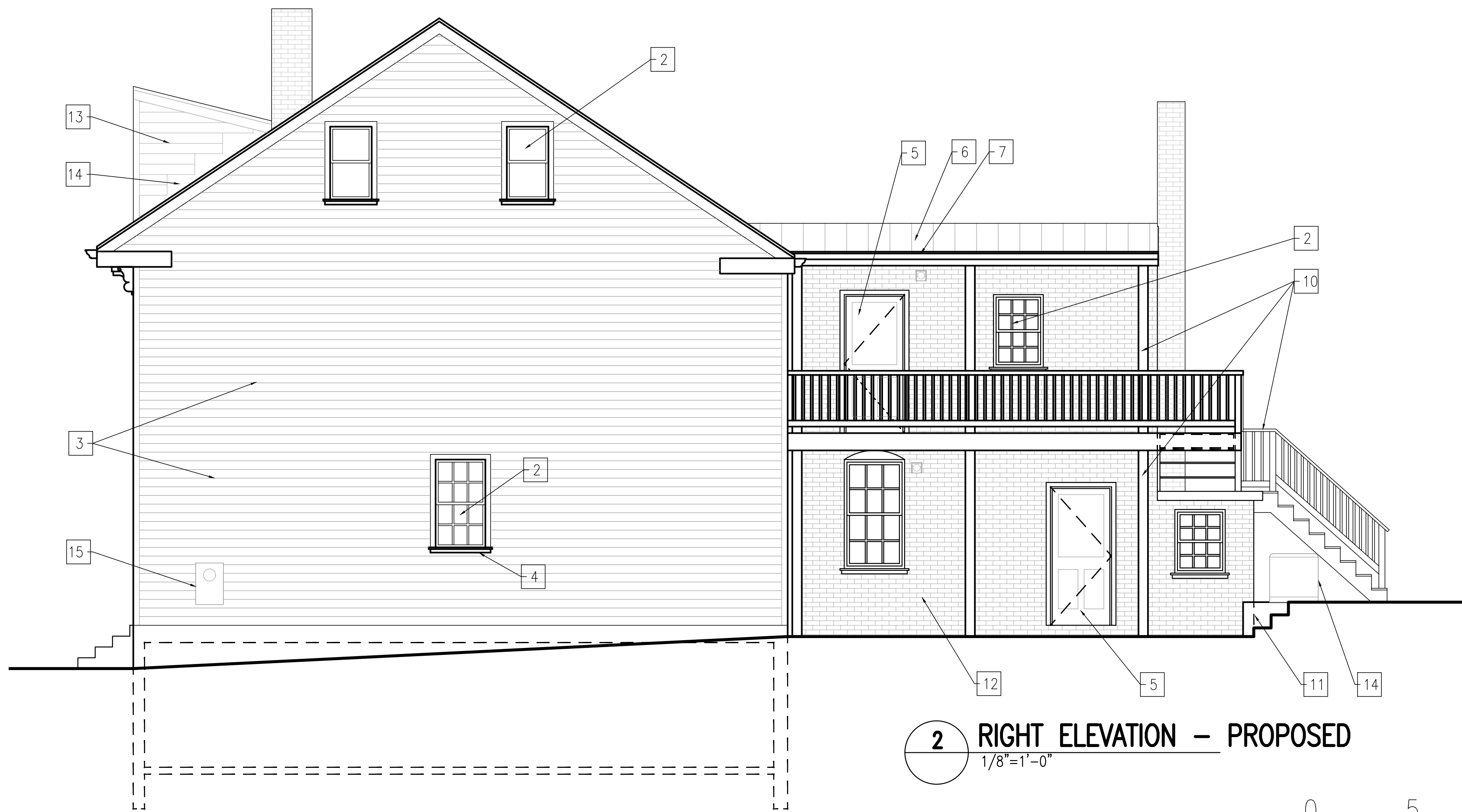
3 SECOND FLOOR PLAN  
1/8"=1'-0"

2 FIRST FLOOR PLAN  
1/8"=1'-0"

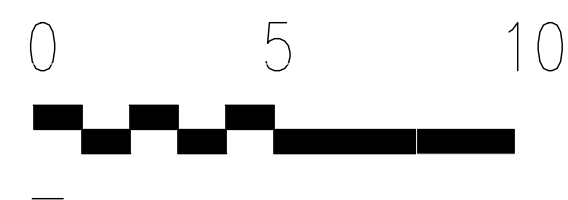
1 CELLAR  
1/8"=1'-0"

# INDICATES PHOTO LOCATION -  
SEE PHOTO REFERENCE SHEETS

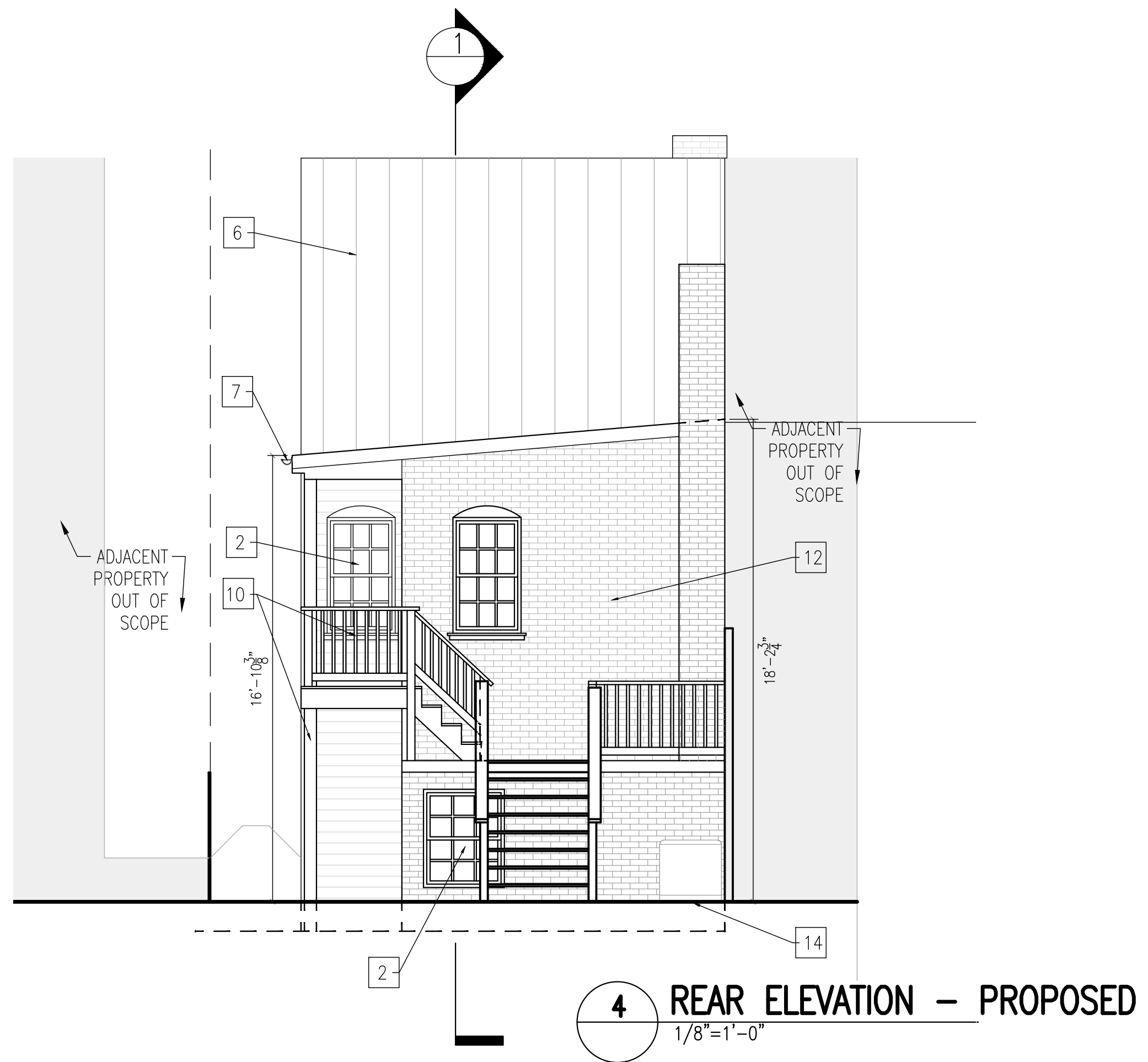




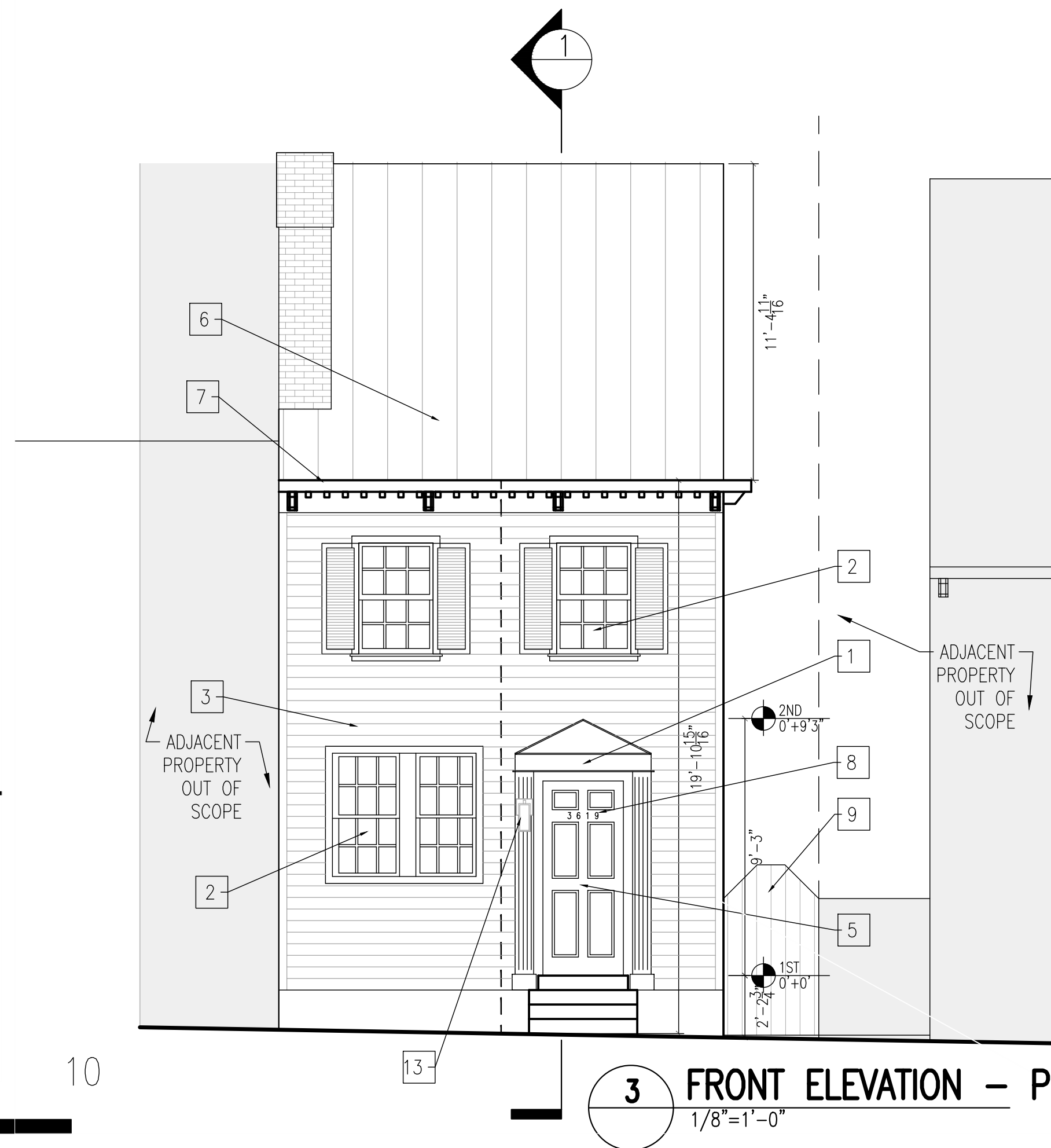
**2 RIGHT ELEVATION – PROPOSED**  
1/8"=1'-0"



- 1. SAND AND REFINISH WD TRIM.
- 2. EX WIN TO REMAIN.
- 3. PROVIDE NEW SIDING.
- 4. PATCH, SAND AND PAINT WD TRIM.
- 5. SAND AND REPAINT DOORS.
- 6. PROVIDE SS COPPER ROOF.
- 7. PROVIDE HALF ROUND COPPER GUTTERS AND DOWNSPOUTS.
- 8. MTL NUMBERS TO REMAIN.
- 9. PROVIDE NEW ALLEY DOOR.
- 10. PAINT EX WD STRUC AND HANDRAIL SYSTEM.
- 11. PROVIDE BRICK STEPS AND RETAINING WALL.
- 12. CLEAN AND PAINT EX BRICK.
- 13. PROVIDE LIGHT FIXTURE.
- 14. PROVIDE COMPRESSOR.
- 15. ELEC METER RELOCATED.
- 13. PROVIDE SIDING ON EX ADJACENT WALL.
- 14. PROVIDE STEP FLASHING UNDERNEATH SIDING.



**4 REAR ELEVATION – PROPOSED**  
1/8"=1'-0"



**3 FRONT ELEVATION – PROPOSED**  
1/8"=1'-0"



Renovations to  
3619  
O St.NW  
Washington DC.  
20007

2-D07-03

Drawing Title

BUILDING  
ELEVATIONS –  
PROPOSED

Project No. VA2205-05

Date 23 JAN 23

A4

11x17 sheets are 1/2 size





Renovations to  
3619  
O St.NW  
Washington DC.  
20007

2-D07-03

Drawing Title

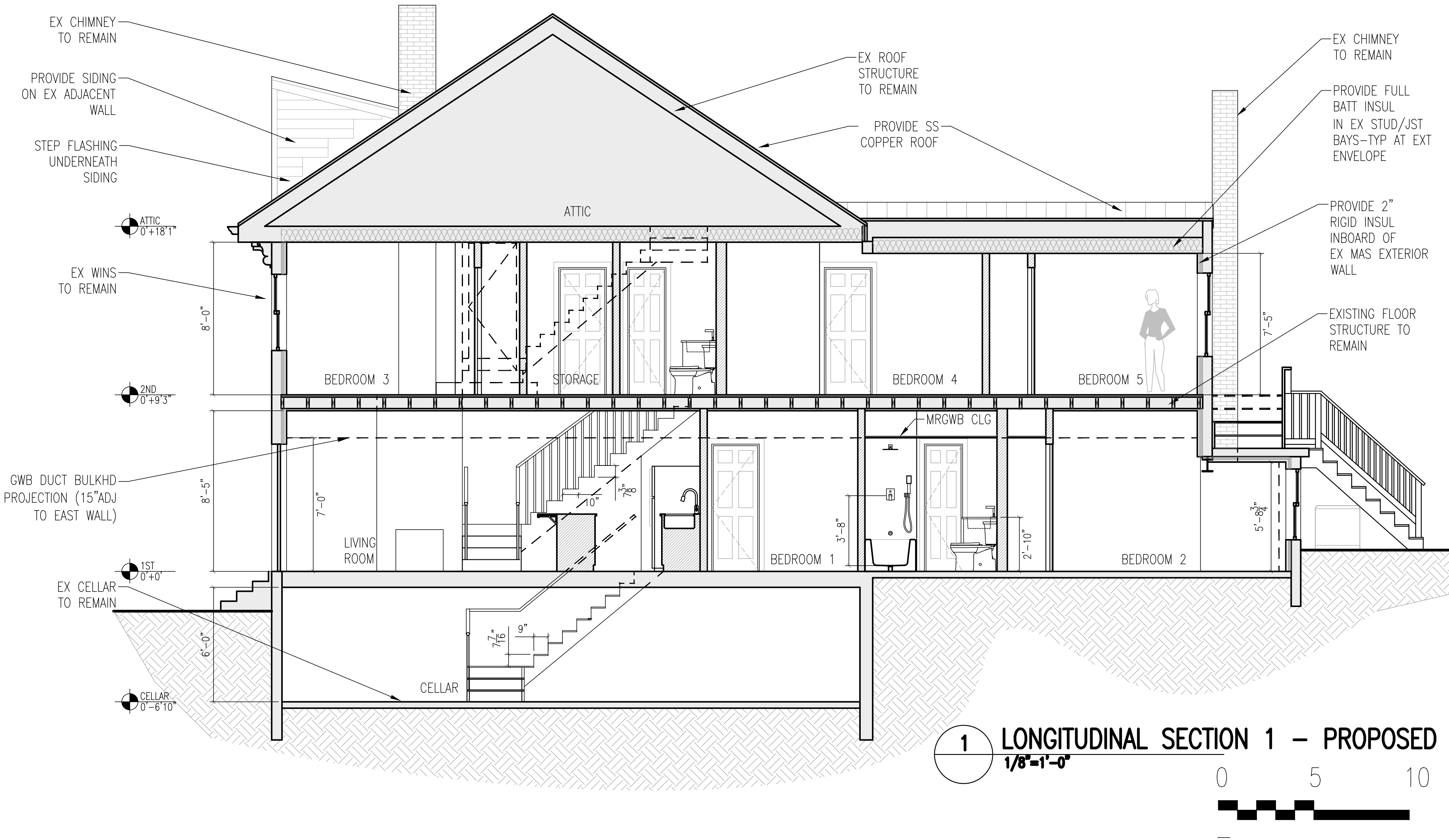
BUILDING  
SECTION –  
PROPOSED

Project No. VA2205-05  
Date 23 JAN 23

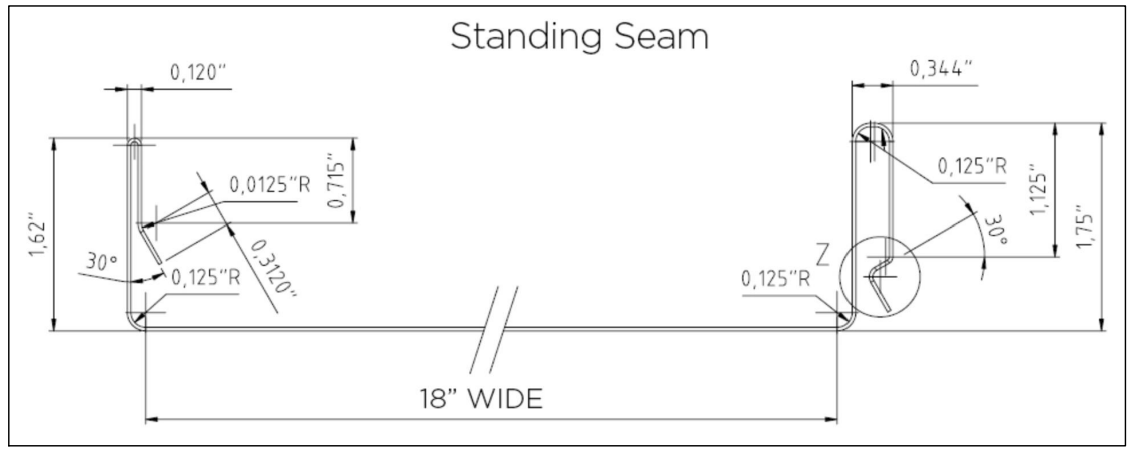
A5

11x17 sheets are 1/2 size

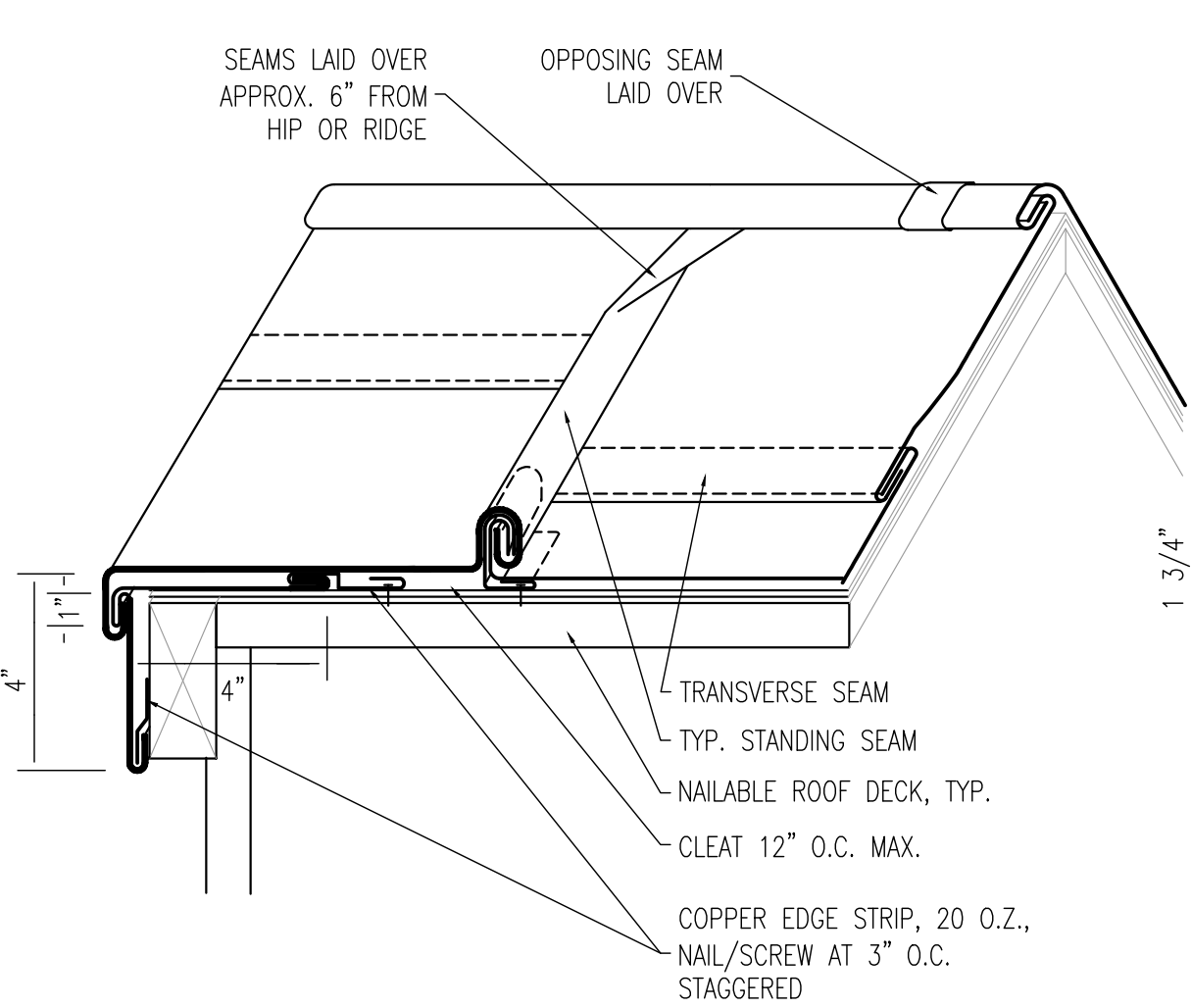
INSULATION SCHEDULE						
LOCATION	TYPE	THK (IN)	R-VALUE/IN	R-VALUE	R VALUE REQ'D	NOTES
FOUNDATION	RIGID	2	5	10	10	EXTEND HORIZ 2' INSID PERI
WALL	BATT	5.5000	3.6300	20	20	
CLG/ROOF	BATT	14	3.5000	49	49	



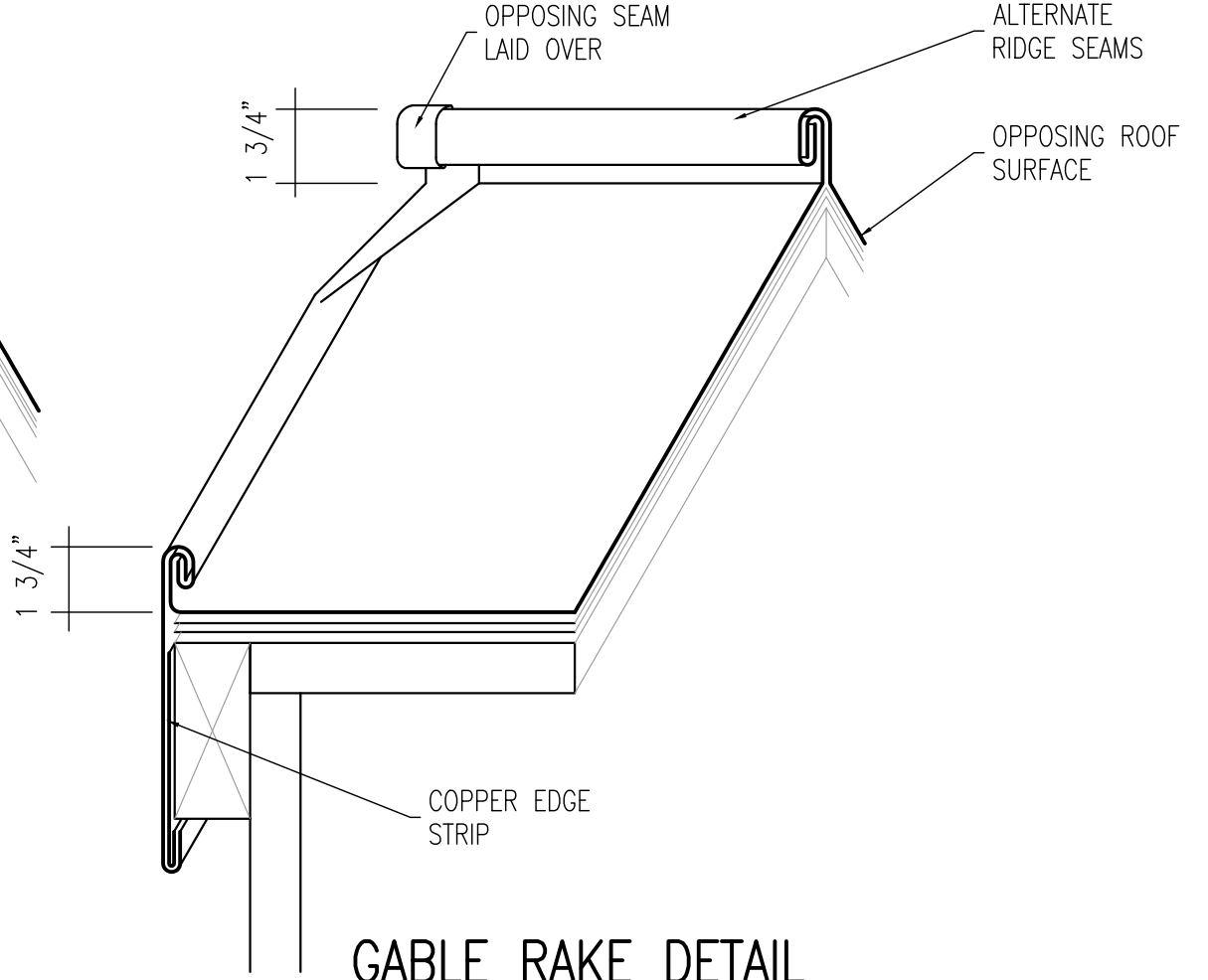




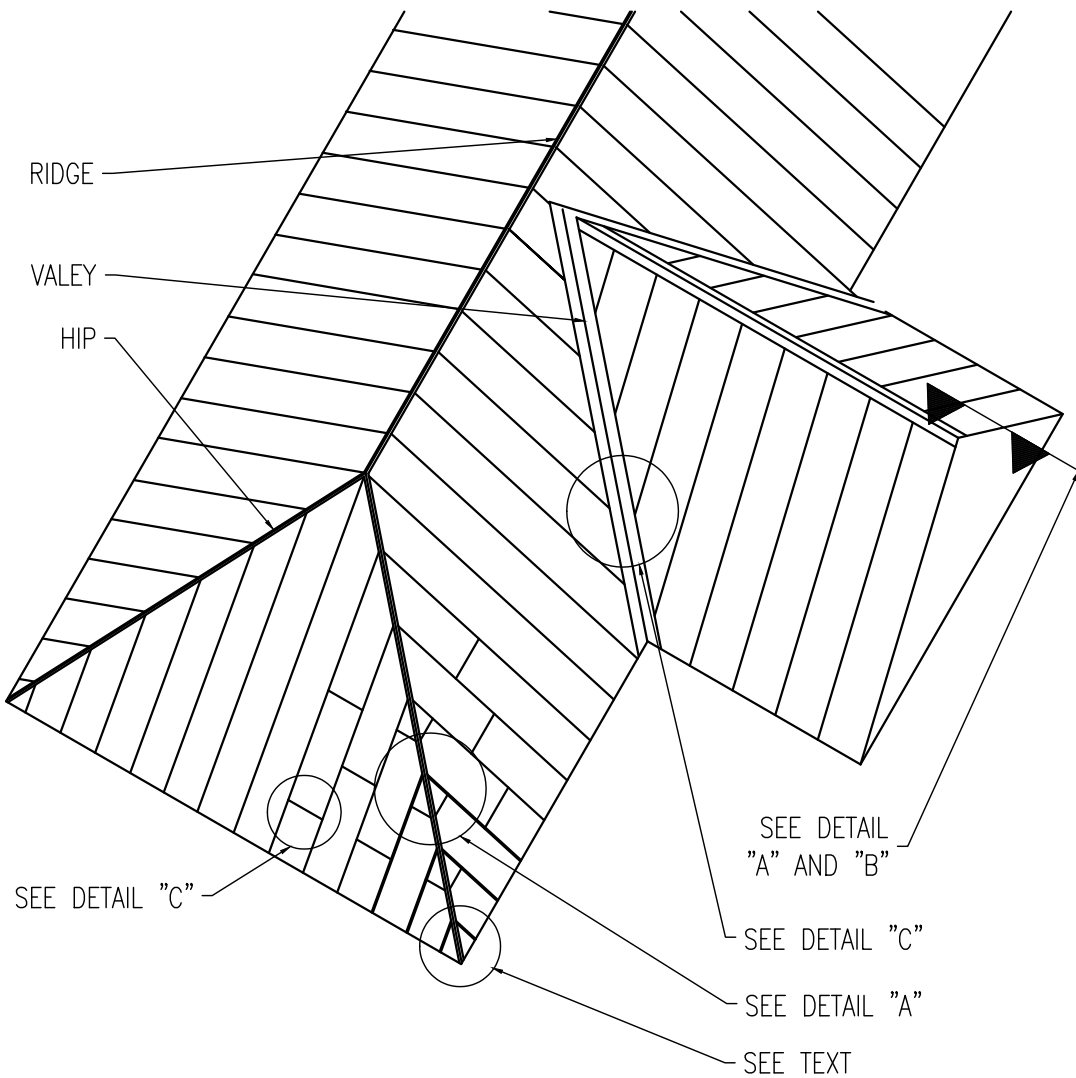
STANDING SEAM  
PANEL DETAIL



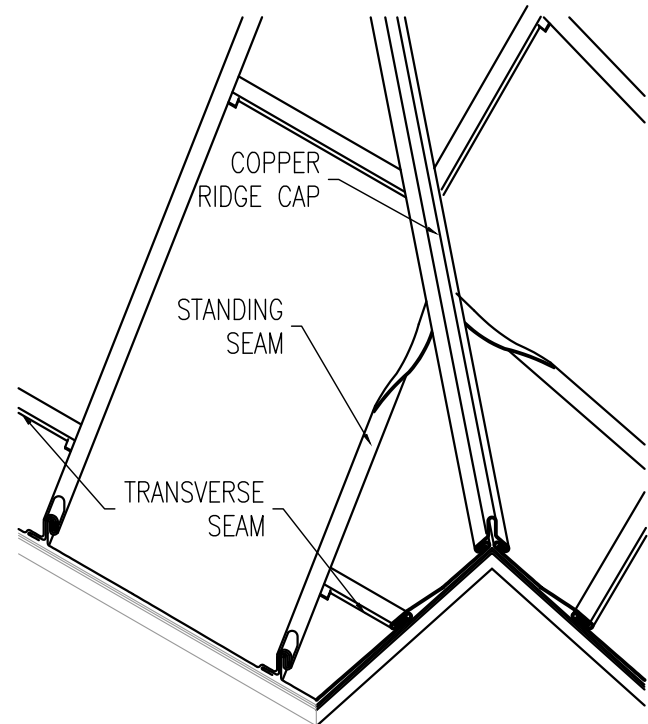
TYPICAL STANDING SEAM



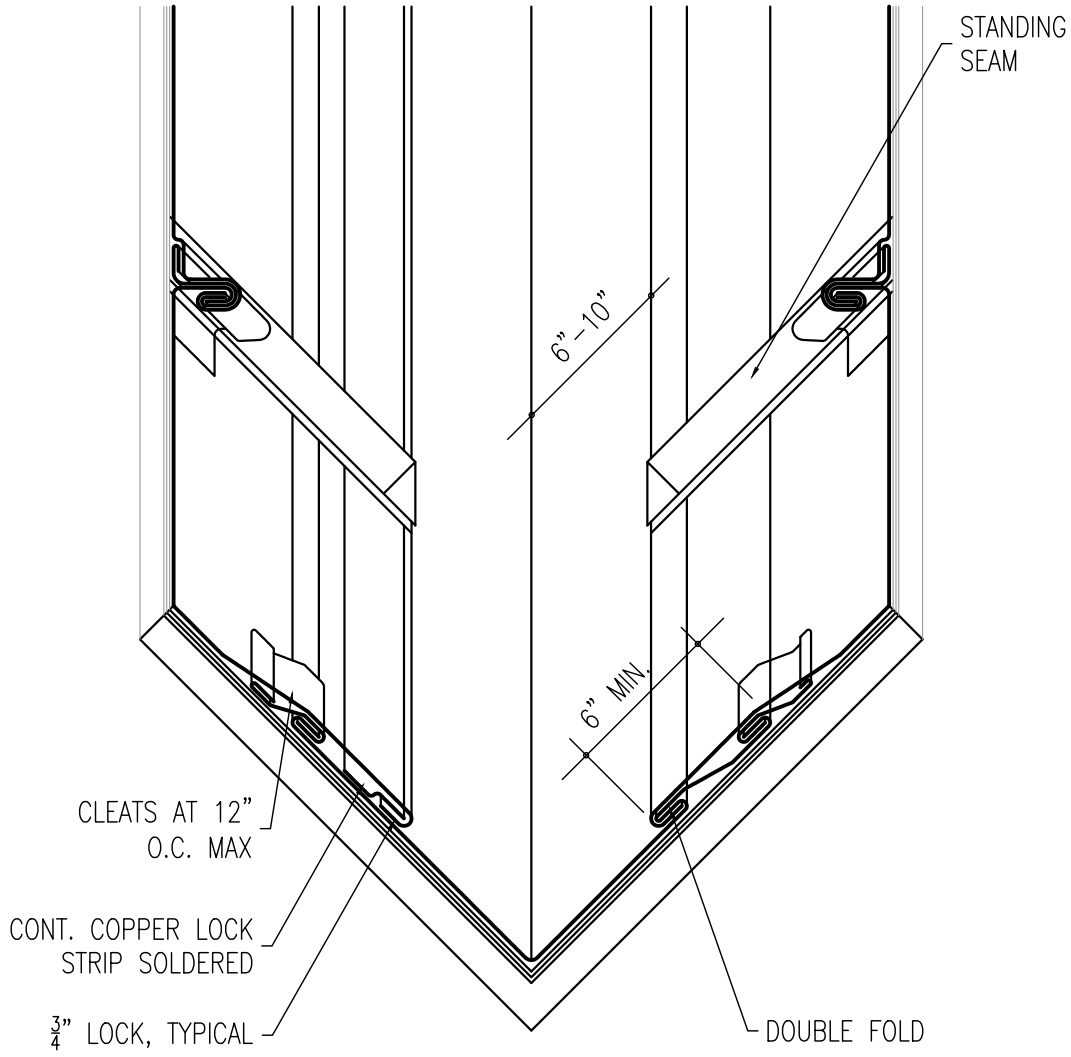
GABLE RAKE DETAIL



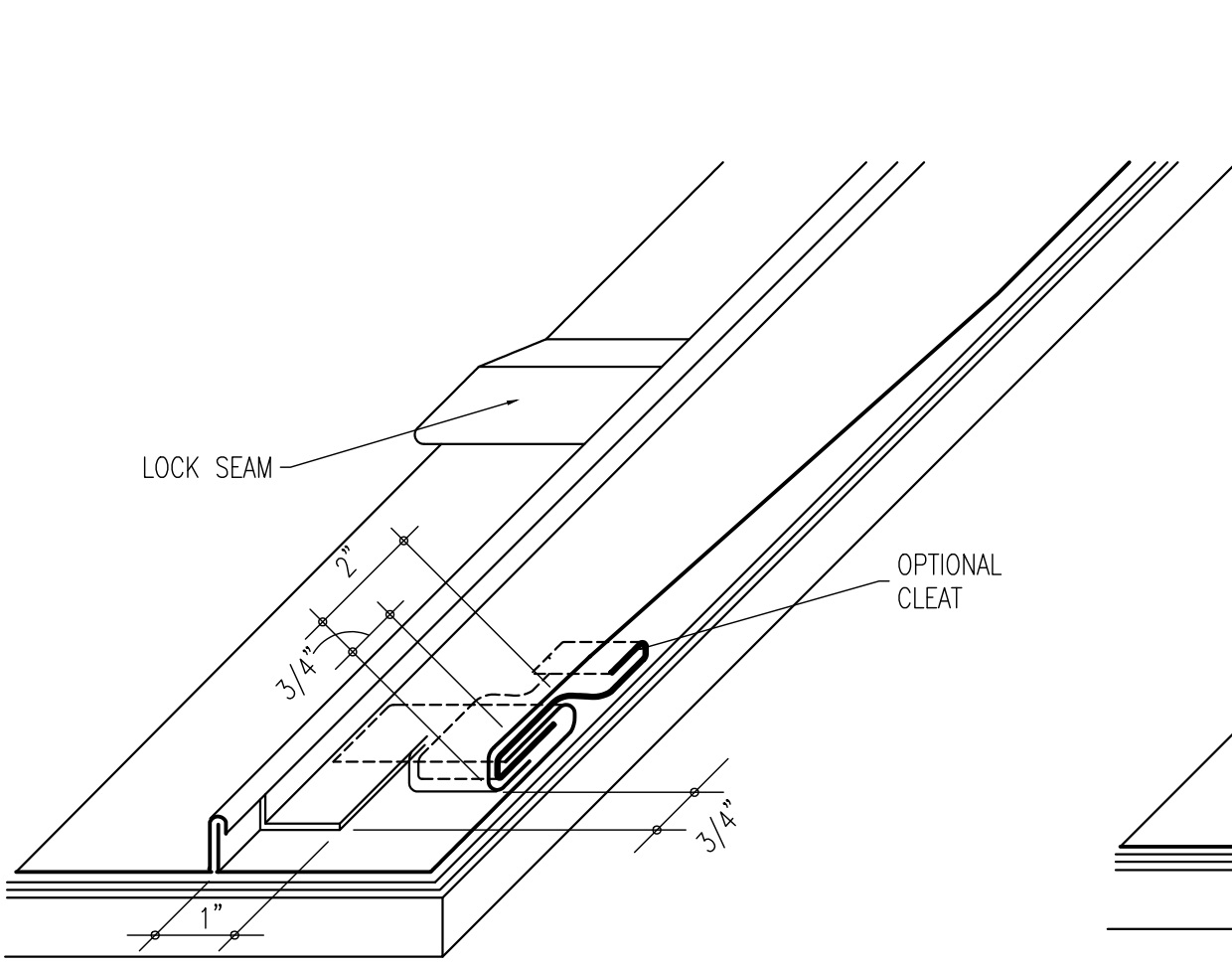
STANDING SEAM ROOF – OVERALL VIEW



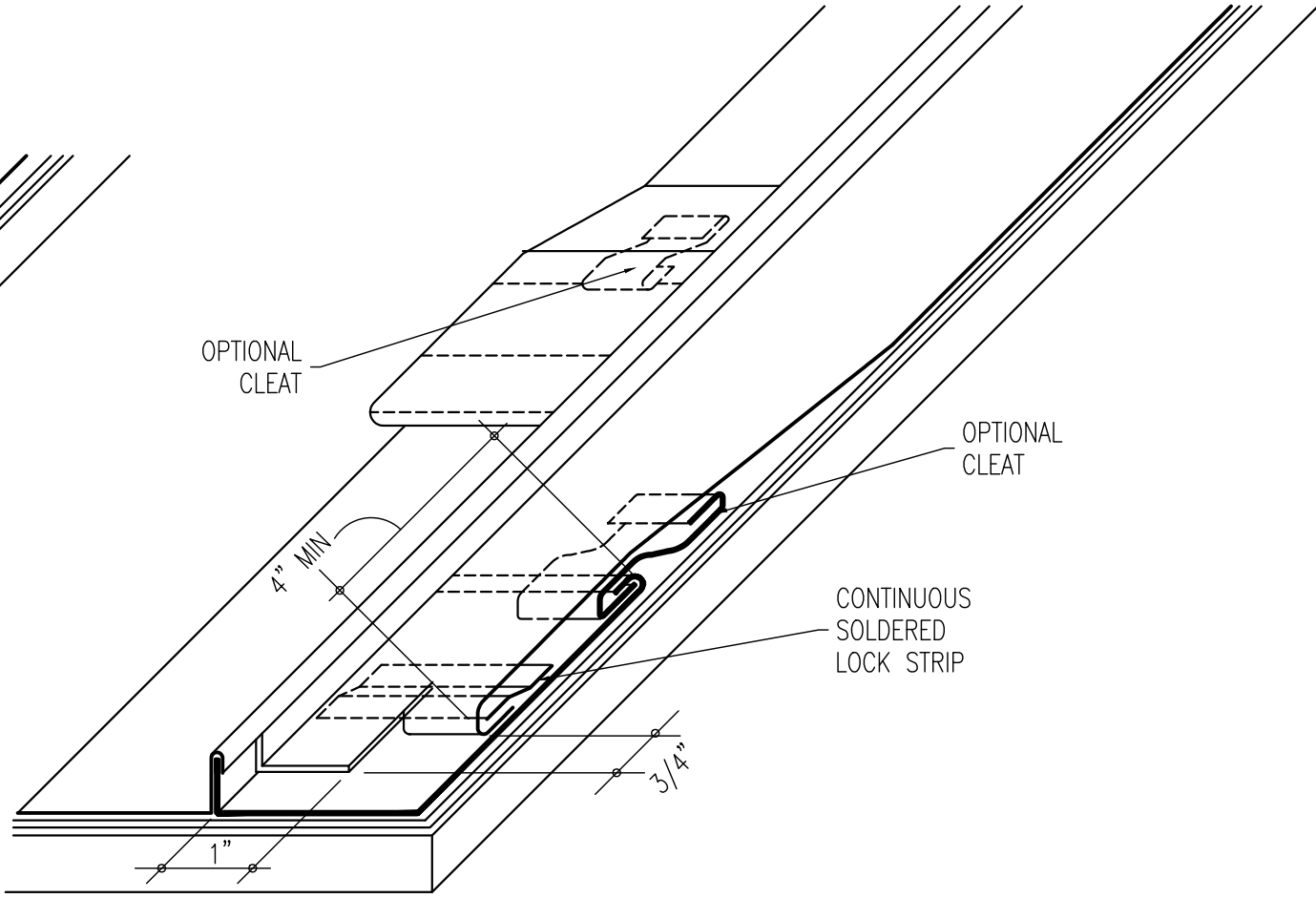
STANDING SEAM HIP DETAIL



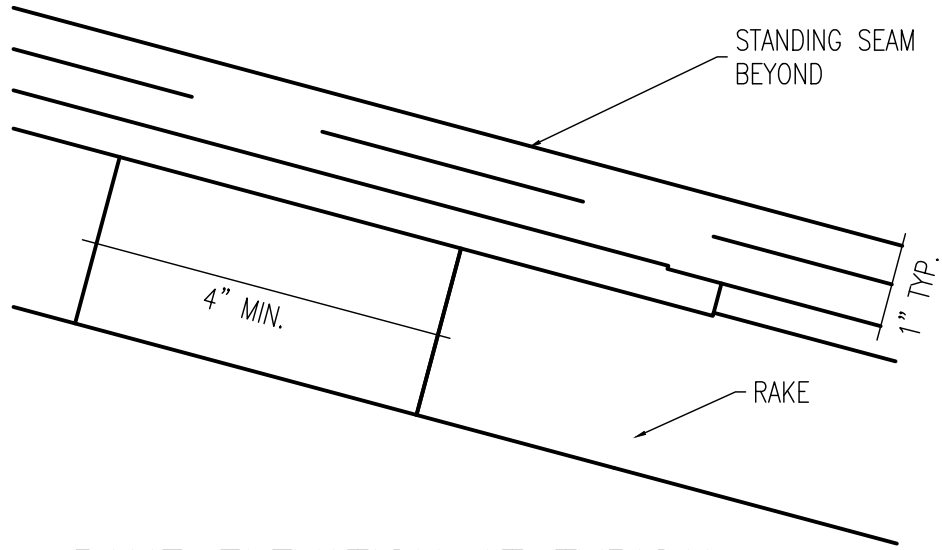
STANDING SEAM,  
VALLEY DETAIL



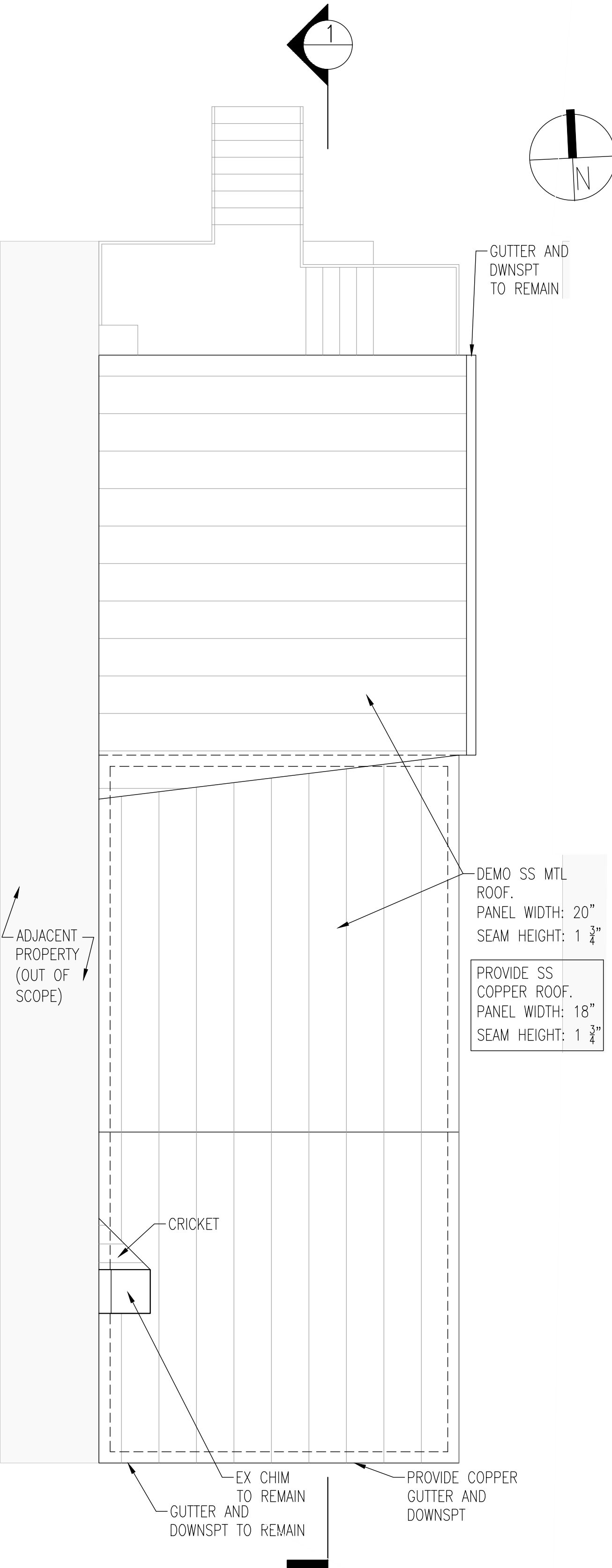
STEEP PITCH DETAIL



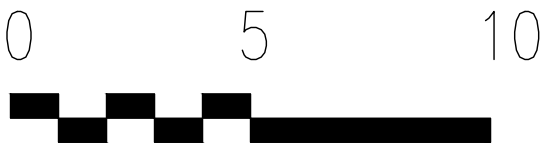
LOW PITCH DETAIL



RAKE ELEVATION AT TYPICAL  
STANDING SEAM



1 ROOF PLAN  
1/8"=1'-0"



Renovations to  
3619  
O St.NW  
Washington DC.  
20007

2-D07-03

Drawing Title

ROOF PLAN  
AND DETAILS

Project No. VA2205-05  
Date 23 JAN 23

A6







23 Jan 23

Project Address: 3619 O St. NW

Re: Response to Comments:

Project Address: 1316 36 St. NW



address

1713 N. Bryan Street  
Arlington, VA 22201

tel  
url

703-725-4328  
www.pvanderpoel.com

Below are listed comments received for the project with response italicized and indented.

VA2205-05  
3619 O St

Comments:

1. Have you investigated the construction/conditions of the stucco on the front facade? I am not sure why stucco was applied and am wondering if historic siding exists underneath that might shed light on the original profile of the siding. Typically, houses like this were either clad entirely in lap siding, like you show in the submission, or sometimes they had a German profile on the front and plain clapboards on the side (the German profile being more expensive and therefore only used on the most visible elevation). The OGB considers historic precedent when making recommendations.

*Demolition of the existing stucco on the front elevation has revealed a ship lap siding with 8" weather face. See image #27*

2. Please amend your application to include documentation of the existing metal roof panel widths and seam heights. The OGB typically likes replacement metal roofing to match the existing conditions.

*Information regarding the roof seam height and spacing has been added to the drawings. See A6*

3. I am a bit confused as to how the roof will terminate at the neighbor's wall to the west. Can you clarify?

*We propose removing the existing flashing from the east face of the neighboring building, providing siding and trim to match the west face of the existing of the neighboring building and inserting new wall/roof flashing under the new siding. See images 28, 29 and drawing details, A7*

4. Would the roofing be regletted into the masonry chimneys?

*We propose raking the chimney mortar joints, inserting counter flashing with sealant where the counter flashing is inserted into the brickwork. See A7*

5. Is it possible to locate the electric meter to the side or rear of the house, where it is less visible?

*We will contact Pepco and our electrician to determine the feasibility and ramifications of a relocation of the meter to the rear yard.*





6. Please add the existing compressor to the plan and elevation drawings. Will there be a replacement compressor? Where is it to be located? Please show the proposed location in plan and elevation.

*The revised plans show the existing compressor and a new compressor.  
See A0, A1*

7. If not shown at concept, it will need to be shown in the permit drawings - the design of any exterior replacement railings and specs for replacement items like alley gates, light fixtures, etc.

*More detailed information will accompany the permit submission.*

Please make any necessary revisions to your submission and return to me via email no later than Monday 1/23.

Thank you,

**Mary Catherine Bogard**

Historic Preservation Specialist | U.S. Commission of Fine Arts  
401 F Street NW Suite 312 Washington, DC 20001  
202.233.8618 | [www.cfa.gov](http://www.cfa.gov)

Please let use know if you have any questions or need additional information

Sincerely,

Peter VanderPoel