

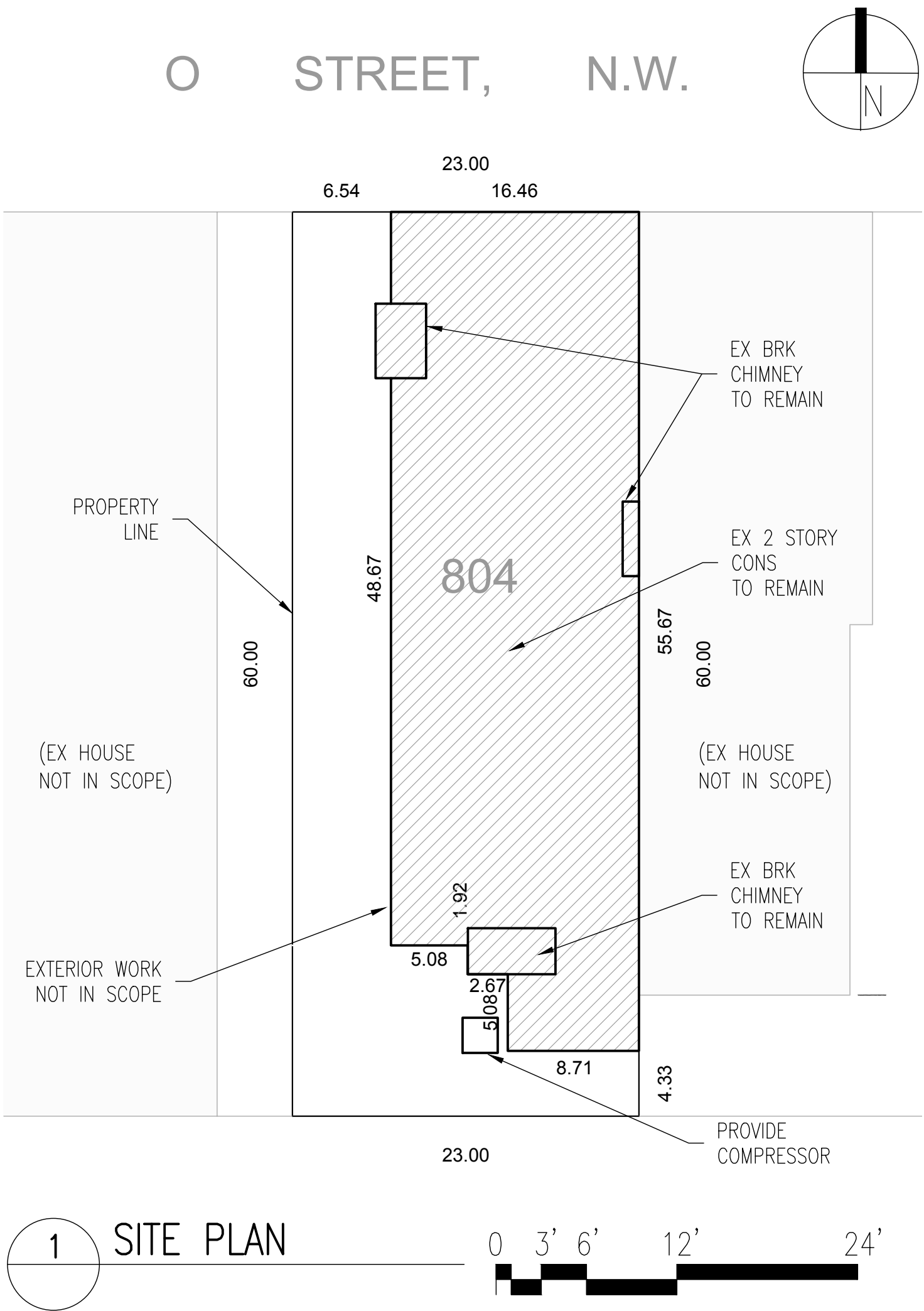
# GEORGETOWN UNIVERSITY TOWNHOUSE EXTERIOR REPAIRS

OLD GEORGETOWN BOARD SUBMISSION – JANUARY 2023

GU PROJECT ID #: 2-C06-02

PROJECT TEAM	PROJECT DATA
CLIENT:  GEORGETOWN UNIVERSITY  3700 O ST. NW, NEW SOUTH L 104 WASHINGTON DC 20057. T: 571-722-6459.  GENERAL CONTRACTOR:  PEDRAM HATAMI PIVOT CONSTRUCTION  502 NUTLEY ST. VIENNA, VA, 22180. T: 703-677-2351.  ARCHITECT:  PETER VANDERPOEL VANDERPOEL ARCHITECTURE  1713 N. BRYAN ST. ARLINGTON, VA, 22201. T: 703-725-4328.  STRUCTURAL ENGINEER:  LORI LEVINE. POTOMAC ENGINEERING.  43008 RUNNING RIDGE WAY LEESBURG, VA, 20176. T: 703-622-4944.  MEP ENGINEER:  SAM ODEH DESIGN AMERICA ENGINEERING.  14080 RED RIVER DR. CENTREVILLE, VA, 20121. T: 571-220-3239.	SQUARE / SUFIX / LOT: ZONING: 0 R-3/R-20 HISTORIC DISTRICT: GEORGETOWN HISTORIC DISTRICT  CLIMATE ZONE: 4A  USE AND OCUPANCY: SINGLE FAMILY DWELLING (NO CHANGE)  NUMBER OF STORIES: 2 (NO CHANGE)  NUMBER OF DWELLING UNITS: 1 (NO CHANGE)  APPLICABLE CODES  2017 DCMR12B DC RESIDENTIAL CODE. 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE. 2017 DCMR12J DC EXISTING BUILDING CODE. 2015 EXISTING BUILDING CODE.  SCOPE OF WORK  WORK WILL CONSIST OF: <ul style="list-style-type: none"><li>REPLACEMENT OF EXISTING METAL ROOF WITH NEW COPPER ROOF</li><li>RESTORATION OF EXTERIOR COMPONENTS AND SELECTIVE REPLACEMENT IN KIND.</li></ul>

SHEET INDEX	
SHEET No.	SHEET NAME
A0	COVER SHEET
A1	INTERIORS – DEMOLITION FLOOR PLANS
A2	BUILDING ELEVATIONS – EXISTING
AP1	PHOTO REFERENCES
AP2	PHOTO REFERENCES
AP3	PHOTO REFERENCES
A3	INTERIORS – PROPOSED FLOOR PLANS
A4	BUILDING ELEVATIONS – PROPOSED
A5	BUILDING SECTIONS – PROPOSED
A6	ROOF PLAN AND DETAILS
A7	ROOF DETAILS



Renovations to  
3612  
O St. NW  
Washington DC.  
20007

2-C06-02

Drawing Title

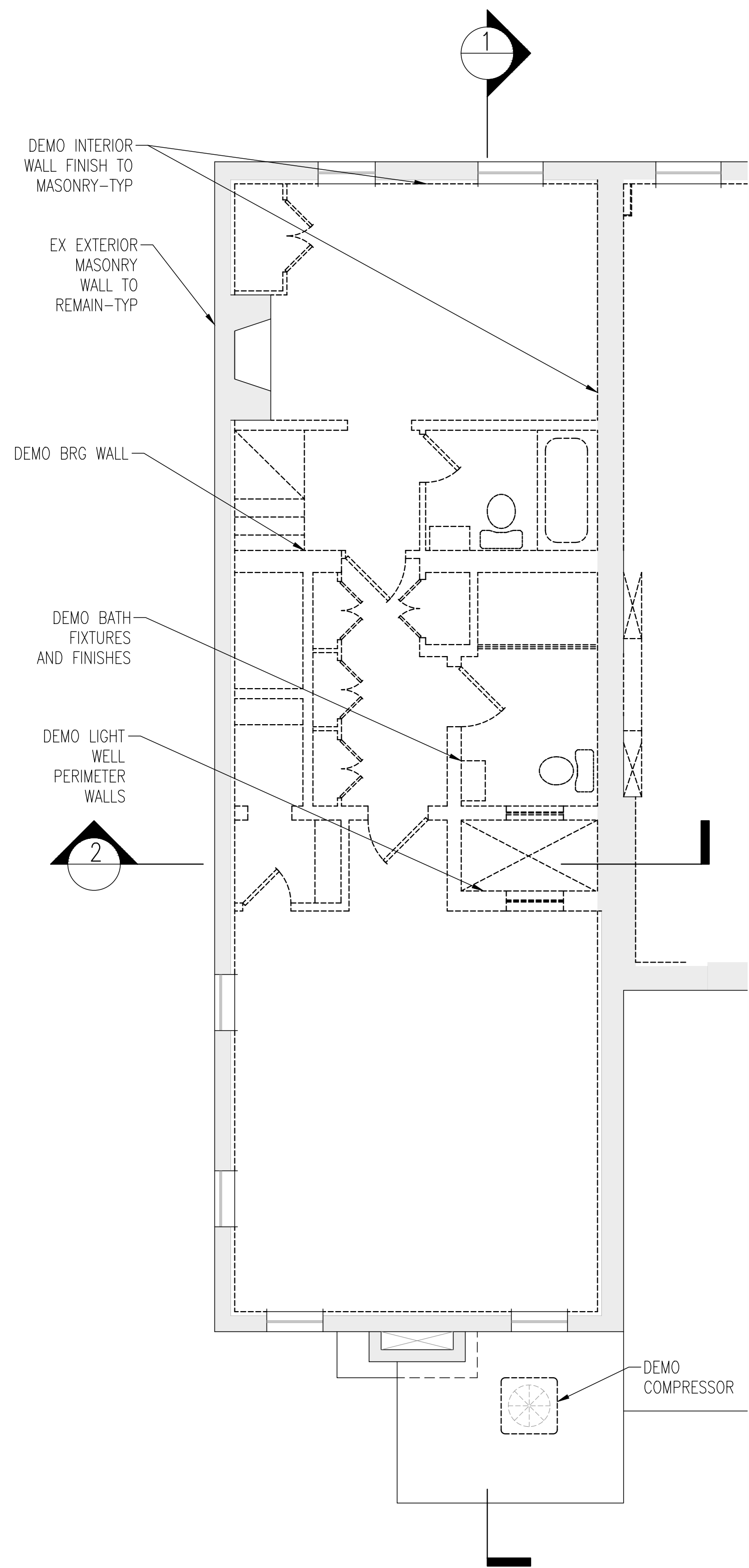
COVER SHEET

Project No. VA2205-02-12  
Date 23 JAN 23

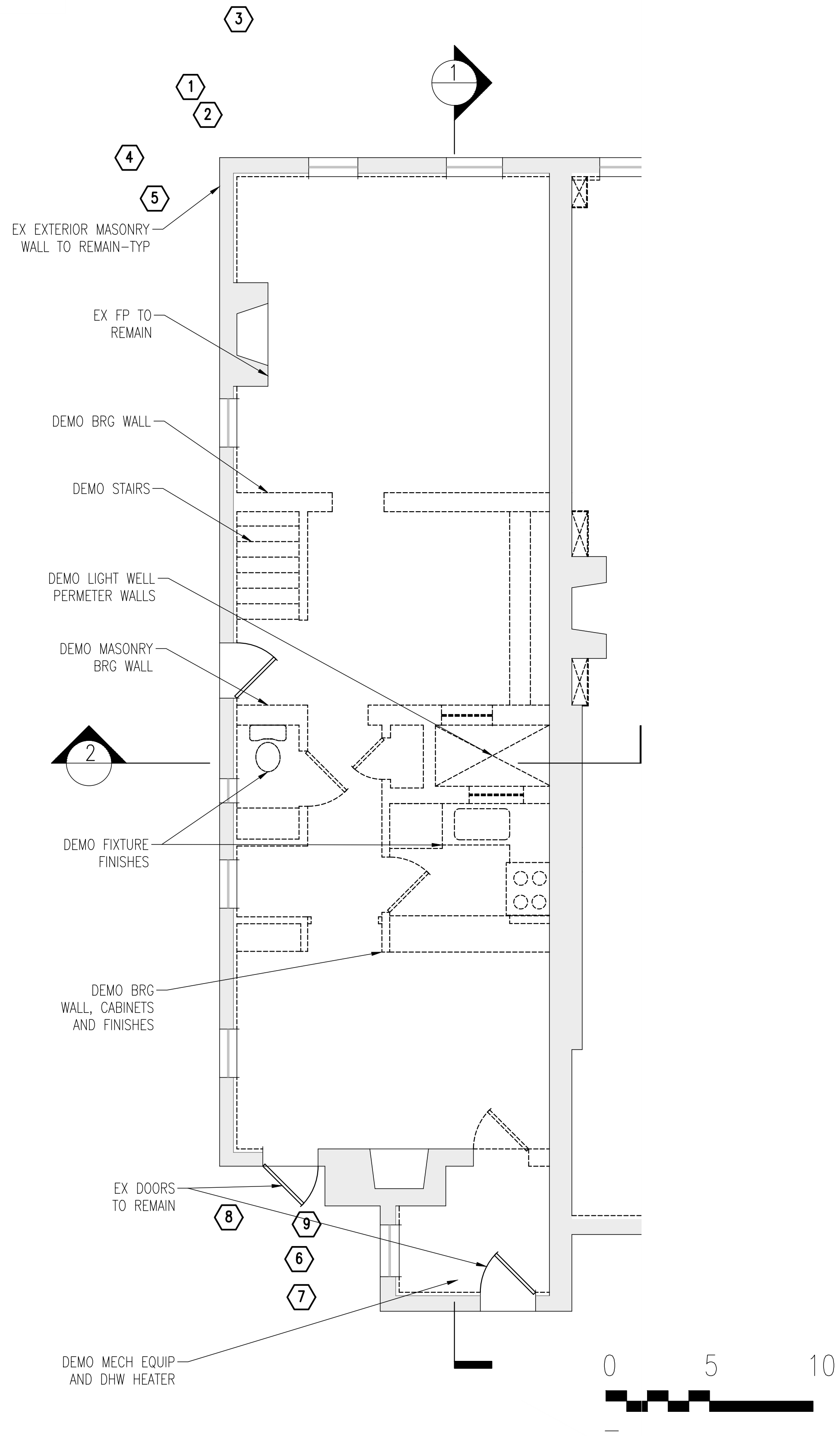
A0

11x17 sheets are 1/2 size

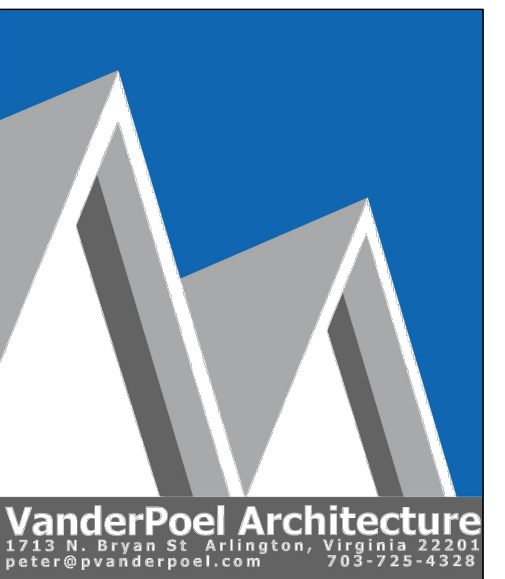
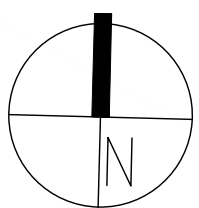
# INDICATES PHOTO LOCATION -  
SEE PHOTO REFERENCE SHEETS



**2 DEMO-SECOND FLOOR**  
1/8"=1'-0"



**1 DEMO-FIRST FLOOR**  
1/8"=1'-0"



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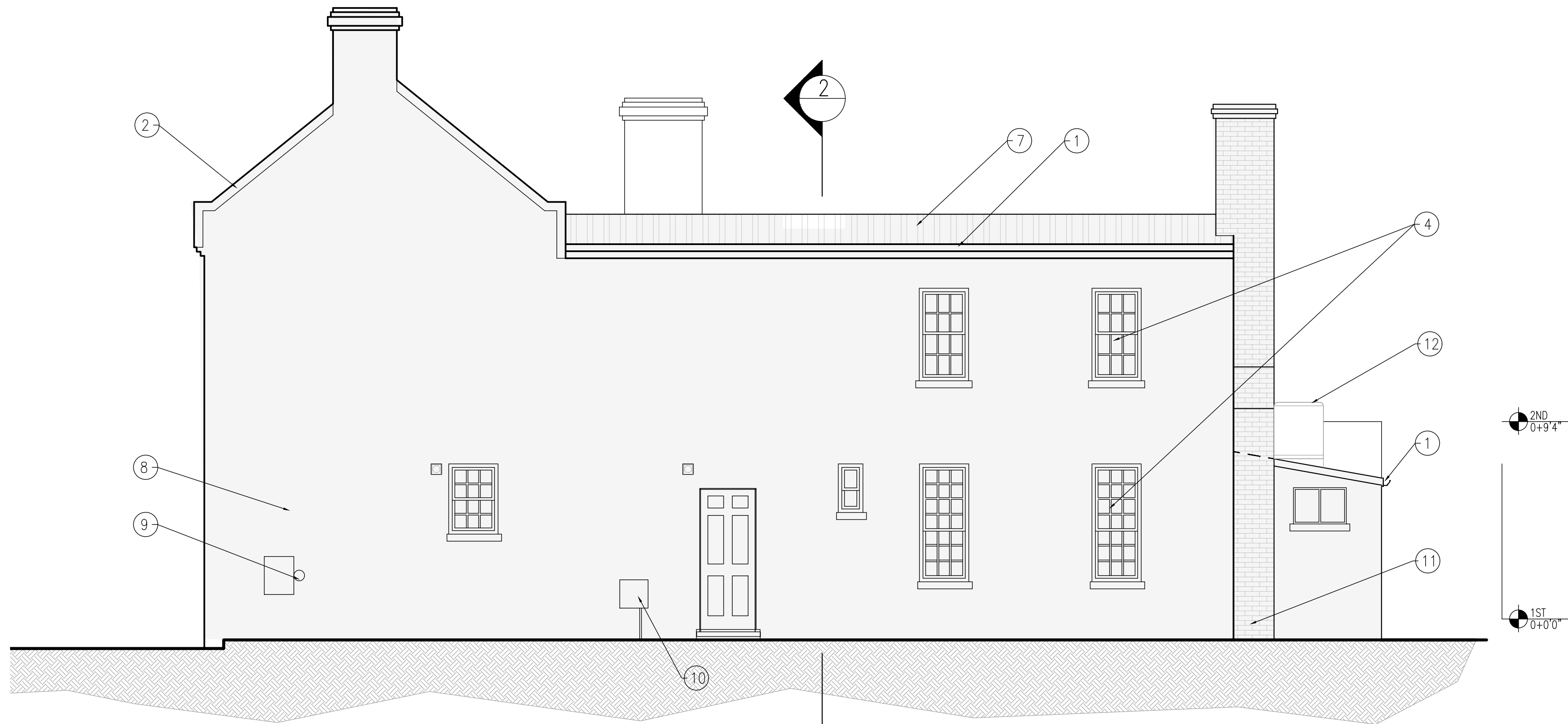
INTERIORS -  
DEMOLITION  
FLOOR PLANS

Project No. VA2205-02-12

Date 23 JAN 23

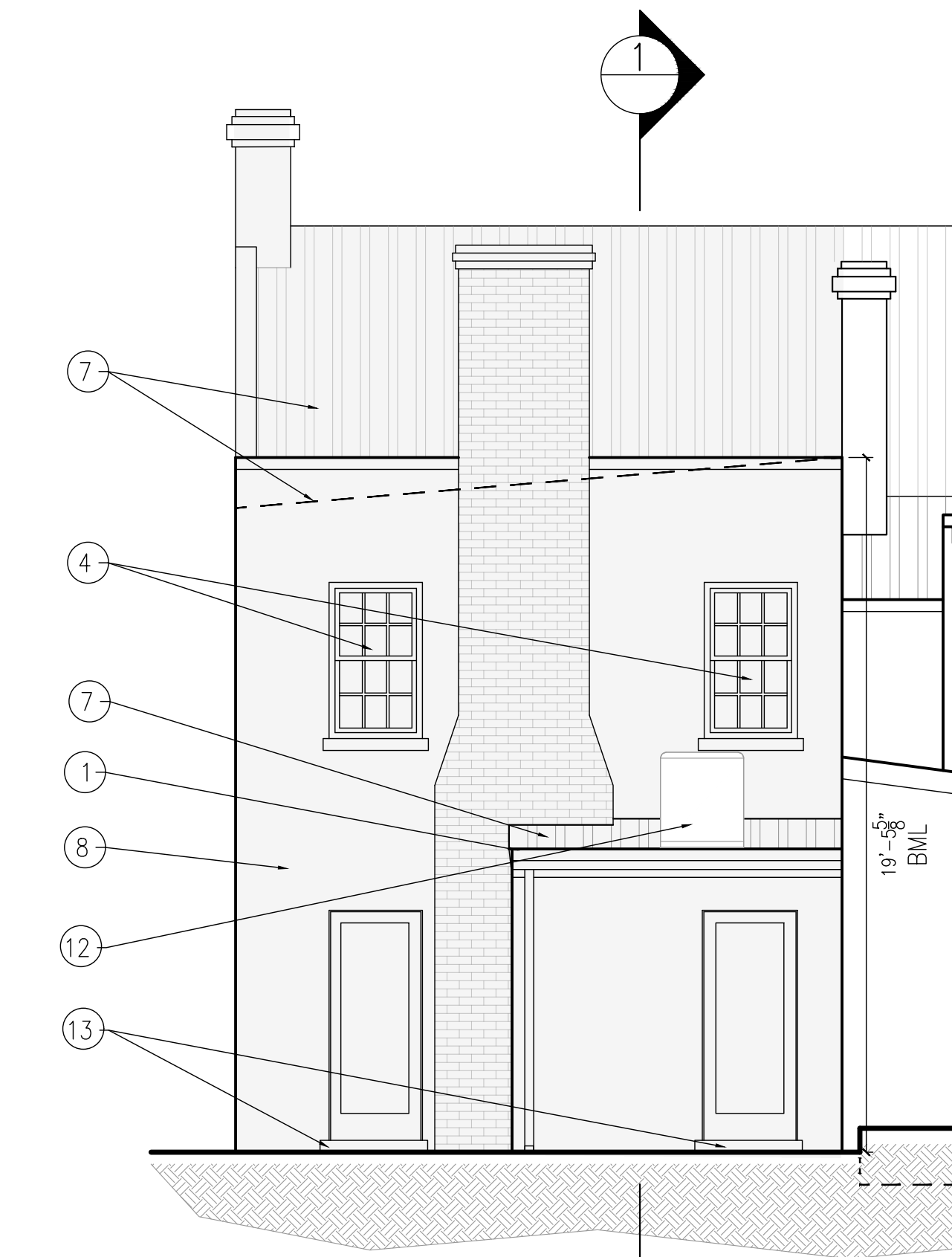
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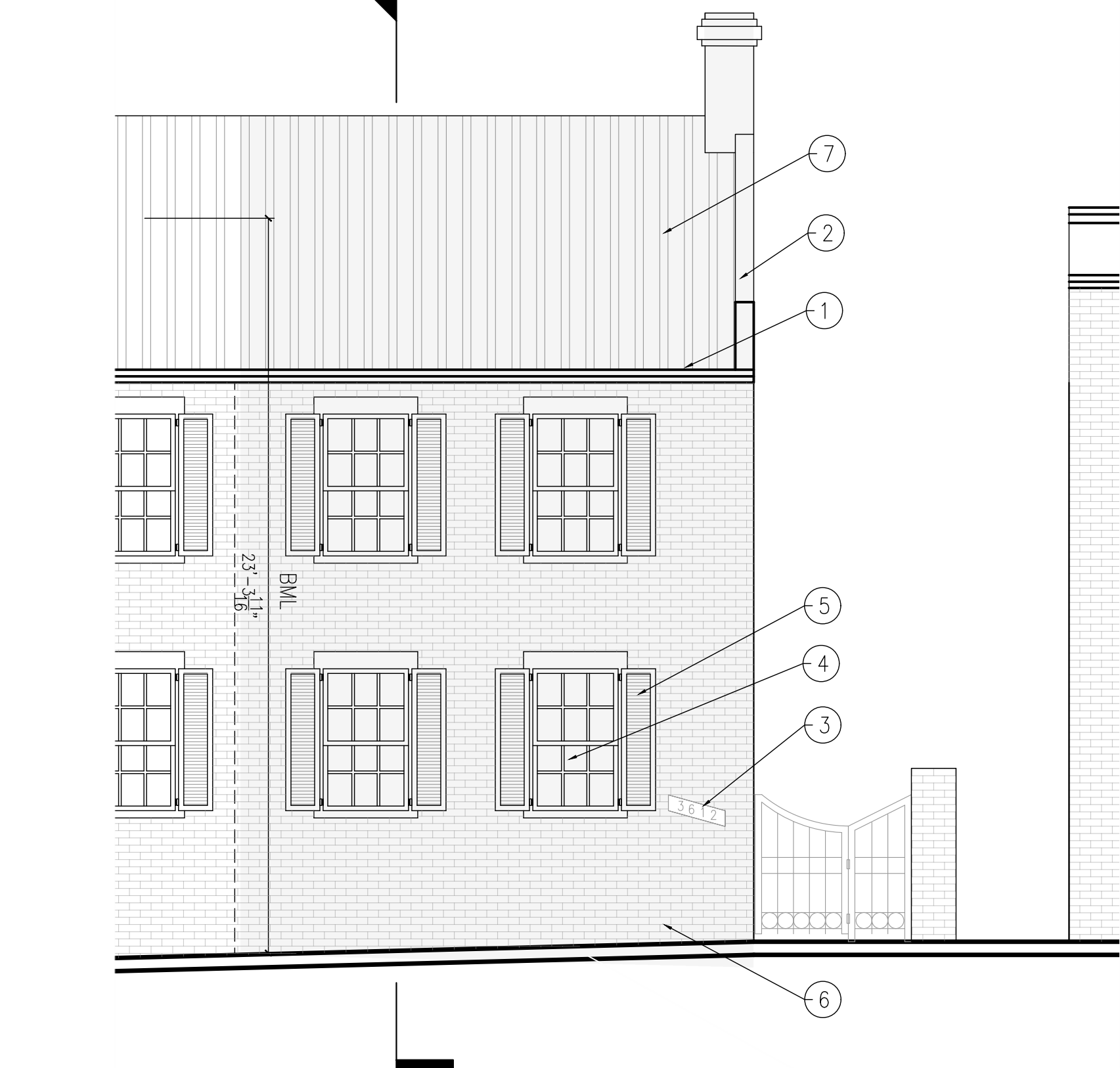


3 RIGHT ELEVATION – EXISTING  
1/8"=1'-0"

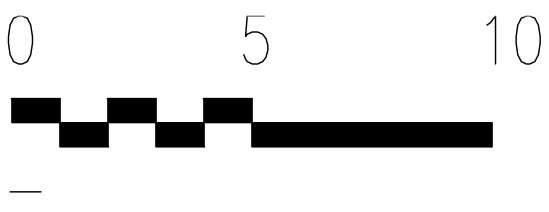
- 1. DEMO MTL GUTTER AND DOWNSPOUT.
- 2. DEMO MTL FLASHING.
- 3. DEMO HOUSE NUMBER.
- 4. EX WIN TO REMAIN TYP.
- 5. EX SHUTTERS TO REMAIN TYP.
- 6. CLEAN BRICK.
- 7. DEMO SS MTL ROOF.
- 8. CLEAN AND PAINT STAINED WALLS.
- 9. EX ELEC METER TO REMAIN
- 10. DEMO GAS METER
- 11. REMOVE LOOSE PAINT
- 12. DEMO COMPRESSOR
- 13. REPLACE DAMAGED CONCRETE STOOP.



2 REAR ELEVATION – EXISTING  
1/8"=1'-0"



1 FRONT ELEVATION – EXISTING  
1/8"=1'-0"



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BUILDING  
ELEVATIONS –  
EXISTING

Project No. VA2205-02-12

Date 23 JAN 23

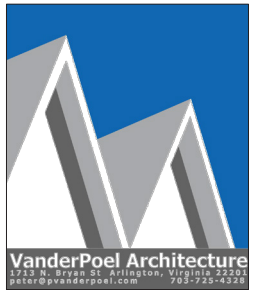
A2





- Demolition Notes
- 1. Demo roof flashing and roofing
  - 2. Demo metal coping
  - 4. Existing window to remain
  - 5. Remove, refinish and reinstall existing shutters
  - 6. Demo house number
  - 8. Demo gutter and downspout

#  
indicates photo location-see plans



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3612  
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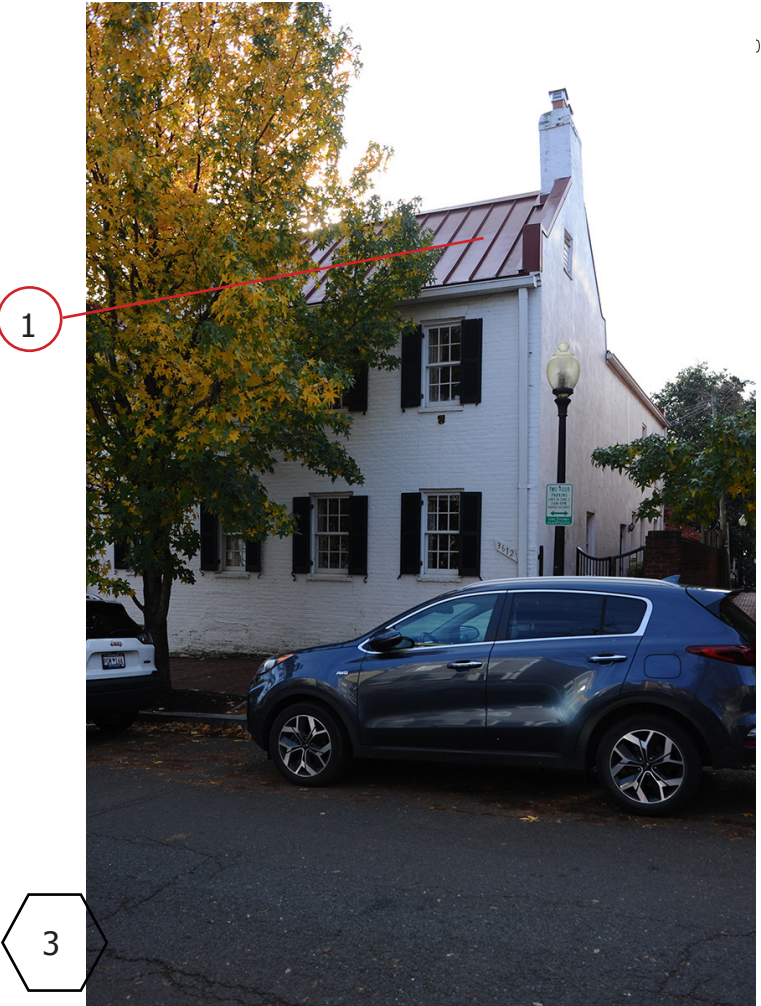
2-C06-02

Drawing Title

PHOTO REFERENCES

Project No. VA2205-02-12  
Date 23 JAN 23

AP1



3





4



5



Demolition Notes

- 3. Remove loose parge, patch and paint
- 7. Demo gas meter
- 8. Demo gutter and downspout
- 14. Reset misaligned pavers
- 20. Replace damaged bricks, reset dislocated bricks, repoint mortar joints with lime-based mortar



20



indicates photo location-see plans



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6



7



8



9

Image showing general condition of alley wall

10



- Demolition Notes
- 1. Demo roof flashing and roofing
  - 3. Remove loose parge, patch and paint
  - 8. Demo gutter and downspout
  - 18. Demo compressor
  - 19. Replace damaged brick-paint

#  
indicates photo location-see plans



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PHOTO REFERENCES

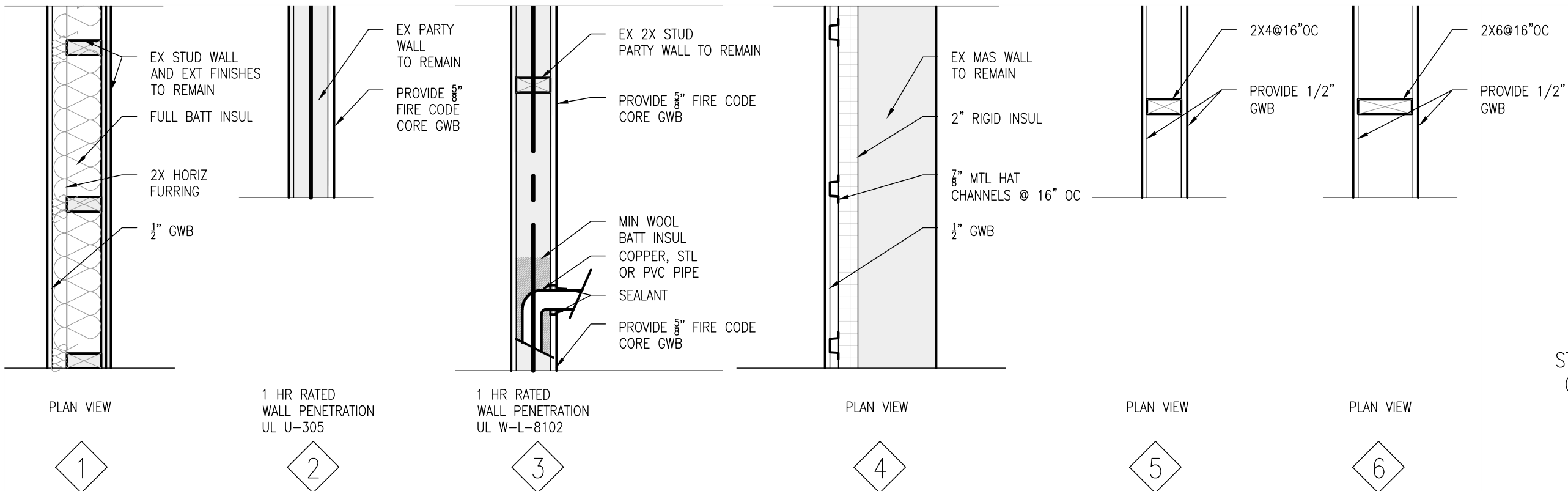
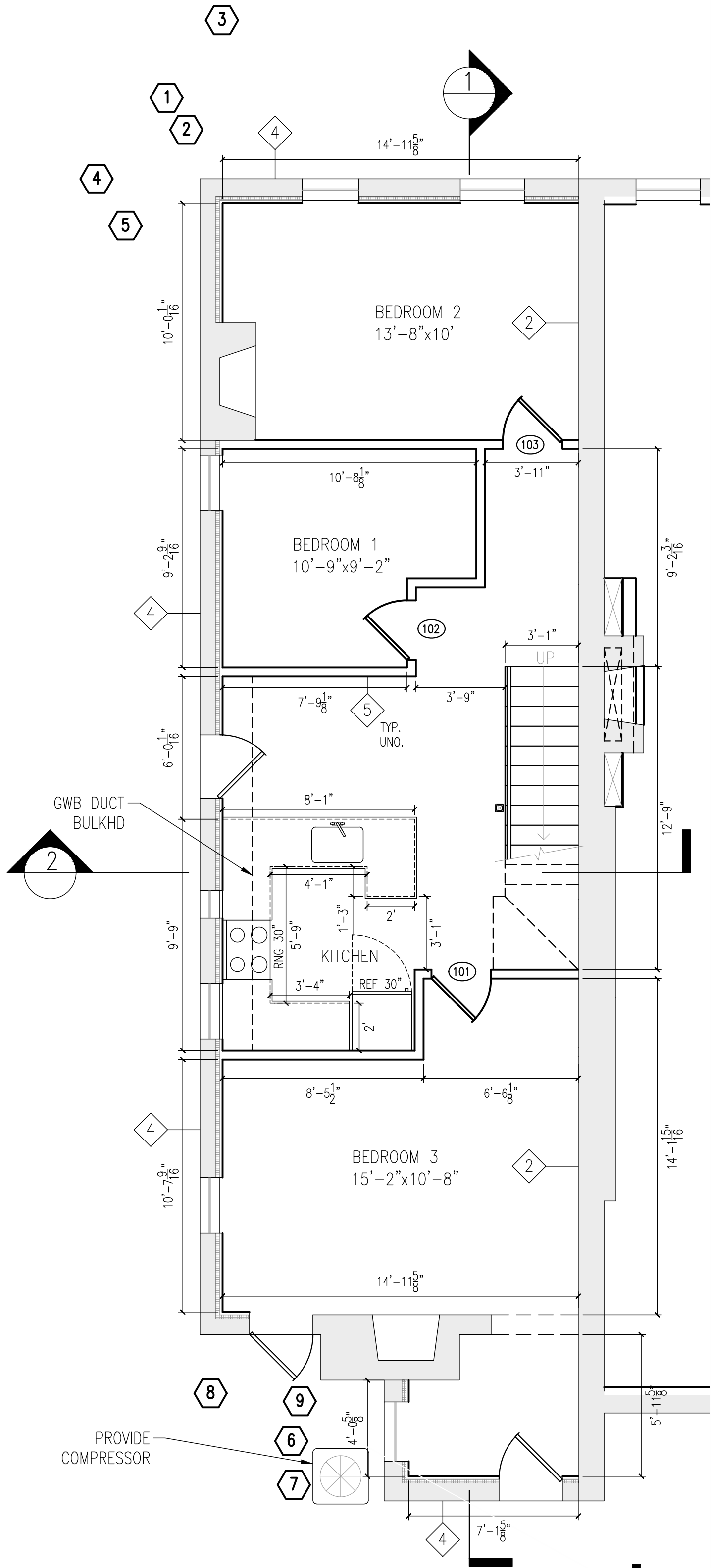
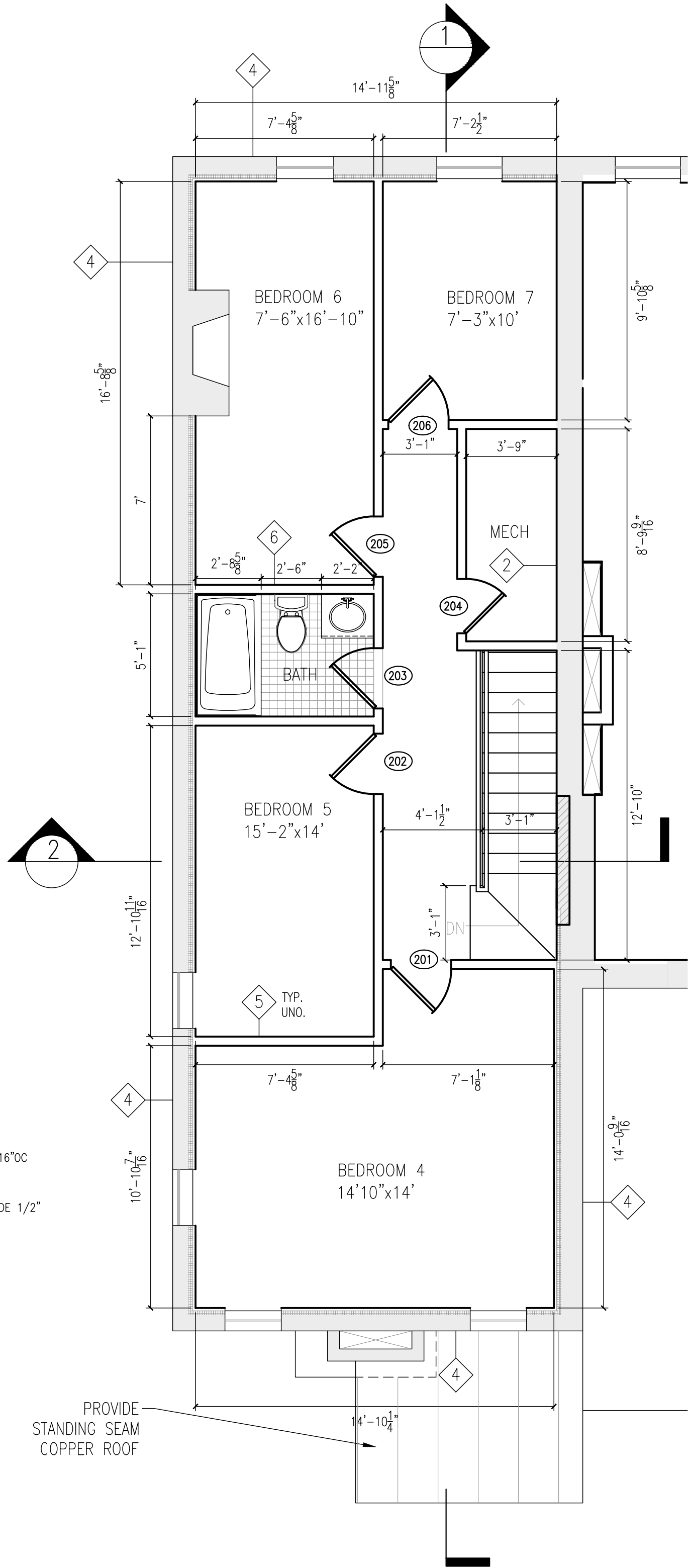
Project No. VA2205-02-12  
Date 23 JAN 23

AP3



DOOR SCHEDULE							
MARK	SLAB DIMS	THK	ELEV	MATL	FUNC	HDWE	NOTES
101	2'-6"x6'-8"	1-3/8"	6	PANEL	SCW	SWG	
102	2'-6"x6'-8"	1-3/8"	6	PANEL	SCW	SWG	
103	2'-6"x6'-8"	1-3/8"	6	PANEL	SCW	SWG	
201	2'-6"x6'-8"	1-3/8"	6	PANEL	SCW	SWG	
202	2'-6"x6'-8"	1-3/8"	6	PANEL	SCW	SWG	
203	2'-6"x6'-8"	1-3/8"	6	PANEL	SCW	SWG	MARBLE THRESHOLD
204	2'-3"x6'-8"	1-3/8"	6	LOUVERS	SCW	SWG	
205	2'-6"x6'-8"	1-3/8"	6	PANEL	SCW	SWG	
206	2'-6"x6'-8"	1-3/8"	6	PANEL	SCW	SWG	

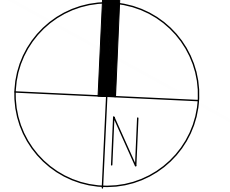
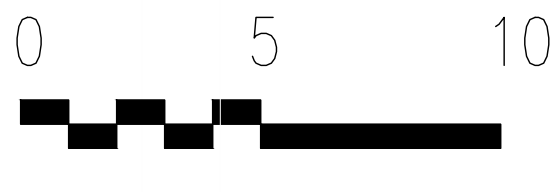
FINISH SCHEDULE						
ROOM NAME	FLOOR	BASE	WALLS	CEILING	CROWN	NOTES
BEDROOM 1	HDWD	WD-PNT	GWB-PNT	GWB-PNT		
BEDROOM 2	HDWD	WD-PNT	GWB-PNT	GWB-PNT		
BEDROOM 3	HDWD	WD-PNT	GWB-PNT	GWB-PNT		
KITCHEN	CT	CT	MRCWB-PNT	MRCWB-PNT		
BATH	CT	CT	MRCWB-PNT	MRCWB-PNT		
BEDROOM 4	HDWD	WD-PNT	GWB-PNT	GWB-PNT		
BEDROOM 5	HDWD	WD-PNT	GWB-PNT	GWB-PNT		
BEDROOM 6	HDWD	WD-PNT	GWB-PNT	GWB-PNT		
BEDROOM 7	HDWD	WD-PNT	GWB-PNT	GWB-PNT		
MECHANICAL	VCT	WD-PNT	GWB-PNT	GWB-PNT		



4 WALL TYPES  
1/2"=1'-0"

2 SECOND FLOOR PLAN  
1/8"=1'-0"

1 FIRST FLOOR PLAN  
1/8"=1'-0"



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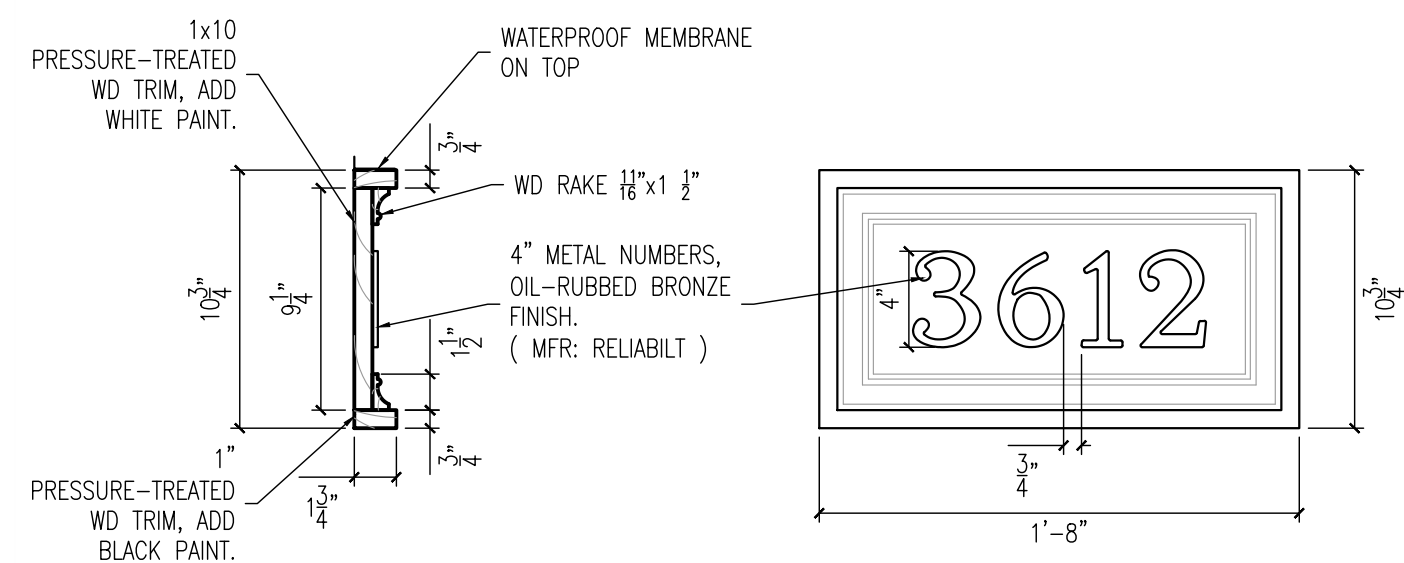
2-C06-02

Drawing Title

INTERIORS –  
PROPOSED  
FLOOR PLANS

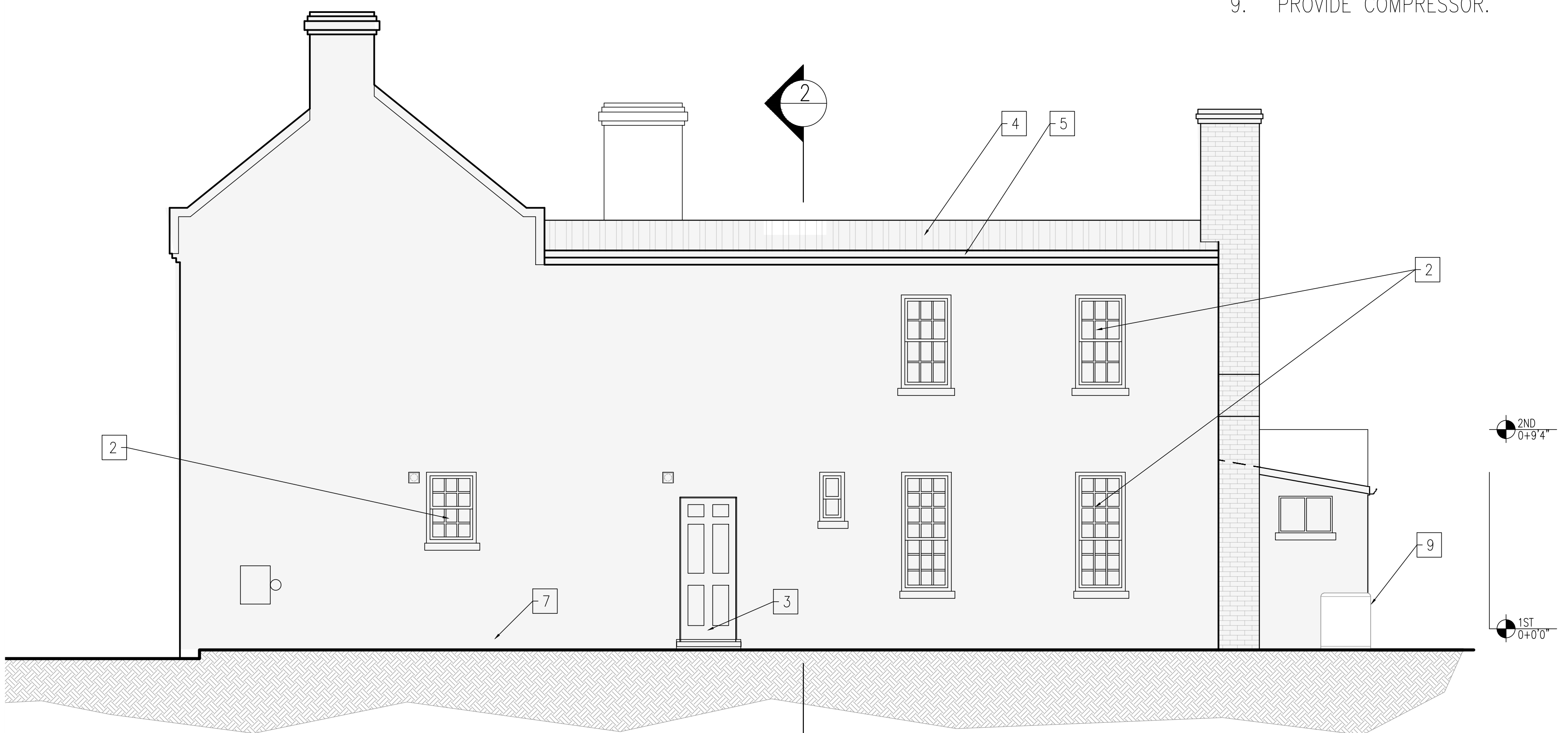
Project No. VA2205-02-12  
Date 23 JAN 23

A3

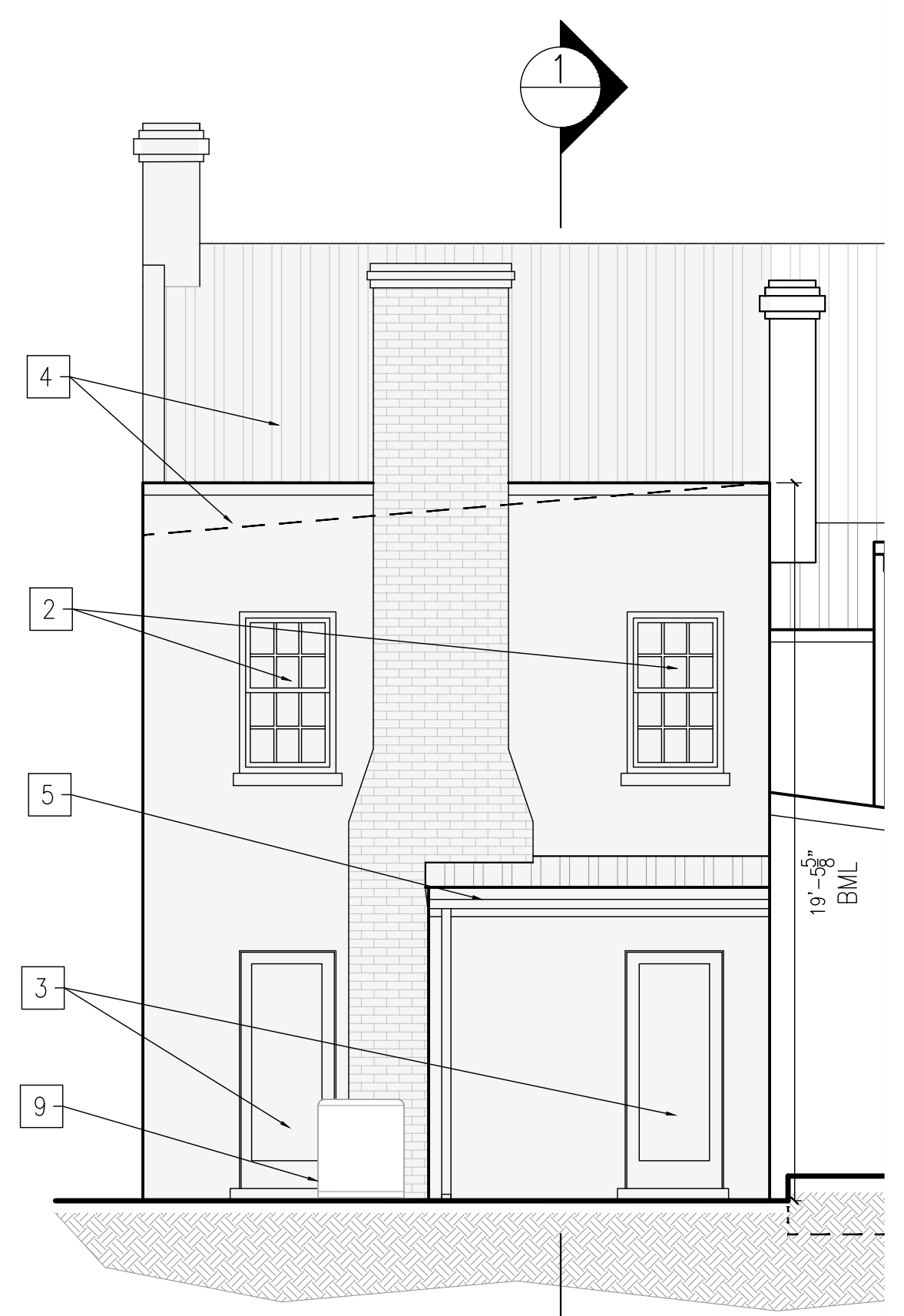


4 HOUSE NUMBER BOARD  
1 1/2"=1'-0"

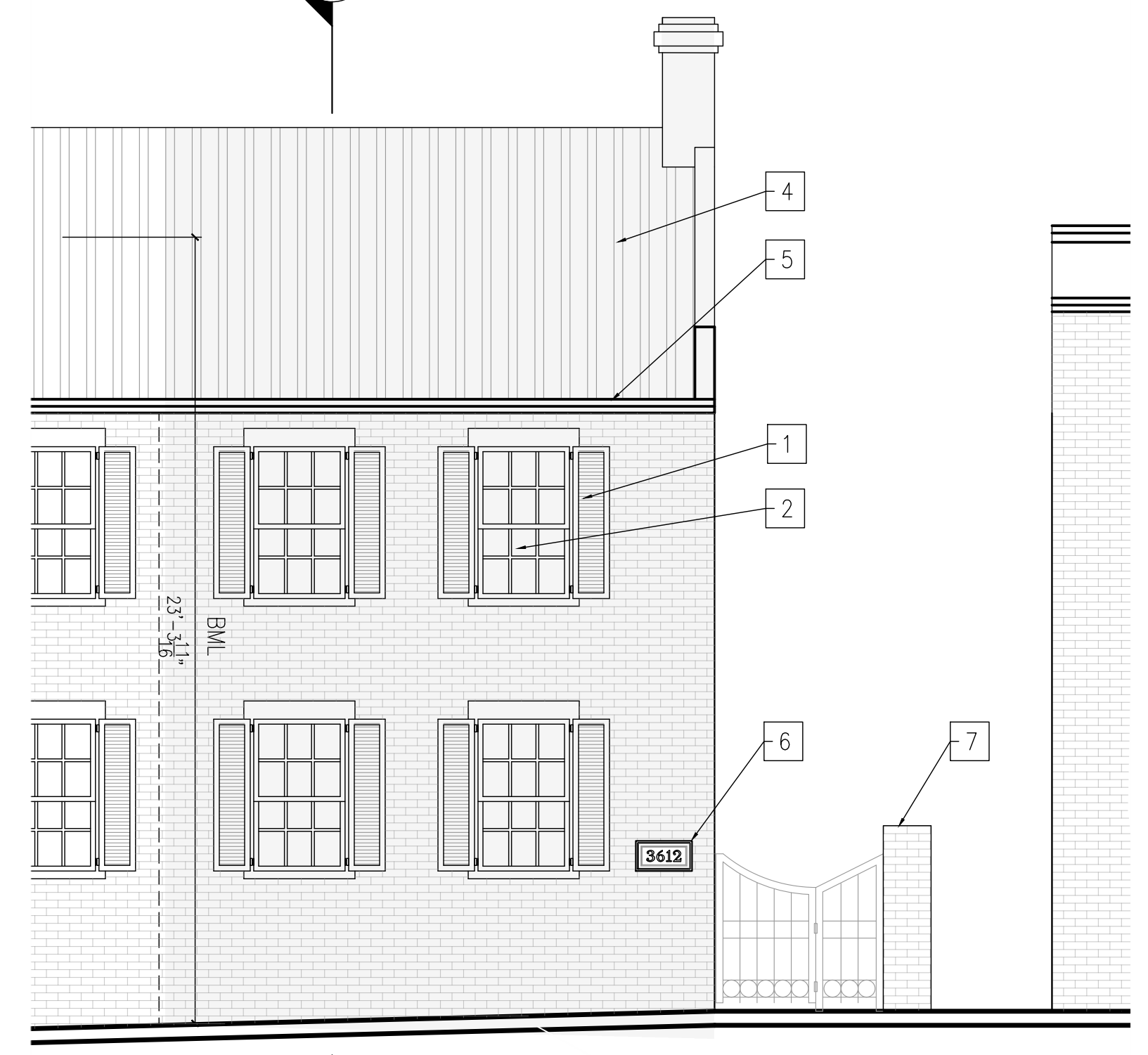
- 1. REMOVE, REFINISH AND REINSTALL WD SHUTTERS.
- 2. EX WIN TO REMAIN.
- 3. REFINISH EX DOORS.
- 4. PROVIDE SS COPPER ROOF.
- 5. PROVIDE HALF ROUND COPPER GUTTERS AND DOWNSPOUTS.
- 6. PROVIDE MTL NUMBERS.
- 7. PATCH AND PAINT DAMAGED PARGE WHERE NEEDED.
- 8. REPAIR DAMAGED BRICK PILLAR.
- 9. PROVIDE COMPRESSOR.



3 RIGHT ELEVATION – PROPOSED  
1/8"=1'-0"



2 REAR ELEVATION – PROPOSED  
1/8"=1'-0"



1 FRONT ELEVATION – PROPOSED  
1/8"=1'-0"



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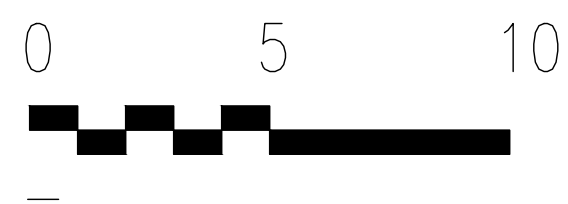
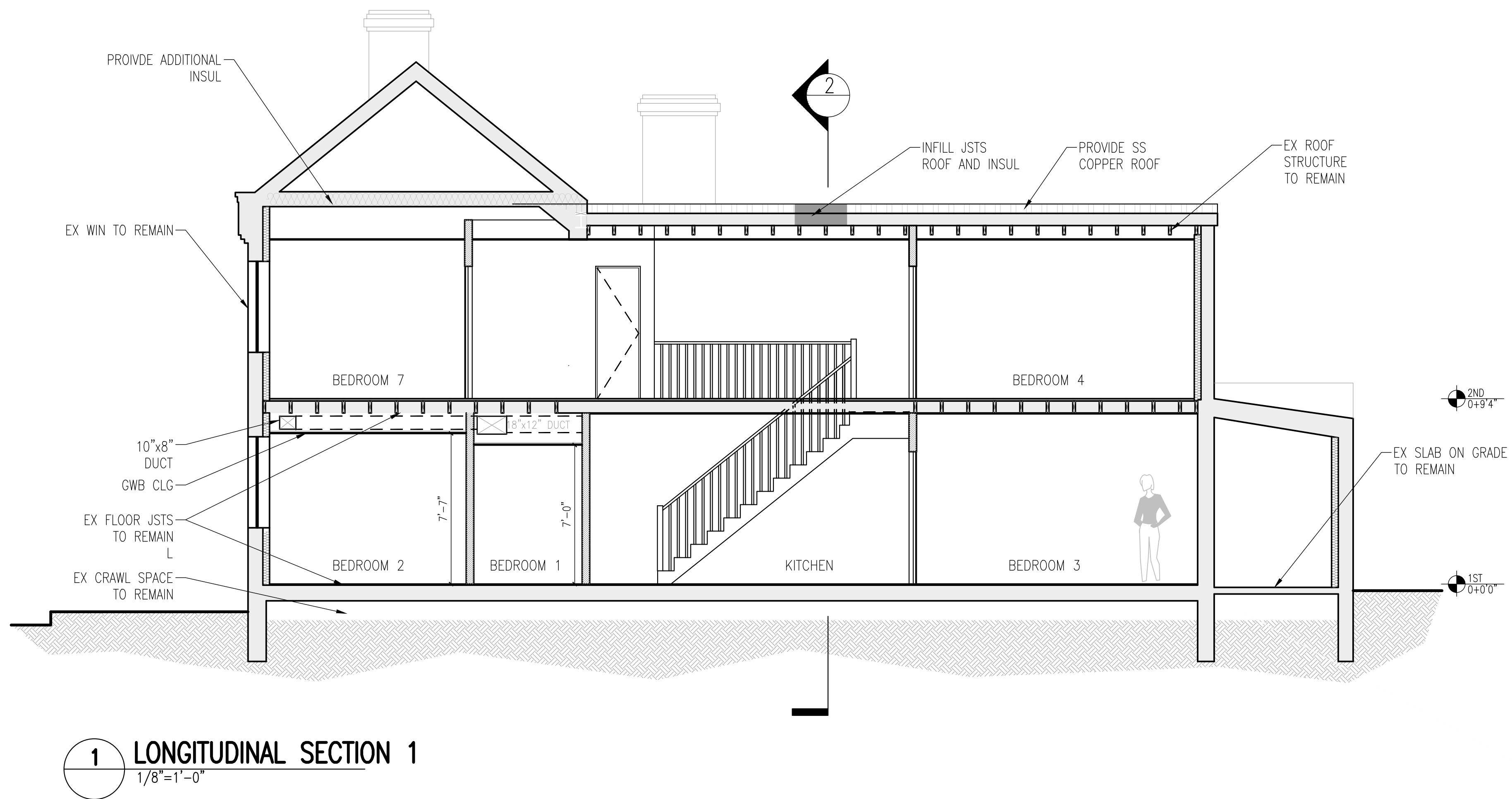
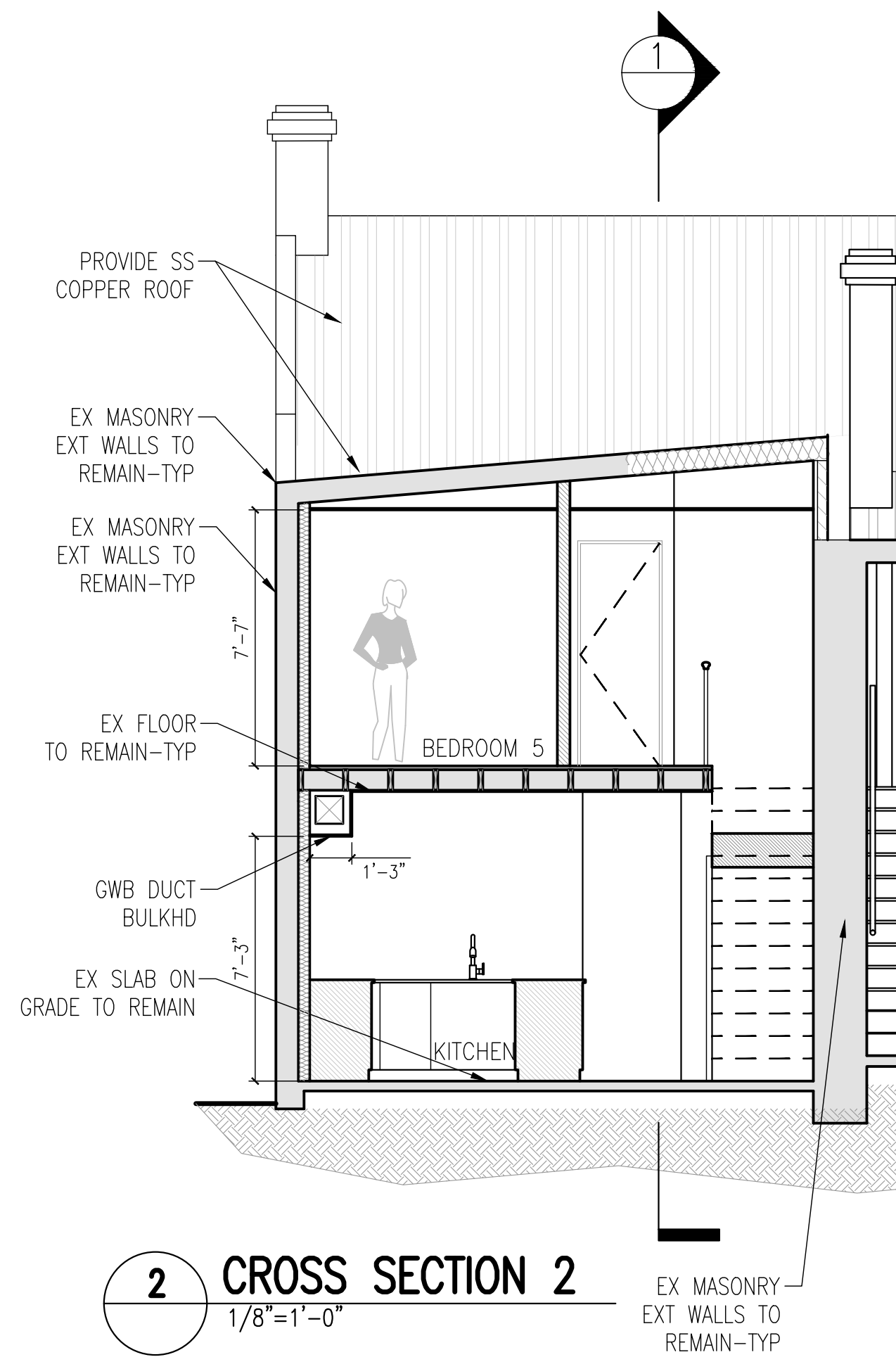
BUILDING  
ELEVATIONS –  
PROPOSED

Project No. VA2205-02-12  
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A4

11x17 sheets are 1/2 size





Renovations to  
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Drawing Title

BUILDING  
SECTIONS –  
PROPOSED

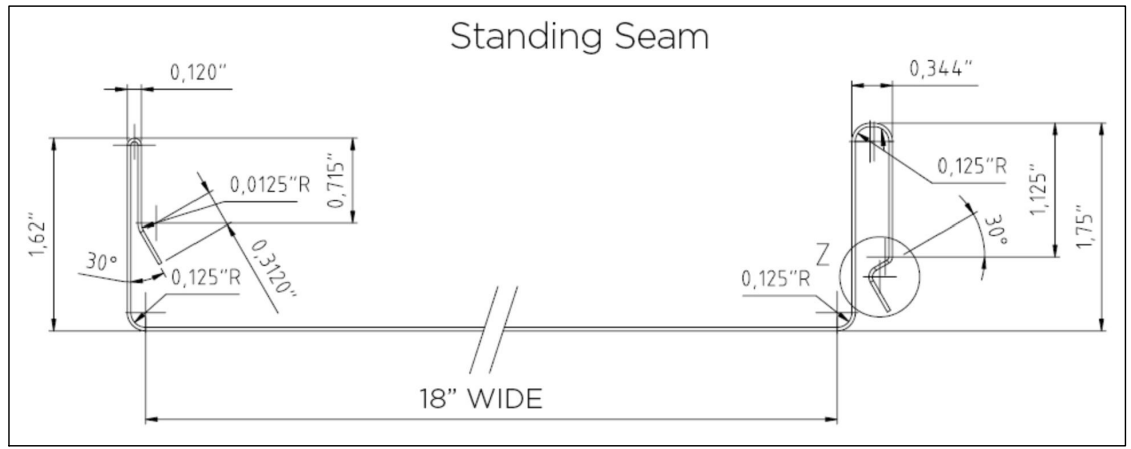
Project No. VA2205-02-12

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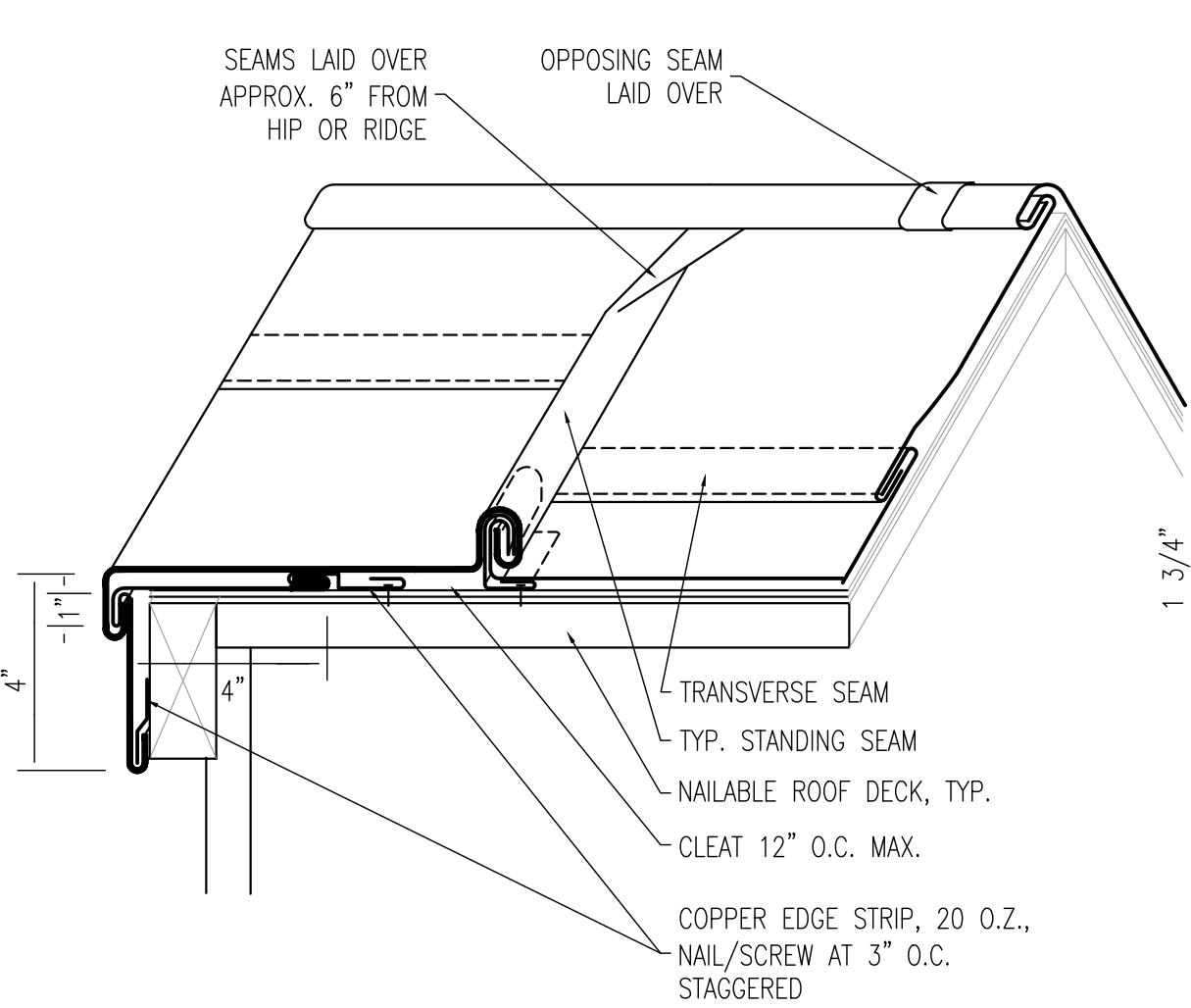
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11x17 sheets are 1/2 size

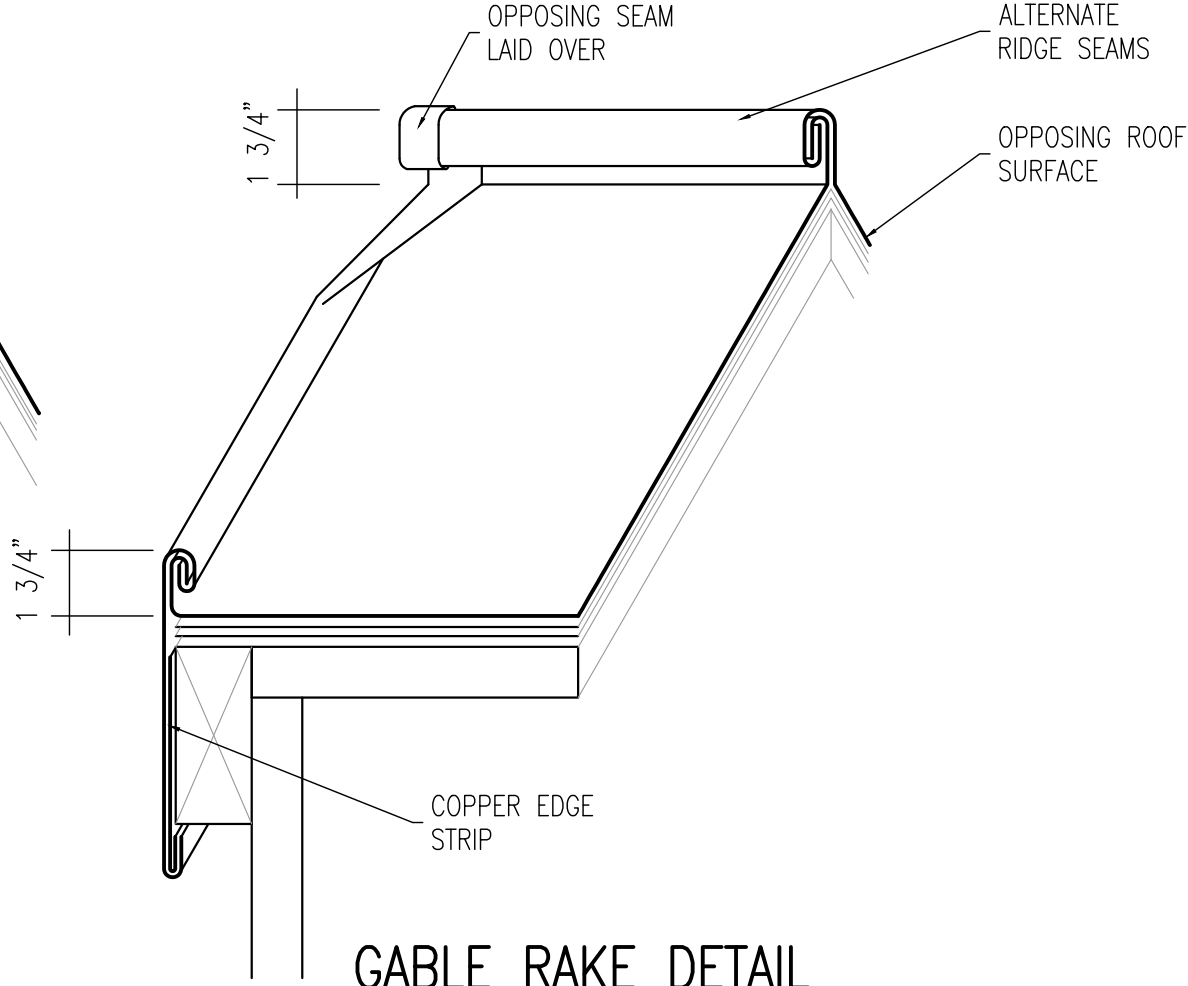




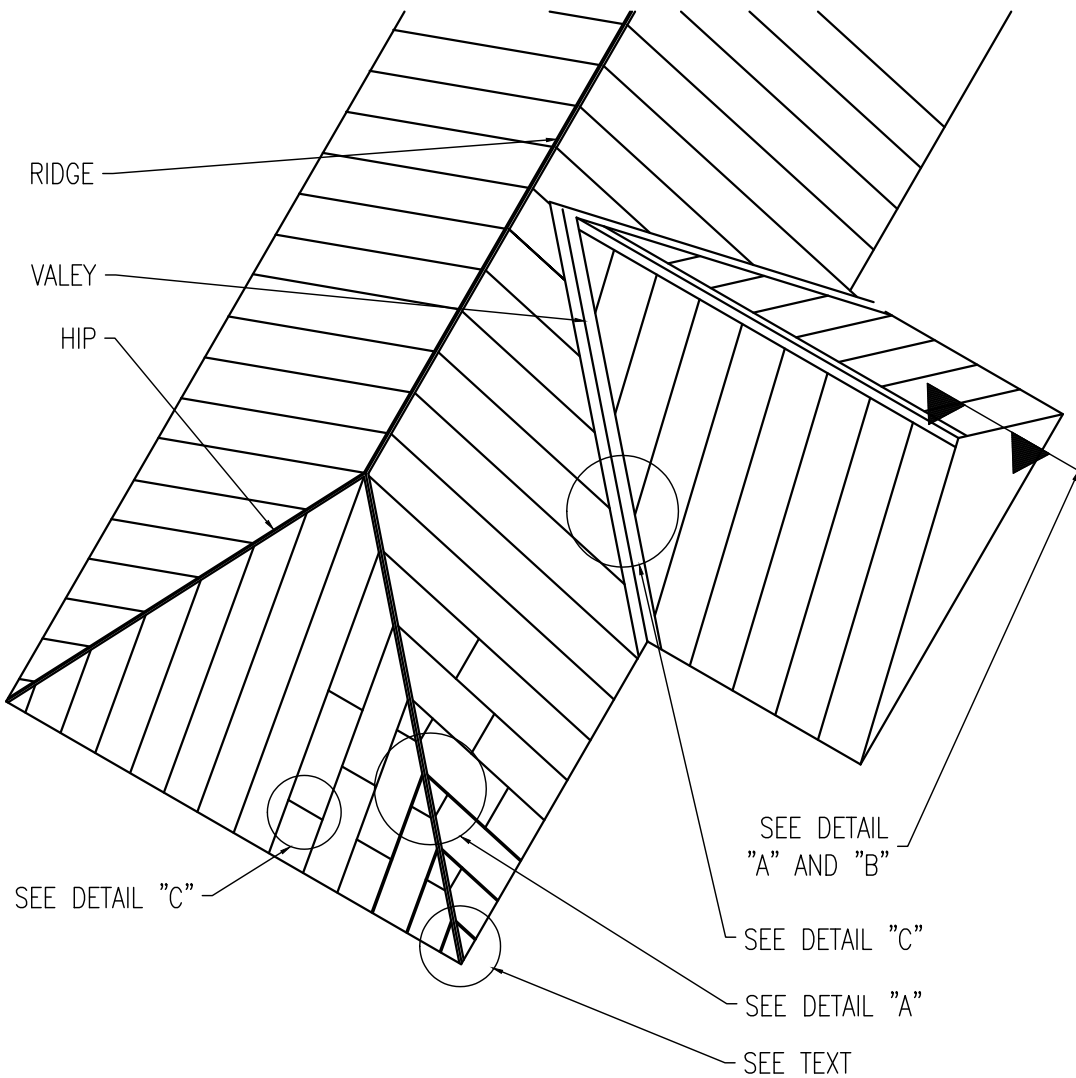
STANDING SEAM  
PANEL DETAIL



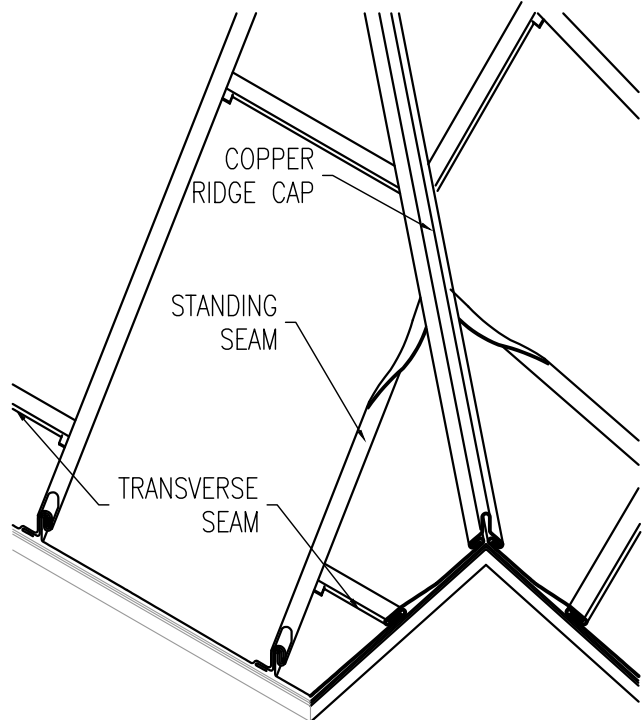
TYPICAL STANDING SEAM



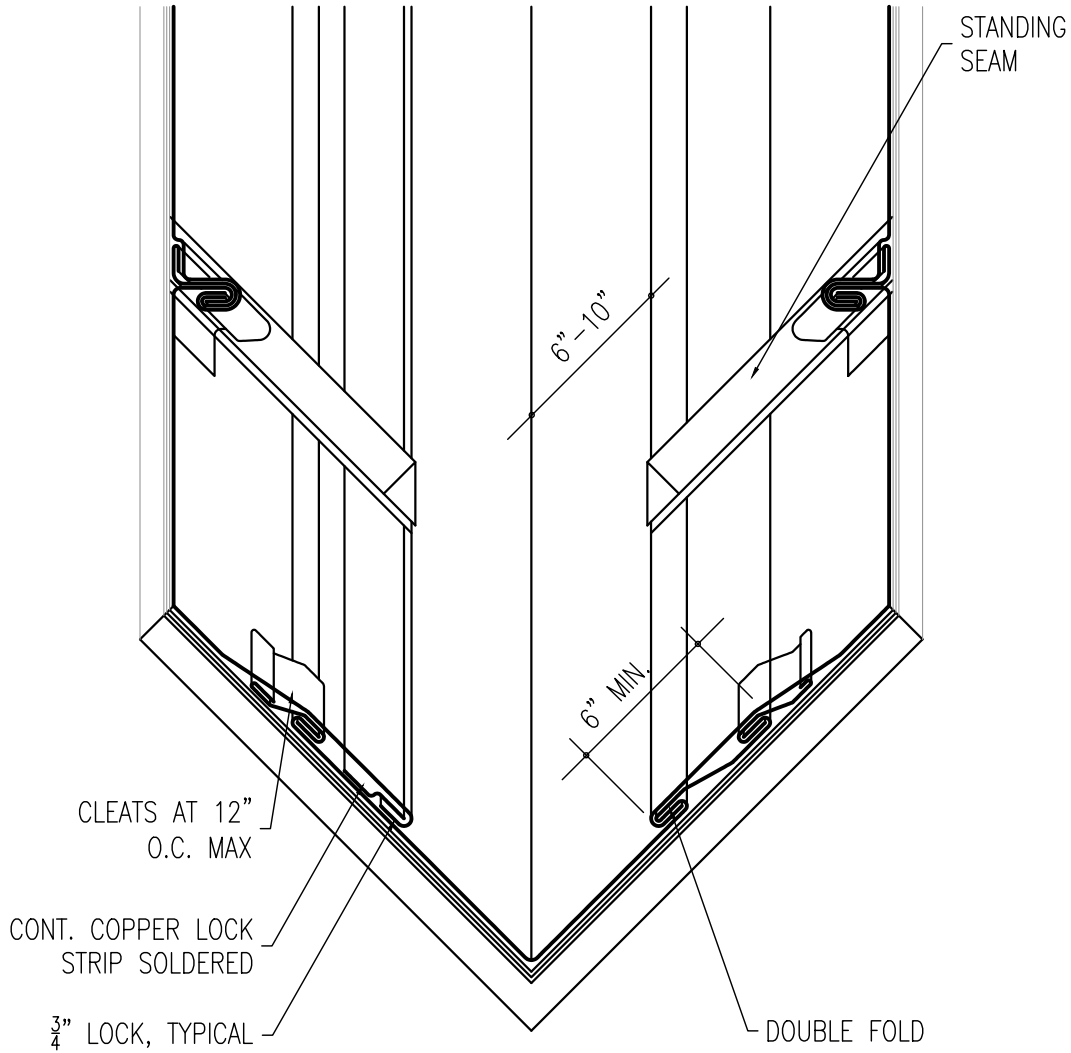
CABLE RAKE DETAIL



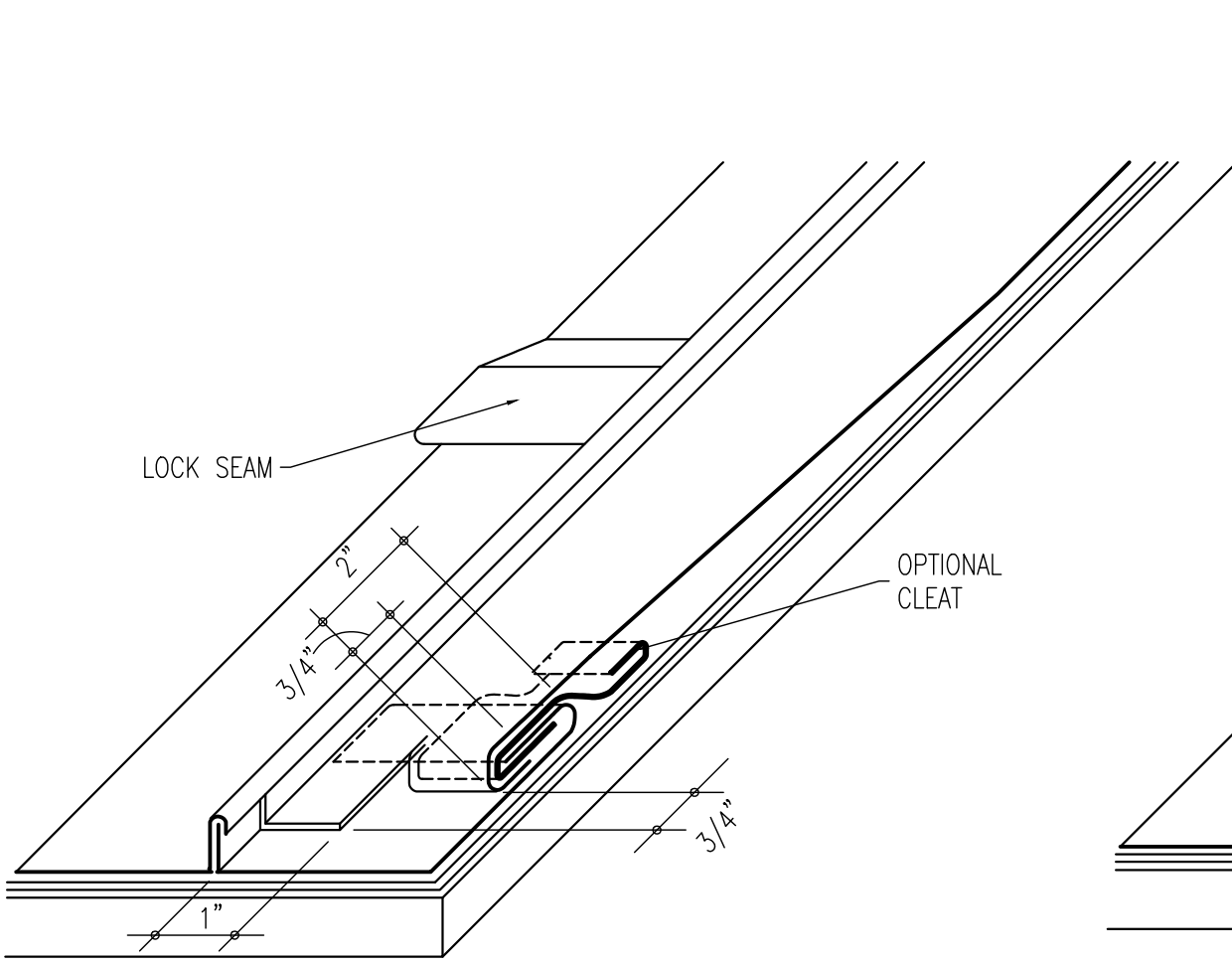
STANDING SEAM ROOF – OVERALL VIEW



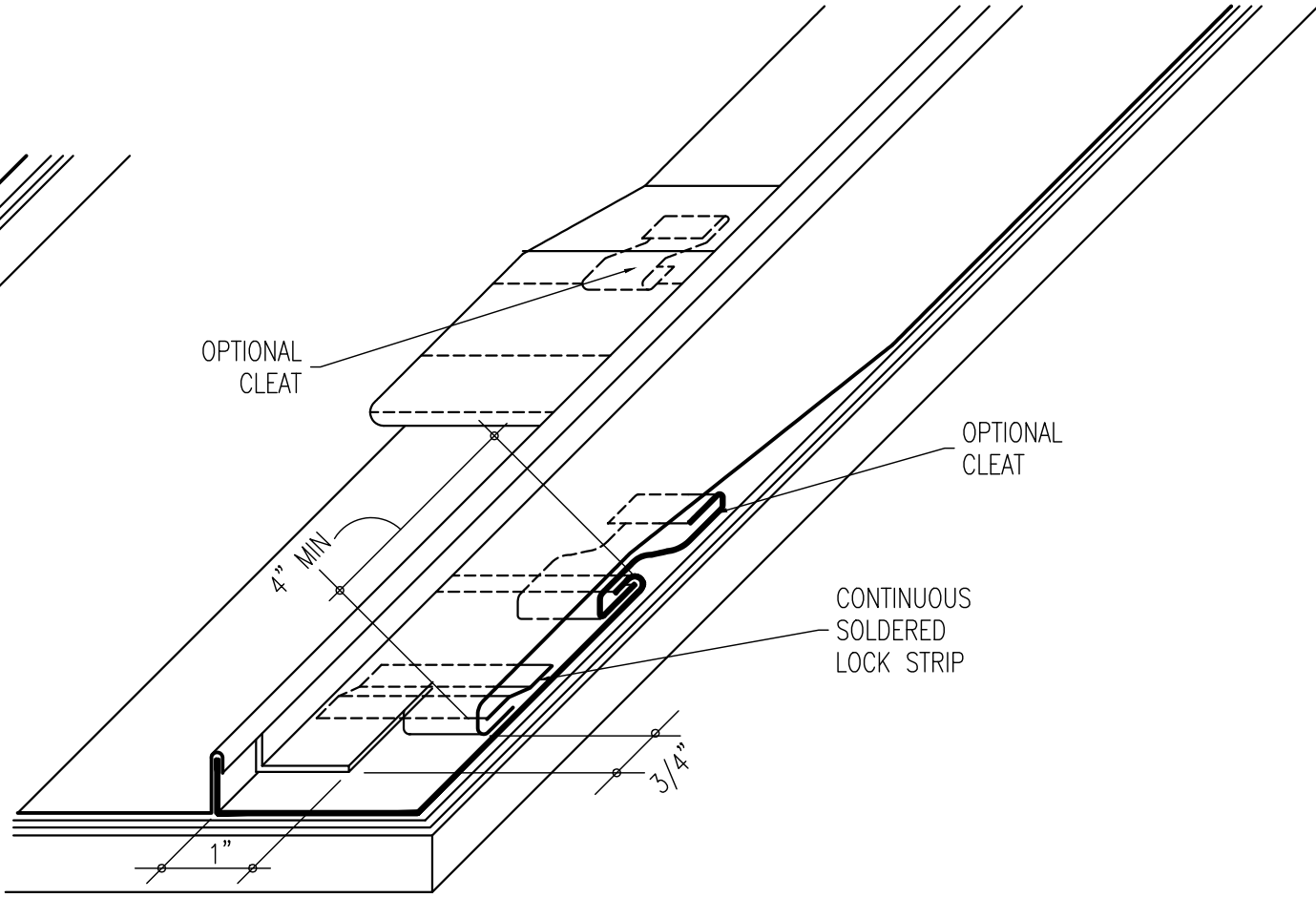
STANDING SEAM HIP DETAIL



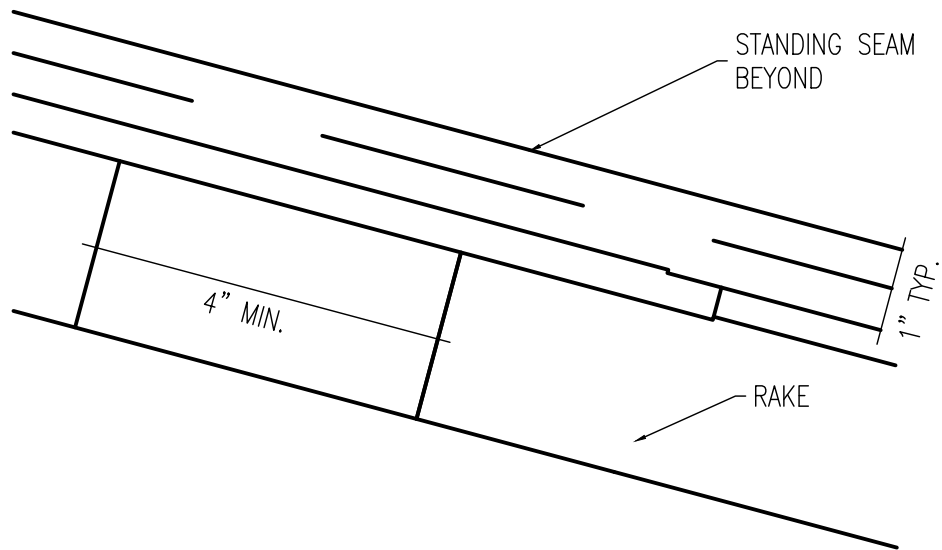
STANDING SEAM,  
VALLEY DETAIL



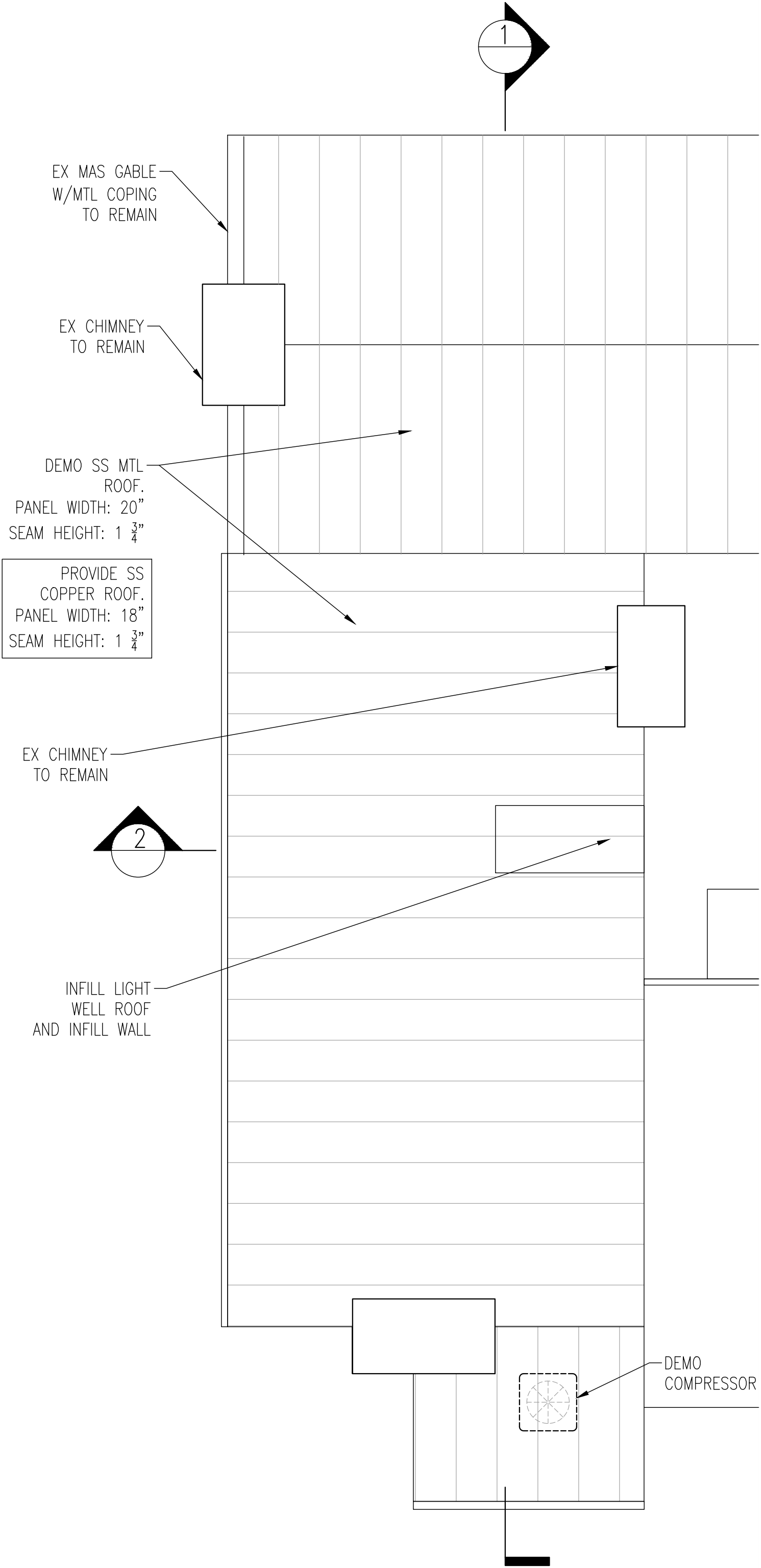
STEEP PITCH DETAIL



LOW PITCH DETAIL



RAKE ELEVATION AT TYPICAL  
STANDING SEAM



1 ROOF PLAN  
1/8 inch = 1'-0 inch



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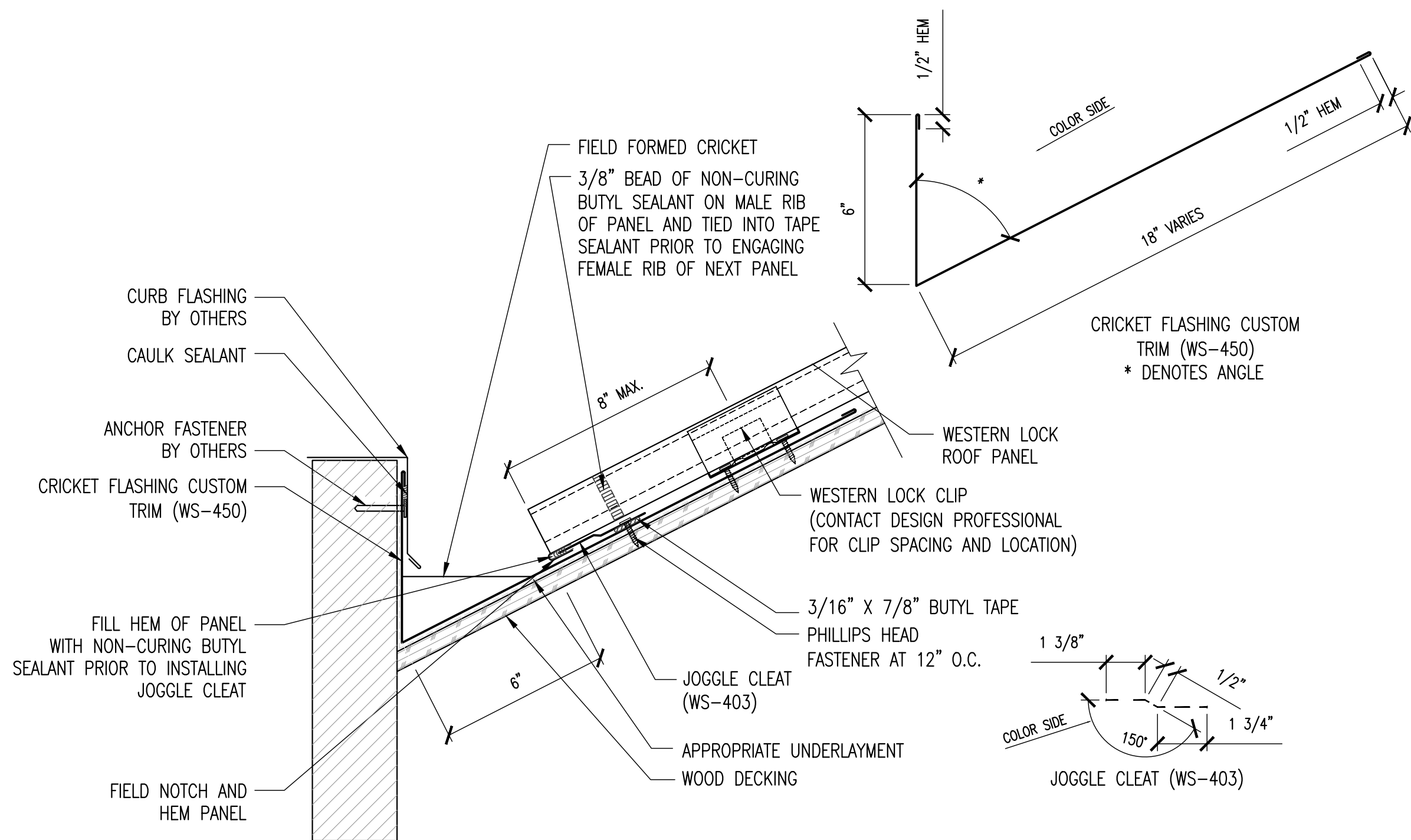
ROOF PLAN  
AND DETAILS

Project No. VA2205-02-12

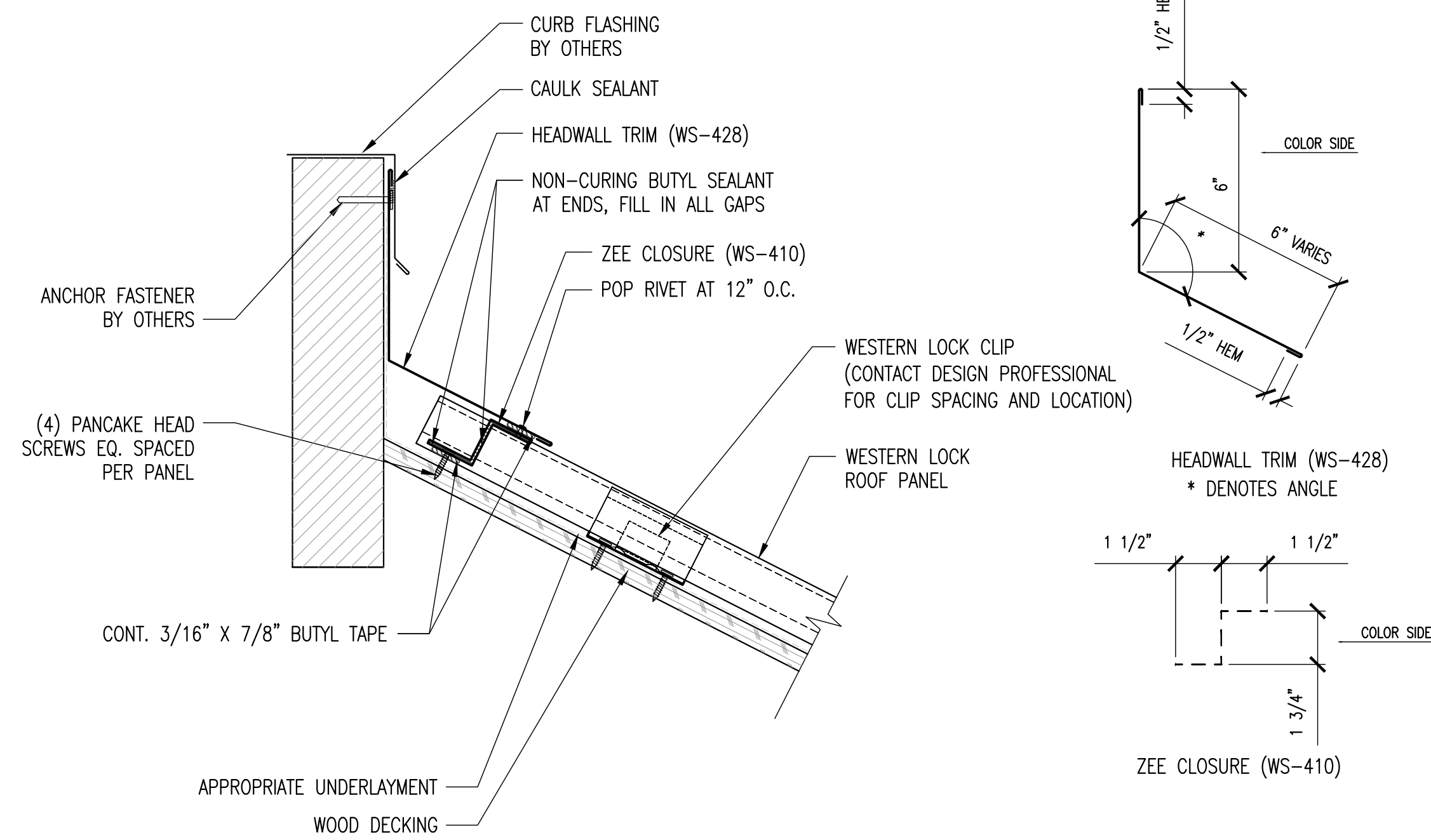
Date 23 JAN 23

A6

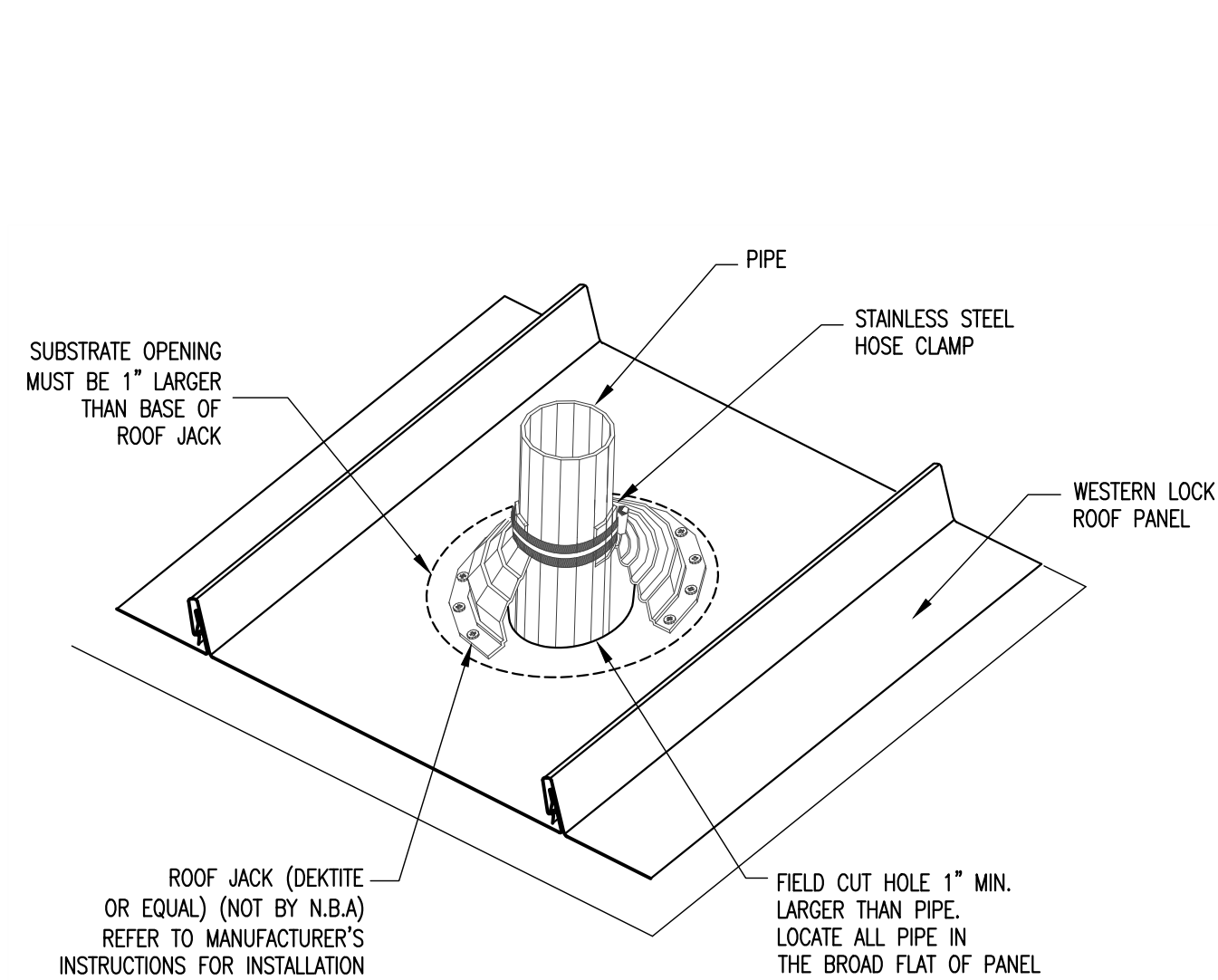




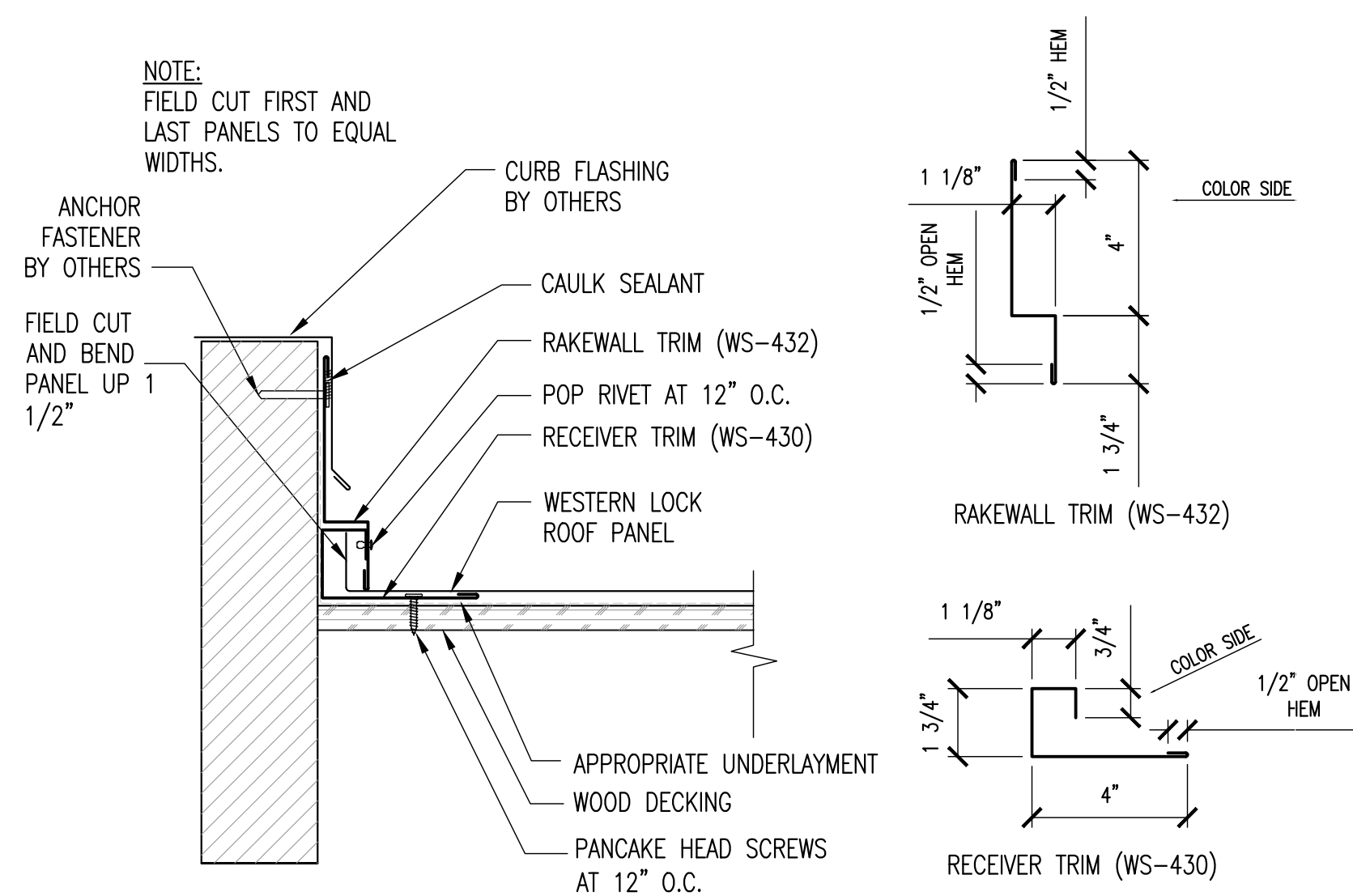
D23 – CRICKET FLASHING  
AT CURB & CHIMNEY DETAIL



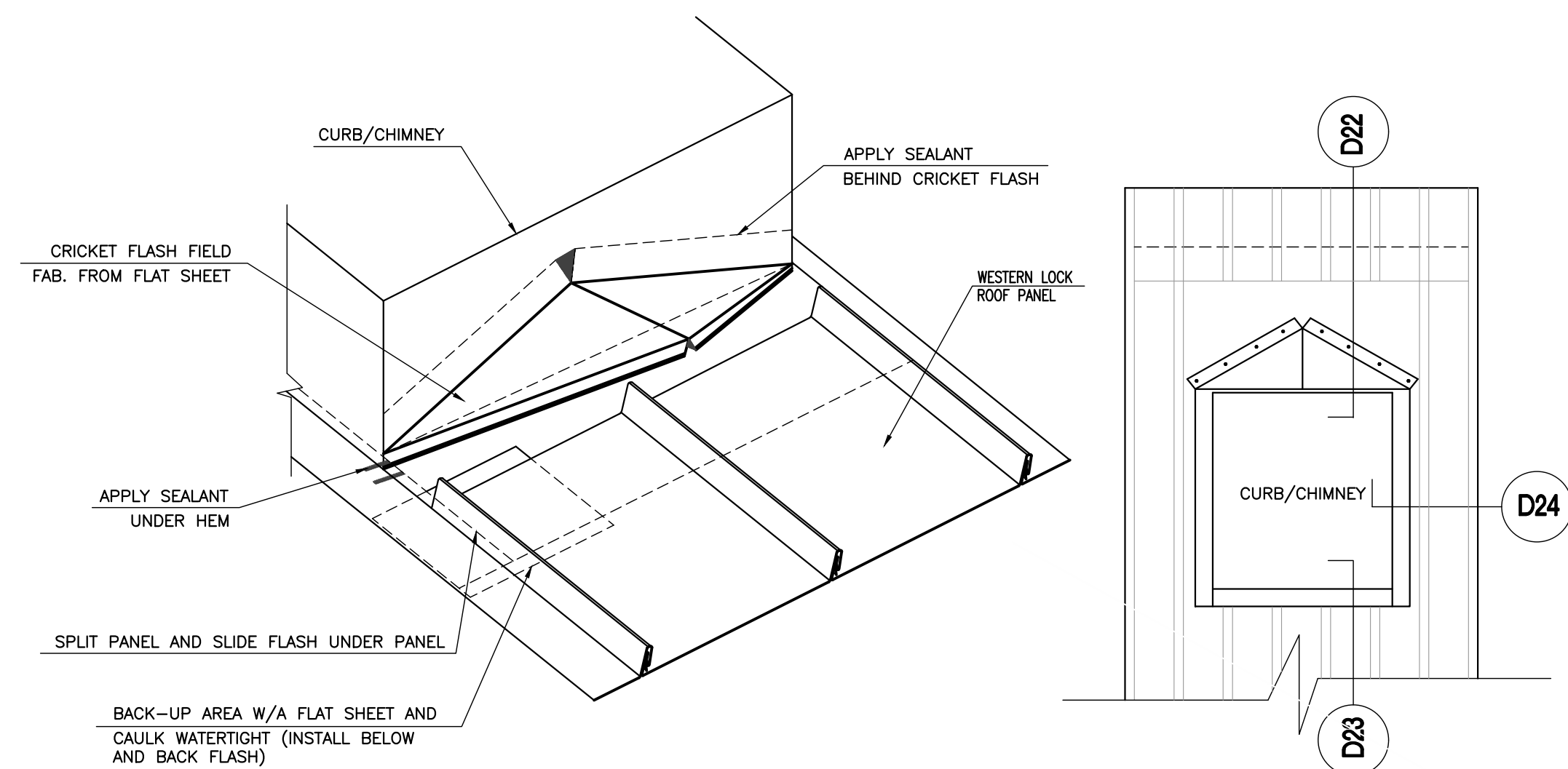
D24 – PITCHBREAK  
AT CURB & CHIMNEY DETAIL



PIPE PENETRATION DETAIL



SIDEWALL AT CURB & CHIMNEY DETAIL



ISOMETRIC CURB

PLAN VIEW



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ROOF DETAILS

Project No. VA2205-02-12  
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A7

11x17 sheets are 1/2 size



23 Jan 23

Re: Response to Comments:  
Project Address: 3612 O St. NW



address  
1713 N. Bryan Street  
Arlington, VA 22201

tel 703-725-4328  
url www.pvanderpoel.com

Below are listed comments received for the project with response italicized and indented.

VA2205-02B  
3612 O St. NW

Comments:

1. Please provide existing and proposed pan width and seam height dimensions of the existing roof.  
*Information regarding the seam height and panel width has been added to the drawings.*
2. The drawings indicate the brick wall along the side property line is to be repaired. I would suggest that you include more representative photos of the wall in your submission. This wall looks to have a good bit of deterioration, likely from incompatible mortar repairs, water, and salting of the sidewalk. I am just wondering to what extent this will be a repair as opposed to rebuilding. Have you confirmed that you can find bricks to match the existing? Will the wall be 100% repointed? Please specify a lime-based mortar without Portland cement that is soft enough to be compatible with the soft brick of the wall. Limeworks is one such company that still makes these softer mortars for historic applications, although you can use any brand or company you wish.

*Additional photographs of the side (alley) wall show the wall to be in reasonably good repair. The chimney seems to be the location with the most brick damage. We do not propose extensive rebuilding or repointing. We will contact a masonry supply company to determine if a matching brick is available.*



26 Jan 23

Project Address: 3612 O St. NW



**address**

1713 N. Bryan Street  
Arlington, VA 22201

**tel**  
**url**

703-725-4328  
[www.pvanderpoel.com](http://www.pvanderpoel.com)

Below are responses to comments for the above mentioned project.

One question I had was regarding the alley wall at 3612 O Street. The wall I was referring to was the free-standing brick wall shown on AP2 (not the building wall). The notes say replace damaged bricks, reset cap, repoint mortar joints. What is the cap that is to be replaced and with what material? I also highly recommend specifying a lime-based mortar, given the condition and age of the bricks. Do you have a sense as to how much of the wall will need to be rebuilt?

*The bricks in the wall are in reasonable condition with very few cracked units. There are areas of missing or damaged mortar. The termination pillar for the wall seems to have been struck by a piece of equipment that dislocated the top 6 courses of brick-this is the 'cap' to which I referred.*

*I have added photos to further describe the corrective work we are proposing and noted use of a lime-based mortar.*

Please let use know if you have any questions or need additional information