

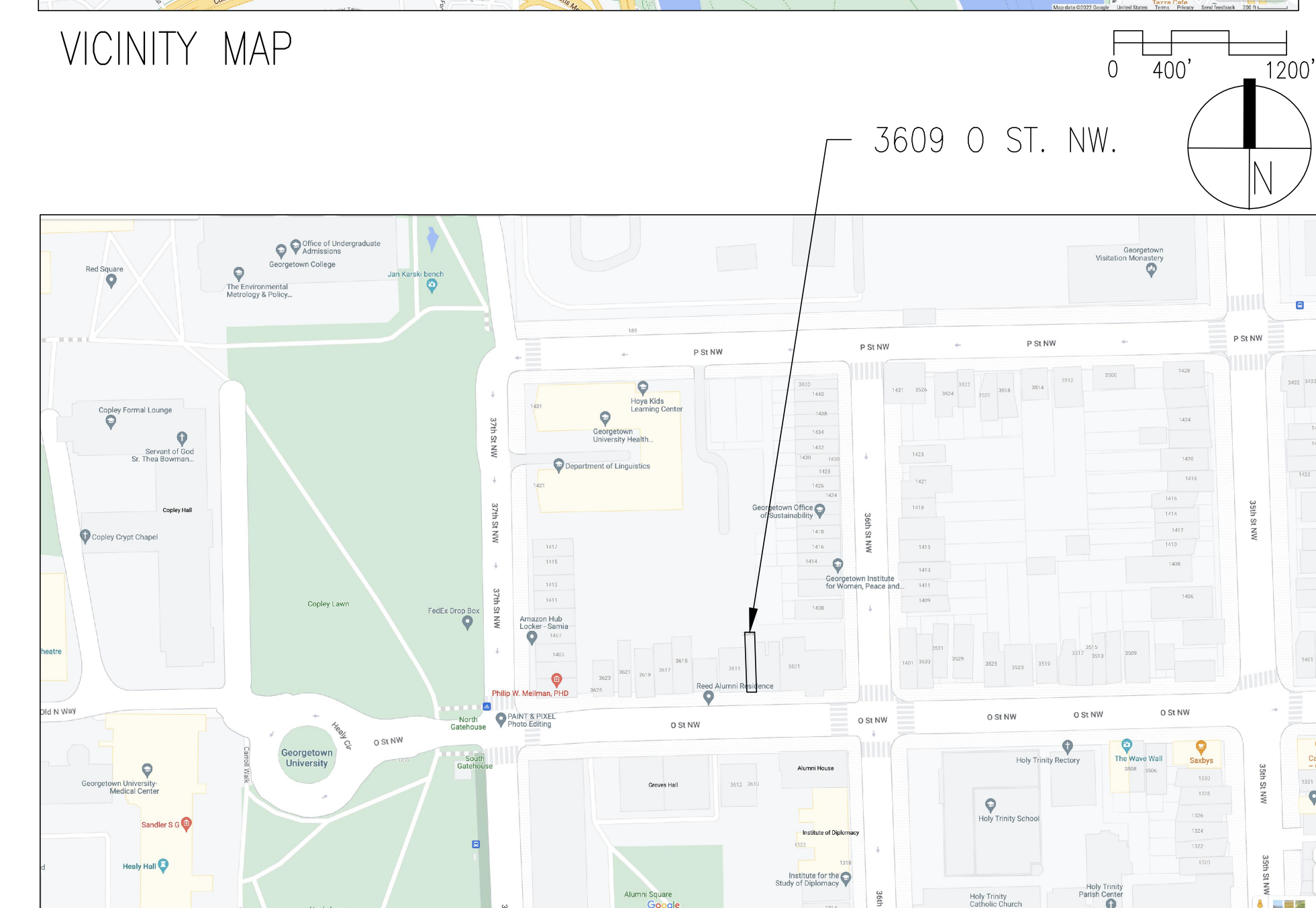
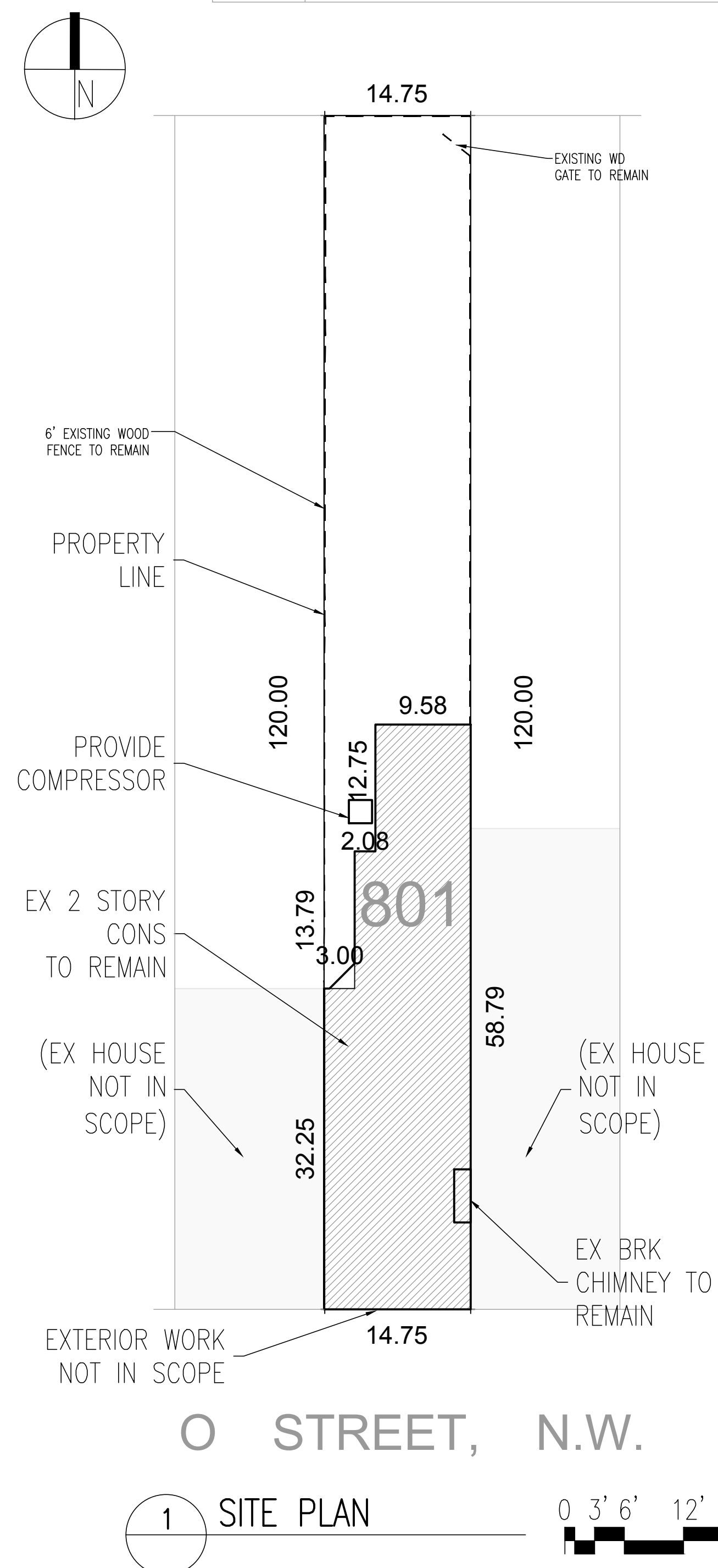
# GEORGETOWN UNIVERSITY TOWNHOUSE EXTERIOR REPAIRS

OLD GEORGETOWN BOARD SUBMISSION – JANUARY 2023

GU PROJECT ID #: 2-C13-02

PROJECT TEAM	PROJECT DATA
<p>CLIENT: GEORGETOWN UNIVERSITY 3700 O ST. NW, NEW SOUTH L 104 WASHINGTON DC 20057. T: 571-722-6459.</p> <p>GENERAL CONTRACTOR: PEDRAM HATAMI PIVOT CONSTRUCTION 502 NUTLEY ST. VIENNA, VA, 22180. T: 703-677-2351.</p> <p>ARCHITECT: PETER VANDERPOEL VANDERPOEL ARCHITECTURE 1713 N. BRYAN ST. ARLINGTON, VA, 22201. T: 703-725-4328.</p> <p>STRUCTURAL ENGINEER: LORI LEVINE. POTOMAC ENGINEERING. 43008 RUNNING RIDGE WAY LEESBURG, VA, 20176. T: 703-622-4944.</p> <p>MEP ENGINEER: SAM ODEH DESIGN AMERICA ENGINEERING. 14080 RED RIVER DR. CENTREVILLE, VA, 20121. T: 571-220-3239.</p>	<p>SQUARE / SUFIX / LOT: ZONING: 0 R-3/R-20 HISTORIC DISTRICT: GEORGETOWN HISTORIC DISTRICT</p> <p>CLIMATE ZONE: 4A</p> <p>USE AND OCUPANCY: SINGLE FAMILY DWELLING (NO CHANGE)</p> <p>NUMBER OF STORIES: 2 (NO CHANGE)</p> <p>NUMBER OF DWELLING UNITS: 1 (NO CHANGE)</p> <p>APPLICABLE CODES</p> <p>2017 DCMR12B DC RESIDENTIAL CODE. 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE. 2017 DCMR12J DC EXISTING BUILDING CODE. 2015 EXISTING BUILDING CODE.</p> <p>SCOPE OF WORK</p> <p>WORK WILL CONSIST OF:</p> <ul style="list-style-type: none"> <li>- REPLACEMENT OF EXISTING METAL ROOF WITH NEW COPPER ROOF</li> <li>- RESTORATION OF EXTERIOR COMPONENTS AND SELECTIVE REPLACEMENT IN KIND.</li> </ul>

SHEET INDEX	
SHEET No.	SHEET NAME
A0	COVER SHEET
A1	INTERIORS – DEMOLITION FLOOR PLANS
A2	BUILDING ELEVATIONS – EXISTING
AP1	PHOTO REFERENCES
AP2	PHOTO REFERENCES
AP3	PHOTO REFERENCES
AP4	PHOTO REFERENCES
AP5	PHOTO REFERENCES
A3	INTERIORS – PROPOSED FLOOR PLANS
A4	BUILDING ELEVATIONS – PROPOSED
A5	BUILDING SECTIONS – PROPOSED
A6	ROOF PLAN AND DETAILS
A7	ROOF DETAILS



Renovations to  
3609  
O St. NW  
Washington DC.  
20007

2-C13-02

Drawing Title

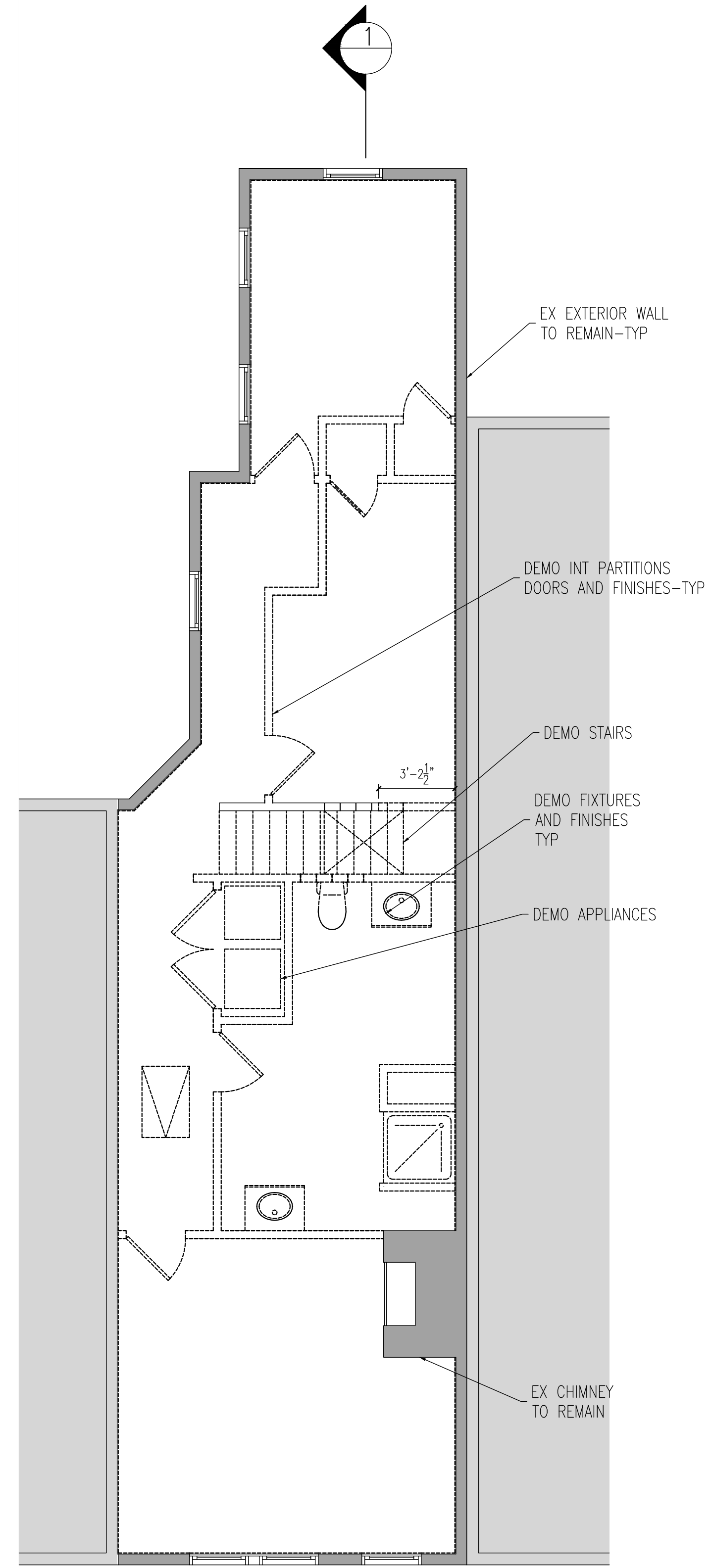
COVER SHEET

Project No. VA2205-04

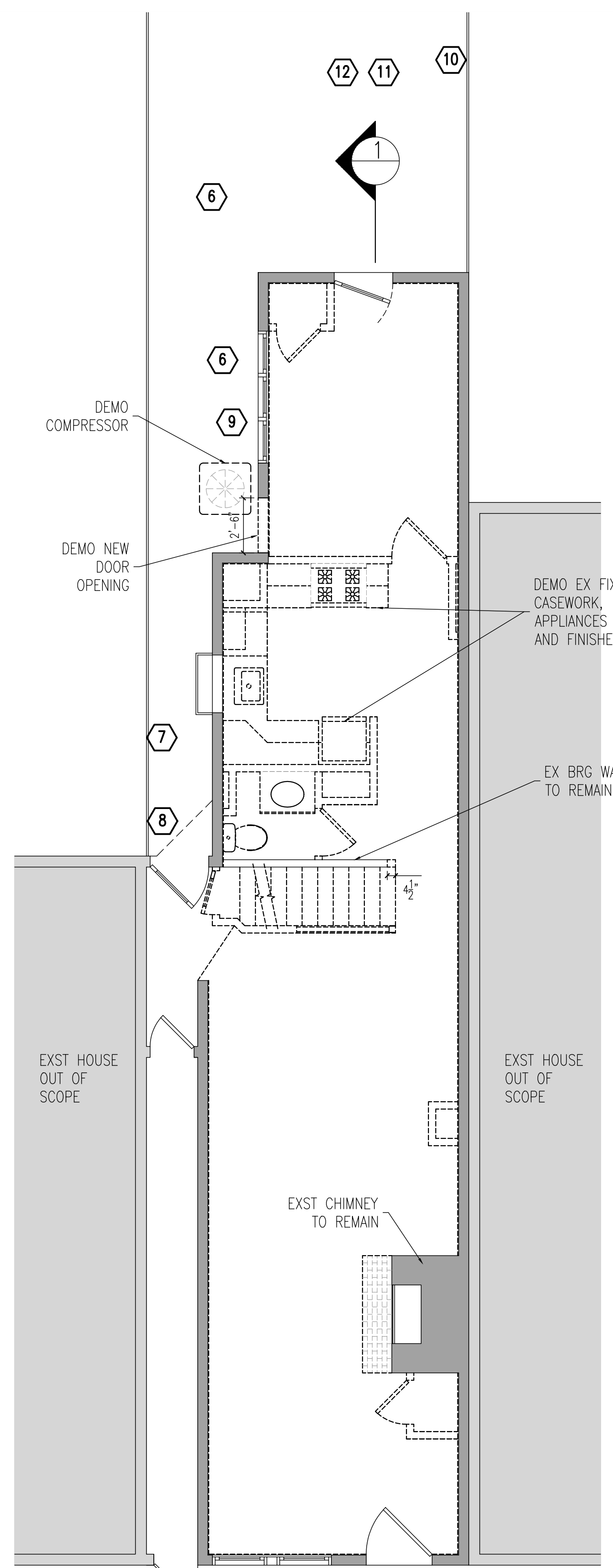
Date 23 JAN 23

A0

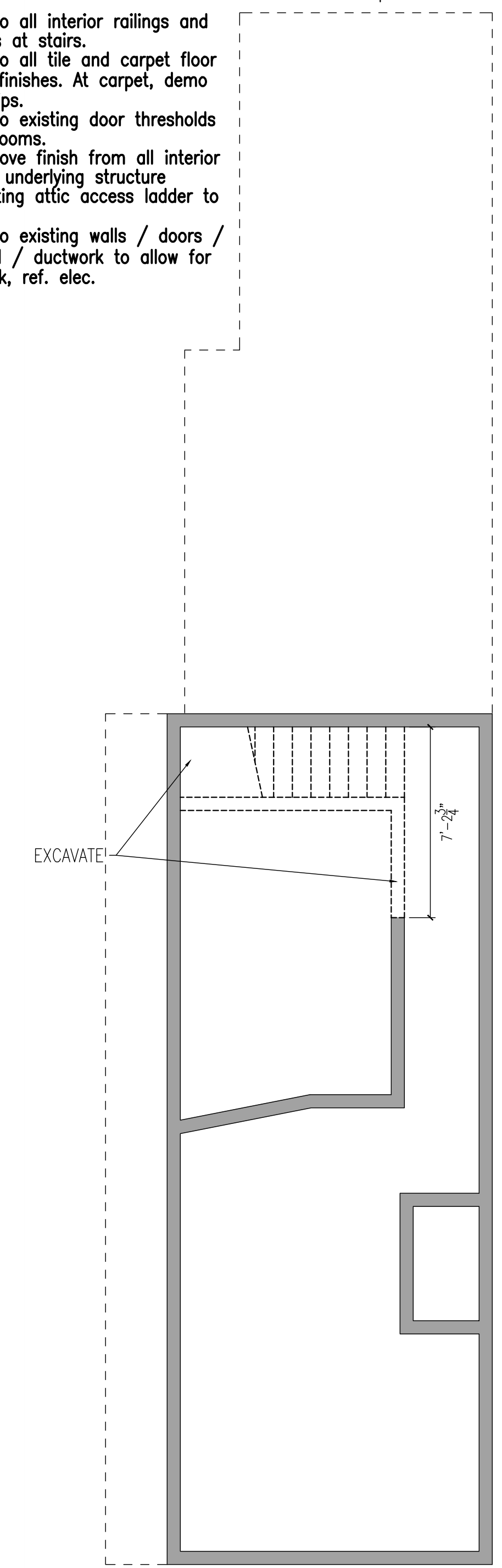
11x17 sheets are 1/2 size



**2 DEMO-SECOND FLOOR**  
1/8"=1'-0"

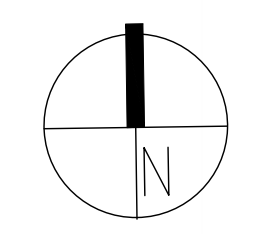


**1 DEMO-FIRST FLOOR**  
1/8"=1'-0"

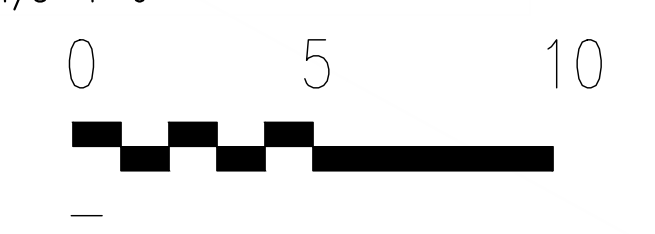


**0 DEMO-CELLAR**  
1/8"=1'-0"

- Demolition General Notes**
- A. GC to coordinate testing and abatement of hazardous materials.
  - B. Retain all structural elements including structural walls, floor joists, roof joists and slab on grade.
  - C. Demo all kitchen and bathroom base and wall cabinetry.
  - D. Demo all plumbing fixtures.
  - E. Demo all appliances.
  - F. Demo and replace all utility access panels.
  - G. Demo all window treatments.
  - H. Demo all existing air distribution vents.
  - I. Demo all interior railings and handrails at stairs.
  - J. Demo all tile and carpet floor / stair finishes. At carpet, demo tack strips.
  - K. Demo existing door thresholds at bathrooms.
  - L. Remove finish from all interior walls to underlying structure.
  - M. Existing attic access ladder to remain.
  - N. Demo existing walls / doors / electrical / ductwork to allow for new work, ref. elec.



# INDICATES PHOTO LOCATION - SEE PHOTO REFERENCE SHEETS



Renovations to  
3609  
O St.NW  
Washington DC.  
20007

2-C13-02

Drawing Title

INTERIORS -  
DEMOLITION  
FLOOR PLANS

Project No. VA2205-04

Date 23 JAN 23

A1

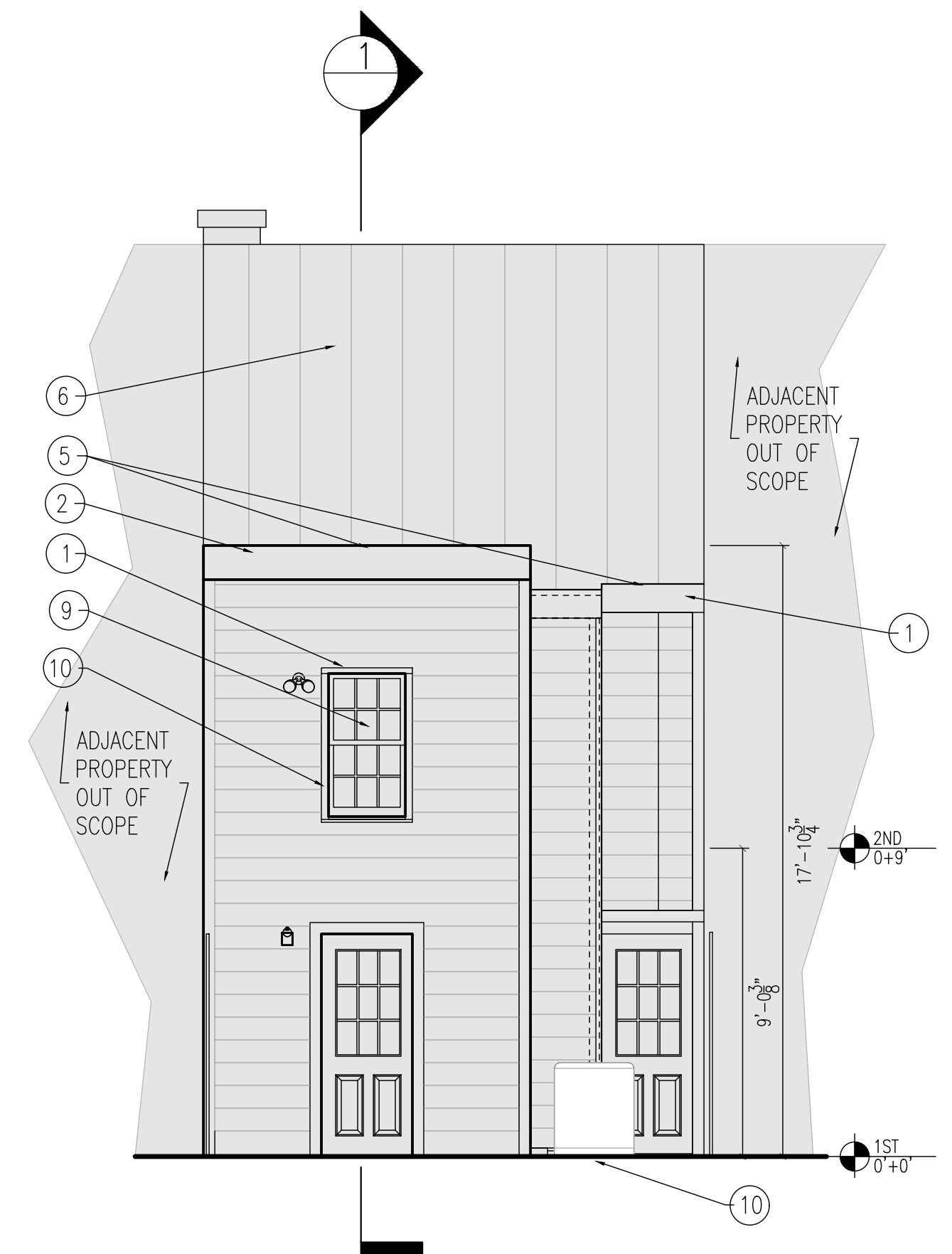
11x17 sheets are 1/2 size

INSULATION SCHEDULE						
LOCATION	TYPE	THK (IN)	R-VALUE/IN	R-VALUE	R VALUE REQ'D	NOTES
FOUNDATION	RIGID	2	5	10	10	EXTEND HORIZ 2' INSID PERI
WALL	BATT	5.5000	3.6300	20	20	
CLG/ROOF	BATT	14	3.5000	49	49	

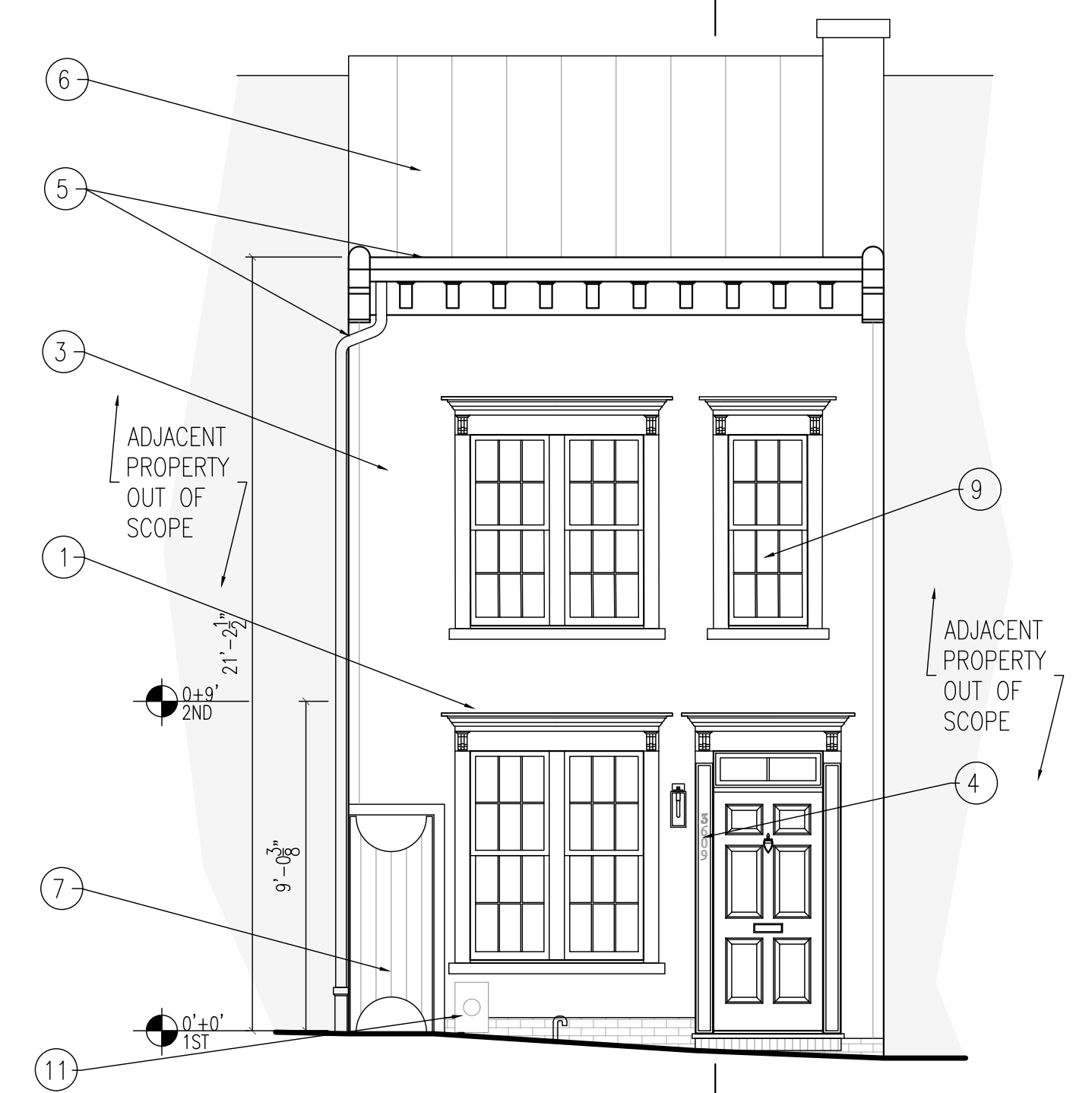
- 1. DEMO CAP FLASHING.
- 2. DEMO METAL FLASHING.
- 3. DEMO STUCCO & LATH.
- 4. MTL NUMBERS TO REMAIN.
- 5. DEMO GUTTERS AND DOWNSPOUTS.
- 6. DEMO MTL ROOF.
- 7. REPAIR EX ALLEY DOOR.
- 8. DEMO DOOR OPENING.
- 9. EX WIN TO REMAIN TYP.
- 10. DEMO COMPRESSOR.
- 11. RELOCATE ELEC METER TO EX ALLEY
- 12. DEMO DAMAGED WIN TRIMS.



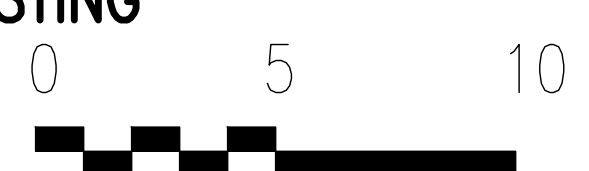
**4 LEFT ELEVATION – EXISTING**  
1/8"=1'-0"



**3 REAR ELEVATION – EXISTING**  
1/8"=1'-0"



**2 FRONT ELEVATION – EXISTING**  
1/8"=1'-0"



Renovations to  
3609  
0 St.NW  
Washington DC.  
20007

2-C13-02

Drawing Title

BUILDING  
ELEVATIONS –  
EXISTING

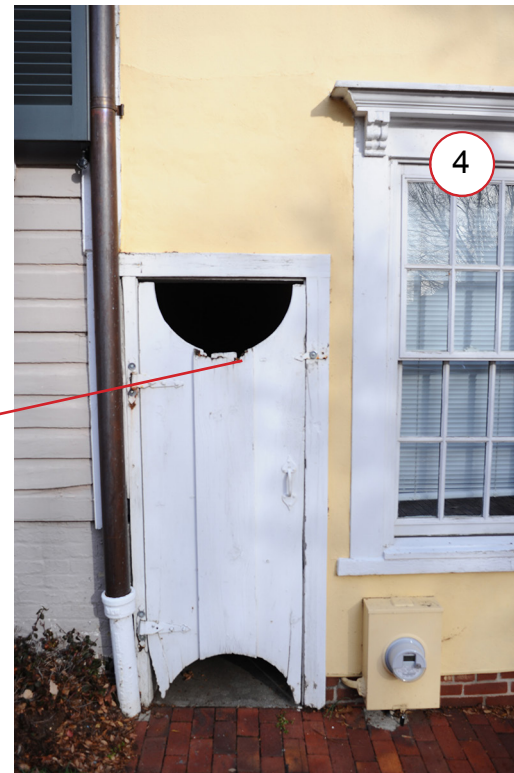
Project No. VA2205-04

Date 23 JAN 23

A2



1



2



3

- Demolition Notes
- 1. Demo roof flashing and roofing
  - 4. Existing window to remain-typical
  - 6. Align and evenly space house number
  - 8. Demo downspout
  - 11. Replace wood threshold
  - 15. Repair, sand, refinish and reinstall door
  - 17. Sand and repaint wood trim-typical
  - 19. Clean, patch and paint stucco
  - 20. Repair damaged gate board, paint

#

indicates photo location-see plans



Renovations to  
3609  
O St.NW  
Washington DC.  
20007

2-C13-02

Drawing Title

PHOTO REFERENCES

Project No. VA2205-04

Date 23 JAN 23

AP1



4

17

Demolition Notes  
 17. Sand and repaint wood trim

#

indicates photo location-see plans



Renovations to  
 3609  
 O St.NW  
 Washington DC.  
 20007

2-C13-02

Drawing Title

PHOTO REFERENCES

Project No. VA2205-04  
 Date 23 JAN 23

AP2



Image showing existing front facade construction:  
 Stucco  
 Lath  
 1" plywd  
 wd studs

5



6

Demolition Notes

- 1. Demo roof flashing and roofing
- 2. Remove and store siding for reinstallation
- 4. Existing window to remain-typ
- 8. Demo gutter and downspout
- 10. Route cabling inside house
- 15. Sand, refinish and reinstall door
- 17. Sand and repaint wood trim
- 18. Demo compressor

#

indicates photo location-see plans



Renovations to  
3609  
O St.NW  
Washington DC.  
20007

2-C13-02

Drawing Title

PHOTO REFERENCES

Project No. VA2205-04  
Date 23 JAN 23

AP3



7

10



8

10



17

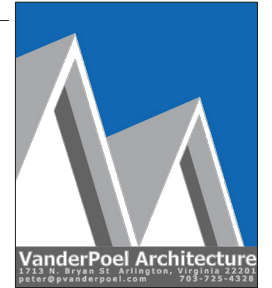
9

Demolition Notes

- 10. Route cabling inside house
- 17. Patch sand and repaint wood trim



indicates photo location-see plans



Renovations to  
3609  
O St.NW  
Washington DC.  
20007

2-C13-02

Drawing Title

PHOTO REFERENCES

Project No. VA2205-04

Date 23 JAN 23

AP4



10

21



11

22



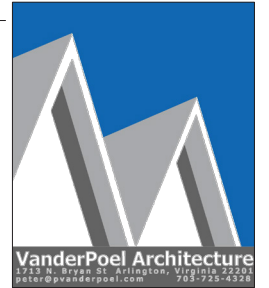
12

23

- Demolition Notes
- 21. Reverse gate swing, install new cross brace
  - 22. Repair fence, demo uninstalled panels
  - 23. Sand and Paint fence base

#

indicates photo location-see plans



Renovations to  
3609  
O St.NW  
Washington DC.  
20007

2-C13-02

Drawing Title

PHOTO REFERENCES

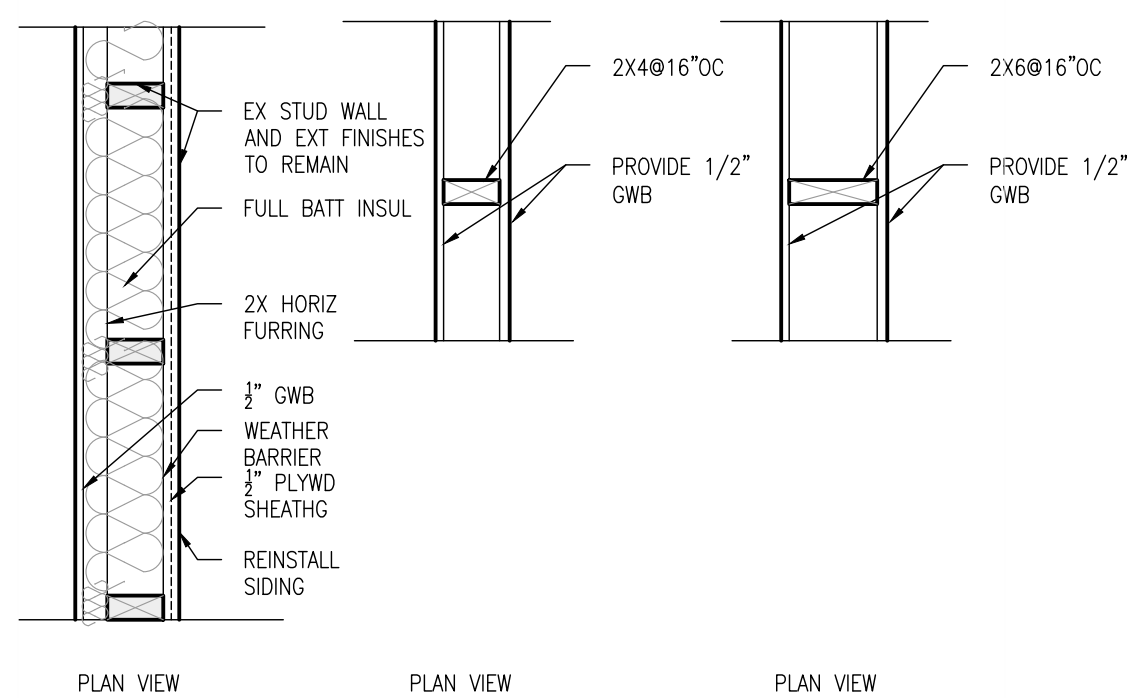
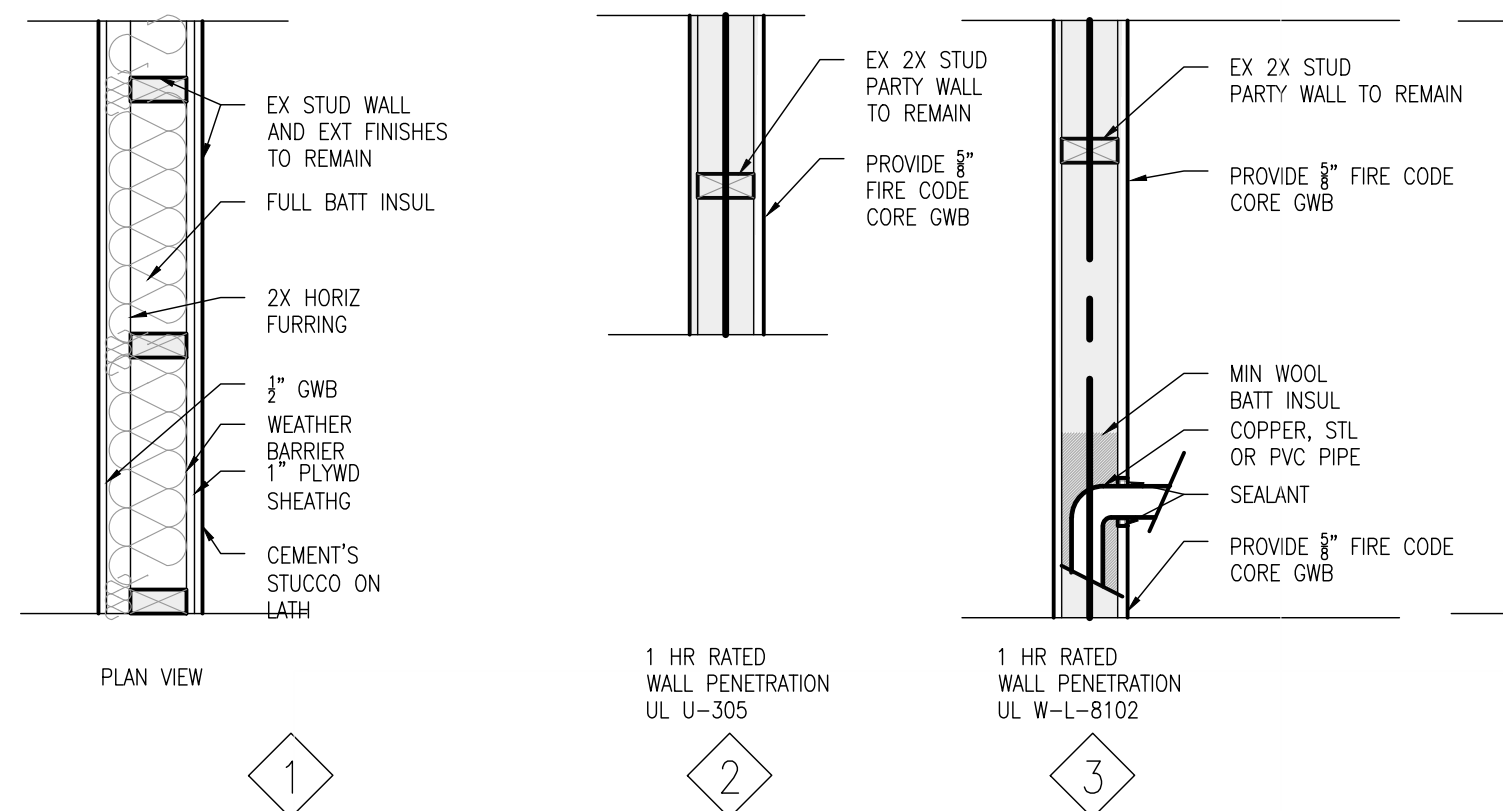
Project No.	VA2205-04
Date	23 JAN 23

AP5

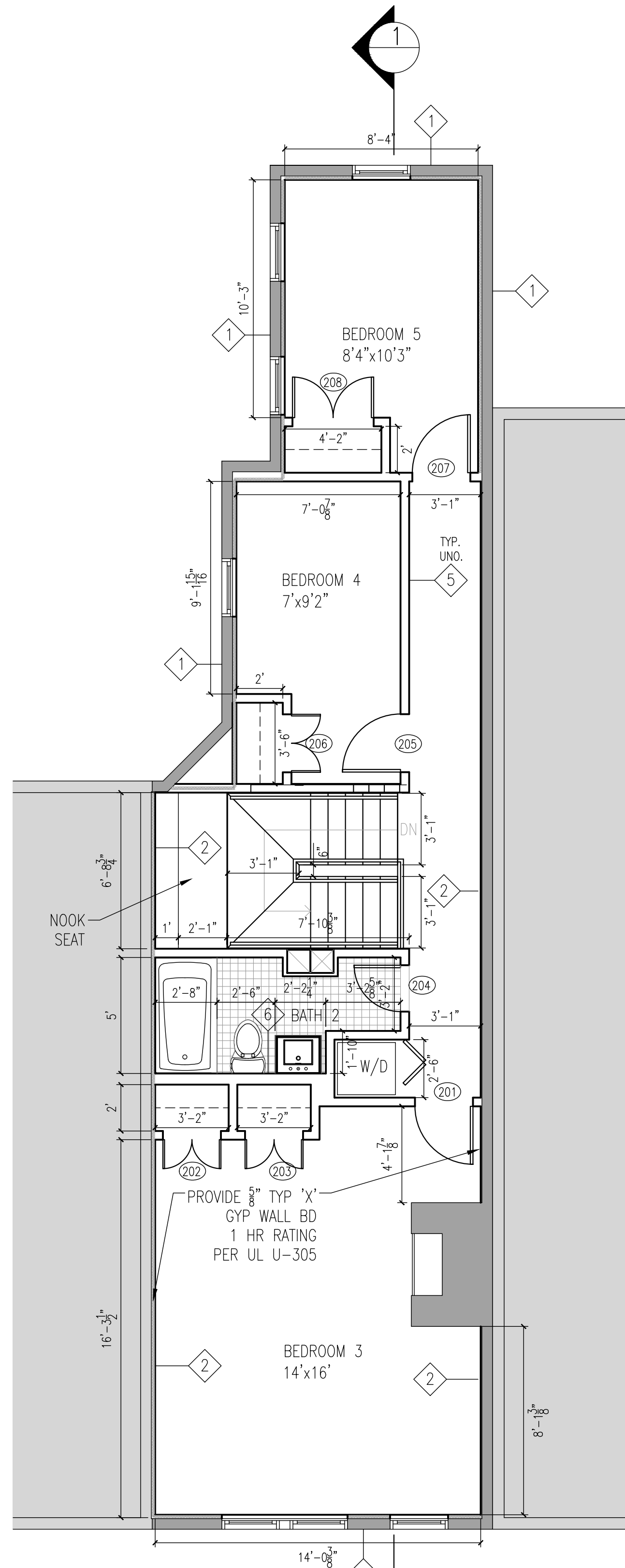


FINISH SCHEDULE						
ROOM	FLOOR	BASE	WALLS	CLG	CROWN	NOTES
KITCHEN	CT	WM623-PNT	GWB-PNT	GWB-PNT		
LIVING	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BR#1	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BR#2	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BATH	CT	CT	MRCWB-PNT	MRCWB-PNT		TILE BATH ADJ WALLS TO 6'-8"
BR#3	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BR#4	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BR#5	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BATH	CT	CT	MRCWB-PNT	MRCWB-PNT		TILE BATH ADJ WALLS TO 6'-8"
MECH	VCT	WM623-PNT	GWB-PNT	GWB-PNT		

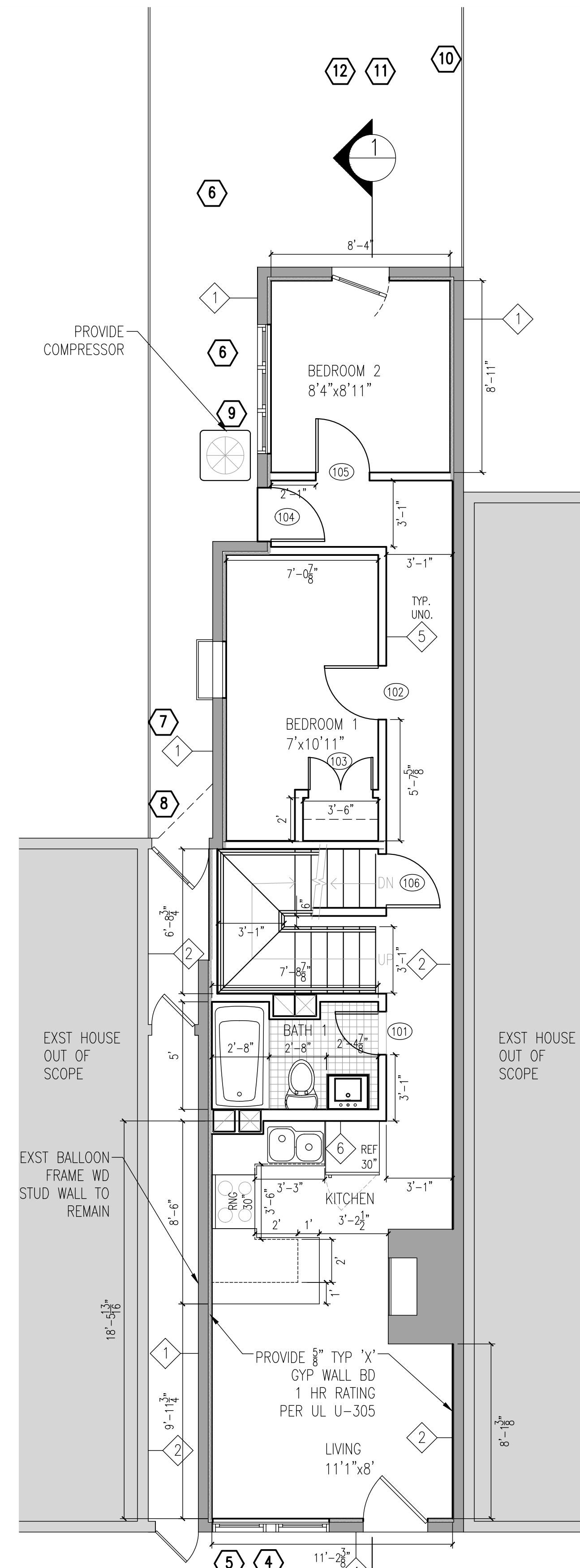
DOOR SCHEDULE						
MK	SLAB DIM	MATL	STYLE	FUNCTION	HDWR	NOTES
101	2'-0"x6'-8"	SCW	6 PANEL	SWG		
102	2'-6"x6'-8"	SCW	6 PANEL	SWG		
103	(2)1'-6"x6'-8"	SCW	3 PANEL	SWG		
104	2'-6"x6'-8"	SCW	6 PANEL	SWG		
105	2'-6"x6'-8"	SCW	6 PANEL	SWG		
106	2'-6"x6'-8"	SCW	6 PANEL	SWG		
201	2'-6"x6'-8"	SCW	6 PANEL	SWG		
202	(2)1'-3"x6'-8"	SCW	3 PANEL	SWG		
203	(2)1'-3"x6'-8"	SCW	3 PANEL	SWG		
204	2'-0"x6'-8"	SCW	6 PANEL	SWG		
205	2'-6"x6'-8"	SCW	6 PANEL	SWG		
206	(2)1'-3"x6'-8"	SCW	3 PANEL	SWG		
207	2'-6"x6'-8"	SCW	LOUVER	SWG		
208	(2)1'-9"x6'-8"	SCW	3 PANEL	SWG		



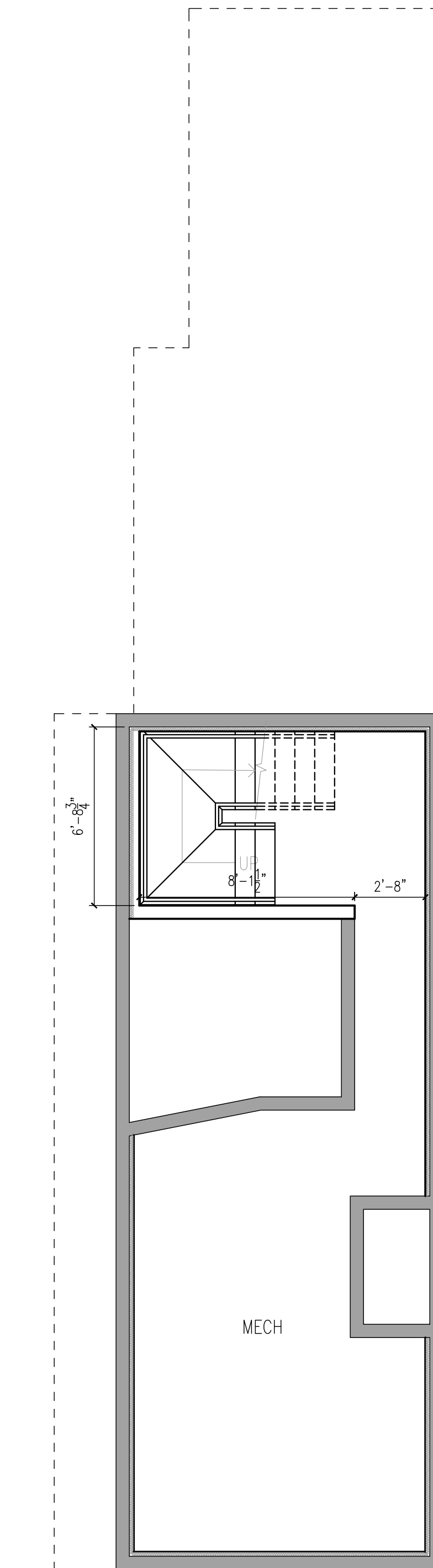
**3 WALL TYPES**  
1/2"=1'-0"



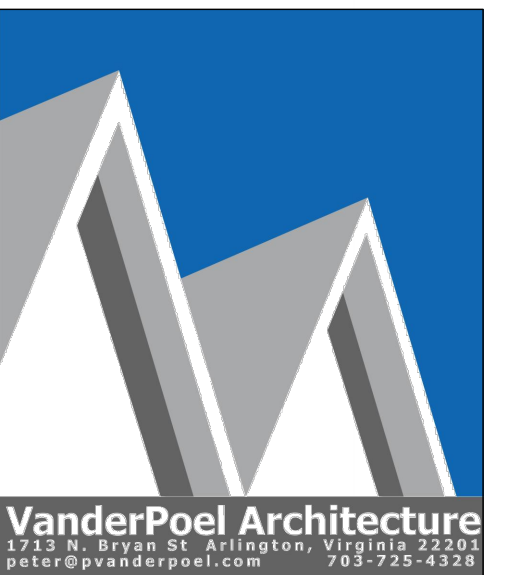
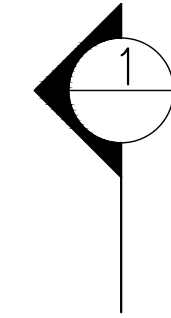
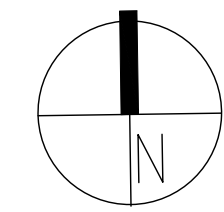
**2 SECOND FLOOR PLAN-PROP**  
1/8"=1'-0"



**1 FIRST FLOOR PLAN-PROP**  
1/8"=1'-0"



**0 BSMT FLOOR PLAN-PROP**  
1/8"=1'-0"



Renovations to  
3609  
O St. NW  
Washington DC.  
20007

2-C13-02

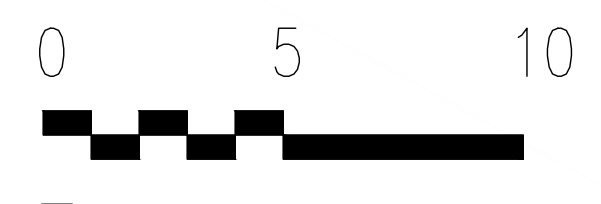
Drawing Title

INTERIORS -  
PROPOSED FLOOR  
PLANS

Project No. VA2205-04

Date 23 JAN 23

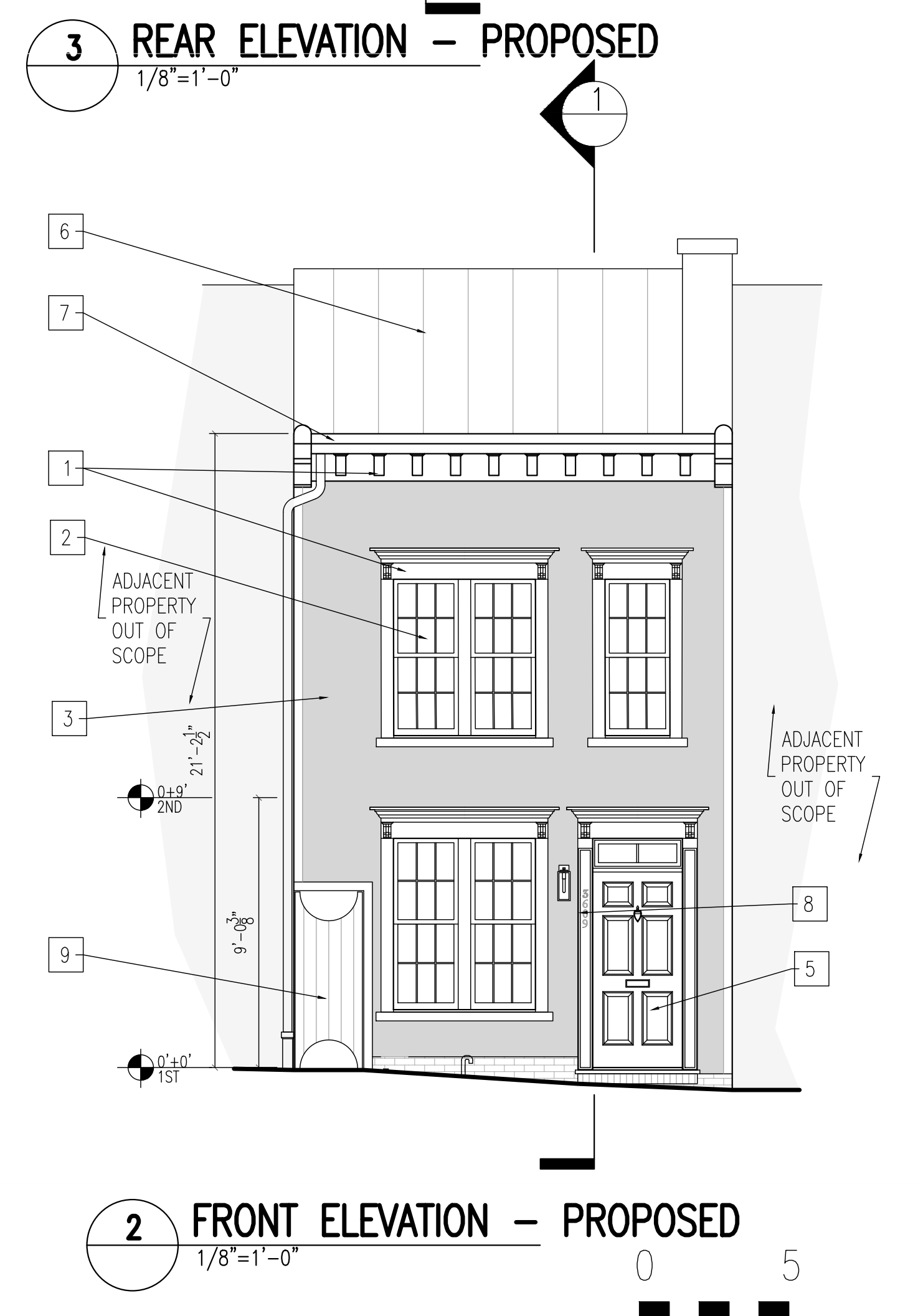
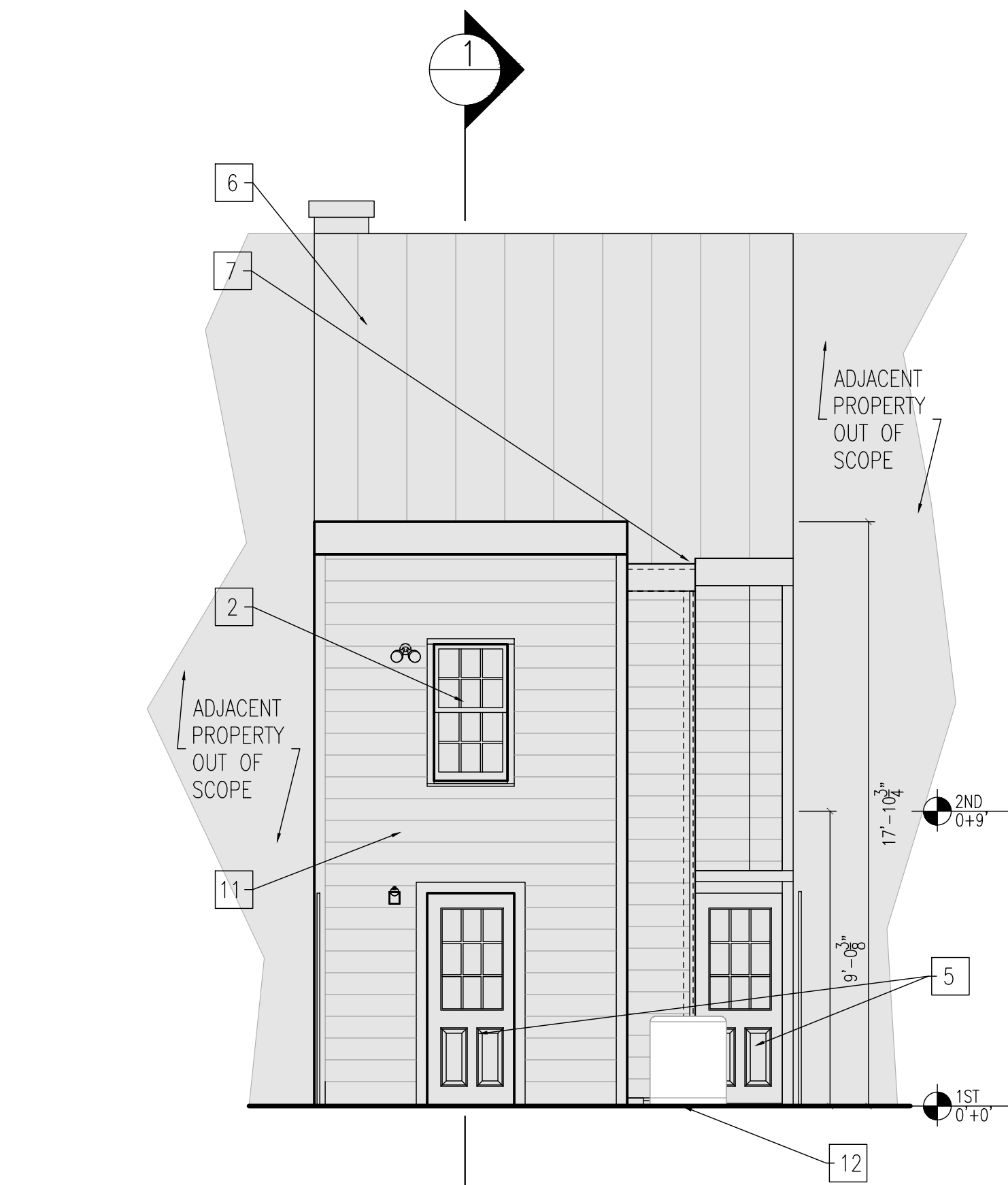
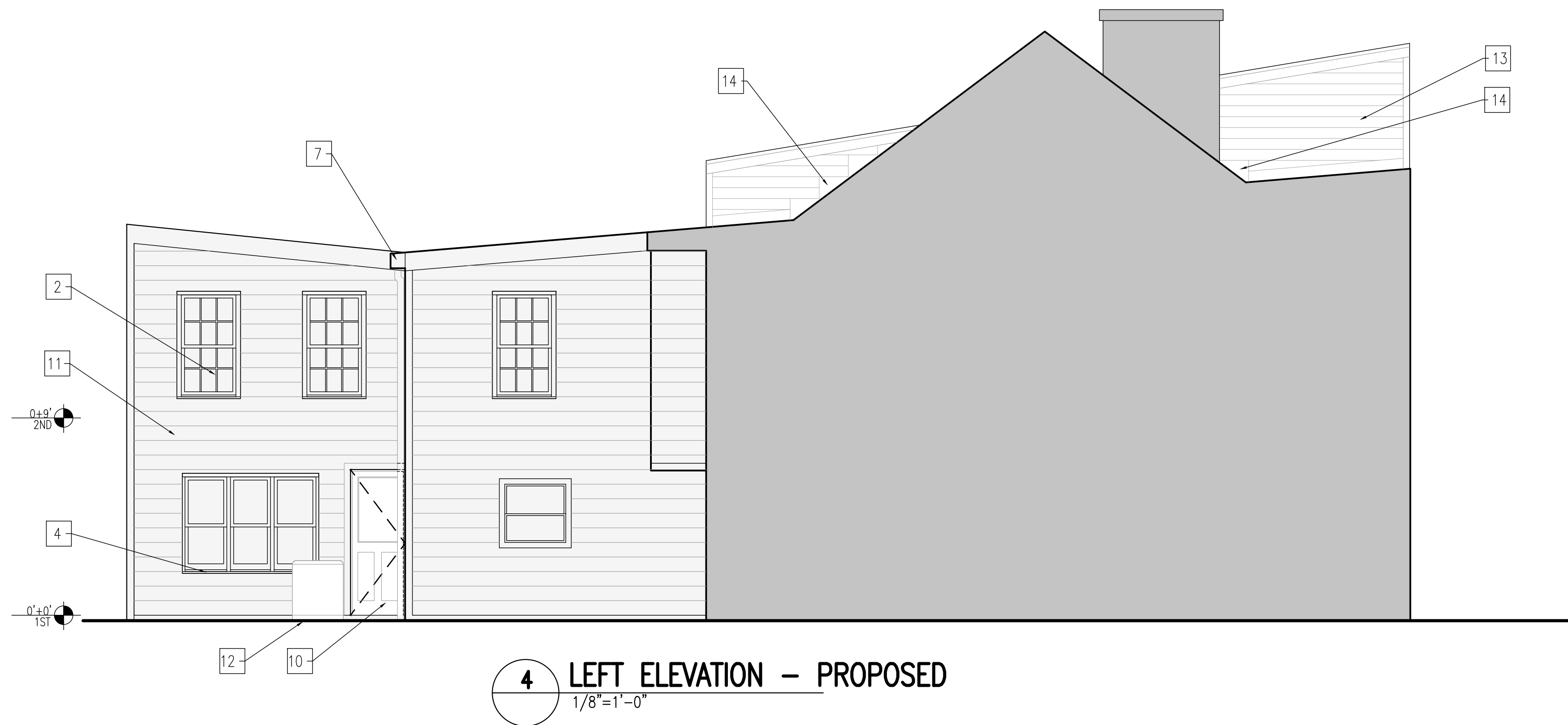
A3



11x17 sheets are 1/2 size

INSULATION SCHEDULE						
LOCATION	TYPE	THK (IN)	R-VALUE/IN	R-VALUE	R VALUE REQ'D	NOTES
FOUNDATION	RIGID	2	5	10	10	EXTEND HORIZ 2' INSID PERI
WALL	BATT	5.5000	3.6300	20	20	
CLG/ROOF	BATT	14	3.5000	49	49	

1. CLEAN, SAND, AND PAINT WD TRIMS.
2. EX WIN TO REMAIN.
3. PROVIDE NEW STUCCO AND WEATHER BARRIER.
4. PATCH, SAND AND PAINT WD TRIM.
5. SAND AND REPAINT DOORS.
6. PROVIDE SS COPPER ROOF.
7. PROVIDE HALF ROUND COPPER GUTTERS AND DOWNSPOUTS.
8. MTL NUMBERS TO REMAIN.
9. REPAIR EX ALLEY DOOR.
10. PROVIDE NEW SCW EGRESS DOOR.
11. CLEAN AND PAINT EX WD SIDING.
12. PROVIDE COMPRESSOR
13. PROVIDE SIDING ON EX ADJACENT WALL.
14. PROVIDE STEP FLASHING UNDERNEATH SIDING.



Renovations to  
3609  
O St. NW  
Washington DC.  
20007

2-C13-02

Drawing Title

BUILDING  
ELEVATIONS -  
PROPOSED

Project No. VA2205-04

Date 23 JAN 23

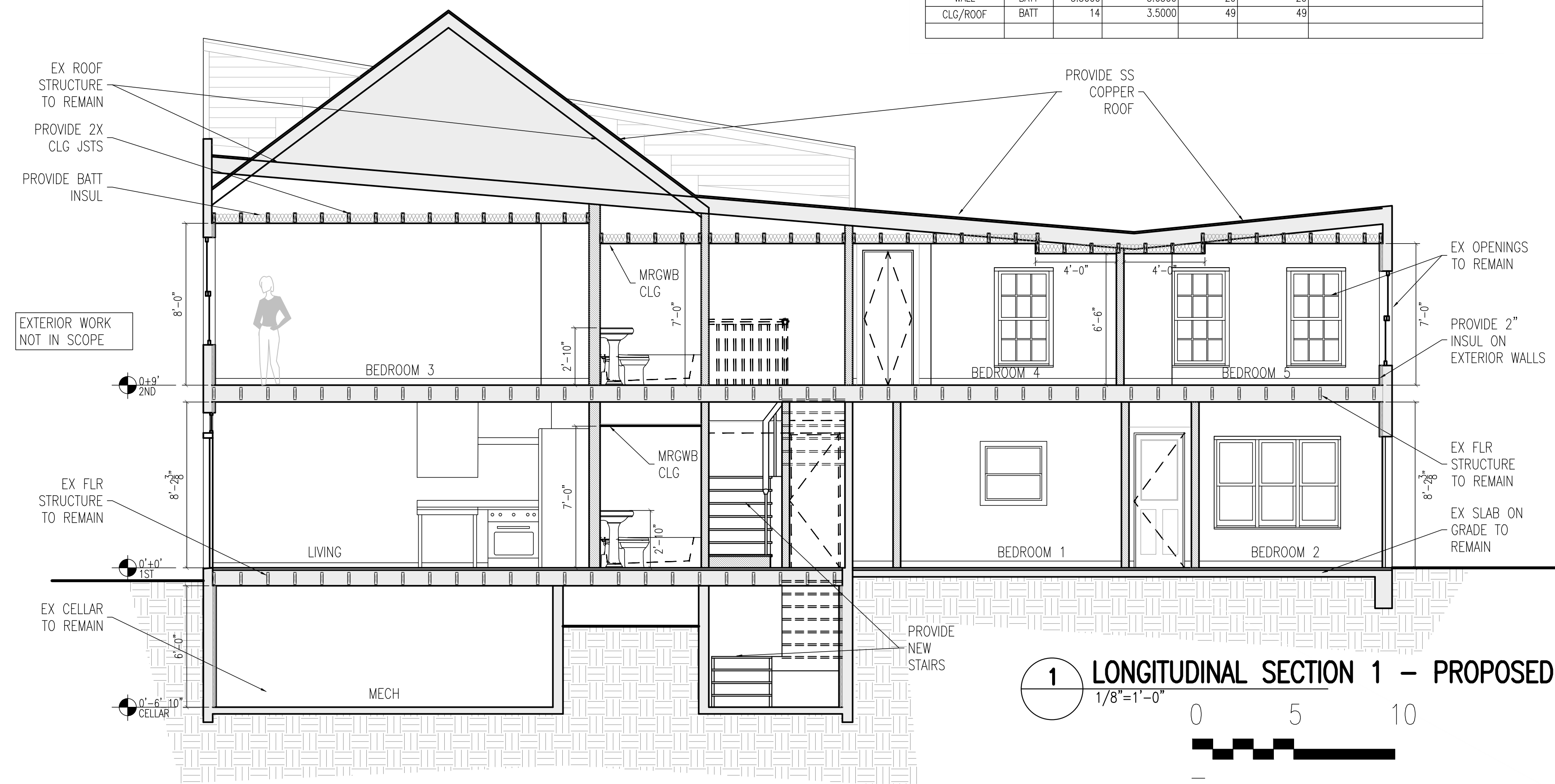
A4



Renovations to  
3609  
O St.NW  
Washington DC.  
20007

2-C13-02

INSULATION SCHEDULE						
LOCATION	TYPE	THK (IN)	R-VALUE/IN	R-VALUE	R VALUE REQ'D	NOTES
FOUNDATION	RIGID	2	5	10	10	EXTEND HORIZ 2' INSID PERI
WALL	BATT	5.5000	3.6300	20	20	
CLG/ROOF	BATT	14	3.5000	49	49	



1 LONGITUDINAL SECTION 1 - PROPOSED  
1/8"=1'-0"

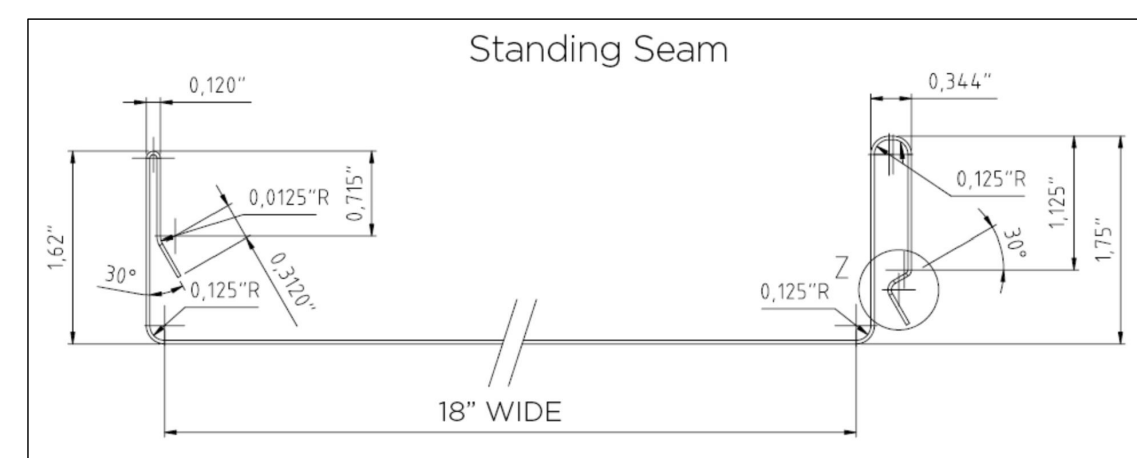
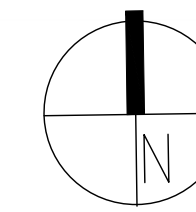
Drawing Title

BUILDING SECTION - PROPOSED

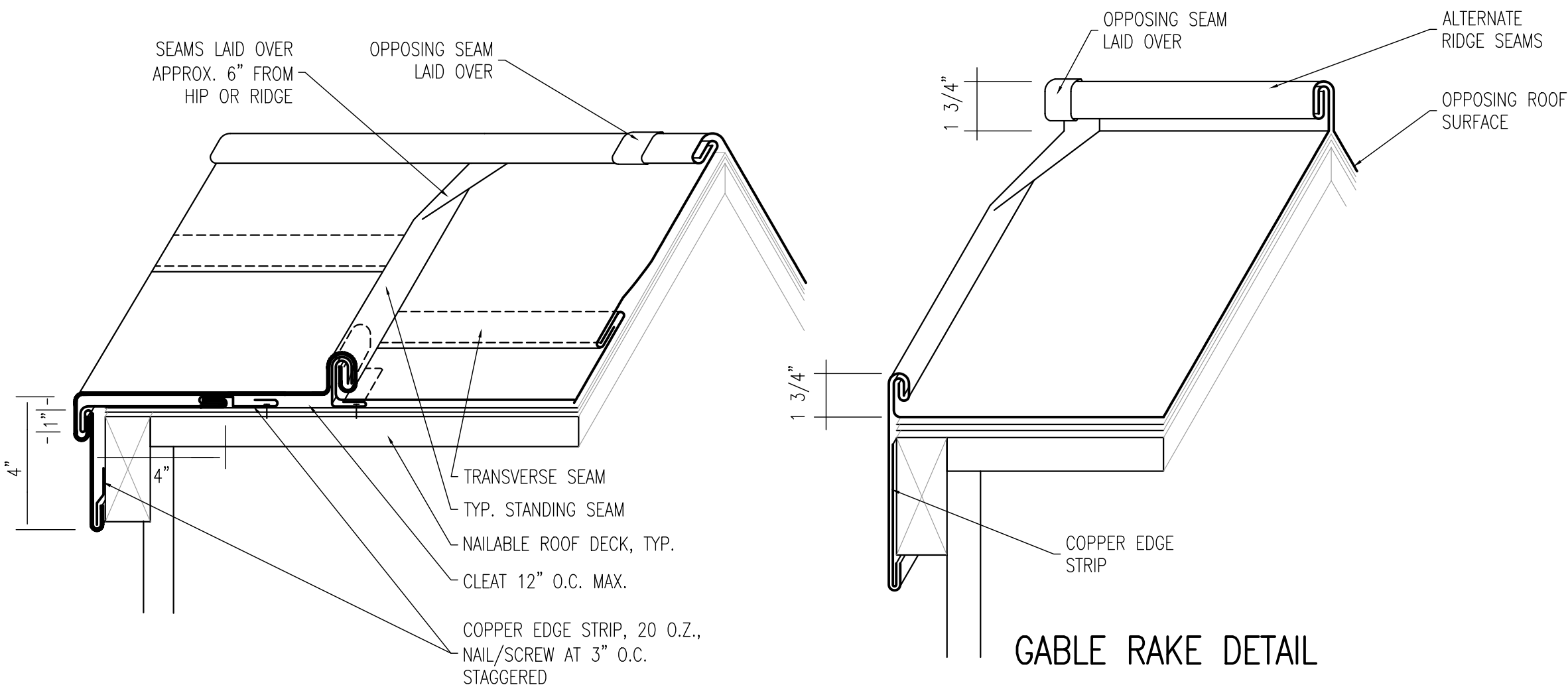
Project No. VA2205-04

Date 23 JAN 23

A5

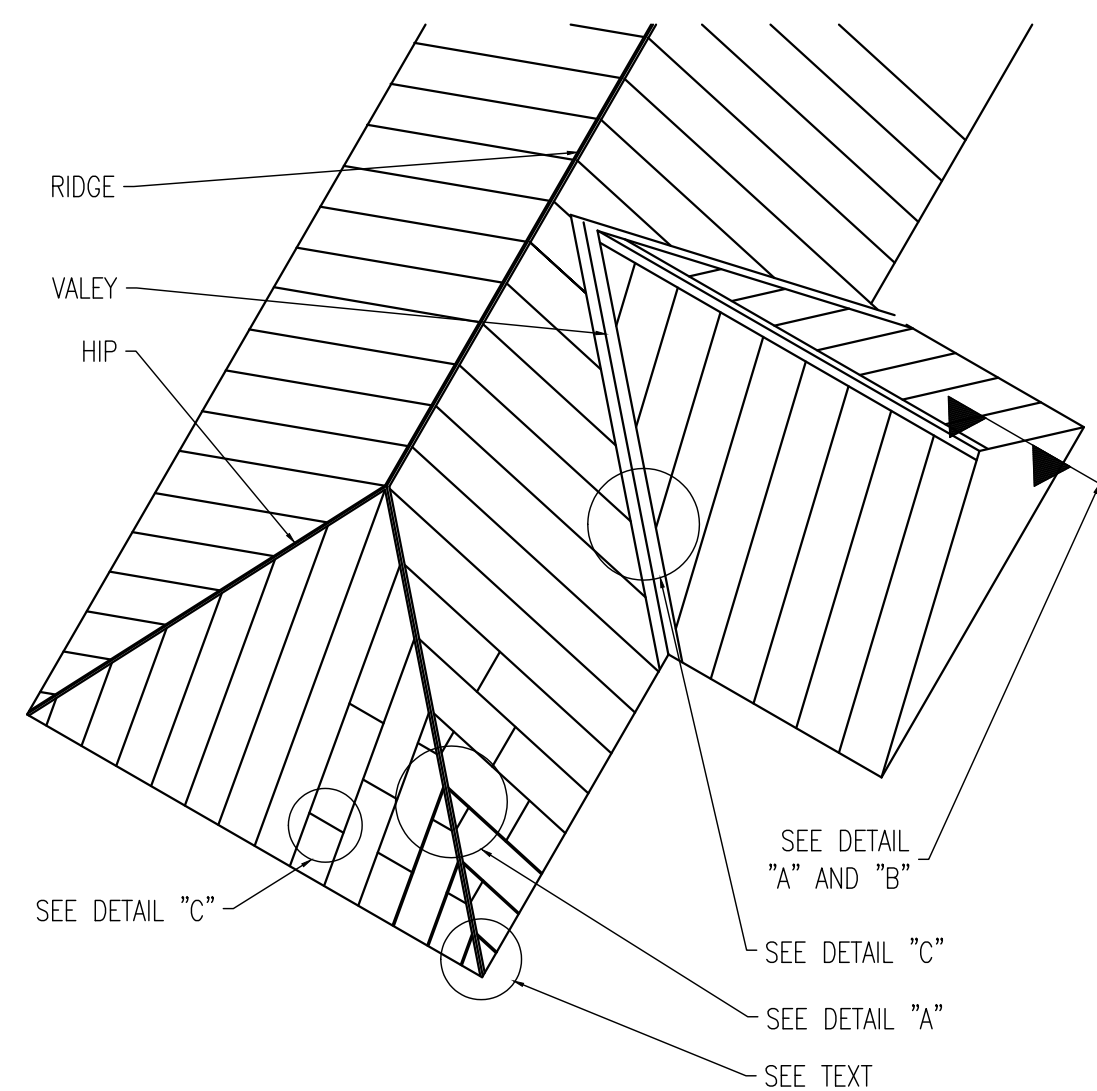


STANDING SEAM  
PANEL DETAIL

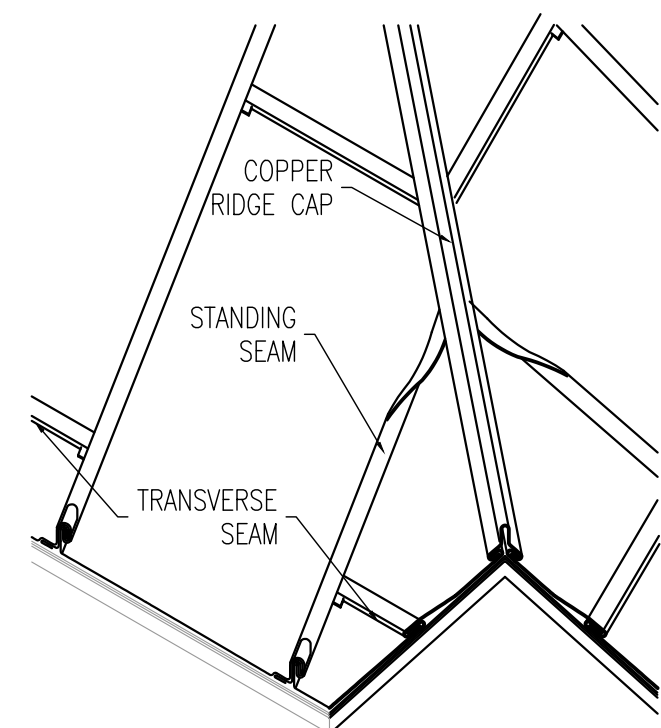


TYPICAL STANDING SEAM

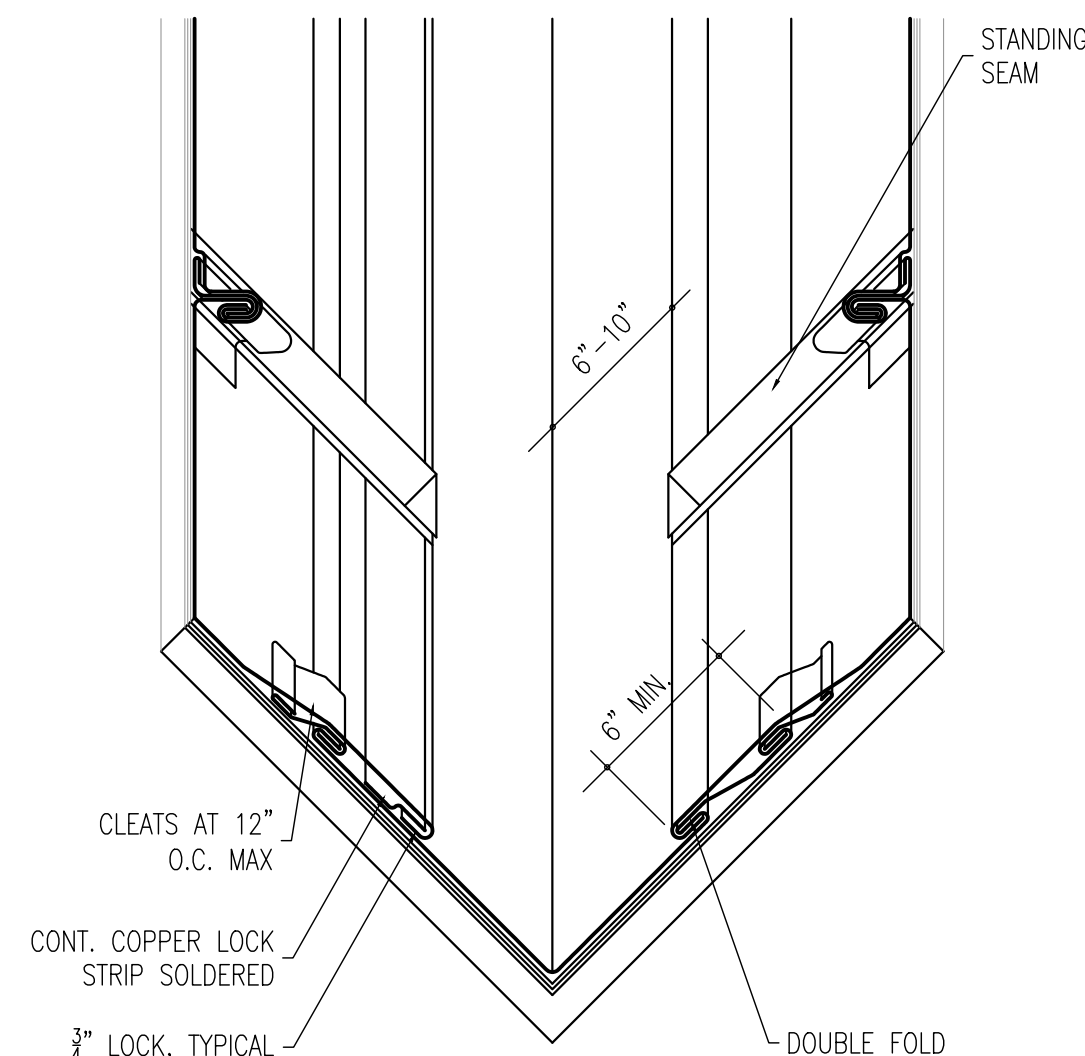
GABLE RAKE DETAIL



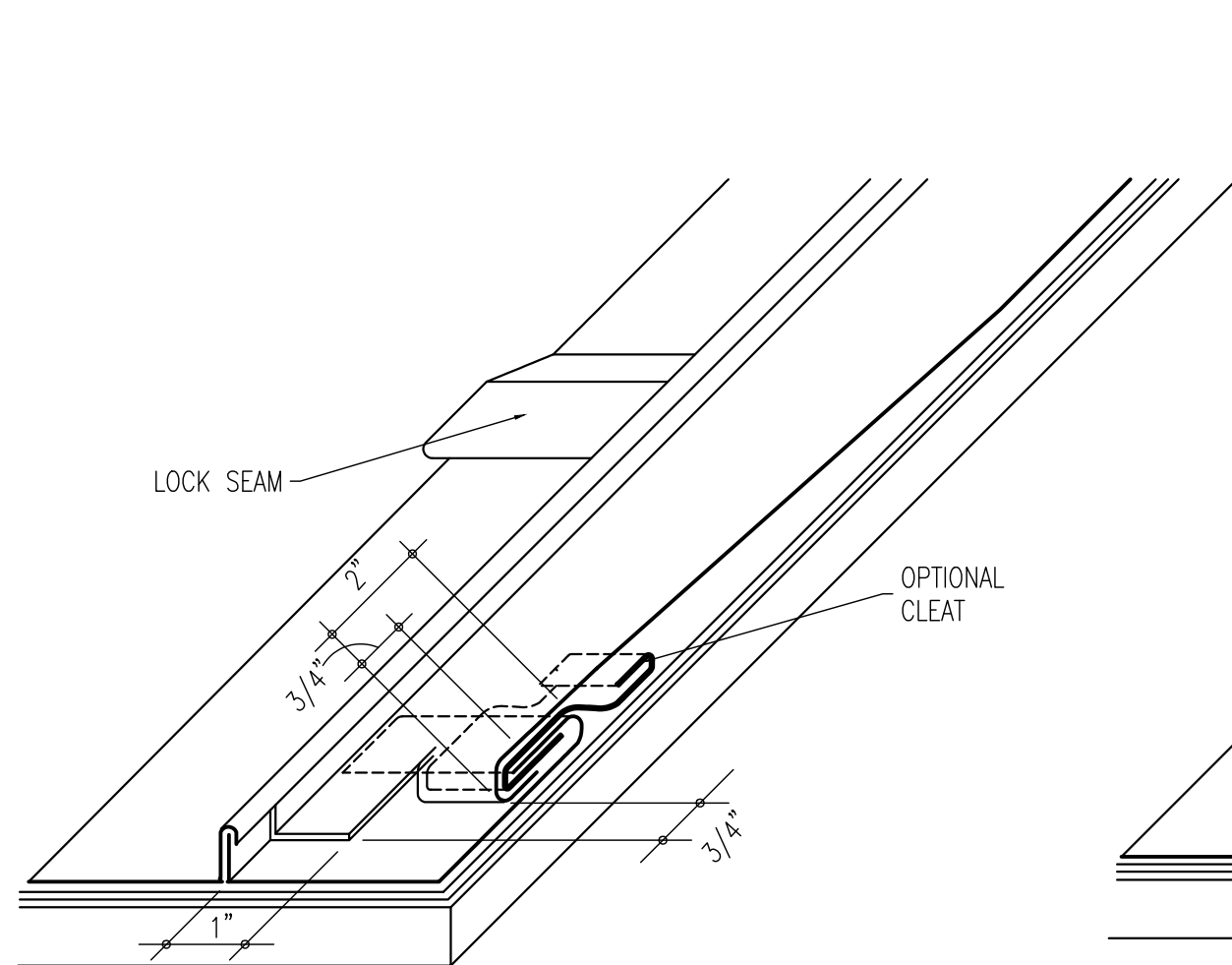
STANDING SEAM ROOF - OVERALL VIEW



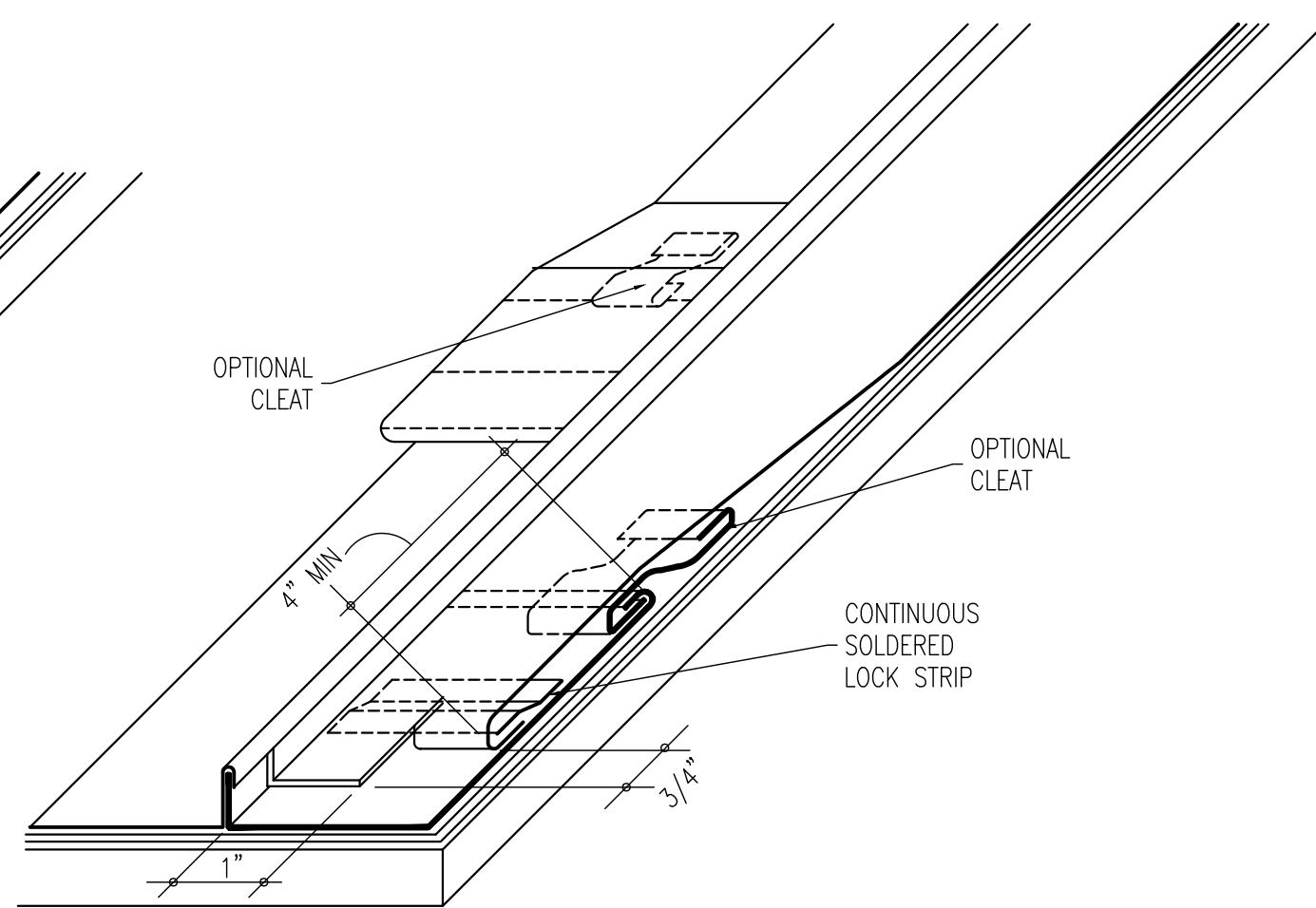
STANDING SEAM HIP DETAIL



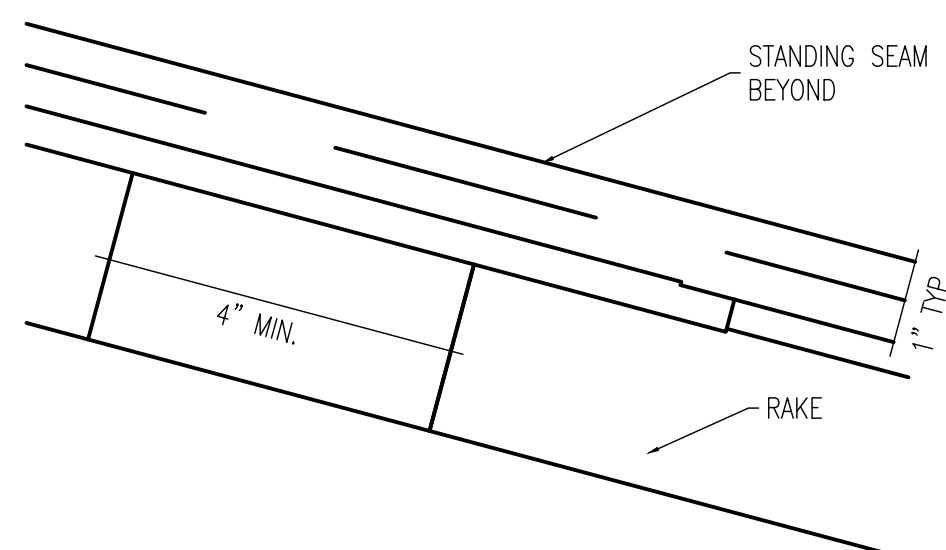
STANDING SEAM,  
VALLEY DETAIL



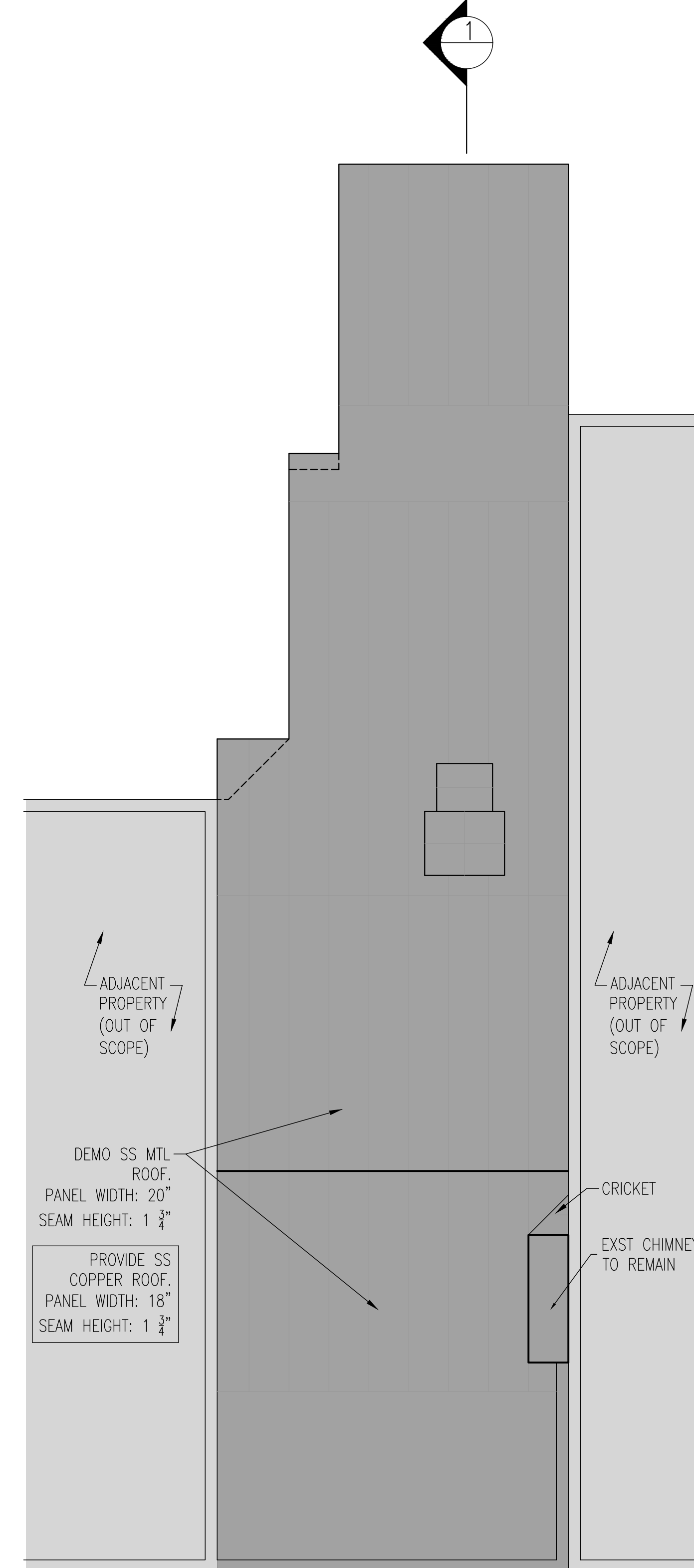
STEEP PITCH DETAIL



LOW PITCH DETAIL



RAKE ELEVATION AT TYPICAL  
STANDING SEAM



1 ROOF PLAN  
1/8"=1'-0"



Renovations to  
3609  
O St.NW  
Washington DC.  
20007

2-C13-02

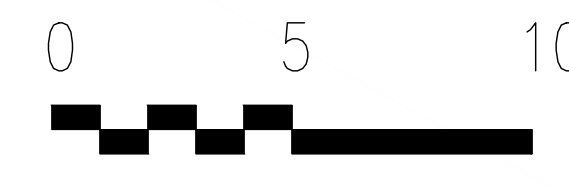
Drawing Title

ROOF PLAN  
AND DETAILS

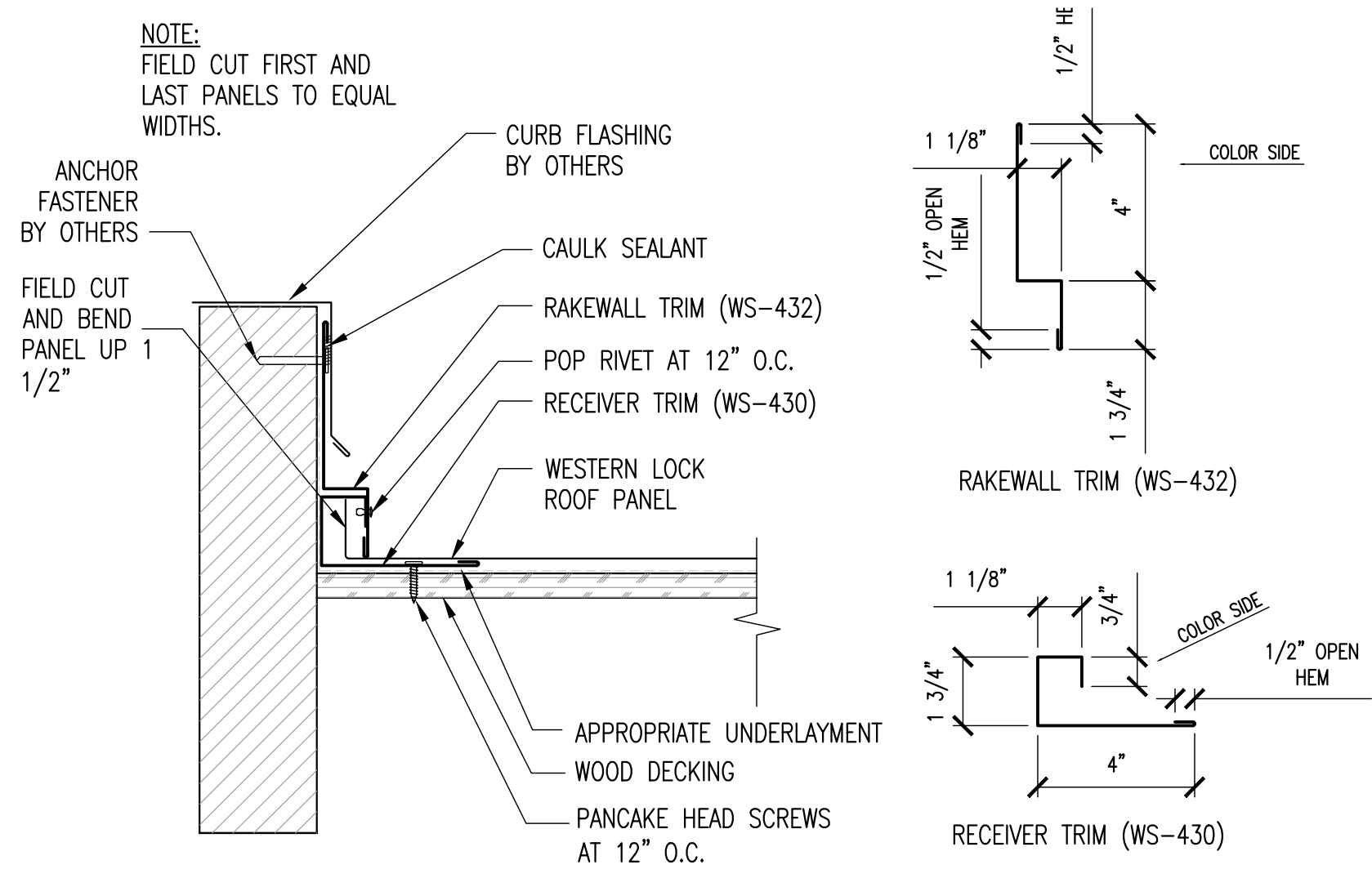
Project No. VA2205-04

Date 23 JAN 23

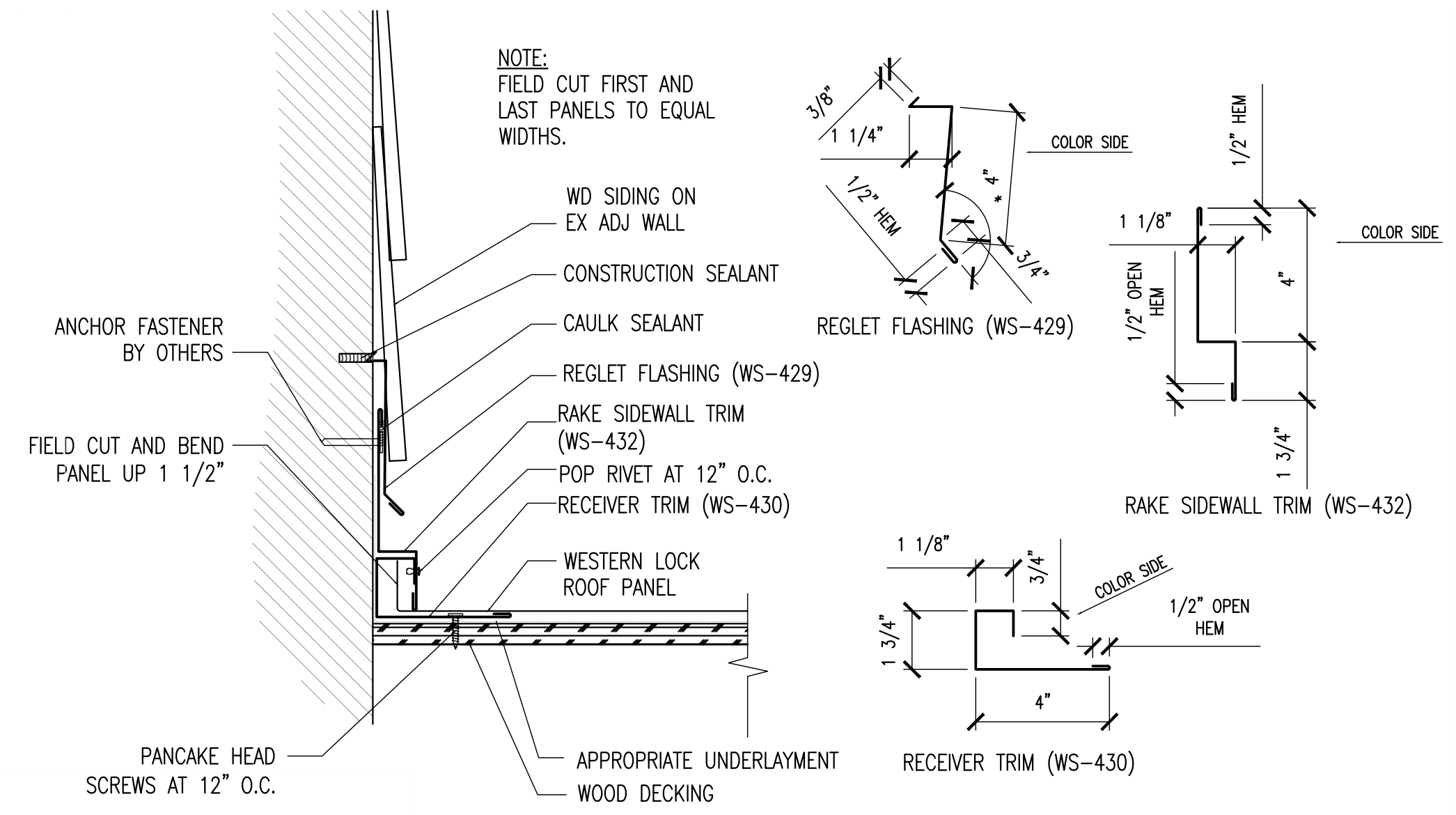
A6



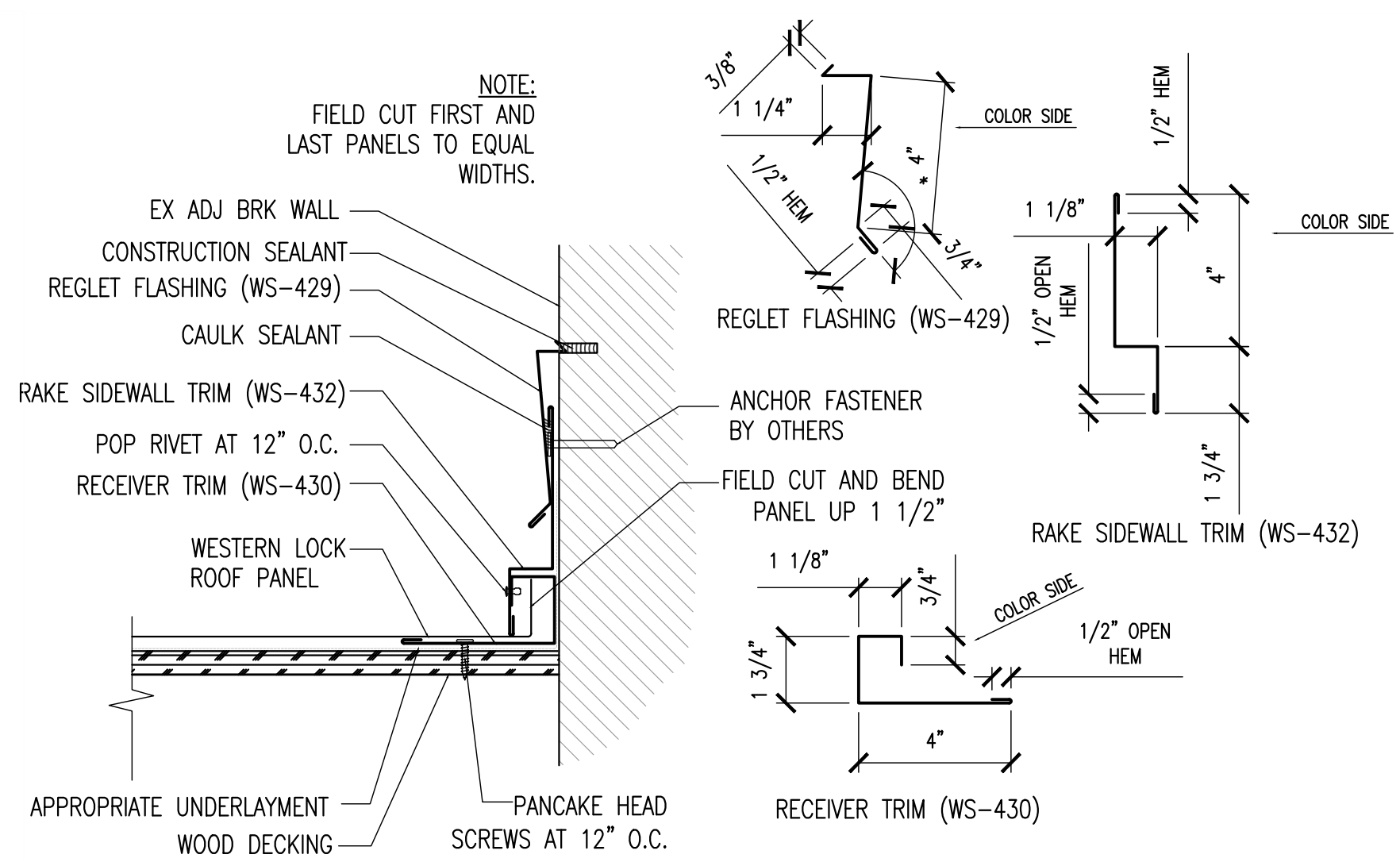
11x17 sheets are 1/2 size



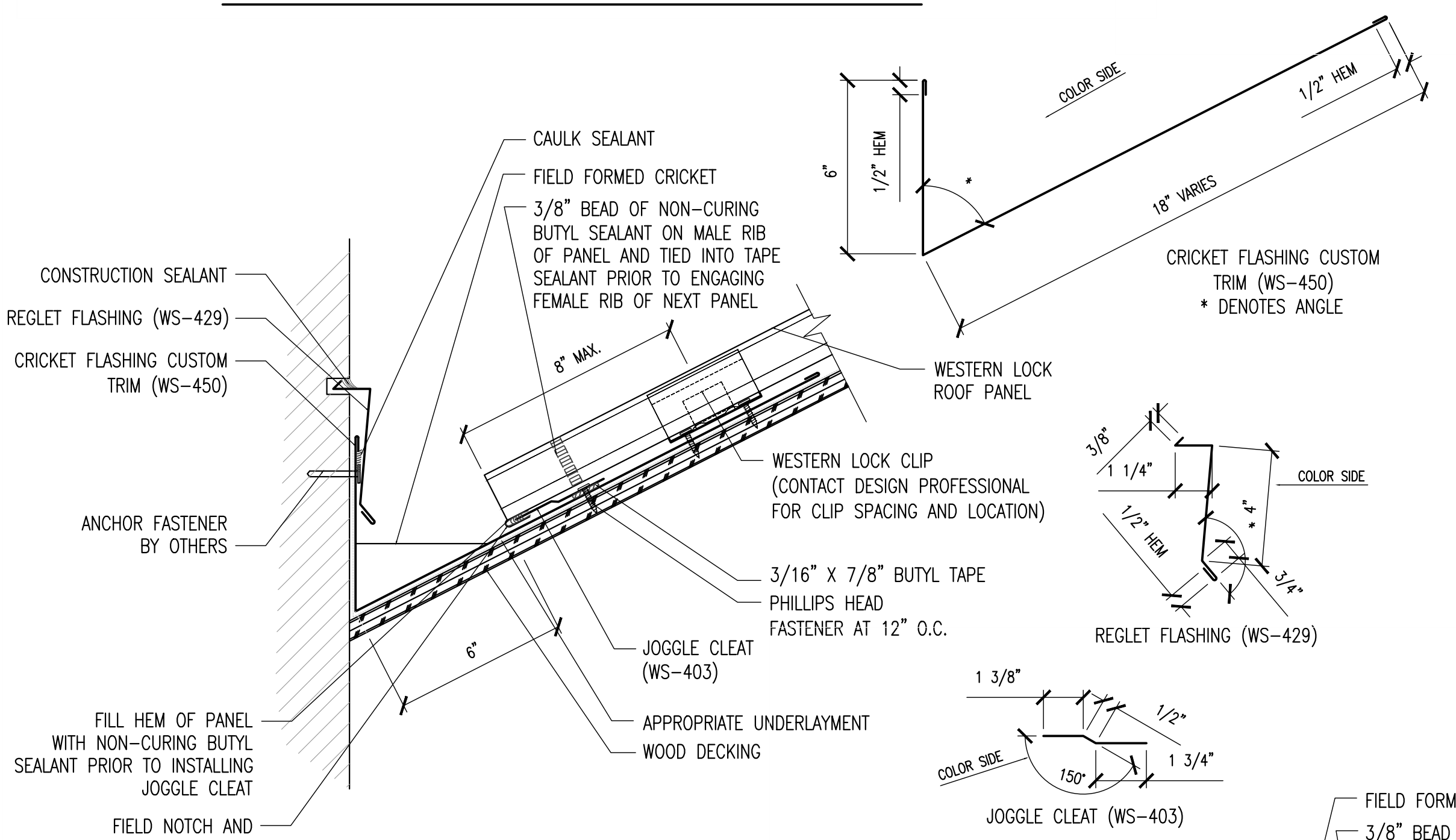
**SIDEWALL AT CURB & CHIMNEY DETAIL**



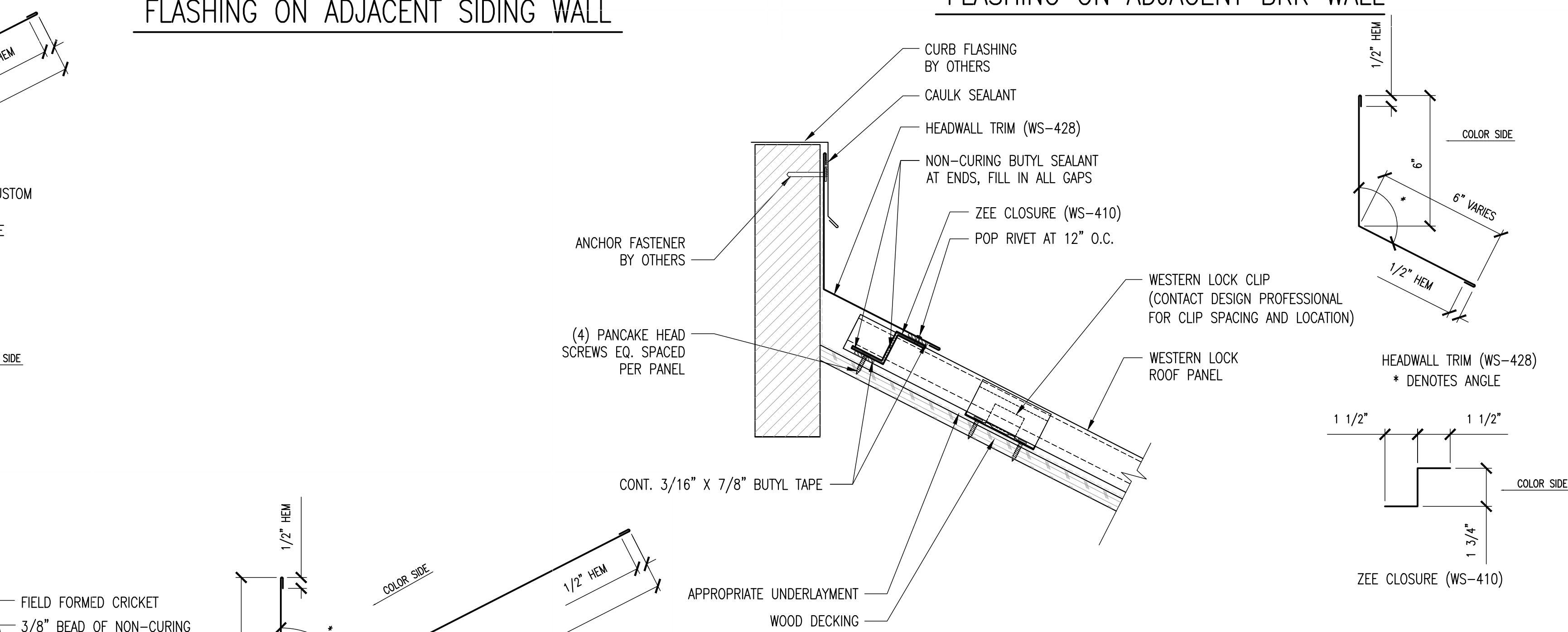
**FLASHING ON ADJACENT SIDING WALL**



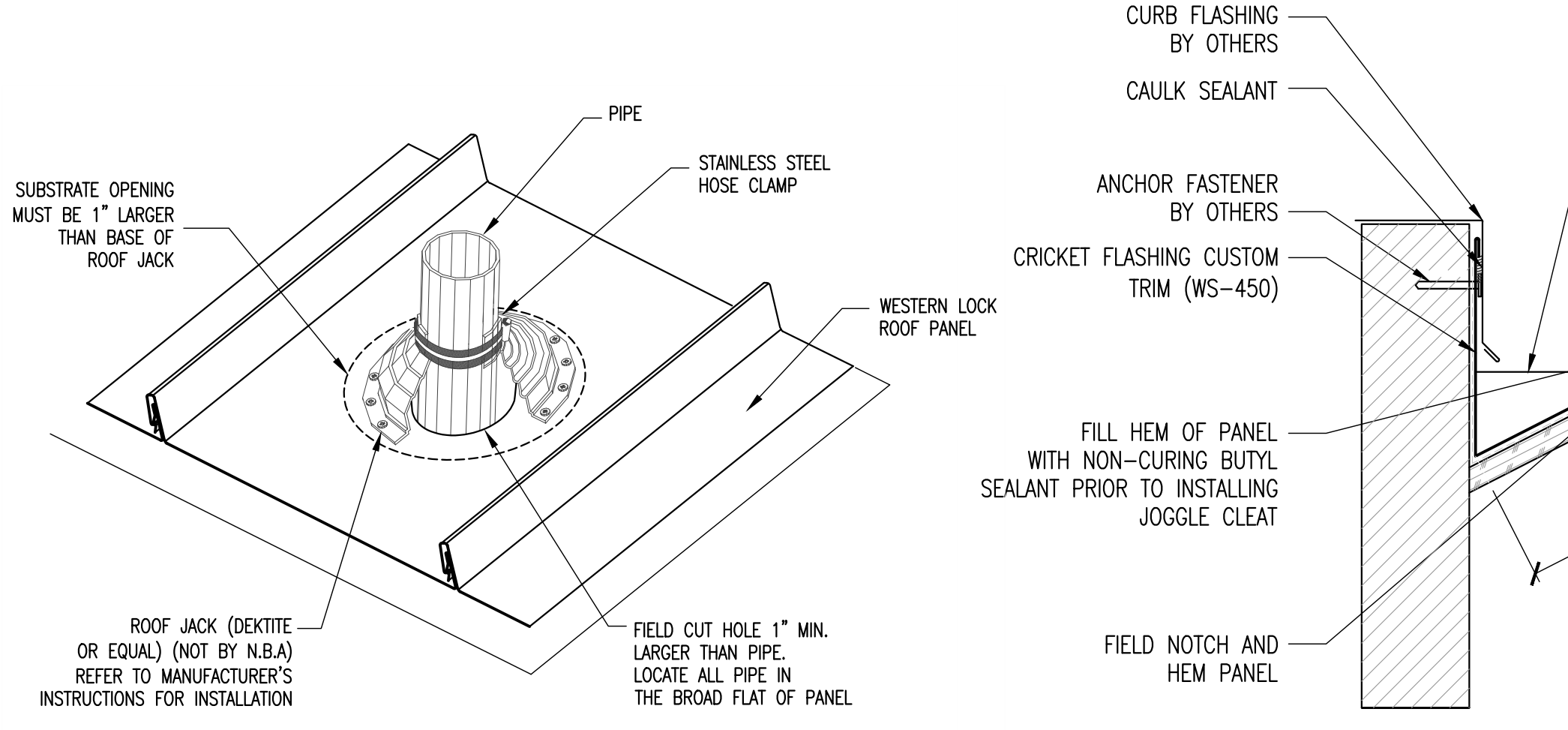
**FLASHING ON ADJACENT BRK WALL**



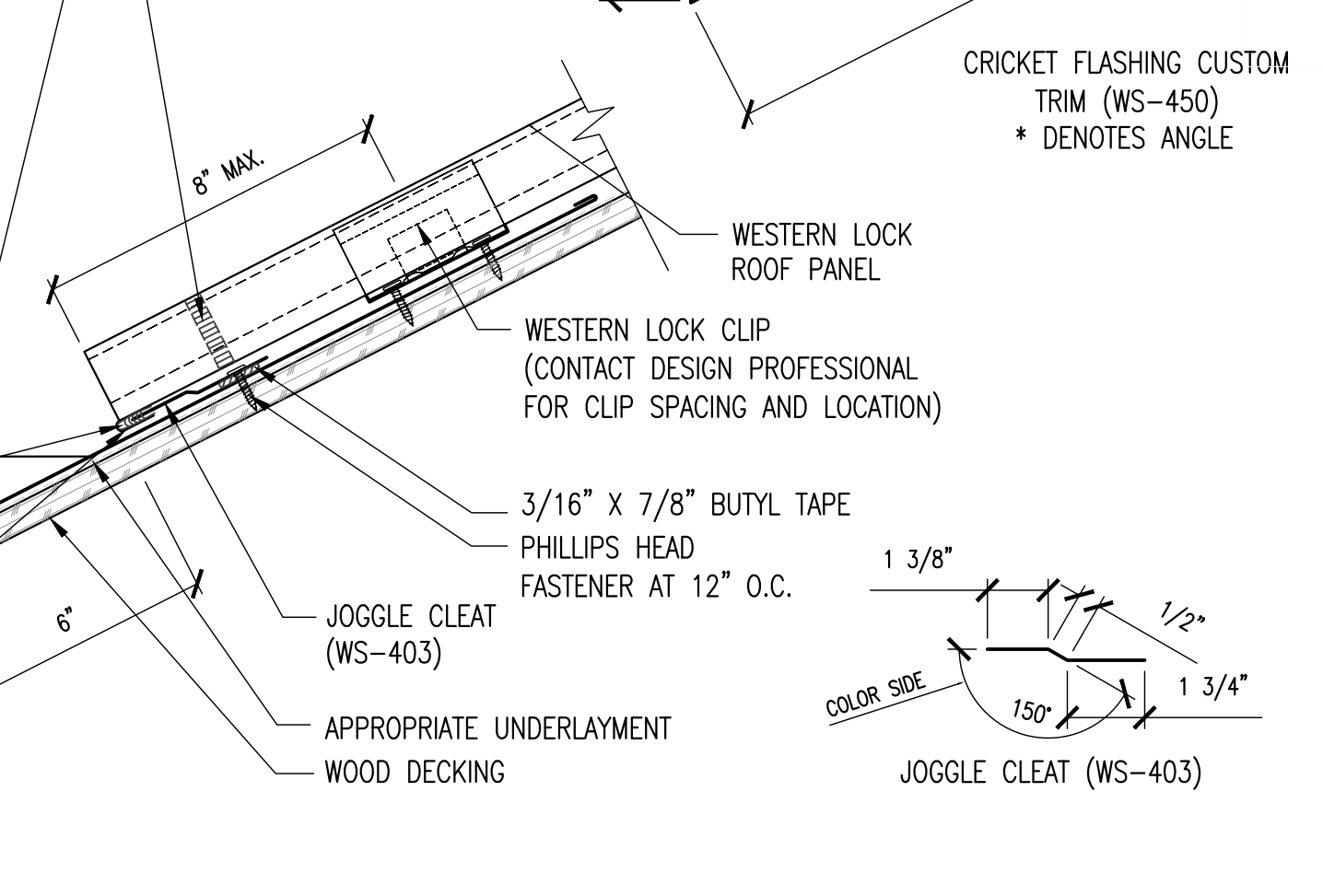
**HALF VALLEY DETAIL**



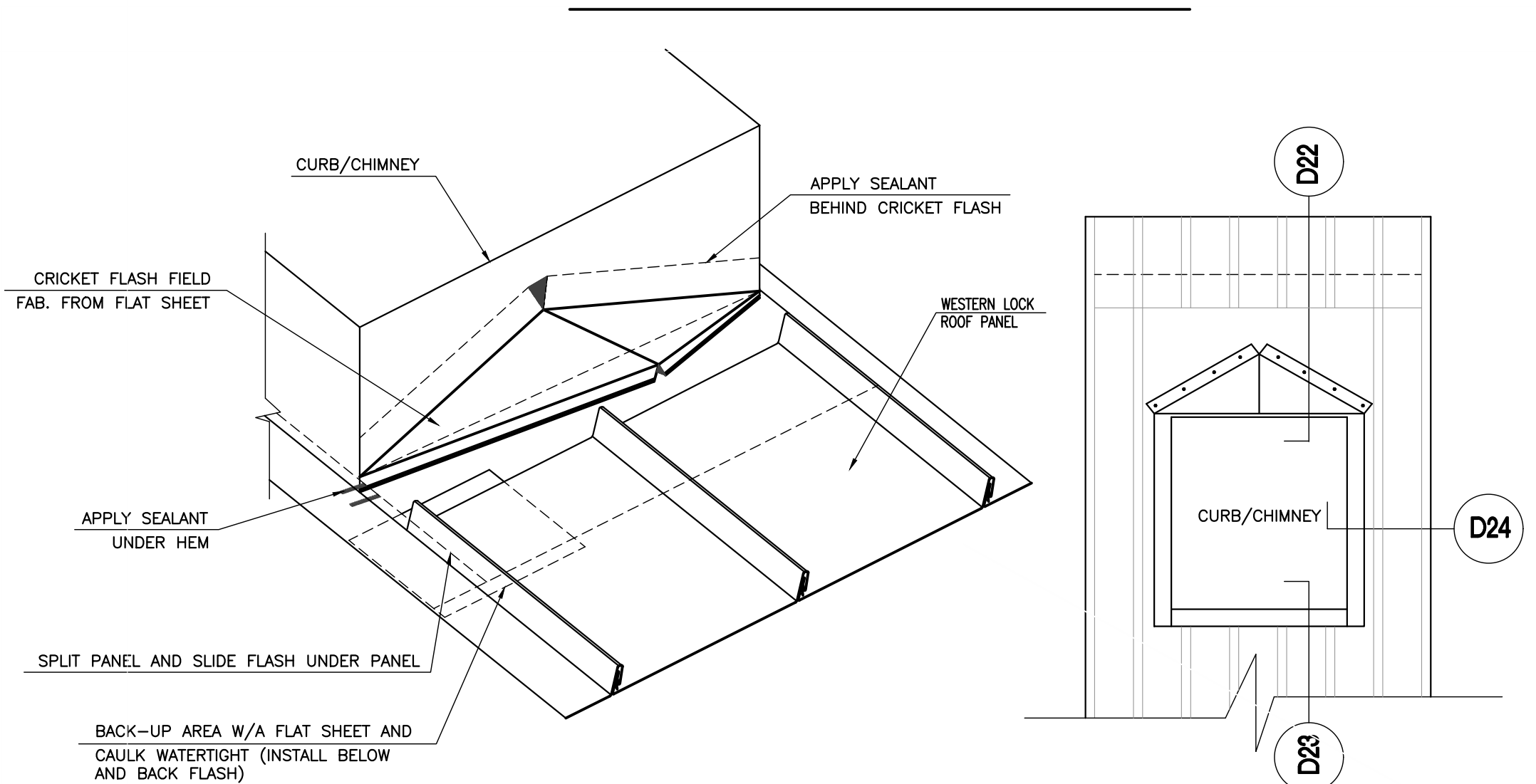
**D24 - PITCHBREAK AT CURB & CHIMNEY DETAIL**



**PIPE PENETRATION DETAIL**



**D23 - CRICKET FLASHING AT CURB & CHIMNEY DETAIL**



**ISOMETRIC CURB**

**PLAN VIEW**



Renovations to  
3609  
O St. NW  
Washington DC.  
20007

2-C13-02

Drawing Title

ROOF DETAILS

Project No. VA2205-04  
Date 23 JAN 23

A7

11x17 sheets are 1/2 size

23 Jan 23

Re: Response to Comments:  
Project Address:3609 O St. NW



address  
1713 N. Bryan Street  
Arlington, VA 22201

tel 703-725-4328  
url www.pvanderpoel.com

Below are listed comments received for the project with response italicized and indented.

VA2205-04  
3609 O St.

1. Can the electrical box be relocated to a side or rear elevation?  
*It may be possible to shift the location to the abandoned alley that appears on the left side of the elevation. We will coordinate with Pepco*
2. Please provide existing and proposed pan widths and seam heights for the roof replacement.  
*Information regarding the seam height and panel width has been added to the drawings.*
3. The notes on photographs indicate the alley door is to be repaired whereas the drawings say it will be replaced. Please revise for consistent specs. The replacement door should be wood.  
*Alley door is be repaired. Drawings will be updated to reflect this. A4/AP3*
4. Please show the existing and proposed compressor(s) on the plans and elevation.  
*The revised plans show the existing compressor and a new compressor. See A0/A1*
5. Why is a window on AP1 marked for roof demolition? Does this note refer to coping or is it a typo?  
*Mark deleted from photo.*
6. Please add the fence to the site plan so it is clear where it is located.  
*Fence added to site plan*