



Government of the
District of Columbia

APPLICATION AND REFERRAL TO THE US COMMISSION OF FINE ARTS FOR OLD GEORGETOWN REVIEW

OG
HPA

In accordance with the Old Georgetown Act of 1950 (Public Law 808, 81st Congress) this application/transmittal is being transmitted to the US Commission of Fine Arts (CFA) for review and recommendation before a building permit can be issued. Work in Georgetown is also subject to a coordinated historic preservation review under the DC Historic Landmark and Historic District Protection Act of 1978. These reviews are initiated with the completion and submission of this form.

THIS IS A REQUEST FOR THE FOLLOWING REVIEW BY THE COMMISSION OF FINE ARTS:

- ☒ **CONCEPTUAL REVIEW** to receive guidance at the early stages of design
- ☐ **PERMIT REVIEW** to receive a recommendation on building permit application No. _____
I have submitted a permit application with the DC Department of Consumer and Regulatory Affairs

1. OWNER, APPLICANT, AND PROPERTY INFORMATION

Project Address: 1436 36th St NW, Washington, D.C. 20007

Square: 1248 Lot: 0129 (To find your square and lot, see www.propertyquest.dc.gov)

Property Owner's Name: Georgetown University

Owner Address (if different from project address): 3700 "O" St. NW, Washington, D.C. 20007

Owner Phone: 202-934-6270 Owner Email: nh627@georgetown.edu

Applicant's Name (if different from owner): Anthony Gammon, PE, AVP of Capital Projects

Agent's Capacity: ☐ Tenant ☐ Architect ☐ Contractor ☐ Contract Purchaser ☐ Expediter ☒ Other

Agent Address (if different from owner): _____

Agent Phone: _____ Agent Email: _____

- ☐ I am currently the owner of the property
- ☐ I am a homeowner currently receiving the DC homestead deduction for this property
- ☒ I am an authorized representative of the property owner
- ☐ I am or represent a potential purchaser of the property

2. SUBMISSION MATERIALS FOR THE COMMISSION OF FINE ARTS AND HISTORIC PRESERVATION REVIEW

All materials must be submitted electronically via email to historic.preservation@dc.gov.

The following digital materials are included with this application:

- ☒ Scaled drawings, including, as applicable, floor plans, elevations, details, and a site plan sufficient to illustrate the footprint, location, height, massing, design, and materials of the proposed work and its surrounding context; site plans should show the existing footprint of the property and adjacent buildings.
- ☒ Comprehensive exterior photographs of the property, showing area of proposed work, views from the street and the public alley (if applicable) and context photos (e.g., adjacent buildings, immediate surroundings, and the areas of proposed work)

For more information on submission requirements, see www.cfa.gov/project-review/old-georgetown or contact CFA staff at 202-504-2200

3. PROJECT DESCRIPTION (CHECK ALL THAT APPLY)

☐ Addition ☒ Exterior Alteration or Repair ☐ New Construction ☐ Subdivision ☐ Other

Briefly describe the nature of the project: _____

Replacement of existing siding; repair of existing railing; installation of new rear elevation window

(over)

Is the proposed work visible from a public street or alley?

YES NO UNSURE

☒ ☐ ☐

Will there be work on the front of the building or in the front yard?

☒ ☐ ☐

Does the project include work in public space?

☐ ☒ ☐

Does the project include removal of roof or floor framing or bearing walls?

☐ ☒ ☐

Is this a Fair Housing Act request for "reasonable accommodation"?

☐ ☒ ☐**4. ADDITIONAL INFORMATION FOR LARGER PROJECTS**

For renovation or new construction projects exceeding 20,000 square feet, attach a full narrative description indicating the general nature of the project, program of uses, estimated gross floor area by use, number of residential units, scope of preservation work, and any other pertinent features or benefits, including aspects of sustainability. *Homeowners proposing work on their own house do not need to provide this information.*

5. EASEMENTS

YES NO UNSURE

Is there a conservation easement on the property?

☐ ☒ ☐

If yes, have you discussed the project with the easement holder?

☐ ☒ ☐**6. COMMUNITY CONSULTATION**

YES NO UNSURE

Have you shared project information with abutting neighbors?

☒ ☐ ☐

Have you contacted the affected Advisory Neighborhood Commission (ANC 2E)?

☒ ☐ ☐

Have you contacted any neighborhood community organizations?

☒ ☐ ☐

For more information about project review by ANC 2E, see www.anc2E.com or call the ANC at 202-338-7427

7. ZONING REGULATIONS AND CONSTRUCTION CODE

YES NO UNSURE

Will the project cause a change in building footprint or lot occupancy?

☐ ☒ ☐

Are any zoning variances or special exceptions required for the project?

☐ ☒ ☐

If yes, have you discussed the project with the Zoning Administrator?

☐ ☒ ☐

If yes, have you discussed the project with the Office of Planning?

☐ ☒ ☐

Is any building code relief required for the project?

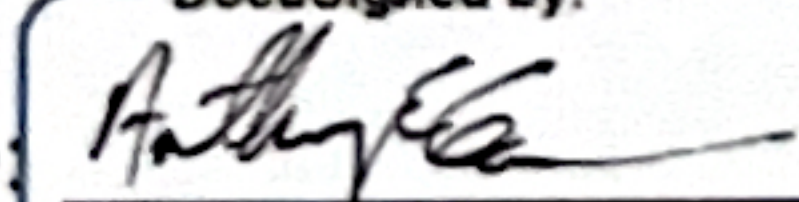
☐ ☒ ☐

Briefly describe the nature of any zoning variances or code relief being sought: _____

N/A

8. CERTIFICATION

I hereby certify that the information given in this application is true and accurate. If applying as an agent of the owner, I certify that I have the owner's permission to make this application.

Signature:  Date: 2/4/2023

636A5E2738214BC...

When completed, submit this form with all plans, photographs, and other attachments to the Historic Preservation Office (HPO) via email to historic.preservation@dc.gov. Upon review of this submission, CFA or HPO staff may contact the owner or agent for consultation, and may request additional information if determined necessary to review the project.

Referral to CFA or the Historic Preservation Review Board, if required, may be deferred if information is not received within sufficient time to allow staff evaluation and preparation for review. All application materials are part of the public record and are made available to the public for inspection. For more information, see www.cfa.gov or www.preservation.dc.gov.



Historic Preservation Office
DC Office of Planning
(202) 442-8800
historic.preservation@dc.gov

District of Columbia
Office of Planning



ABBREVIATIONS

& Z @ L #	AND ANGLE AT CENTERLINE CHANNEL DIAMETER NUMBER, POUND(S)				
AC ACB ACM ACOUS ACP ACT AD ADJ ADR AFF ANC AHU AL/ALUM ALT ANUN ANOD AP APC APPROX ARCH ARGW AVG AWP	AIR CONDITIONING ACOUSTICAL BAFFLE ARCHITECTURAL CONCRETE MASONRY ACOUSTICAL CEILING PANEL ACOUSTICAL CEILING TILE AREA DRAIN ADJUSTABLE/ADJACENT ACCESS DOOR ABOVE FINISH FLOOR ANCHOR AIR HANDLING UNIT ALUMINUM ALTERNATE ANNUNCIATOR ANODIZED ACCESS PANEL ARCHITECTURAL PRECAST CONCRETE APPROXIMATE(LY) ARCHITECTURAL ABUSE RESISTANT GYPSUM WALL BOARD AVERAGE ACOUSTIC WALL PANEL	FDV FE FEC FF FFE FHC FHCV FHMS FHS FHWS FIN FL PSF FLEX FLG FLR FLUOR FV FOS FRPF FS FT FTG FURR FVC FXTR	FIRE DEPARTMENT VALVE FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FACE FINISH FLOOR ELEVATION FIRE HOSE CABINET FIRE HOSE VALVE CABINET FLAT HEAD MACHINE SCREW FLAT HEAD WOOD SCREW FINISH FLASHING FLEXIBLE FLOORING FLOOR FLUORESCENT FACE OF FACE OF STUD/SLAB/STRUCTURE FIREPROOF(ING) FULL SIZE/FLOOR SINK FOOT OR FEET FOOTING FLOORING FIRE VALVE CABINET FIXTURE	PERF PG PL PLM PLAS PLYWD REL POL PR PRCST PROJ PSF PSI PT PTD PTN PVC PVG PWD	PERFORATED PIPE GUARD PLATE/PROPERTY LINE PLASTIC LAMINATE PLASTER PLYWOOD PANEL POLISHED PAIR PRECAST PROJECT POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH POINT PAINTED PARTITION POLYVINYL CHLORIDE PAVING PLYWOOD
BD BITUM BLDG BLK BLKBD BLKG BLKHD BM BOT BRG PL BRG BRK BRKT BSMT BTWN BUR	BOTTOM OF CURB BOARD BITUMINOUS BUILDING BLACK BOARD BLOCKING BULKHEAD BEAM BOTTOM BEARING PLATE BEARING BRICK BRACKET BASEMENT BETWEEN BUILT UP ROOFING	GA GALV GB GC GCMU GEN GFCMU GL GND GR GWB GYP	GAUGE GALVANIZED GRAB BAR GENERAL CONTRACTOR GLAZED CMU GENERAL GROUND FACE CMU GLASS/GLAZING GROUND GRADE GYPSUM WALL BOARD GYPSUM	QT QTY	QUARRY TILE QUANTITY
C CAB CBB CEM CER CI CIP CJ CL CLG CLKG CLL CLR CM CMU CNTR CO COL COMB COMP CONC CONSTR CONT COP CORR CPT CRFS CS UNIT CSK CT CTR CU CW CWS	COURSE(S) / CARPET CABINET CEMENTITIOUS BACKER BOARD CEMENT CERAMIC CAST IRON CHANGE IN FLOORING CAST IN PLACE CONTROL JOINT CENTER LINE CEILING CALLING CONTRACT LIMIT LINE CLOSET CLER CONSTRUCTION MANAGER CONCRETE MASONRY UNIT COUNTER CLEAN OUT COLUMN COMBINATION COMPACT(ED) CONCRETE CONSTRUCTION CONTINUOUS COPPER CORRIDOR CARPET COLD ROLLED FORMED STEEL CAST STONE UNIT COUNTERSINK CERAMIC TILE CENTER CUSPIDOR COLD WATER LOW POINT LIGHT LIGHT WEIGHT LOUVER	H HOB HC HDCP HDWD HDWE HK HM HMF HORIZ HPT HR HTG HVAC HW ICCMU ID IN INCAND INSUL INT INTRM INV JAN JST JT KD KIT KO KP L LAB LAM LAV LB(S) LC LOCR LEV LF LG LH LIN LP LPT LT LT WT LVR	HEIGHT/HIGH HOSE DIB HOLLOW CORE HANDICAP(PED) HARDWOOD HARDWARE HOUSEKEEPING HOLLOW METAL HOLLOW METAL FRAME HORIZONTAL(LY) HIGH POINT HOUR HEATING HEATING/VENTILATION/AIR CONDITIONING HOT WATER INTEGRALLY COLORED CMU INSIDE DIAMETER INCH INCANDESCENT INSULATION INTERIOR INTERMEDIATE INVERT JANITOR JOIST JOINT KNOCKED DOWN KITCHEN KNOCK OUT KICK PLATE LONG/LENGTH LABORATORY LAMINATE(D) LAVATORY POUND(S) LEAD COATED LOCKER LEVEL LINEAR FOOT (FEET), LIGHT FIXTURE LONG/LENGTH LEFT HANDED LIGHT POLE COLD WATER LOW POINT LIGHT LIGHT WEIGHT LOUVER	RL RFB RH RL RM RNG RSC RWC S SA SAB SAD SC SCH SCWD SD SECT SF SFT SHR SHT SHTG SHVLG SIM SLMT SM SMD SMS SPD SPEC SPKR SQ SS SSD STC STD STL STOR STRUC SUSP SYM SYS SWG T TB TBD TEL TEMP TER TF TG/7&G THK THRES TO TOC TOS TOW TV TWP TYP	RISER/REGISTER RETURN AIR RADIUS RUBBER RELECTED CEILING PLAN ROOF DRAIN RECEPACLE REFERENCE REFRIGERATOR REGISTER REINFORCE(MENT)(ING) REQUIRED RESILIENT RETURN RETAINING REVISION, REVERSE RESILIENT FLOORING ROOTING ROBE HOOK/RIGHT HAND RAIN LEADER ROOM ROUGH OPENING/ROUND RESILIENT VENTILATED RAIN WATER CONDUCTOR SOUTH/SINK SUPPLY AIR SOUND ATTENUATION BLANKETS SEE ARCHITECTURAL DRAWINGS SEALED CONCRETE / SOLID CORE SCHEDULE SOLID CORE WOOD DOOR SMOKE DETECTOR SECTION SQUARE FOOT (FEET) STRUCTURAL FACING TILE SHOWER SHEET SHEATHING SHELVING SIMILAR SEALANT SHEETMETAL SEE MECHANICAL DRAWINGS SHEET METAL SCREW SEE PLUMBING DRAWINGS SPECIFICATION(S) SPEAKER SQUARE STAINLESS STEEL SEE STRUCTURAL DRAWINGS SOUND TRANSMISSION CLASS(FICATION) STANDARD STEEL STORAGE STRUCTURAL SUSPENDED(S)/SUSPENSION SYMMETRICAL SYSTEM SWINGING
D DBL DEPT DET DF DH DIA DIAG DIM DISP DIV DMF DN DR DS DSP DW DSWR DWG DWR E EA EW EFS EJ EL ELEC EMERG EMR ELEV ENG ENCL ENT EOS EPB EQ EQUIP ES EWC EXP EXT EXT EXTR FA FCU FD FDN	DEEP/DEPTH/DRAIN DOUBLE DEPARTMENT DETAIL DRINKING FOUNTAIN DOUBLE HUNG DIAMETER DIAGONAL(LY) DIMENSION DISPENSER DIVISION DAMP/PROOFING DOWN DOOR DOWNSPOUT DRY STANDPIPE DISTILLED WATER DISHWASHER DRAWING DRAWER EAST EACH EMERGENCY EYE WASH EXTERIOR INSULATION & FINISHING SYSTEM EXPANSION JOINT ELEVATION ELECTRIC(AL) NO EMERGENCY ELEVATOR MACHINE ROOM ELEVATOR ENGINEER ENCLOSURE ENTRANCE EDGE OF SLAB ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EXPOSED STRUCTURE ELECTRIC WATER COOLER EXPANDED/EXPANSION EXISTING EXTERIOR EXTRUDED FAHRENHEIT FIRE ALARM/GAUGE FAN COIL UNIT FLOOR DRAIN/FIRE DAMPER FOUNDATION	MACH MAS MATL MAX MDF MECH MEMB MEP MET/MTL MEZZ MFR MH MIN MR MISC MO MOD MR MTD MTG MULL MW N N/C NIC NO NOM NRC NTS OA OC OD OFCI OFOI OH OHMS OHWS OPNG OPP OSD OZ PA PBD PC PCP	MACHINE MASONRY MATERIAL MAXIMUM MEDIUM DENSITY FIBERBOARD MECHANICAL MEMBRANE MECHANICAL ELECTRICAL PLUMBING METAL MEZZANINE MANUFACTURER MANHOLE MINIMUM MIRROR MISCELLANEOUS MASONRY OPENING MODIFIED MOISTURE RESISTANT MOUNTED MOUNTING MULLION MICROWAVE NORTH NO CHANGE NOT IN CONTRACT NUMBER NOMINAL NOISE REDUCTION COEFFICIENT NOT TO SCALE OVERALL/OUTSIDE AIR ON CENTER OUTSIDE DIAMETER/OVERFLOW DRAIN OWNER FURNISHED, CONTRACTOR INSTALLED OWNER FURNISHED, OWNER INSTALLED OPPOSITE HAND OVAL HEAD MACHINE SCREW OVAL HEAD WOOD SCREW OPERABLE OPENING OPPOSITE OPEN SITE DRAIN OUNCE PLANTING AREA PARTICLE BOARD PRECAST PORTLAND CEMENT PLASTER	UC UH UL UNFIN UNO UR VAR VB VCT VERT VEST VIF VRB VIN VT VNC W W/ W/O WOM WC WD WGS WH WP WS WSCOT WT WNF	UNDERCUT UNIT HEATER UNDERWRITER'S LABORATORIES INC. UNFINISHED UNLESS NOTED OTHERWISE URINAL VARIES VAPOR BARRIER VINYL COMPOSITION TILE VERTICALLY VERIFY IN FIELD VENTED RUBBER BASE VINYL VINYL TILE VINYL WALL COVERING WEST/WIDE/WIDTH WITH WITHOUT WOMEN WATER CLOSET WOOD WIREGLASS WALL HYDRANT/WATER HEATER WATERPROOFING WEATHERSTRIPPING WAINSCOT WEIGHT WELODED WIRE FABRIC

REFLECTED CEILING PLAN LEGEND

ISOLATED CEILING ABOVE SEE DETAIL 28/A820	SPRINKLER	CEILING SUPPLY	WALL SUPPLY	RETURN	LINEAR DIFFUSER	WALL WASH DOWNLIGHT	RECESSED CAN	PENDANT LIGHT FIXTURE	UNDER COUNTER LIGHT FIXTURE	WALL MOUNT FIXTURE	INDIRECT WALL MOUNTED LIGHT FIXTURE	SURFACE MOUNTED FIXTURE	EXHAUST FAN	CEILING FAN/LIGHT	DUPLEX OUTLET	QUADPLEX OUTLET	SWITCHED LEG OUTLET	SINGLE POLE SWITCH	3-WAY SWITCH	MOTION SENSOR SWITCH	MOTION SENSOR YARD LIGHT	SPEAKER	CARBON MONOXIDE DETECTOR	SMOKE DETECTOR	TELEPHONE	VOICE / DATA
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MATERIALS LEGEND

EARTH	GRAVEL	CONCRETE	CMU/ACM/GCMU	COMMON/FACE BRICK	CUT STONE	CAST STONE	TERRAZO	STEEL (LARGE SCALE)	ALUMINUM (LARGE SCALE)	BRASS/BRONZE (LARGE SCALE)	FINISH LUMBER	CONTINUOUS WOOD FRAMING OR BLOCKING	DISCONTINUOUS WOOD BLOCKING OR SHIMS	PLYWOOD	SEMI-RIGID/BATT/LOOSE INSULATION/SAFING	RIGID INSULATION	GLASS (LARGE SCALE)	CERAMIC/QUARRY TILE	CARPET	ACOUSTICAL TILE OR CEILING PANEL	SEALANT & BACKER ROD	SAND/MORTAR/GROUT/GYPSUM BOARD/STUCCO
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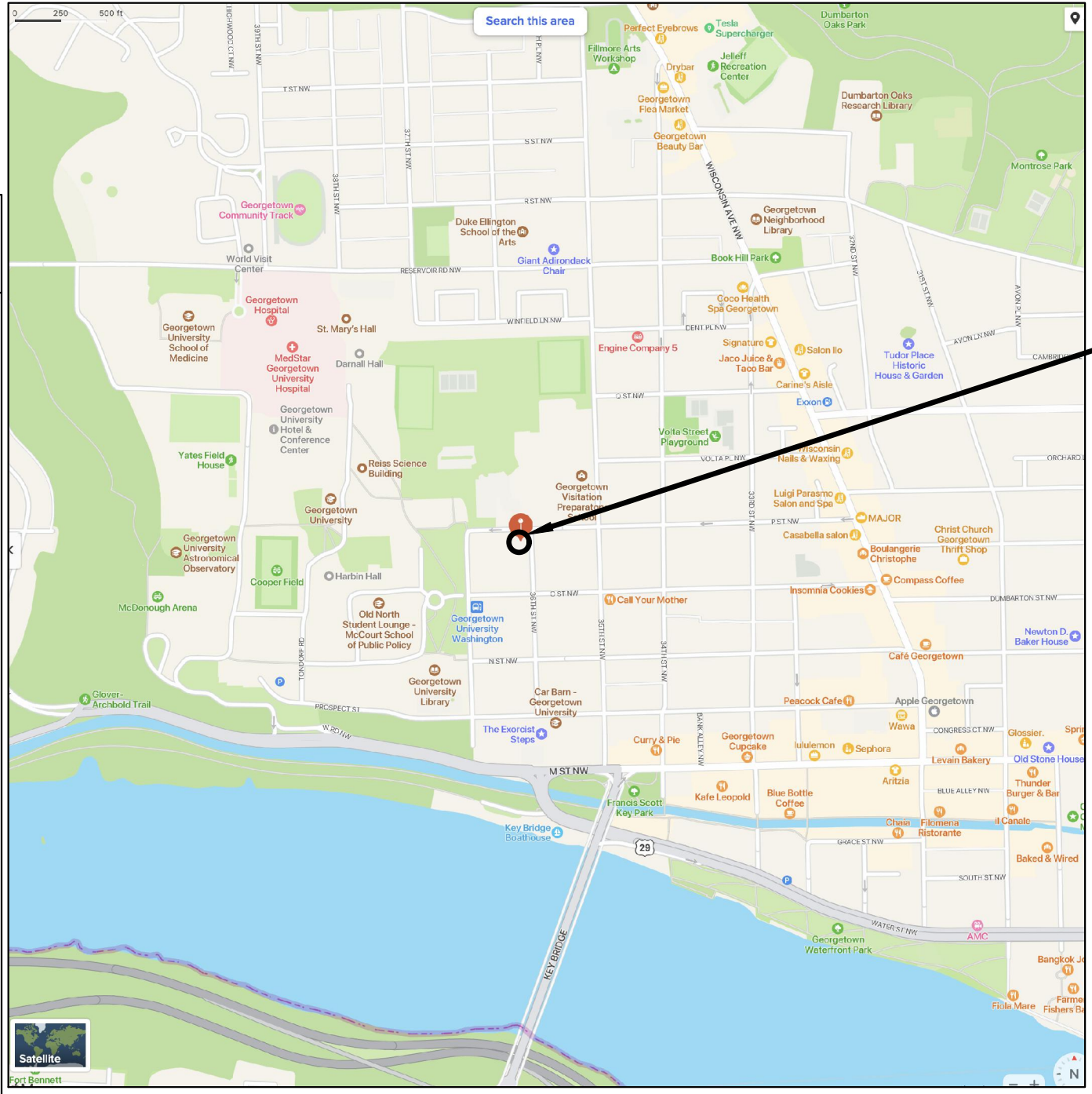
ZONING ANALYSIS - ZONE R-20
USE: EXISTING - RESIDENTIAL
PROPOSED - RESIDENTIAL

	EXISTING	PROPOSED	REQD
LOT	720 SF	-	-
1204.1 LOT COVERAGE	395.9 SF	395.9 SF (55%)	432 (60%)MAX
SETBACKS - FRONT	ALIGN W/ ADJ	N/C	ALIGN W/ ADJ
' SIDE	0'	0'N/C	5'
IMPERVIOUS SURFACES	NO CHANGE PROPOSED		

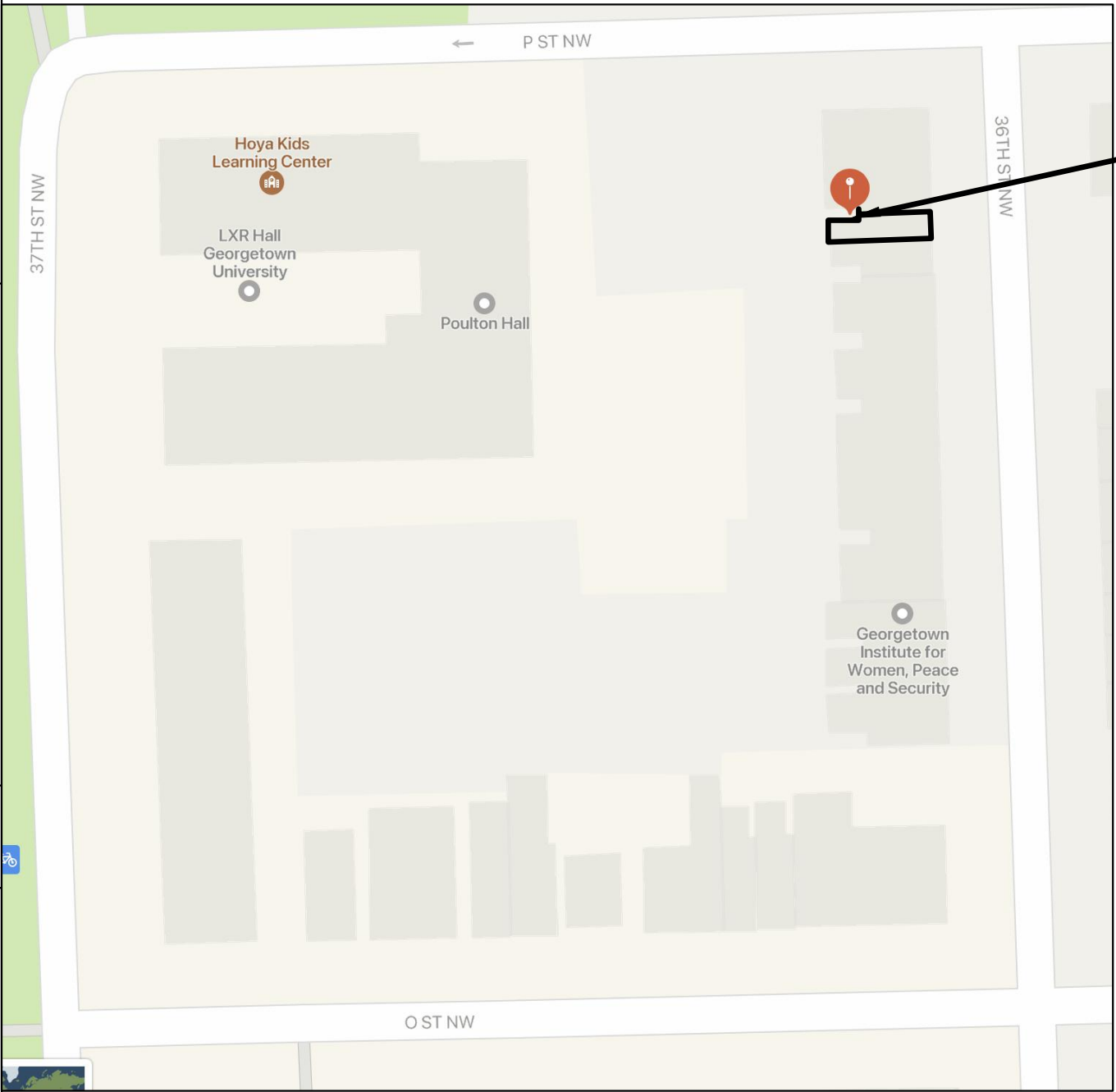
PREPARED UNDER DC BUILDING CODE 2017

SYMBOLS LEGEND

EXTERIOR WINDOW/DOOR TAG	MATCHLINE	DRAWING A214
LOUVER TAG		(Shaded portion is side considered)
REVISION	DATUM (ELEVATION)/WORKPOINT	FIRST FLOOR EL. 30'-2"
KEY NOTE	SPOT ELEVATION	FIRST FLOOR EL. 30'-2"
EQUIPMENT NUMBER	BUILDING SECTION	Detail Number Sheet Number
SEALANT & BACKER ROD	WALL SECTION	Detail Number Sheet Number
PROPERTY LINE	INTERIOR ELEVATION	Elevation Number Detail Number Orientation of Elevation Not Shown Sheet Number
DOOR	EXTERIOR ELEVATION	Drawing Number Sheet Number
DOOR-INACTIVE LEAF	PARTITION TYPE	= = = =
PLAN NORTH	ITEMS FOR DEMOLITION	
POINT OF ENTRY SITE PLAN ONLY	EXISTING TO REMAIN	
DETAIL KEY		
	COLUMN NUMBER COLUMN GRIDLINE	Letters at Horizontal Grid Numbers at Vertical Grid



VICINITY MAP



LOCATION MAP

PROPOSED SCOPE OF WORK:

- EXISTING EXTERIOR ENVELOPE TO REMAIN EXCEPT AS NOTED BELOW.
- PROVIDE EXTERIOR SIDING TO MATCH EXISTING-PAINT
- PROVIDE NEW INTERIOR STRUCTURE TO INCLUDE FIRST AND SECOND FLOOR FRAMING AND STAIRS. EXISTING ROOF FRAMING, EXTERIOR BEARING WALLS, EXISTING WOOD FRAME PARTY WALLS AND FOUNDATIONS TO REMAIN.
- PROVIDE NEW INTERIOR PARTITIONS, CASEWORK, DOORS, FINISHES AND APPLIANCES
- PROVIDE NEW FOUNDATION, WALL AND ROOF INSULATION
- PROVIDE NEW ELECTRICAL SERVICE
- PROVIDE NEW MECHANICAL SYSTEM AND DISTRIBUTION
- PROVIDE NEW PLUMBING FIXTURES, INTERIOR WATER SERVICE AND DRAIN LINES

1436 36TH ST NW

1436 36TH ST NW



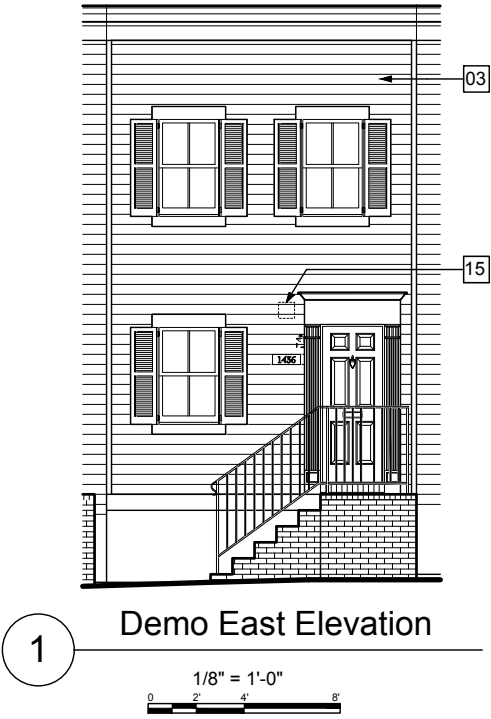
Renovations to
1436 36th St
NW
Washington DC.
20007

Drawing Title

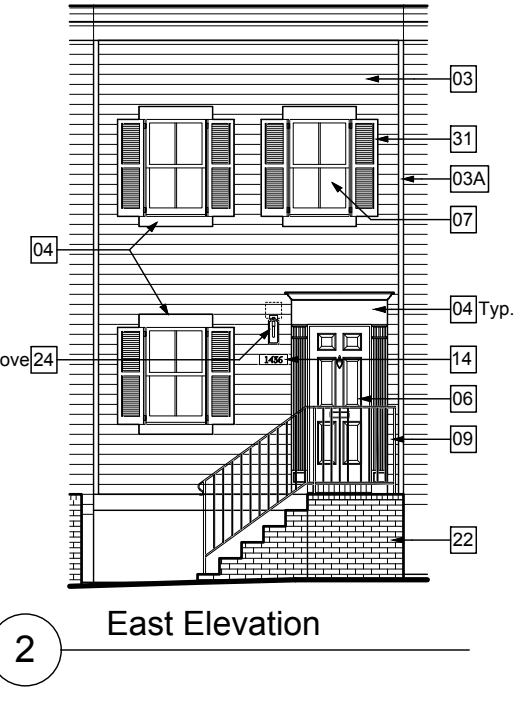
TITLE SHEET
ABBREVIATIONS
PLAT

Project No.
VA2005-01
Date
12 OCT 22

A001



1 Demo East Elevation



2 East Elevation



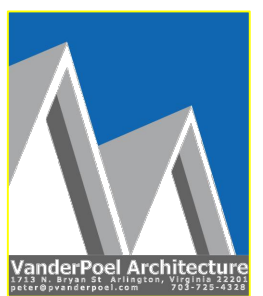
3 East Elevation



4 East Elevation

General Notes

1. Reference schedules for additional information regarding window and door replacement and proposed exterior light fixtures and hardware.
2. GC to coordinate testing and abatement of hazardous materials.
3. Demolish existing siding. Provide new siding to match demolished siding. Paint six sides.
- 03A. Inspect existing decorative wood trim for water damage and deterioration. At damaged areas, clean, patch, repair, prep and repaint to match existing color.
4. Inspect existing wood door and window trim, casings, jambs and sills for water damage and deterioration. Patch, sand and paint repaint to match existing color.
5. Inspect existing stucco finish for water damage or deterioration. Clean, patch, repair, prep and repaint to match existing color.
6. Refurbish exterior door and transom (where applicable), u.n.o. Remove cracked and peeling paint, prep and repaint. Provide new weatherstripping.
7. Refurbish exterior windows where possible. Remove cracked and peeling paint, prep and repaint.
8. Refurbish entrance door mail slot.
9. Repair, refurbish, prep and repaint railings where applicable.
10. Power wash exterior paving, site walls and exterior brick and siding, typical.
11. Snake exterior drains, typical.
12. Not used
13. Remove unused surface run wiring at exterior. Reroute remaining required surface wiring to interior. If not feasible, run in [painted exterior conduit in straight, direct path. Paint to match adjacent material finish.
14. Replace house numbers in kind. Match material, style and color of existing.
15. Demo vent and duct
16. Not used
17. Not used
18. Not used
19. Refurbish gate and patch to match existing.
20. Not used
21. Provide allowance to repair fence at back yard.
22. Repoint brick as needed throughout.
23. Not used
24. Refurbish exterior light fixture,
25. Refurbish existing wood door sill. Prep and repaint - color to match existing.
26. Paint exist. utility box and piping to match adjacent material.
27. Not used
28. Existing condensing unit to be removed.
29. Install cast iron boot at downspout terminations and tie into existing storm system where possible.
30. Not used
31. Rehab shutters and hardware and prep and repaint.
32. Not used
33. Not used
34. Replace west elevation siding to match east elevation.
35. Not used
36. Paint wood column enclosure around existing wood column.
37. Not used
38. Repair / refurbish stone and concrete steps / wall.
39. Not used
40. Not used
41. Prep and repaint brick with exterior masonry paint. Clean surface and remove loose / peeling paint prior to preparation. GC to propose appropriate product prior to commencement of work.
42. Remove damaged exterior parging and patch / repair to be smooth consistent finish and paint to match existing. Replace existing vinyl siding with wood siding to match east elevation.



Renovations to
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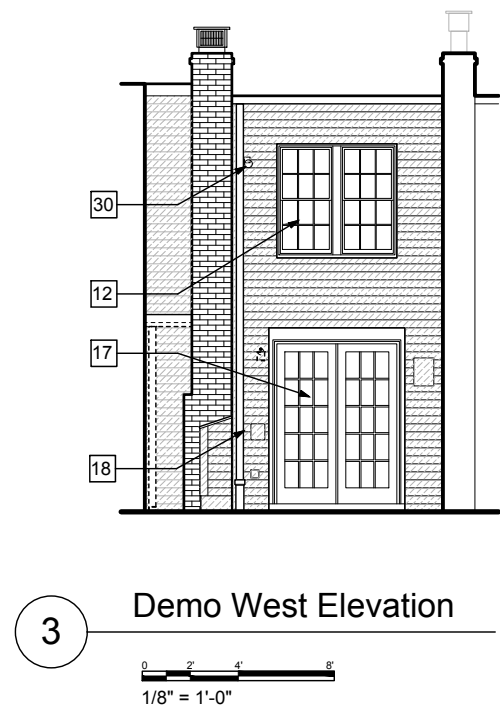
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EAST ELEVATION

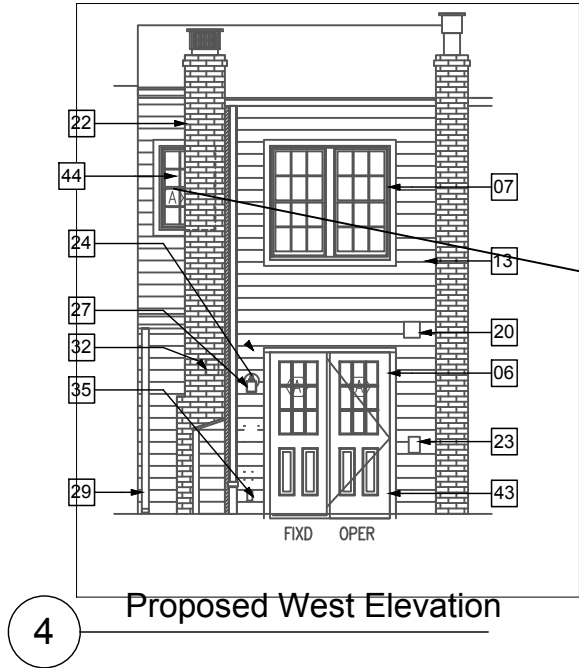
Project No. VA2205-01
Date 12 OCT 22

A002

11x17 sheets are 1/2 size



3 Demo West Elevation



4 Proposed West Elevation

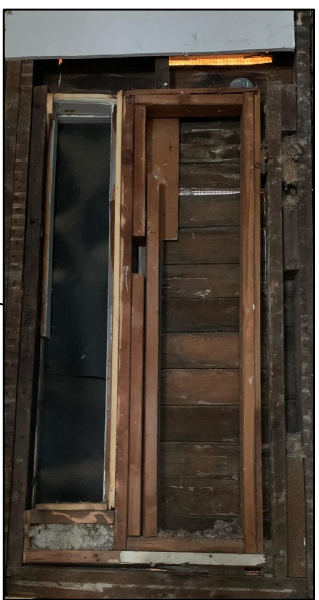


PHOTO
SHOWING
EXISTING
FRAMING
AT TOP OF
STAIR



1 East Elevation



2 East Elevation

General Notes

1. Reference schedules for additional information regarding window and door replacement and proposed exterior light fixtures and hardware.
2. GC to coordinate testing and abatement of hazardous materials.
3. Demolish existing siding. Inspect underlying german profile siding. Demo rotted/damage siding. Provide new German Profile siding to match existing. Paint six sides.
- 03A. Inspect existing decorative wood trim for water damage and deterioration. At damaged areas, replace with matching profile and material. At remaining areas, clean, patch, repair, prep and repaint to match existing color.
4. Inspect existing wood door and window trim, casings, jambs and sills for water damage and deterioration. Patch, sand and paint repaint to match existing color.
5. Not used
6. Provide new half lite, wood exterior doors.
7. Refurbish exterior windows where possible. Remove cracked and peeling paint, prep and repaint.
8. Refurbish entrance door mail slot.
9. Repair, refurbish, prep and repaint railings where applicable.
10. Power wash exterior paving, site walls and exterior brick and siding, typical.
11. Snake exterior drains, typical.
12. Existing window to remain
13. Remove unused surface run wiring at exterior. Reroute remaining required surface wiring to interior. If not feasible, run in [painted exterior conduit in straight, direct path. Paint to match adjacent material finish.
14. Replace house numbers in kind. Match material, style and color of existing.
15. Inspect exterior vents. Remove unused and infill wall to match existing adjacent exterior finish. At operable vents, clean vent duct and vents.
16. Replace hose-bibs and provide with vacuum break and freeze protection.
17. Demo french doors
18. Reinstall existing gutter and downspout
19. Refurbish gate and patch to match existing.
20. Painted metal vent cover
21. Provide allowance to repair fence at back yard.
22. Repoint brick as needed throughout.
23. Outdoor compressor elec disconnect switch
24. Provide new exterior light fixture
25. Refurbish existing wood door sill. Prep and repaint - color to match existing.
26. Paint exist. utility box and piping to match adjacent material.
27. Provide new exterior light fixture
28. Existing condensing unit to be removed.
29. Not used
30. Remove siding and replace with new wood siding-see 5/A041
31. Rehab shutters and hardware and prep and repaint.
32. Painted metal exterior vent cover(-behind chimney)
33. Existing shadowbox fence to remain
34. Replace west elevation siding to match east elevation.
35. Elec outlet cover
36. Not used.
37. Not used
38. Repair / refurbish stone and concrete steps / wall.
39. Not used
40. Not used
41. Prep and repaint brick with exterior masonry paint. Clean surface and remove loose / peeling paint prior to preparation. GC to propose appropriate product prior to commencement of work.
42. Remove damaged exterior parging and patch / repair to be smooth consistent finish and paint to match existing. Replace existing vinyl siding with wood siding to match east elevation.
43. Provide wood entry door with (2) half lite panels and single glazing. Paint
44. Provide new wood/wood, single glazed double hung, tempered glass window in existing opening

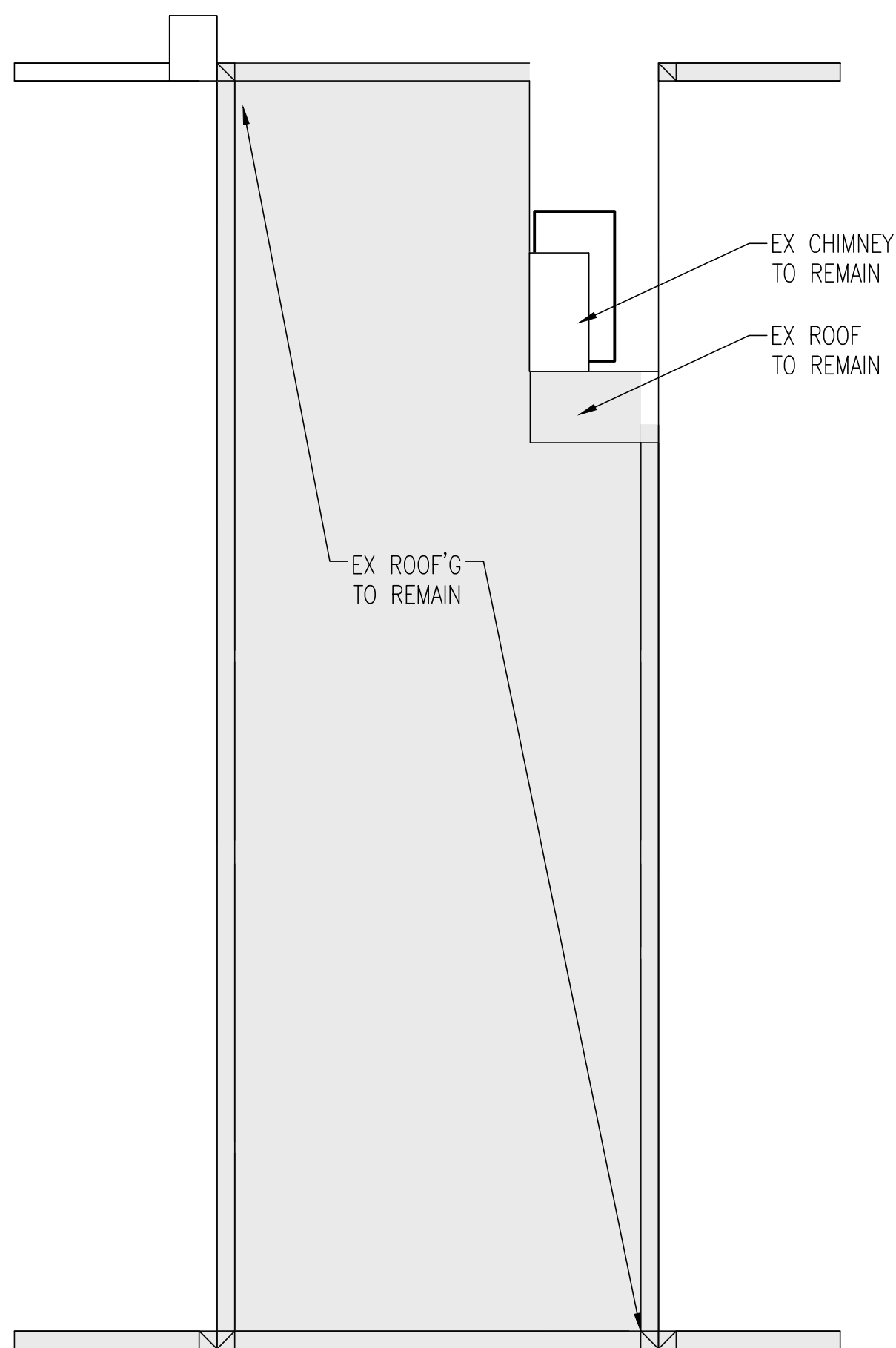


Renovations to
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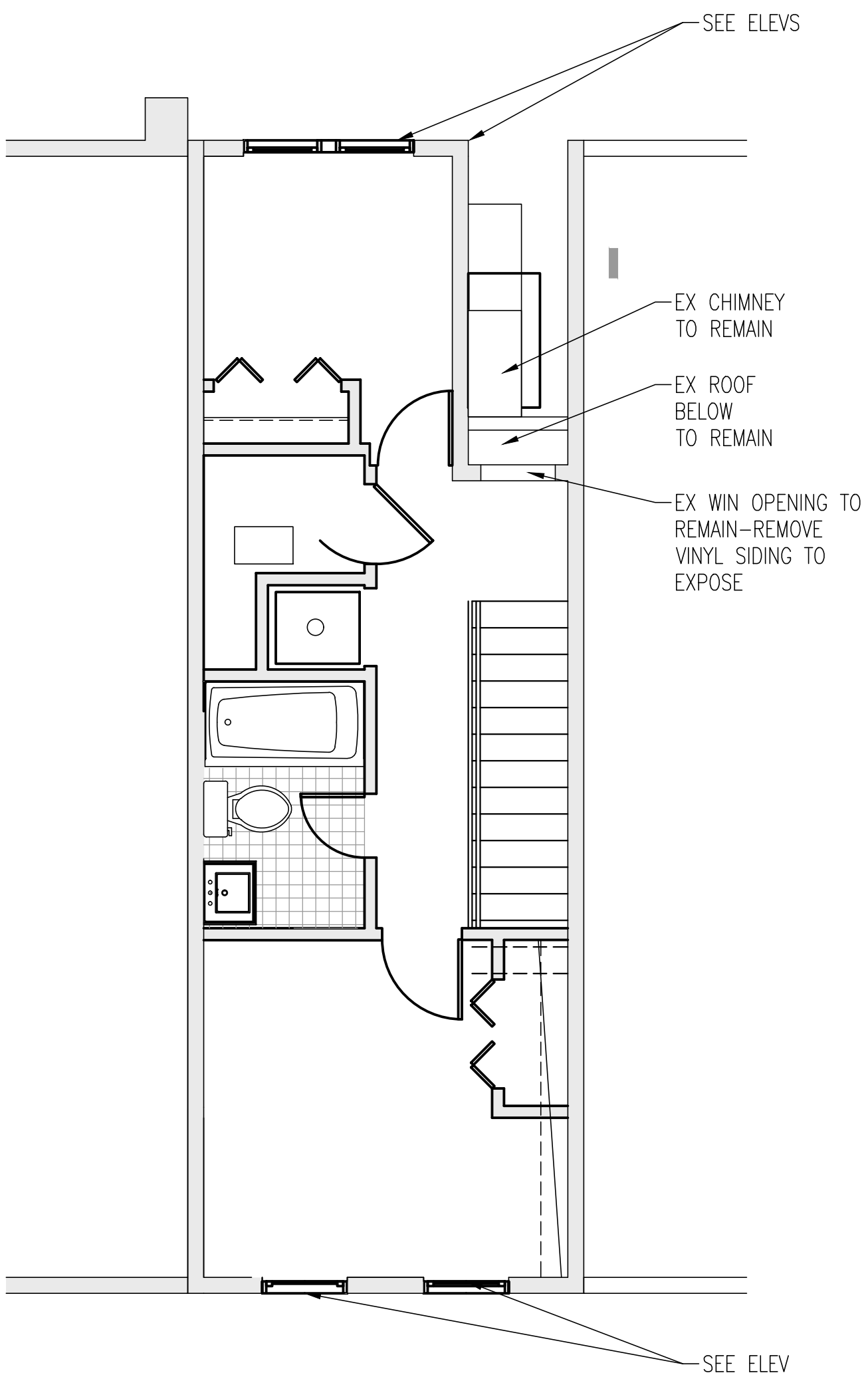
Drawing Title

WEST ELEVATION

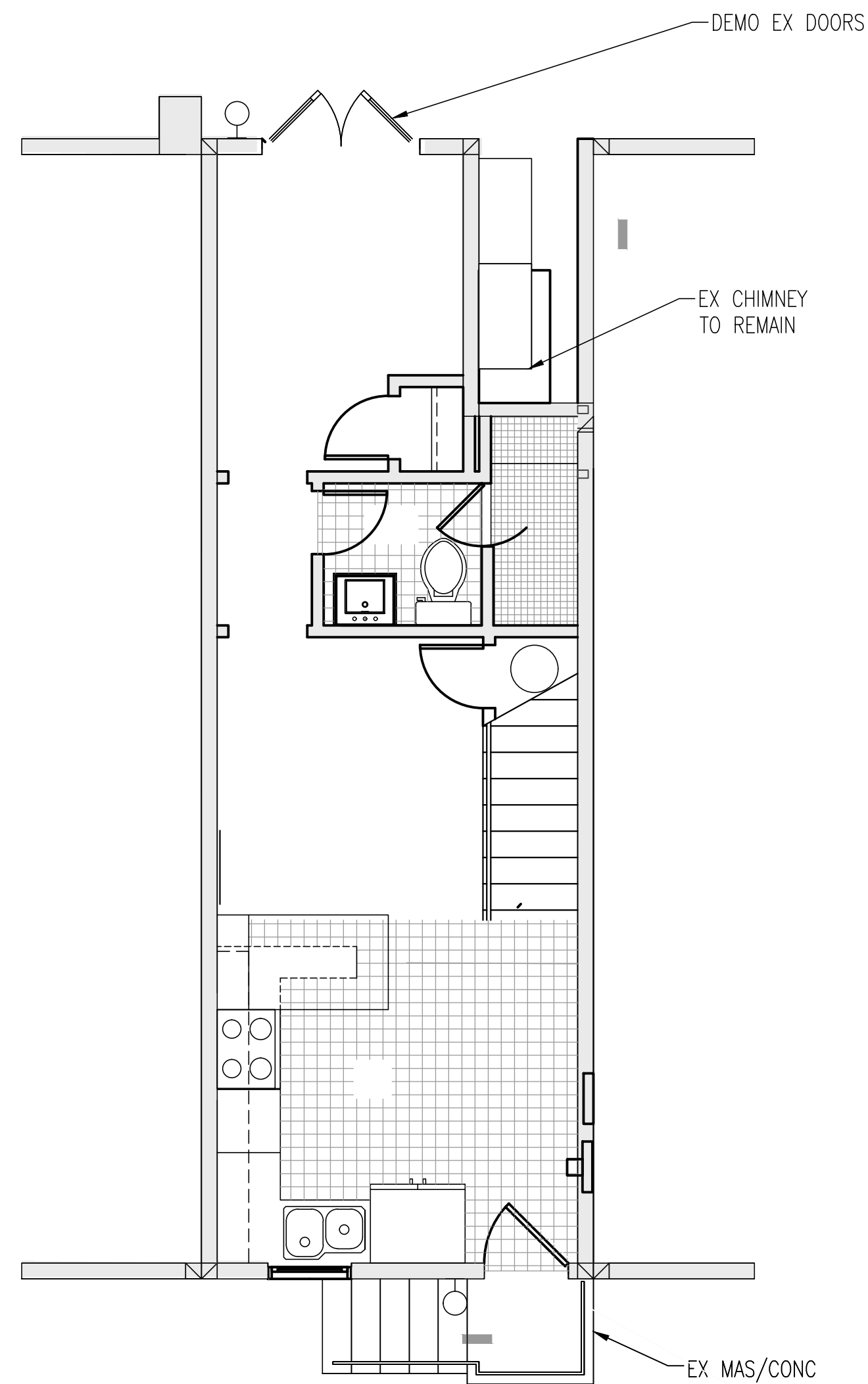
Project No. VA2205-01
Date 6 JAN 23



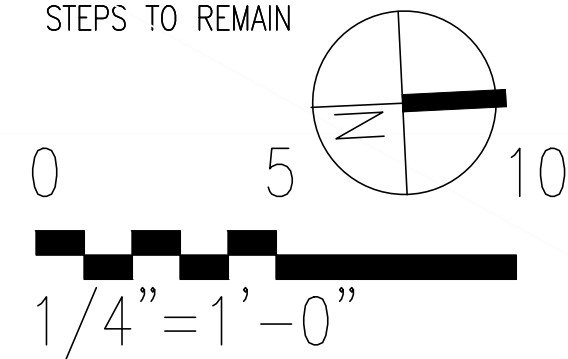
3 DEMO-ROOF
A011 1/4"=1'-0"



2 DEMO-SECOND FLOOR
A011 1/4"=1'-0"



1 DEMO-FIRST FLOOR
A011 1/4"=1'-0"



Renovations to
1436 36th St
NW
Washington DC.
20007

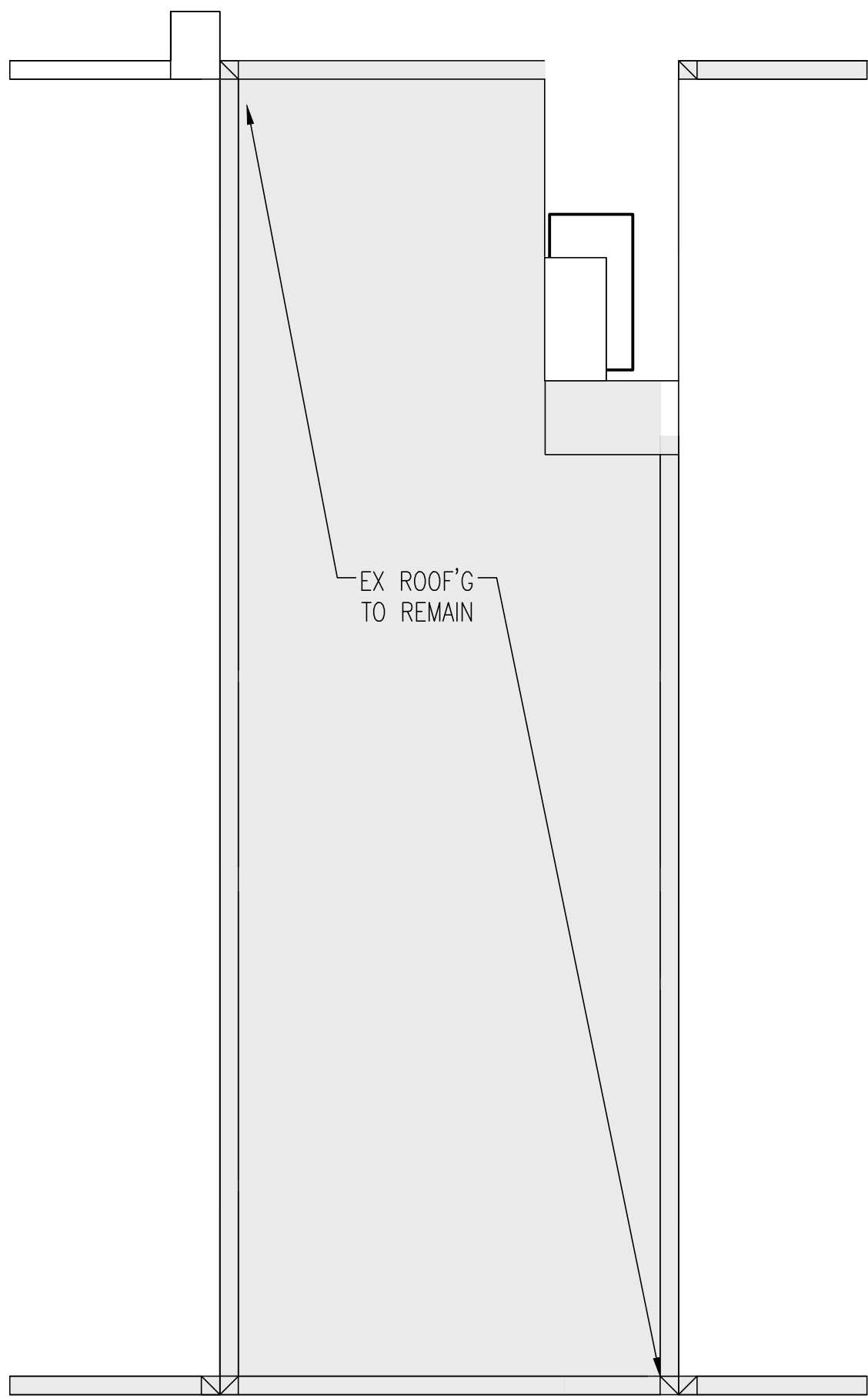
Drawing Title

DEMOLITION
FIRST FLOOR
SECOND FLOOR
ROOF

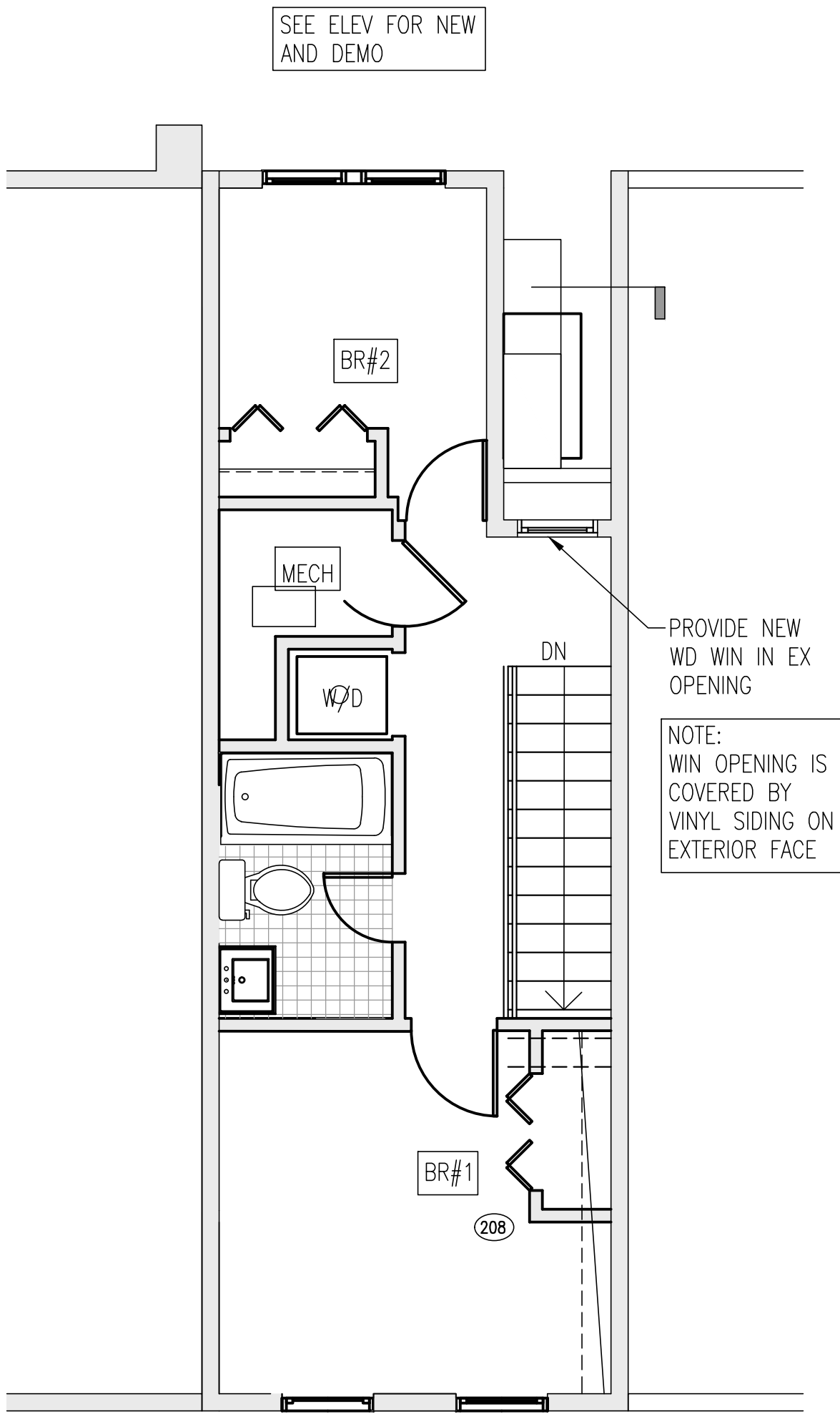
GU ID 2-D32-01
Project No. VA2205-01
Date 08 FEB 2023

A011

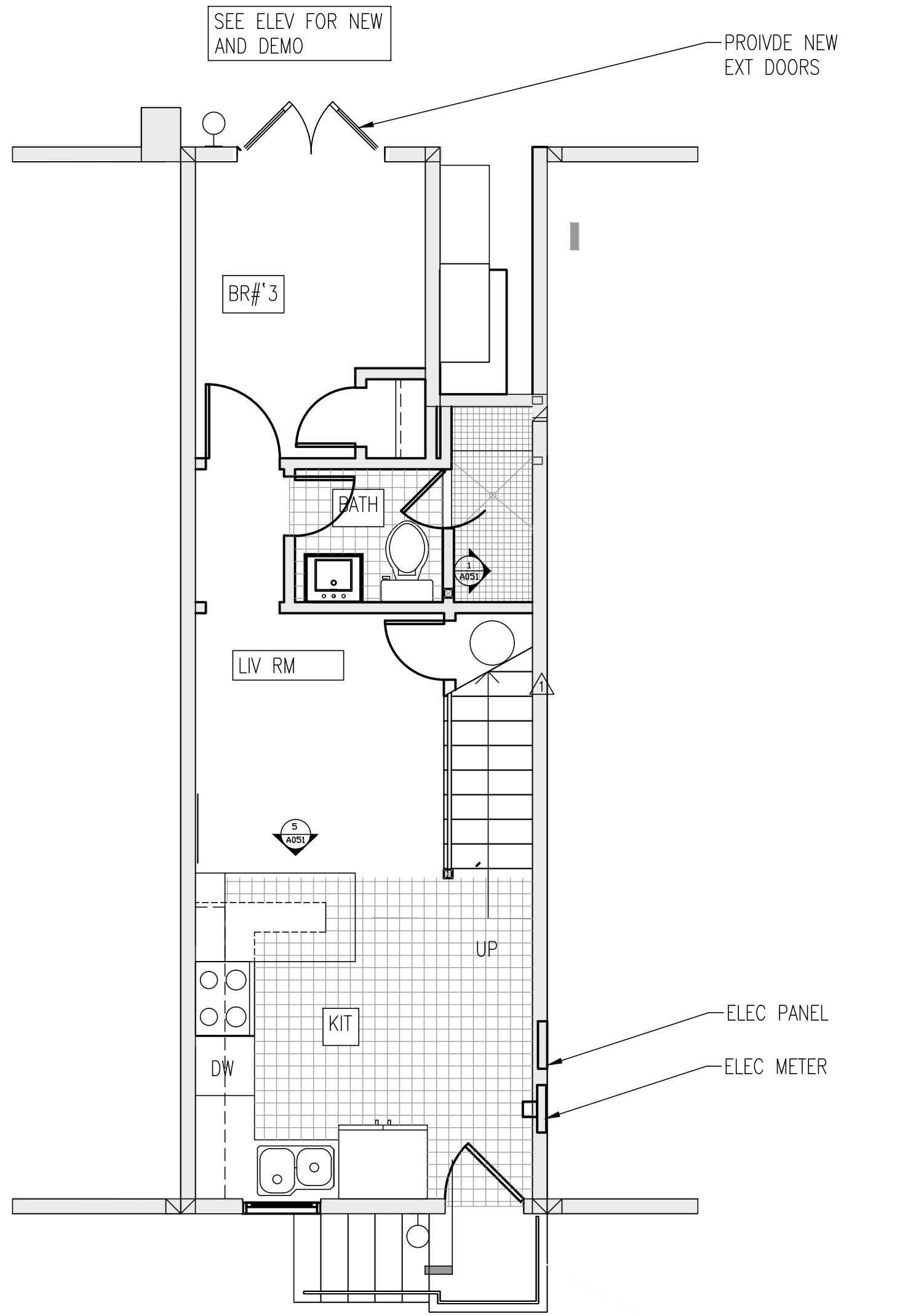
11x17 sheets are 1/2 size



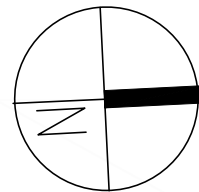
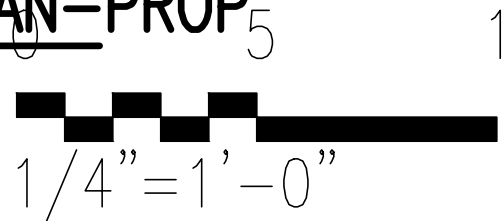
3 ROOF PLAN-PROP
A021 1/4"=1'-0"



2 SECOND FLOOR PLAN-PROP
A021 1/4"=1'-0"



1 FIRST FLOOR PLAN-PROP
A021 1/4"=1'-0"



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Drawing Title

EX FLR PLANS

FIRST FLOOR
SECOND FLOOR
ROOF

GU ID 2-D32-01
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A021