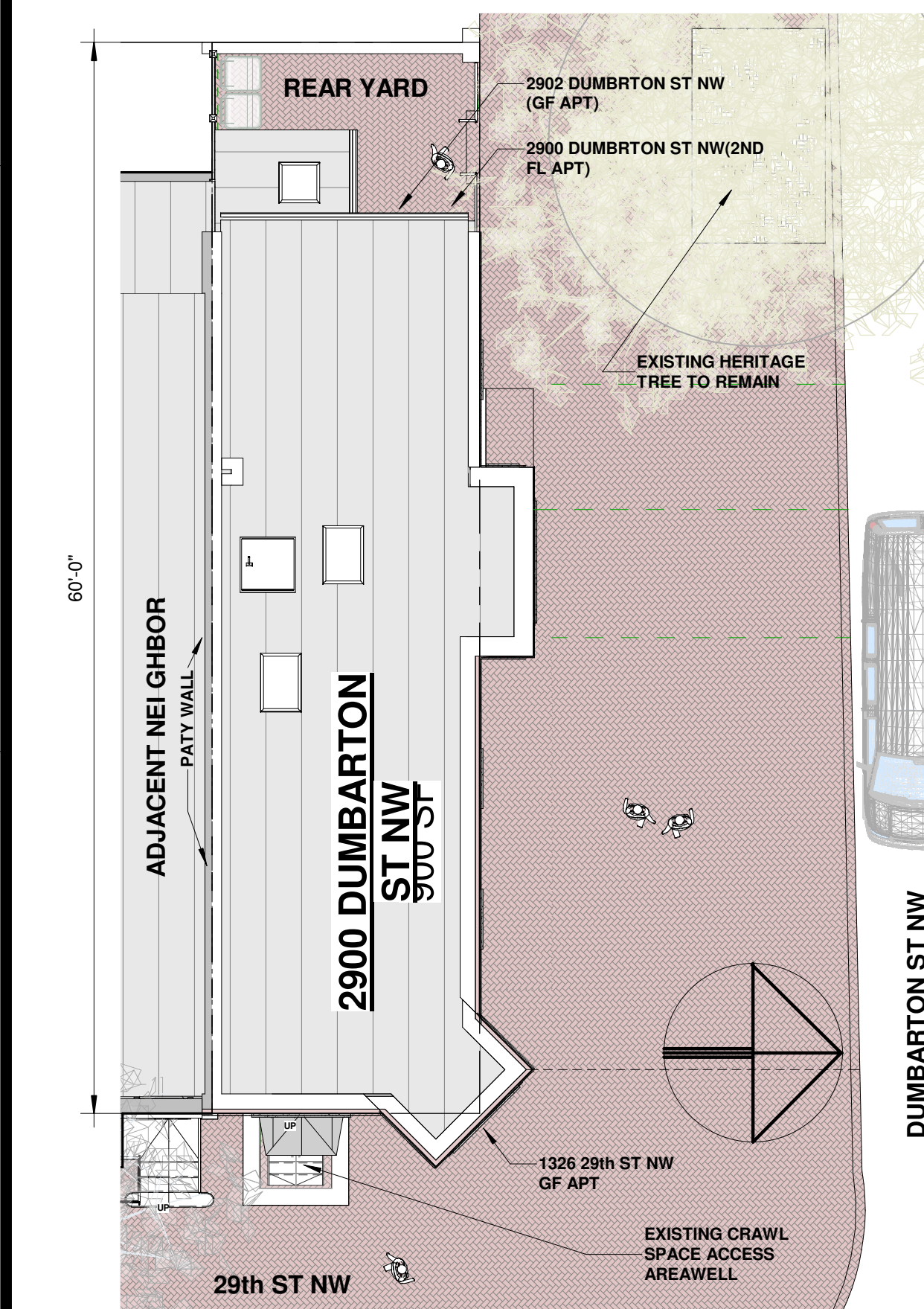
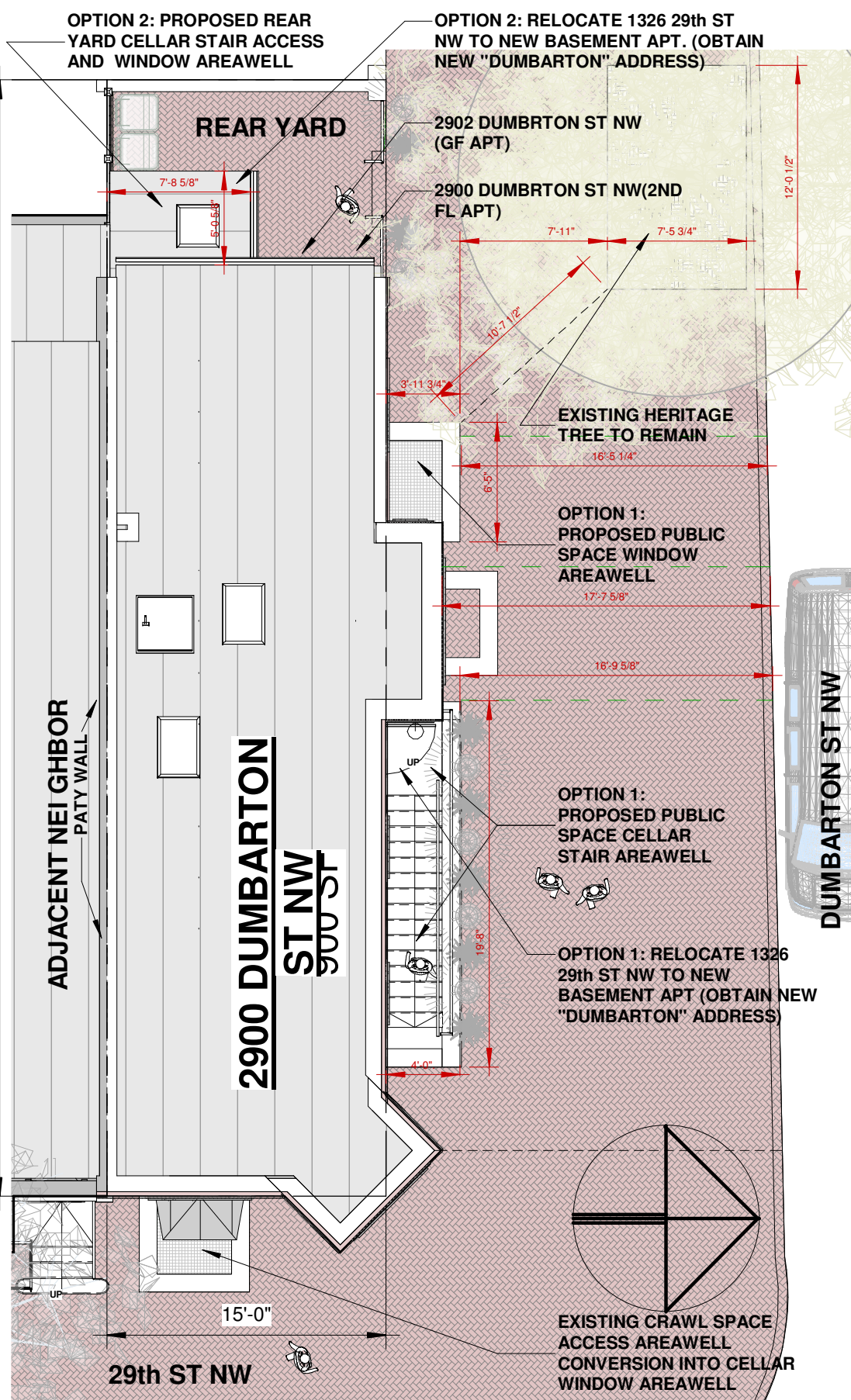




PROPERTY PLAT / SURVEY



SITE PLAN - PROPOSED



CODE'S SUMMARIES

2-0 DC ZONING ANALYSIS SUMMARY			
1	PROJECT NAME:	2900-2902 DUMBARTON ST RENOVATIONS	
2	PROJECT ADDRESS/UNIT:	2900-2902 DUMBARTON ST NW WASHINGTON DC 20007	
3	ZONING:	R-20 / DC ZONING CODE 2016	
4	LOT TYPE/SSL:	TAX LOT / 1234 0810	
5	HISTORIC AREA:	1. SEQUESTOWN HISTORIC DISTRICT 2. COMMISSION OF FINE ARTS JURISDICTION AREA	
6	SCOPE OF WORK:	RENOVATION OF A TRIPLEX APARTMENT BUILDING EXISTING STRUCTURE: 1. THE EXISTING TRIPLEX BUILDING WILL REMAIN. PROPOSED RENOVATION AS FOLLOWS: PROPOSED RENOVATION: A. NEW UNDERPINNING UNDER EXISTING FOUNDATION B. LOWERING OF THE EXISTING CRANK SPACE FLOOR LEVEL TO ACHIEVE 8'-0" CELLAR CEILING HEIGHT C. PROPOSED NEW CELLAR UNIT (UNIT 00) 600 SF 1 BED 1 BATH APT UNIT D. PROPOSED NEW CELLAR STAIR ACCESS AND WINDOW AREA WELL E. CONVERSION OF EXISTING CRANK SPACE ACCESS AREAWELL INTO NEW CELLAR WINDOW AREA WELL, NEW HISTORIC HERITAGE TYPE "N-KIND" AND NEW OPERABLE METAL GRATE. 2. EXISTING ABOVE GROUND 2 STORY STRUCTURE AS FOLLOWS: A. EXISTING ABOVE GROUND 2 STORY STRUCTURE TO BE REFINISHED KITCHEN AND BATHROOM REFINISHED WITH REPLACEMENT IN KIND KITCHEN AND PLUMBING FIXTURES. B. EXISTING ABOVE GROUND 2 STORY STRUCTURE TO BE REFINISHED KITCHEN AND BATHROOM REFINISHED WITH REPLACEMENT IN KIND KITCHEN AND PLUMBING FIXTURES. 3. EXISTING WINDOWS PROPOSED TO BE REPLACED WITH NEW HISTORIC HERITAGE TYPE "N-KIND"	
7	ZONING	REQUIRED (ALLOWABLE - MAX - MIN)	EXISTING (ALLOWABLE - MAX - MIN)
8	LOT AREA	2,000 SF	900 SF
9	PERVIOUS SURFACE (20% MIN)	180 SF MIN (90 SF x 20% = 180 SF MIN)	0 SF EXIST (NO PERVIOUS SURFACE)
10	UNITS / BEDROOMS	3 UNITS (OCCUPANCY CODE 2008.087)	3 UNITS (00 - GF: 180 x 1 BTH 01 - GF: 180 x 1 BTH 02 - 2ND FL: 200 x 1 BTH)
11	LOT OCCUPANCY (60% MAX ALLOWED)	540 SF MAX (900 SF x 60% = 540)	790 SF EXIST (900 SF x 110 SF = 12.2%)
12	GROSS FLOOR AREA	1,620 SF (MAX PER LOT OCC 540 SF x 3 STORIES)	1,580 SF (EXIST 790 SF x 2 STORIES + 1,600 SF)
13	YARDS / SETBACKS	FRONT - EXIST FT SIDE 1 - 0 FT SIDE 2 - 0 FT REAR - 20 FT	FRONT - EXIST FT SIDE 1 - 0 FT SIDE 2 - 0 FT REAR - 10.7 FT
14	BUILDING HEIGHT	35 FT	22 FT
15	PARKING	0 NO REAR ALLEY ACCESS EXEMPT FROM PARKING	0 NO REAR ALLEY ACCESS EXEMPT FROM PARKING
16	MIN LOT WIDTH	20 FT	15 FT
17	STORIES	3 MAX	2
18	DC-WASA	PLAN #: TBD	
19	ESC-DOEE	STORMWATER DATABASE PLAN #: TBD	
20	DDOT	PUBLIC SPACE PERMIT #: TBD OCCUPANCY PERMIT #: TBD	

1-0 BUILDING CODE ANALYSIS SUMMARY			
1	CODE / EDITION:	2017 District of Columbia Building Code - Part 1 2017 District of Columbia Building Code - Part 2 2017 District of Columbia Building Code - Part 3 2017 District of Columbia Energy Conservation Code 2017 District of Columbia Green Construction Code	
2	BLDG CODE NARRATIVE:	THE PROJECT CONSISTS OF: 1. CELLAR EXCAVATION AND UNDERPINNING TO RELOCATE 180 APT UNIT 2. INTERIOR REFINISHING TO TWO EXISTING APT UNITS 3. BUILDING WILL COMPLY WITH THE BUILDING CODE	
3	OCCUP USE CLASSIFICATION: (IBC SECTION 103.4)	REQUIRED (ALLOWABLE - MAX - MIN)	EXISTING (ALLOWABLE - MAX - MIN)
4	ALLOWABLE BLDG AREA: (IBC SECTION 103.4)	R-3	R-3
5	CONSTRUCTION TYPE: (IBC TABLE 601)	N/A	N/A
6	OCCUPANT LOAD (IBC TABLE 1004.1.2)	N/A	N/A
7	SCOPE OF WORK AREA:	N/A	N/A
8	NUMBER OF STORIES:	3 STOREYS ALLOWED	2 STOREYS + CRAWL SPACE
9	BUILDING HEIGHT	35 FT / 3 STOREYS (IBC SECTION 1004.1.2)	22 FT / 2 STOREYS
10	BUILDING SPRINKLERED (IBC SECTION 903.3.1.2)	N/A	NO
11	FIRE AND SMOKE ALARM (IBC SECTION 907.2.1.1)	YES	SMOKE ALARMS
12	STANDPIPES (IBC SECTION 908 AND NFPA 14)	N/A	N/A
13	OTHER FIRE PROTECTION SYSTEM	N/A	N/A
14	ACCESSIBILITY OF BUILDING	N/A	N/A
15	ELEVATOR (IBC SECTION 1104)	N/A	N/A
16	MEANS OF EGRESS	1 DEDICATED EXIT x UNIT	1 DEDICATED EXIT x UNIT
17	FIRE RESIST RATING (IBC TABLE 601)	N/A	1-HR FIRE RESIST RATING 2-HR FIRE RESIST RATING 3-HR FIRE RESIST RATING 4-HR FIRE RESIST RATING
18	TRAVEL DIST (IBC TABLE 1017.2)	N/A	200 LIN FT
19	INTERIOR SIGNAGE	N/A	N/A

GENERAL NOTES

- A. GENERAL NOTES:
- COMPLY WITH ALL APPLICABLE BUILDING CODE, REGULATION, & ORDINANCE REQUIREMENTS. OCCUPANTS ADJACENT TO THE PROJECT AREA BOUNDARIES SHALL CONTINUE UNINTERRUPTED OCCUPANCY DURING CONSTRUCTION OF THE PROJECT.
 - VERIFY FIELD CONDITIONS AND COORDINATE WITH THE PROJECT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES, OMISSIONS, AMBIGUITIES OR CONFLICTS IN OR AMONG THE CONTRACT DOCUMENTS TO THE OWNER/ARCHITECT/DESIGNER FOR DIRECTION, CLARIFICATION, REVISION OR RESOLUTION BEFORE PROCEEDING WITH ANY OF THE WORK IN QUESTION.
 - COORDINATE THE WORK WITH ALL REQUIREMENTS INDICATED IN THE PROJECT DOCUMENTS.
 - THESE GENERAL NOTES AND TYPICAL WRITTEN DETAILS APPLY THROUGHOUT THE DRAWINGS UNLESS OTHERWISE NOTED OR SHOWN.
- B. DEFINITIONS:
- "TYPICAL" OR "TYP" INDICATES IDENTICAL COMPLETE SYSTEM SHALL BE PROVIDED FOR EACH OCCURRENCE OF THE CONDITION NOTED.
 - "SIMILAR" INDICATES COMPLETE SYSTEM AND COMPONENTS SHALL BE PROVIDED COMPARABLE TO THE CHARACTERISTICS FOR THE CONDITION NOTED.
 - "AS REQUIRED" INDICATES COMPONENTS REQUIRED TO COMPLETE THE NOTED, SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS, SHALL BE PROVIDED.
 - "ALIGN" INDICATES ACCURATELY PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE, AND PLUMB RELATION TO ADJACENT MATERIALS.
- C. DIMENSIONS:
- ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS/SUB CONTRACTORS. INFORM THE OWNER/ARCHITECT/DESIGNER OF ANY DISCREPANCIES. DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED. DIMENSIONS ARE INDICATED TO THE CENTERLINE OF THE STRUCTURAL GRID, FACE OF CONCRETE.
 - WALL, NOMINAL FACE OF CMU WALL, FACE OF PARTITION TYPE AS SCHEDULED, UN.
 - ALIGNMENT OF PARTITIONS AND FINISHES AS SCHEDULED SHALL BE STRAIGHT, TRUE & PLUMB.
 - PRIORITY FOR PROJECT DIMENSIONS SHALL BE IN THE FOLLOWING ORDER: 1) MIN DIMEN FOR ACCESSIBILITY CLEARANCE & BUILDING CODE REQUIT, 2) LARGE SCALE DETAILS, 3) SMALL SCALE DETAILS, 4) ENLARGED VIEWS, 5) FLOOR PLANS AND ELEVATIONS.
 - FLOOR ELEVATIONS ARE INDICATED TO THE FACE OF THE STRUCTURAL SLAB, UNLESS OTHERWISE NOTED.
 - VERTICAL DIMENSIONS ARE INDICATED FROM THE FLOOR ELEVATION TO FACE OF FINISHED MATERIAL.
 - AT THE DIMEN POINT, UNLESS NOTED ABOVE FINISH FLOOR - "AFF", CEILING HEIGHTS ARE INDICATED FROM THE FLOOR ELEVATION TO THE FACE OF SUSPENDED CEILING SYSTEM OR FACE OF FINISH MATERIAL AS SCHEDULED DIMENSIONS SHOWN ON THE DRAWINGS SHALL INDICATE THE REQUIRED SIZE, CLEARANCE, AND
 - DIMENSIONAL RELATIONSHIP BETWEEN PROJECT SYSTEMS AND COMPONENTS. DIMENSIONS SHALL NOT BE DETERMINED BY SCALING THE DRAWINGS.
- C. EXECUTION:
- PERFORM THE WORK AT THE PROJECT SITE DURING NORMAL BUSINESS HOURS, UNLESS OTHERWISE NOTED.
 - COORDINATE THE WORK WITH EQUIPMENT, FURNISHINGS, AND SYSTEMS PROVIDED BY THE OWNER.
 - IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODOLOGY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND/OR RECOMMENDATIONS.
 - THE DRAWINGS ARE INTENDED TO OBTAINING A CONTRACT FOR THE CITY/COUNTY AND IN NO WAY ARE TO BE CONSTRUED AS TOTALLY COMPREHENSIVE CONSTRUCTION DOCUMENTS. ELECTRICAL AND PLUMBING WORK IS CONSIDERED DESIGN-BUILD BY THE CONTRACTOR.
 - THE CONTRACTOR WARRANTS THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT WILL BE NEW AND THAT ALL WORK SHALL BE PERFORMED BY LABOR SKILLED IN THE TASK BEING PERFORMED AND THAT THE WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO MAKE ALL NECESSARY PENETRATIONS THROUGH WALLS, FLOORS, ROOFS AND CEILINGS FOR ALL PIPES, ETC., WHETHER OR NOT SUCH PENETRATIONS ARE SPECIFICALLY SHOWN ON THE ARCHITECTURAL DRAWINGS.
 - THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION, DIRECTION, EXECUTION AND PROTECTION OF ALL OPERATIONS NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE SCOPE OF WORK AND THE CONTRACT.
 - THE CONTRACTOR SHALL PAY ALL APPLICABLE TAXES AND FEES AND SHALL SECURE AND PAY FOR ALL PERMITS NECESSARY FOR COMPLETION OF THE WORK.
 - AT THE COMPLETION OF THE JOB, THE CONTRACTOR SHALL PROVIDE GUARANTEES COVERING ALL MATERIALS AND WORKMANSHIP PERFORMED BY HIM AND HIS SUBCONTRACTORS FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL TURN OVER TO THE OWNER ALL GUARANTEES OF ALL MATERIALS USED IN THE WORK OF THE CONTRACT.
 - THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CHANGES MADE BY THE CONTRACTOR, HIS FORCES, OR THE OWNER DURING CONSTRUCTION.
 - THE PROJECT IS NOT SUBJECT TO SUPERVISION BY THE ARCHITECT DURING CONSTRUCTION.
- D. BIDDING:
- BEFORE SUBMITTING PROPOSALS BIDDERS SHALL CAREFULLY EXAMINE THE DRAWINGS AND NOTES, INSPECT THE SITE AND ACCOUNT THEMSELVES WITH ALL GOVERNING ORDINANCES, LAWS, ETC., AND OTHERWISE FAMILIARIZE THEMSELVES WITH ALL MATTERS WHICH AFFECT PERFORMANCE OF THE WORK. THE ACT OF SUBMITTING A PROPOSAL SHALL BE CONSIDERED AS MEANING THAT THE BIDDER HAS SO FAMILIARIZED HIMSELF AND THEREFORE NO OBJECTION WILL BE GRANTED BECAUSE OF ANY CLAIM OR MISUNDERSTANDING OR LACK OF INFORMATION.
- E. ROUGH CARPENTRY:
- PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND SUPERVISION NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
 - ALL SILLS, HEADER BEAMS AND BASE PLATES ON MASONRY AND/OR CONCRETE FOUNDATION/S LAB LOCATED WITHIN 3" OF THE GROUND TO BE PRESSURE TREATED PINE, AS SHOWN, INSTALL OVER A LAYER OF SILL FOAM AND ATTACH SECURELY.
 - STUDS: TO BE NOMINAL 2X4, 2X6, 2X8 WHERE INDICATED, 10' OR SHORTER. "STUD" OR NO. 2 STRUCTURAL LIGHT FRAMING GRADE, ANY SPECIES GRADED UNDER WPPA, WCLB, SPS OR NLGA RULES.
 - PLYWOOD: PROVIDE APA GRADED PANELS COMPLYING WITH PS 1 ANSI A199, FOR TYPE OF APPLICATIONS INDICATED.
 - FASTENERS: HOT DIPPED GALVANIZED, ASTM A 153 STEEL FOR HIGH HUMIDITY AND TREATED WOOD LOCATIONS.
- F. DESIGN LOADS:
- GROUND ROOF SNOW LOAD: PER IBC SECTION 1608
 - WIND SPEED: PER IBC SECTION 1609
 - SEISMIC DESIGN CATEGORY: PER IBC SECTION 1613
 - WEATHERING: SEVERE
 - FROST LINE DEPTH: 24 INCHES
 - TERMITE: MODERATE TO HEAVY
 - WINTER DESIGN TEMPR: 13 F
 - LIVE LOAD: PER IBC SECTION 1607
 - SOIL BEARING CAPACITY: 1,500 LBS
 - SEE STRUCTURAL

CONSULTANTS

Civil Engineer:
SERA ENGINEER LLC
GALATES SERA, PHD, PMP, PE
4300 Georgia Ave NW, Washington, DC 20011
(202) 417-6559 glady@seraengineer.com
DC LICENSE No.: PE908893

Structural Engineer:
ONX STRUCTURAL
TIMOTHY PARK, PE
1660 International Drive, Suite 600, McLean, VA 22102
814-876-2782 tpark@onxstructural.com
DC LICENSE No.: PE908440

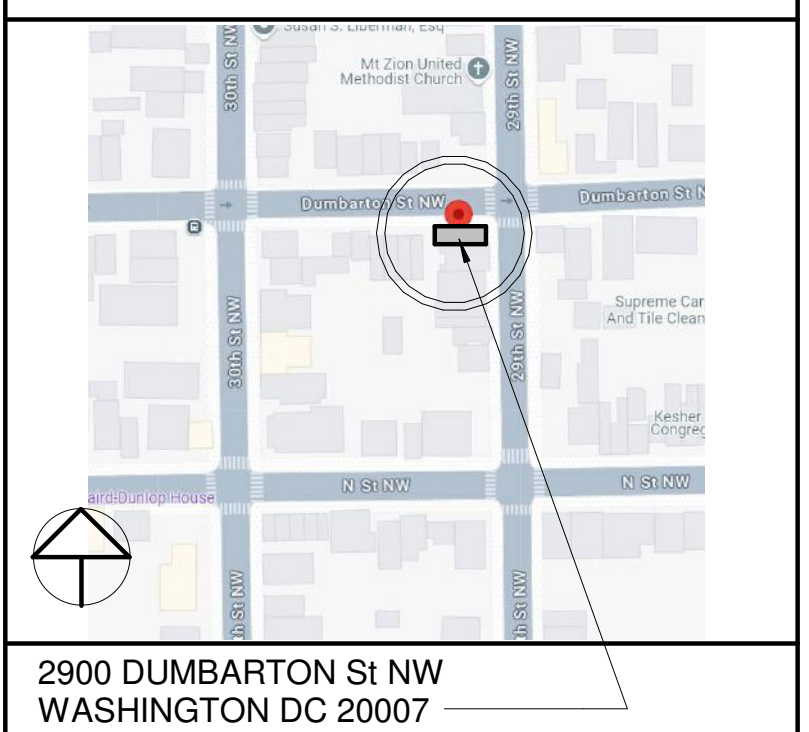
Mechanical Engineer:
PERMITZ, PLC
KENNETH SHULTZ, PE
208 W 25th St, Suite 203, Norfolk, VA 23517
804.591.0090 kshultz@permitz.com
DC LICENSE No.: PE922366

Contractor:
BANKS AND SON BUILDERS
SAM BANKS
1755 Laurence Ct, Crofton, MD 21114-2128
301-310-3645 Sam@banksandsonbuilders.com
DC LICENSE No.: 42022000004

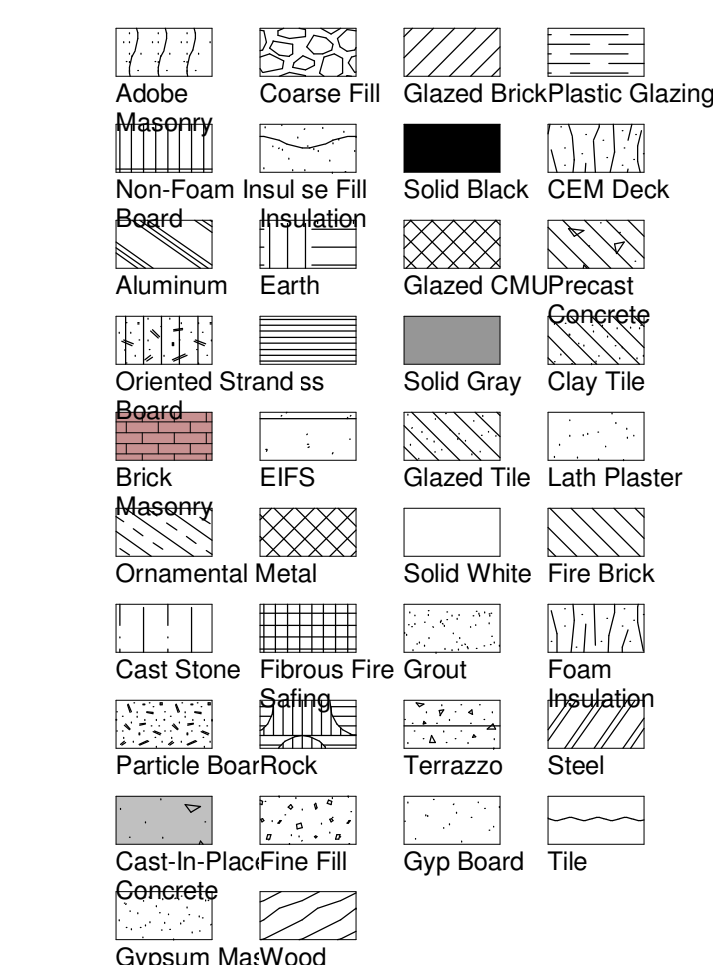
DRAWING LIST

SHEET #	SHEET NAME
A000	COVER SHEET
AG-130	ZONING CODE ANALYSIS
Aspc-03	WINDOW REPLACEMENT SPECS
Asch-40	ROOM AND DOOR SCHEDULES
Asch-50	EXISTING WINDOW RESTORATION AND REPAIR SCHEDULE
Asch-52	WINDOW REPAIR AND RESTORATION SPECS (EXTENDED)
Asch-60	WINDOW DETAILS 29TH ST FACADE
Asch-61	CORNER BAY (29TH AND DUMBARTON) DOOR AND WINDOW
Asch-62	DUMBARTON ST GF FACADE WINDOWS
Asch-63	DUMBARTON ST 2ND FL FACADE WINDOWS
Asch-64	REAR YARD WINDOW AND DOORS
A100	EXISTING SUMMARY VIEWS
A101	EXISTING EXTERIOR PHOTOS
A102	EXISTING CONDITION INTERIOR PHOTOS
A110	PROPERTY HISTORY - SANBORN AND BAIST FIRE INSURANCE MAP DATA
A115	PROPERTY HISTORY - 3D TIME LAPSE
A120	STAIRS IN PUBLIC SPACE IN THE VICINITY OF THE PROJECT
A200-1	PROPOSED SUMMARY VIEWS
A201	CELLAR FLOOR PLANS - UNIT 00
A202	1ST FL PLANS - UNIT 01
A203	2ND FL PLANS - UNIT 02
A300	EXISTING ELEVATIONS
A310	PROPOSED ELEVATIONS
A350	EXISTING SECTIONS
A351	PROPOSED SECTIONS
A700	BASEMENT STAIR OPTION 1 - DUMBARTON ST
A701	BASEMENT STAIR OPTION 2A - REAR YARD "U"
A702	BASEMENT STAIR OPTION 2B - REAR YARD "L"
A720	PROPOSED VIEWS OPTION 1
A725	PROPOSED VIEWS OPTION 2
Asch-51	EXISTING WOOD WINDOW DETAILS AND SURVEY ASSESSMENT PHOTOS

LOCATION MAP



MATERIALS LEGEND



Architect:
ARIMSE ARCHITECTS
ARIMSEARCHITECTURE.COM
703-862-1115

MARVELLA
ARCHITECTURE | DEVELOPMENT | CONSTRUCTION | ESTIMATION

Project Name:
2900-2902 DUMBARTON ST NW RENOVATIONS

2900 DUMBARTON St NW WASHINGTON DC 20007

Client:
INVESTMENTS NMN

REV REVISION REVISION DESCRIPTION
No DATE

Drawing Title:
COVER SHEET

North:

Project No.: Project Number

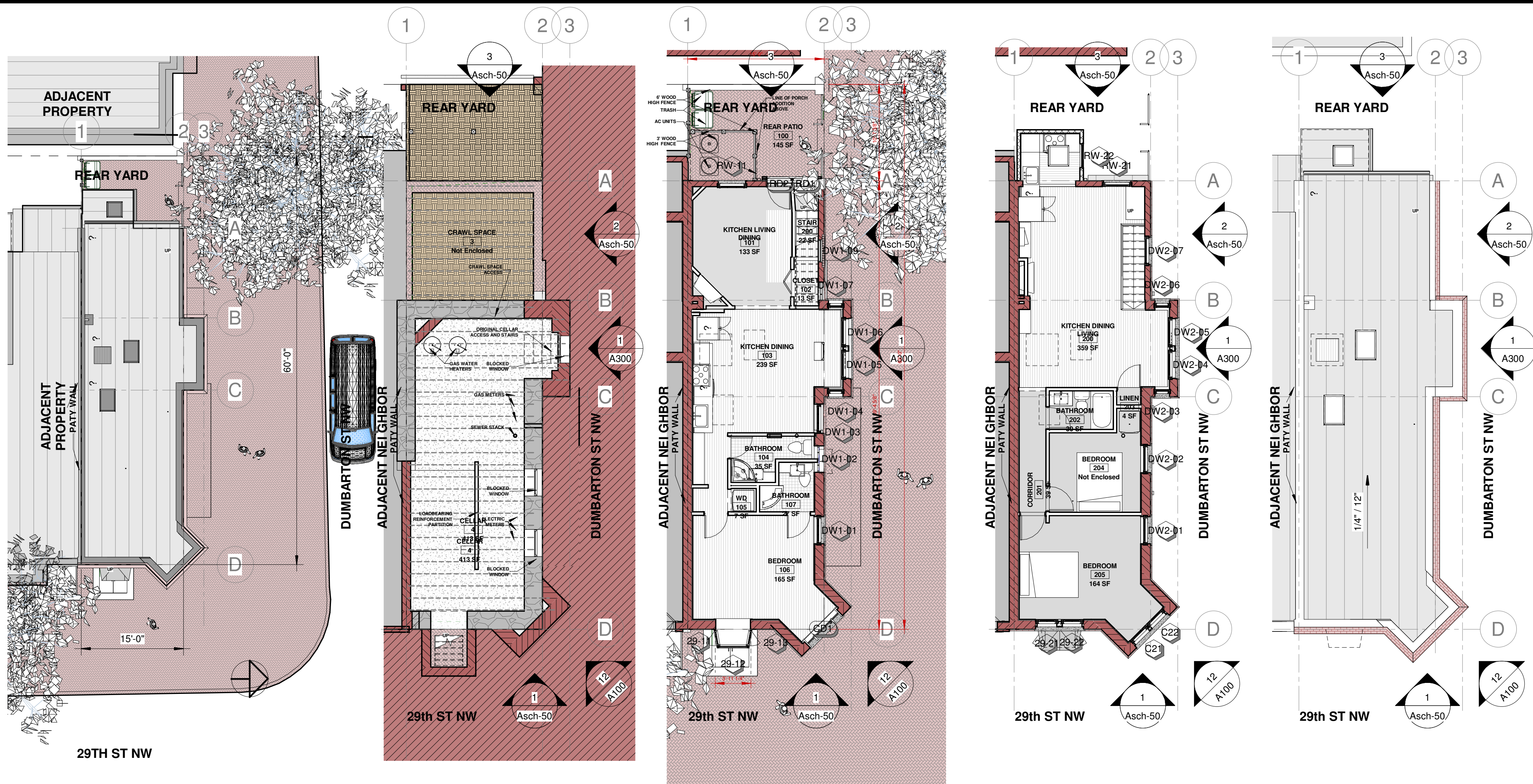
Drawn by: Author

PERMIT No. Checker

Scale: As indicated

Date: 10/15/2024 6:18:44 PM

Drawing No.:
A000



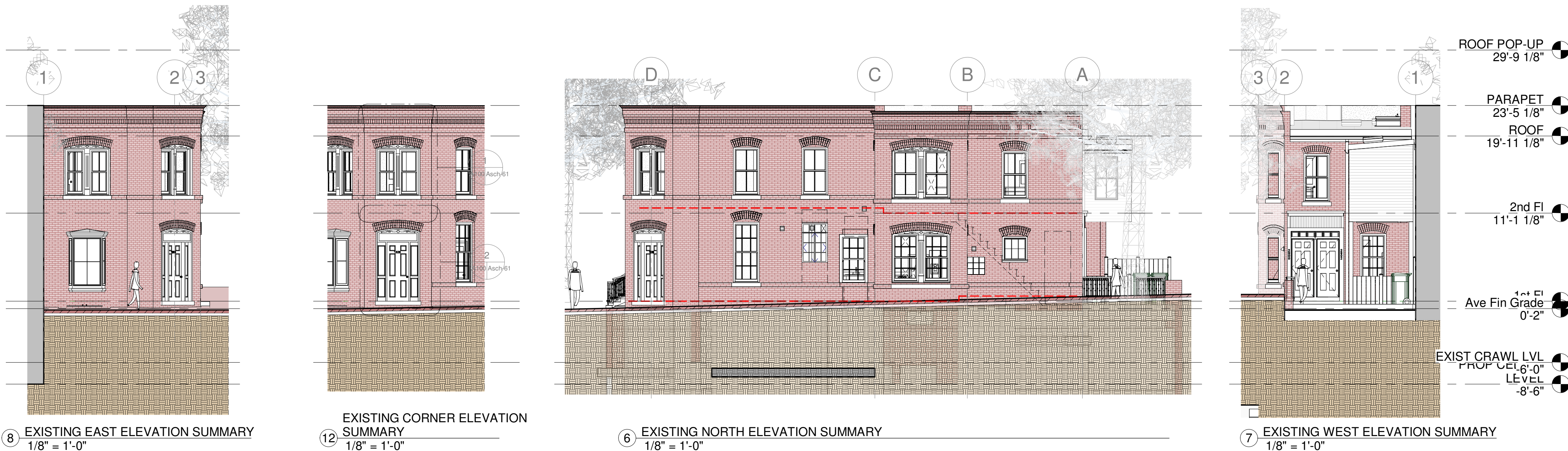
1 EXISTING SITE PLAN SUMMARY
3/32" = 1'-0"

2 EXISTING CELLAR FL SUMMARY
1/8" = 1'-0"

3 EXISTING 1ST FL SUMMARY
1/8" = 1'-0"

4 EXISTING 2ND FL SUMMARY
1/8" = 1'-0"

5 EXISTING ROOF FL SUMMARY
1/8" = 1'-0"



8 EXISTING EAST ELEVATION SUMMARY
1/8" = 1'-0"

12 EXISTING CORNER ELEVATION SUMMARY
1/8" = 1'-0"

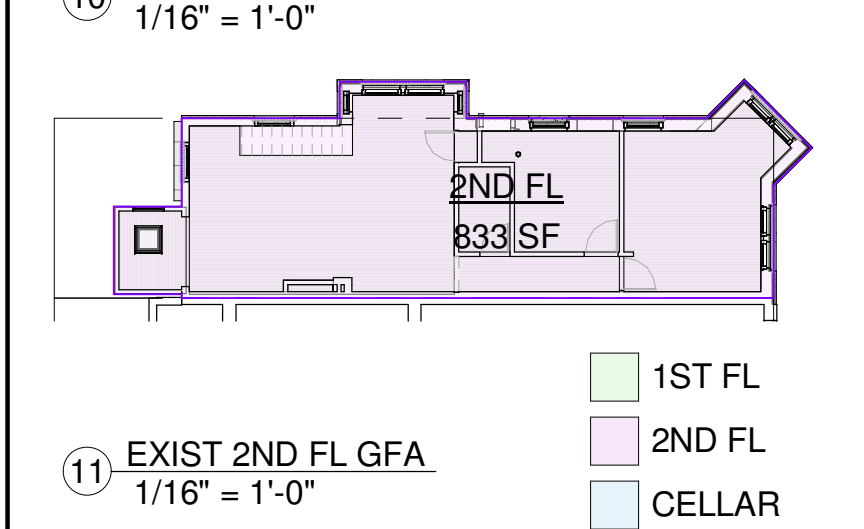
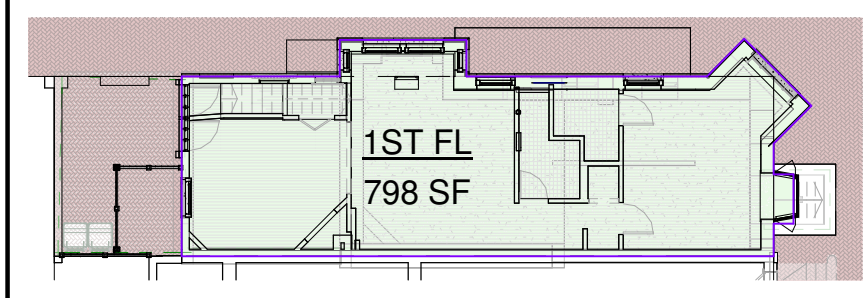
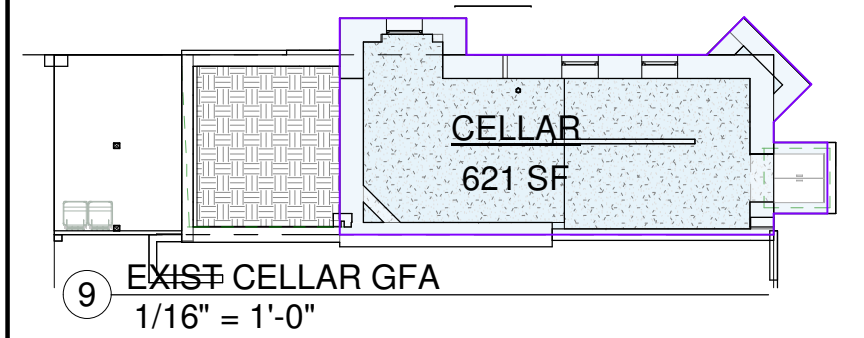
6 EXISTING NORTH ELEVATION SUMMARY
1/8" = 1'-0"

7 EXISTING WEST ELEVATION SUMMARY
1/8" = 1'-0"

SHEET NOTES

EXISTING GFA AREA...

1ST FL	798 SF
2ND FL	833 SF
CELLAR	621 SF
Grand total: 3	2,252 SF



Architect:
ARIMSE ARCHITECTS
ARIMSEARCHITECTURE.COM
703-662-1115

MARVELLA
ARCHITECTURE | DEVELOPMENT | CONSTRUCTION | ESTIMATION

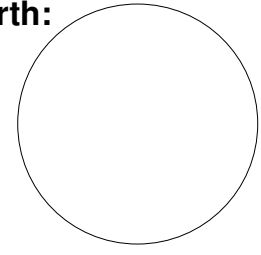
Project Name:
2900-2902 DUMBARTON ST NW RENOVATIONS

2900 DUMBARTON St NW WASHINGTON DC
20007

Client:
INVESTMENTS NMN

REV No	REVISION DATE	REVISION DESCRIPTION
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Drawing Title:
EXISTING SUMMARY VIEWS

North: 	Project No.: Project Number
	Drawn by: Author
	PERMIT No. Checker
	Scale: As indicated
Stamp:	Date: 10/28/2024 2:59:28 PM

Drawing No.:
A100

EXISTING WINDOW RESTORATION SCHEDULE

LEVEL	WINDOW No.	ROOM No.	ROOM NAME	ROUGH OPENING		SILL HT	HEAD HT	SASH LITES	MATERIAL	FINISH	COLOR	EXISTING CONDITIONS SURVEY / INSPECTION / ASSESSMENT																REPAIR CLASS					COMMENTS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
				WIDTH	HEIGHT							EXTERIOR FRAME / ACCESSORIES				INTERIOR TRIM / ACCESSORIES				BOTTOM SASH				TOP SASH				1 - ROUTINE MAINTENANCE	2 - STABILIZATION	3 - PARTIAL REPLACEMENT	4 - TOTAL REPLACEMENT	5 - ENVIRONMENT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
												EXT SILL	LINTEL	JAMB LEFT	JAMB RIGHT	EXT STORM WINDOW	EXT SHUTTERS	EXT HRDWR	INT STOOL	INT TRIM	INT STOPS	INT HRDWR	INT STORM WINDOW	INT SHUTTERS	STYLE /RAILS	MUNTINS	GLAZING							CORDS	STYLE/RAILS	MUNTIN	GLAZING	CORDS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
EXIST CRAWL LVL	DW0-01	4	CELLAR	3'-0"	1'-6"	4'-3 3/4"	5'-9 3/4"	0	WOOD	PAINT	GREEN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											

ASSESSMENT DEFECTS AND TYPICAL R1, R2 AND R3 TYPE REPAIRS

R1 Visible gap at sill | Twisted outer case or weights prevented from full travel in weight box | Check and free snagged weights. Remove lower sash and add timber to bottom rail.

R1 Gaps leading to draughts | Consider draughtstripping (see upgrading section).

R2/R3 Meeting rails not level | Twisted, warped, or excessively worn sashes | Check and replace sash cords. Remove sashes and add new timbers to square them.

R2/R3 Joints in sashes opening up | Mortises snapped or eased apart due to excessive force | Glue, wedge, and clamp the joint. OR: Strengthen with non-ferrous metal angle plates. OR: Take out glass from sash, disassemble sash (remove wedges/dowels), and piece in new timbers at ends with new mortises/tenons. Replace old dowels with glued new ones.

R1 Broken sash cords | Wear and tear, undersized cord for heavy sashes, or cord snagging on pulley | Weigh sashes to ensure correct weights. Replace/amend weights. Renew sash cord. Check pulleys.

R1 Broken/cracked glass | Accidental damage, vandalism, small diagonal cracks (may indicate sash distortion) | Small corner cracks in original glass may be acceptable. Otherwise, remove and reglaze without damaging timber.

R1 Flaking/missing paint | Deterioration of old paint, excess moisture in timber | Check moisture levels and correct defects. Remove loose paint, prepare surface, and repaint with appropriate system.

R1/R2 Badly worn sash stile timber | Wear and tear, aggravated by projecting elements | Scrape/sand projecting timber/paint. Adjust simplex hinge knuckles. Move baton rods closer to sash. Fill grooves with proprietary filler. Re-edge sashes if wear is severe.

R2/R3 Timber decay in sill, parting beads, sash joinery, hidden parts of case | Piece in new timber. Cut out decayed timber (remove glass if needed) and replace with matching sections. For glazing bar repairs, replace the full bar if piecing is impractical.

R1 Evidence of previous repairs (e.g., metal strengthening angles) | Often used to secure broken mortice joints | May not need work. Replace if necessary by re-making mortices.

R1 Missing/defective glazing putty | Deterioration, incorrect repainting after repairs | Cut out defective putty (soften with alkali stripper or hot air gun). Apply linseed oil to exposed timber, then new putty. Don't paint new putty for 28 days.

R1/R2 Missing/defective external mastic/sealant | Deterioration, movement in case joinery or masonry | Cut out defective mastic. Pack gaps with suitable material (e.g., damp newspaper or expanding foam). Seal with lime mortar and finish with a fillet of burnt sand and boiled linseed oil mastic.

R1/R2 Missing/defective sill bedding mortar | Deterioration from external water sources | Rake out defective mortar, replace with new bedding mortar, pack thoroughly. Form a recessed drip below the sill edge.

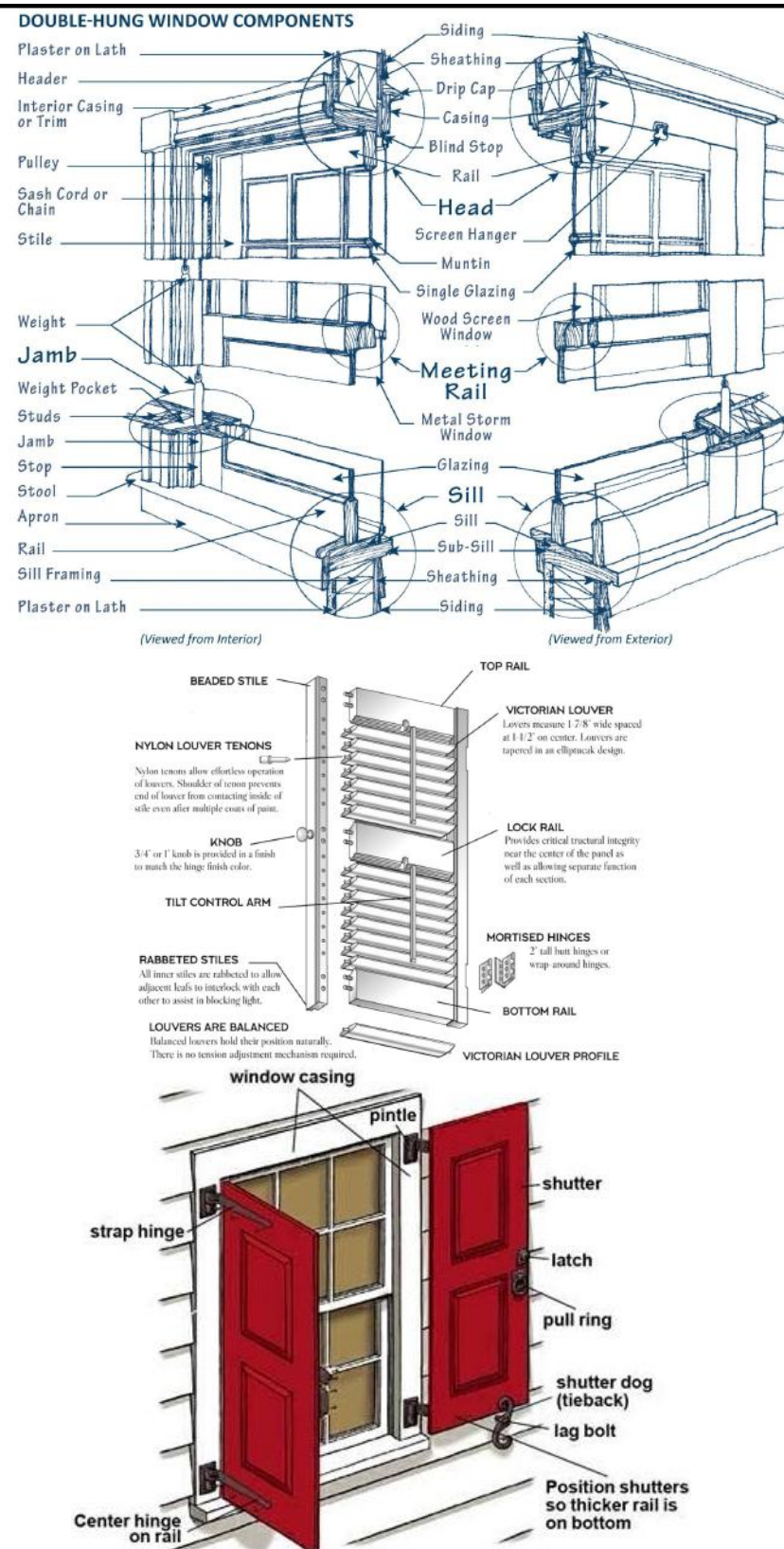
R1 Sashes drop/rise or drift | Sash weights too light/heavy, heavier/lighter glass than original | Weigh sashes and weights. Upper sash weights should be 2lb heavier, lower sash weights 2lb lighter. Replace/adjust weights, renew cord, check pulleys.

R2/R3 Timber decay in sill, parting beads, sash joinery, hidden parts of case | External weathering, excess internal condensation, moisture ingress | Replace decayed timber with matching sections. Remedy moisture sources, ventilate affected areas. Chemical treatments rarely needed.

R1/R2 Debris in weight pockets | Gradual erosion of mortar/soft sandstones | Remove weight box cover, clear debris, replace cover.

R1/R2 Shutters stuck/difficult to open, split/decayed panels, damp plaster, structural opening defects | Paint buildup, damaged hinges, distortion, moisture, external building defects, historic/ongoing movement | Carefully open shutters, remove fixings/excess paint. Repair/replace hinges, rectify external causes of distortion. Fill cracks, remedy moisture sources, replace decayed timber/plaster. Consult an engineer for structural issues.

WINDOW GLOSSARY



SURVEY / INSPECTION / ASSESSMENT DEFECTS KEY

- A. Those windows in Class I, II, and III, should be repaired and those in Class IV should be replaced with exact duplicates. If the number of Class IV windows exceeds 75%, then total replacement may be approved. Check for water penetration or air infiltration around the window frame interior and exterior.
- B. Inspect all moving parts.
- A. Check that the sash lock is operable and keeps the window shut tightly.
- B. Ensure that the sash(es) move freely up and down and the sash cord or chain moves smoothly through its pulley, if it exists
- C. Check glazing putty for cracked, loosened, or missing sections.
- A. Also, check the glazing bed on interior side of glass pane.
- D. d. Examine the sill to ensure it slopes away from the window for water to drain off.
- E. Look for areas with paint failure (peeling, cracking, blistering, etc.) to help identify points of water penetration.
- A. Paint failure does not equal bad wood condition requiring replacement.
- F. Inspect the condition of the wood
- A. Common areas for water collection and deterioration are the sill, joints between the sill and jamb, corners of the bottom rails, and muntin joints.
- B. If severe deterioration exists, it is usually visible.
- C. To check less visible deteriorated areas use a small ice pick or awl and probe into wood surface at an angle.
- a. Try to pry up a small section of the wood. Sound wood comes up in long, fibrous splinters, but decayed wood will lift up in short, irregular pieces due to the breakdown of fiber strength

OPERATION DEFECTS KEY:

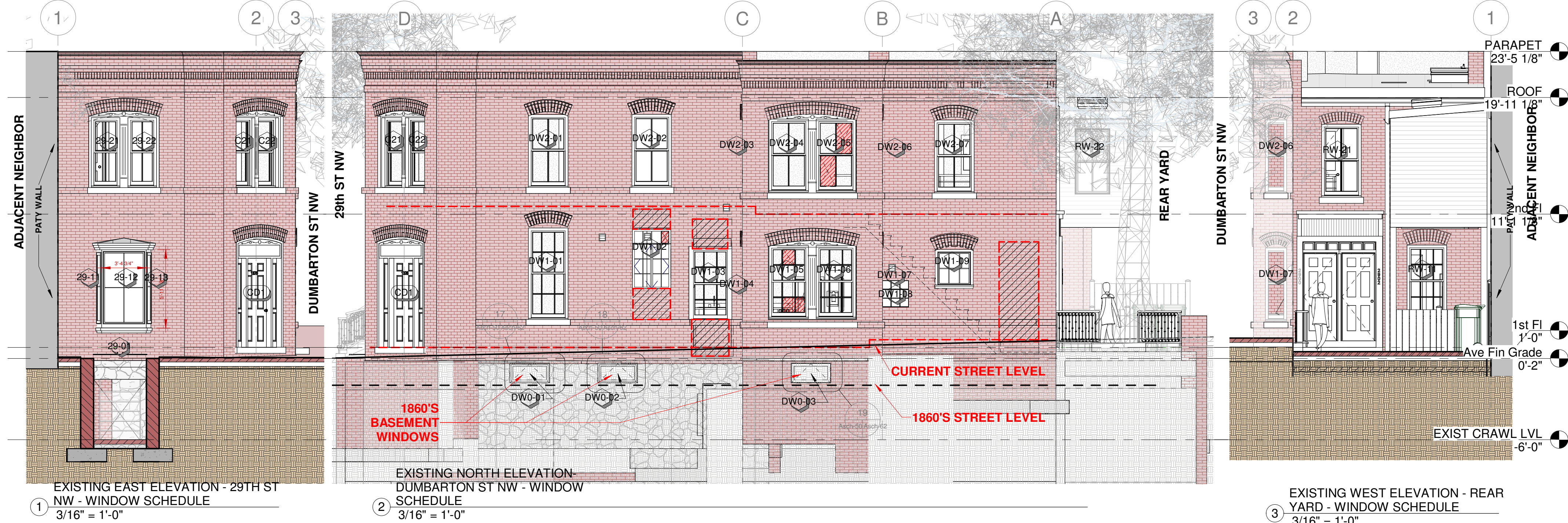
- OM = OPERATION NULL - Sash not operable / sticks /
- OF = PERIMETER FRAME DISLOUMENT - Building settling
- OL = WINDOW AIR LEAK / DRAFT / LOOSE SHASHES
- OI = SOUND INSULATION / ENERGY EFFICIENCY
- OS = SECURITY / PRIVACY
- PAINT DEFECTS:
 - PP = PAINT PEELING / INTERCOAT - Moisture / Adhesion
 - PB = PAINT BLISTERING - Moisture / Temperature
 - PC = PAINT CRACKING - Moisture / surface prep / thin coat
 - PM = PAINT MILDEW - Stain Fung / Moisture
 - PD = PAINT DISCOLORATION - Wood Extractives / Rust
 - PR = PAINT REMOVAL - Graffiti / vandalism
- WOOD DEFECTS:
 - WR = WOOD ROT / DECAY - Humidity
 - WW = WOOD WARP / BOWING - Humidity
 - WI = WOOD INFESTATION - Insects
 - WJ = WOOD JOINT SEPARATION - Wear and tear
- GLAZING DEFECTS:
 - GB = GLASS BROKEN - Cracked, Accident / vandalism
 - GR = GLASS RE-INSTALLATION - Putty repairs
- HARDWARE DEFECTS:
 - HM = HARDWARE MISSING - Wear and tear
 - HR = HARDWARE DEFECTIVE - Wear and tear
 - HO = CORDS AND WEIGHT BROKEN - Wear and Tear

REPAIR KEY

1. Repair Class I: Routine Maintenance: is associated with small repairs, which are usually performed as a part of a building's annual maintenance program. Typical maintenance to keep a window in good condition usually includes:
- a. limited paint removal,
 - b. repair of sash, including re-glazing where necessary,
 - c. repairs to the frame,
 - d. weather-stripping and
 - e. repainting
2. Repair Class II: Stabilization: shows a small degree of physical deterioration but can be repaired in place by:
- A. Partially decayed wood can be waterproofed,
 - B. patched,
 - C. built-up, or
 - D. consolidated and repainted to achieve sound condition, good appearance, and long life.
3. Repair Class III: Partial Replacement (Splices and Parts Replacement)
- A. In some cases, wood deterioration is so advanced that stabilization is impractical, and the only way to retain some of the original fabric is to replace damaged parts by splicing new matching wood into existing members or replacing parts of the frame. It is necessary to remove the affected parts and have a carpenter or woodworking mill reproduce the missing parts.
4. Repair Class Four (IV): Total Replacement: If the entire fabric of the window has deteriorated, then the only feasible alternative is total replacement.

REPAIR TYPES KEYS:

- CLASS 1: ROUTINE MAINTENANCE
 - R1C = CLEAN FRAME AND GLASS
 - R1CK = CAULKING
 - R1P = PAINT
 - R1O = OPERATION ACTIVE / HARDWARE ADJUSTMENT
 - R1E = EFFICIENCY / WEATHERSTRIPPING
- CLASS 2: STABILIZATION
 - R2G = FILL CRACKS AND HOLES - Putty or Epoxy
 - R2R = RE-BUILD ROTTED AREAS - Epoxy w Putty
- CLASS 3 - PARTIAL REPLACEMENT:
 - R3S = PARTIAL SILL REPLACEMENT
 - R3L = PARTIAL LINTEL REPLACEMENT
 - R3J = PARTIAL JAMB REPLACEMENT
 - R3P = PARTIAL SASH FRAME REPLACEMENT
 - R3M = PARTIAL MUNTIN REPLACEMENT
- CLASS 4 TOTAL REPLACEMENT:
 - R4K = COMPLETE WINDOW AND FRAME IN-KIND
 - R4R = RE-BUILD ROTTED AREAS - Epoxy w Putty
 - R4I = COMPLETE WINDOW WITHIN FRAME IN-KIND
 - R4S = COMPLETE SASH IN-KIND REPLACEMENT
- CLASS 5 OTHER DEFECTS:
 - R5H = REPLACE / REPAIR HARDWARE



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Project Name:
2900-2902 DUMBARTON ST NW RENOVATIONS

2900 DUMBARTON St NW WASHINGTON DC
20007

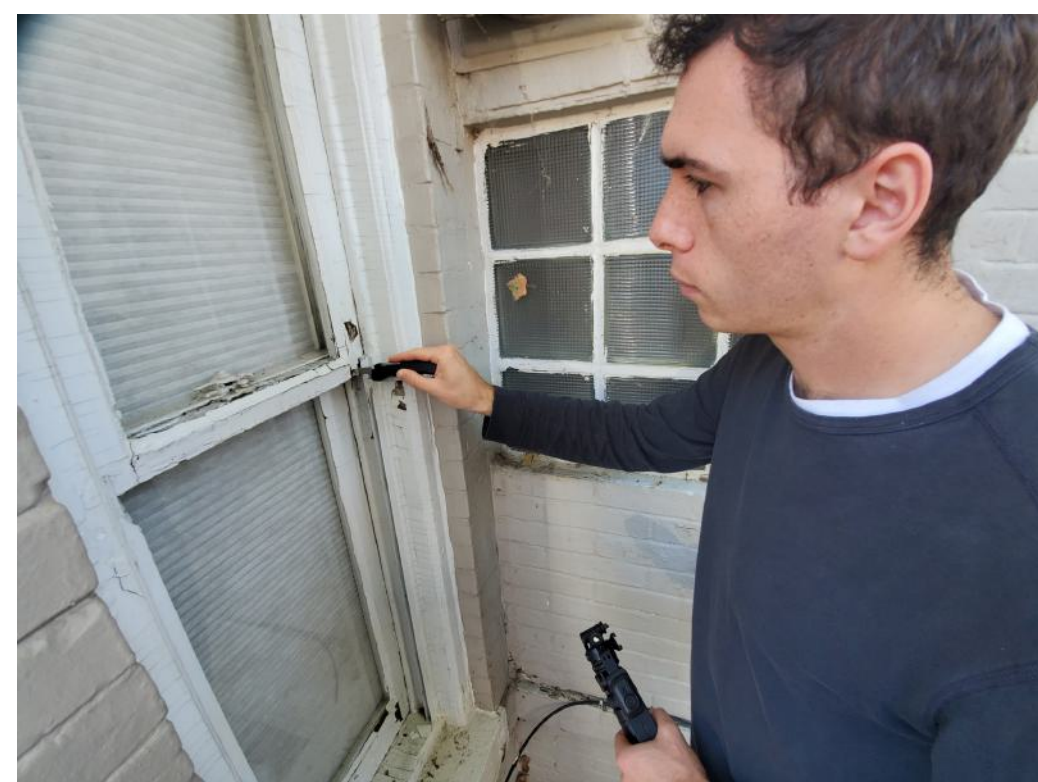
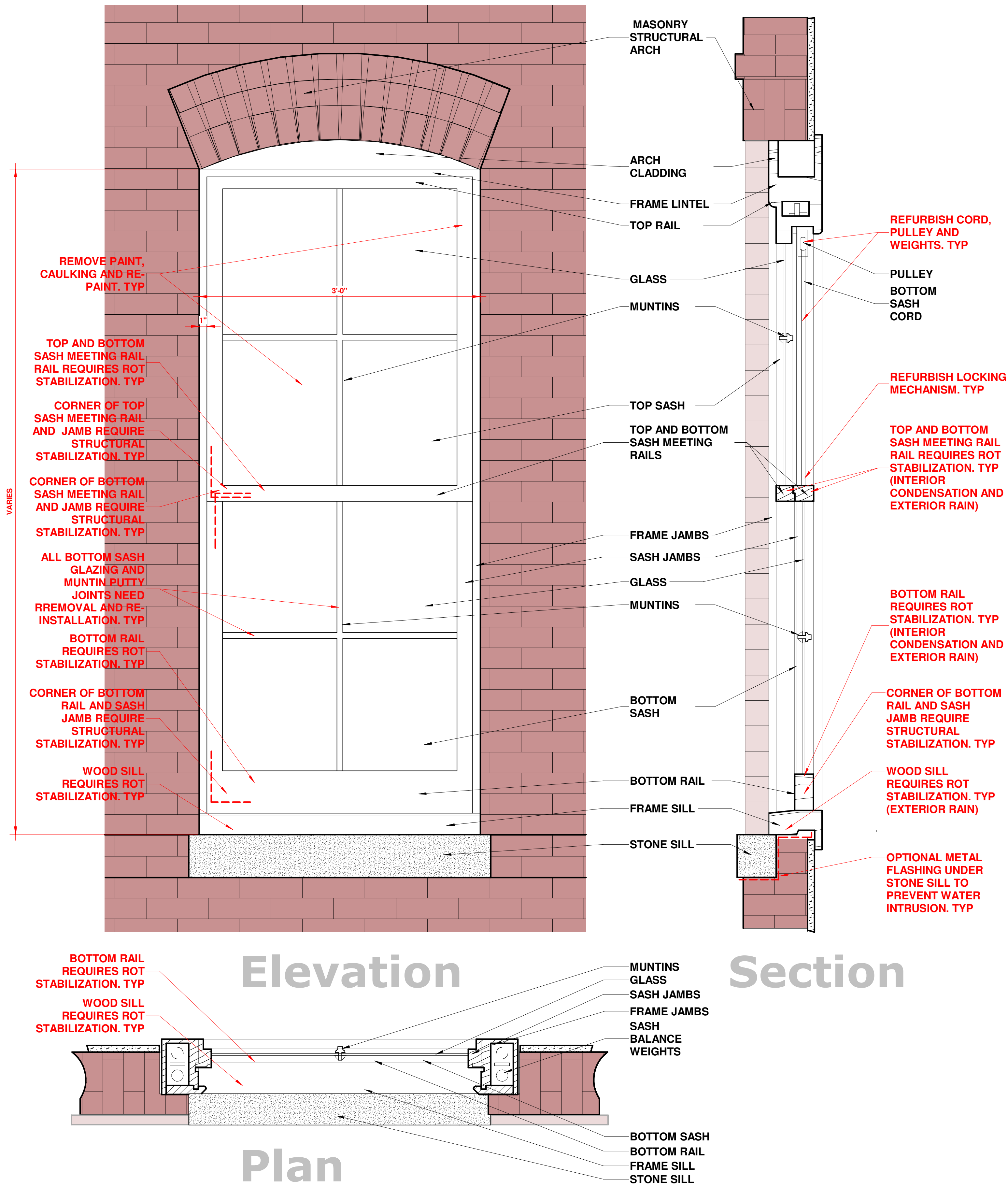
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INVESTMENTS NMN

REV No REVISION DATE REVISION DESCRIPTION

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EXISTING WINDOW RESTORATION AND REPAIR SCHEDULE

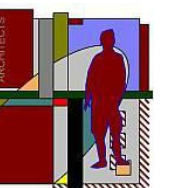
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PERMIT No. Checker
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Date: 10/15/2024 6:29:04 PM

Drawing No.:
Asch-50



② WINDOW SURVEY PHOTOS
1" = 1'-0"

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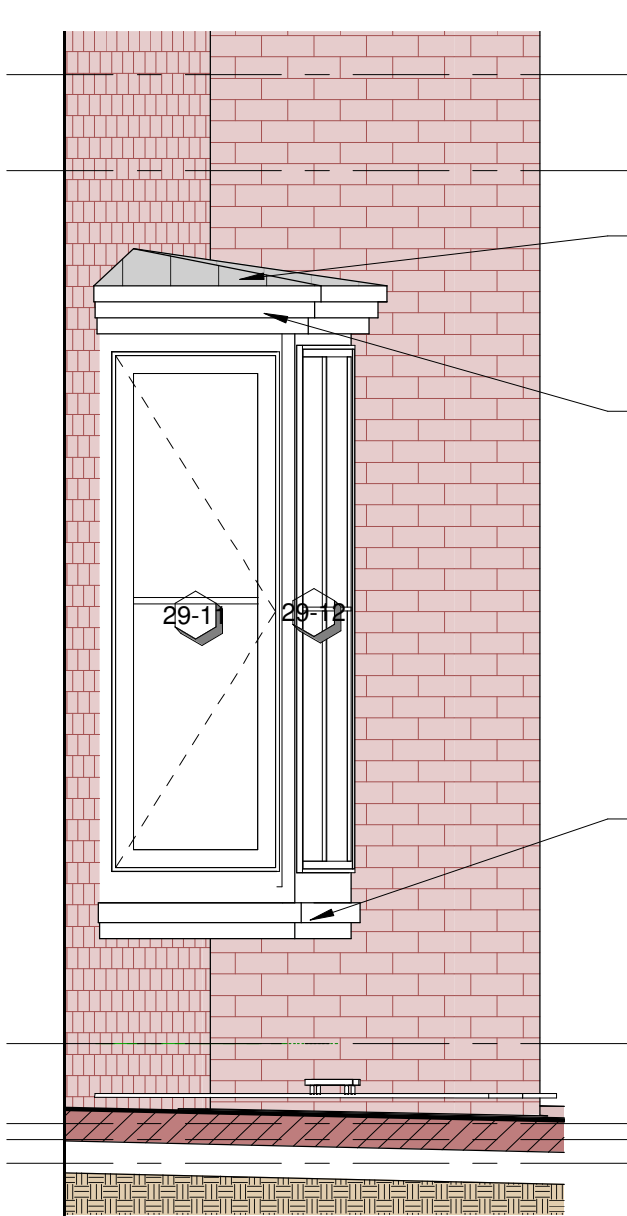
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INVESTMENTS NMN

REV No	REVISION DATE	REVISION DESCRIPTION
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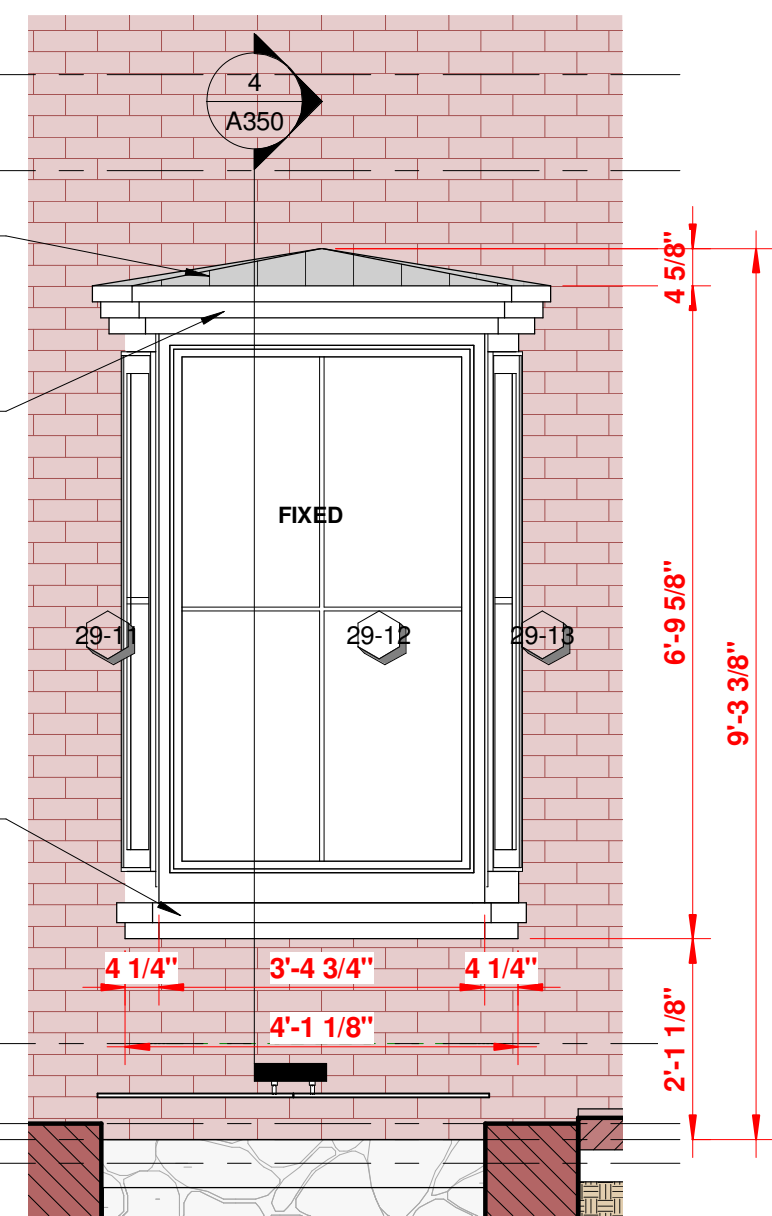
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**EXISTING WOOD
WINDOW DETAILS AND
SURVEY ASSESSMENT
PHOTOS**

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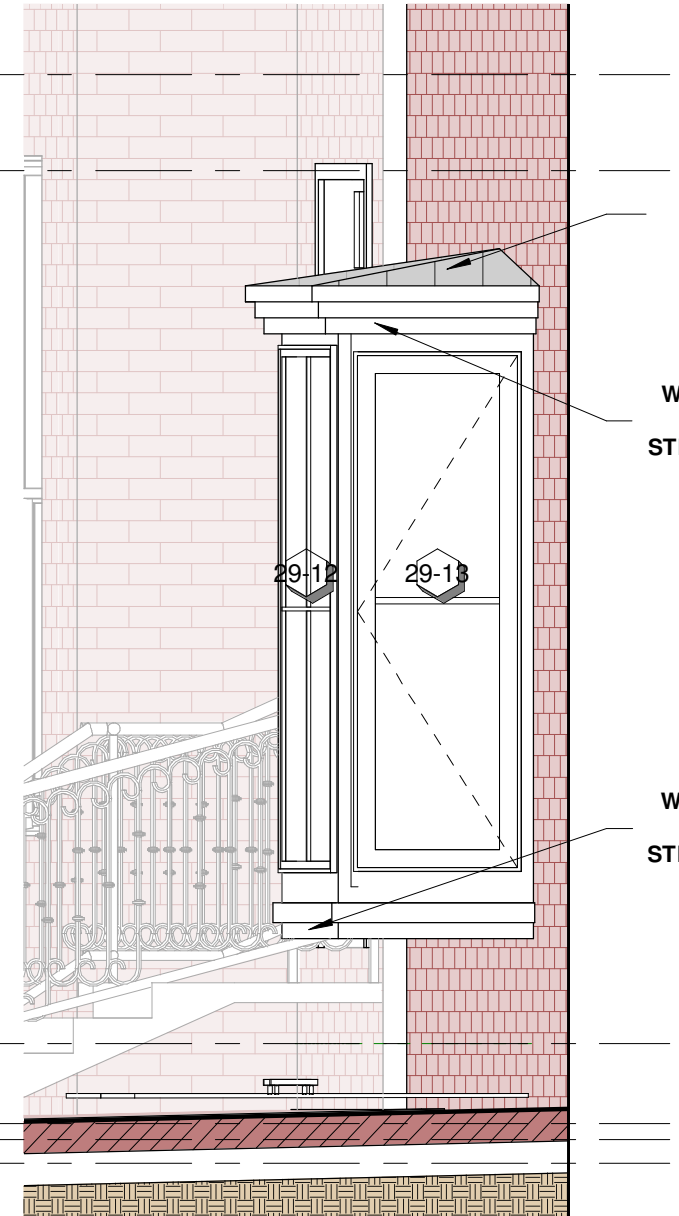
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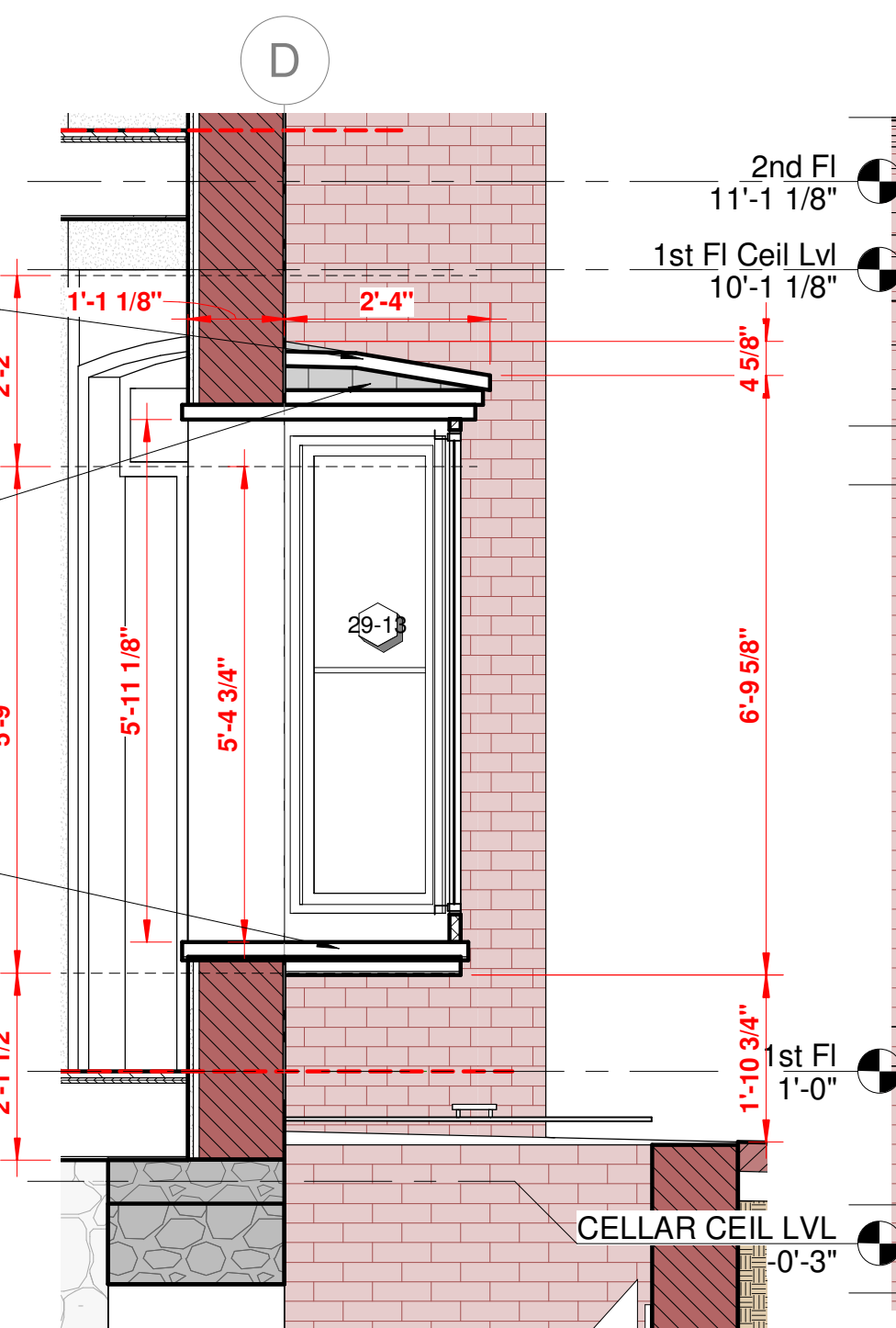
④ BAY WINDOW EXTERIOR LEFT ELEVATION 29-11, 29-12 AND 29-13
1/2" = 1'-0"



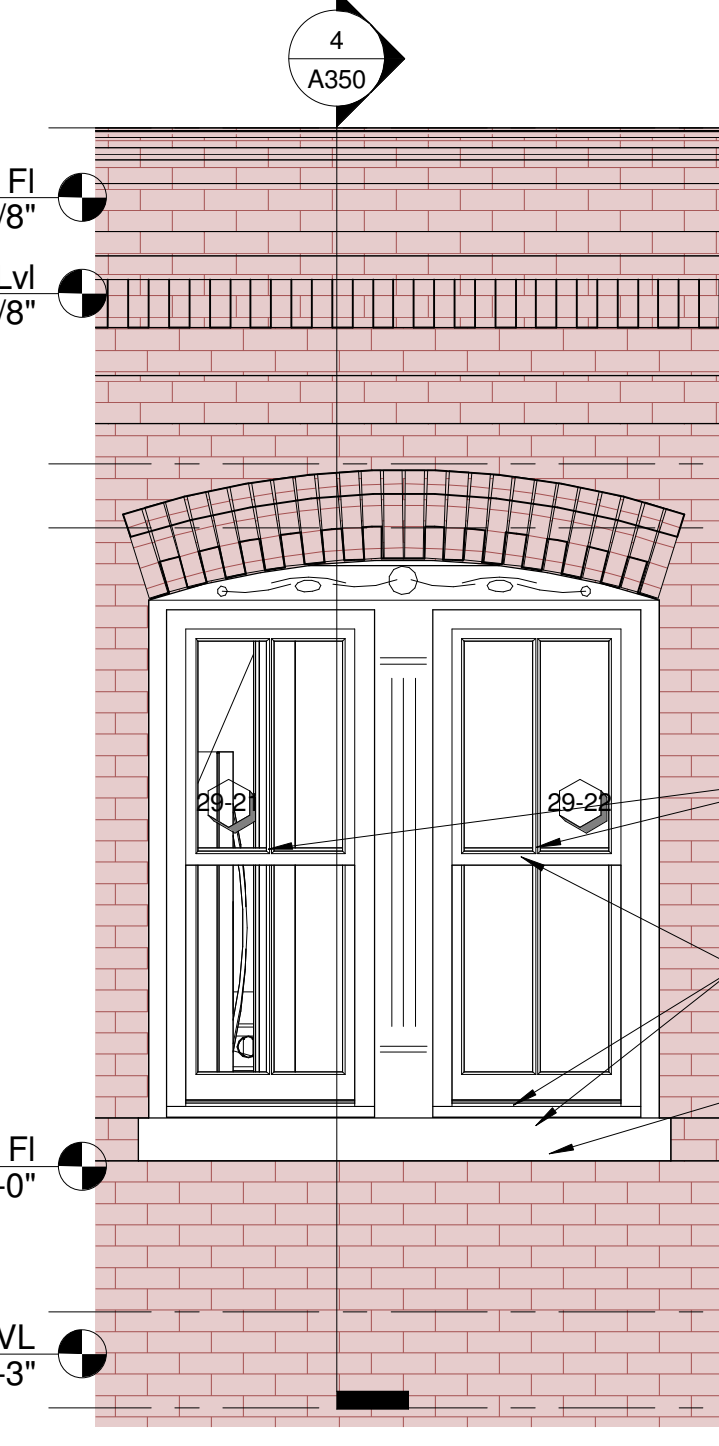
② BAY WINDOW EXTERIOR FRONT ELEVATION 29-11, 29-12 AND 29-13
1/2" = 1'-0"



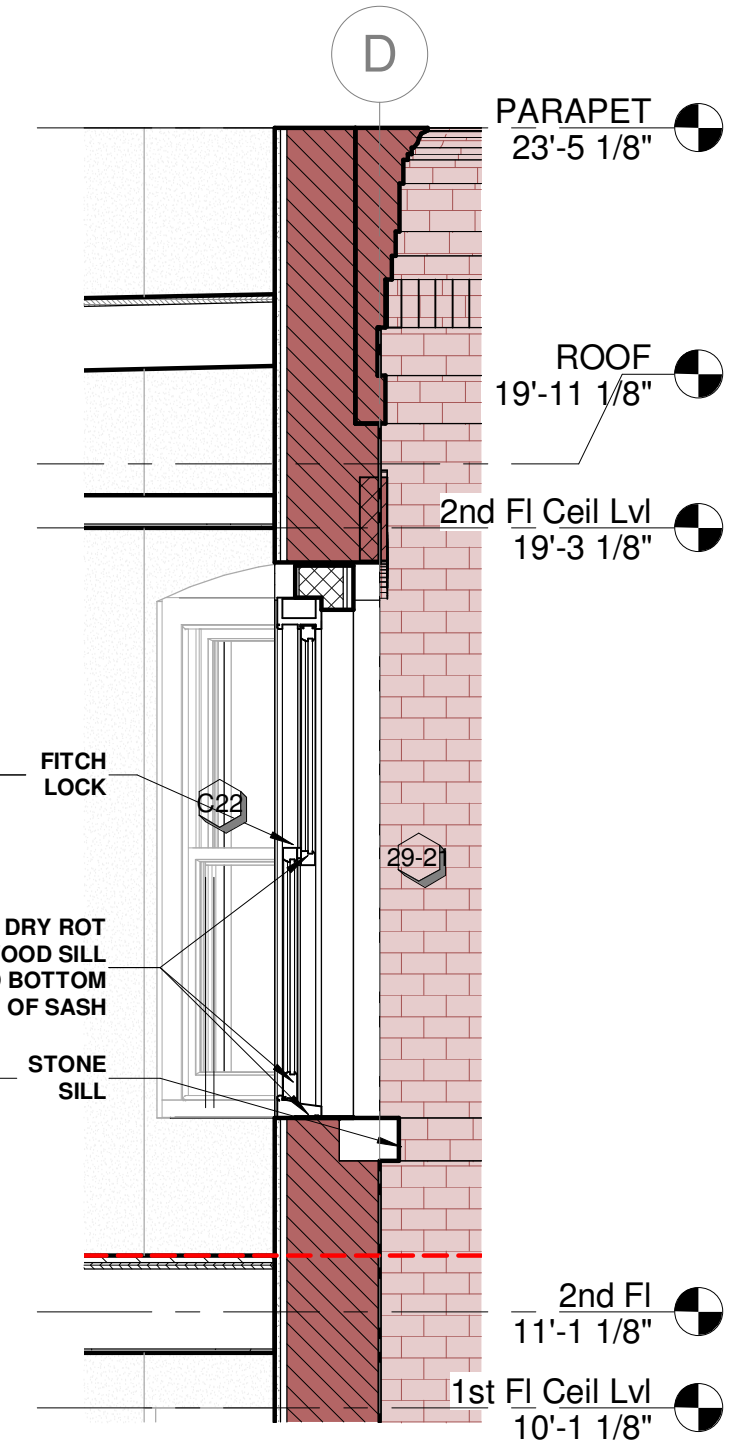
⑤ BAY WINDOW EXTERIOR RIGHT ELEVATION 29-11, 29-12 AND 29-13
1/2" = 1'-0"



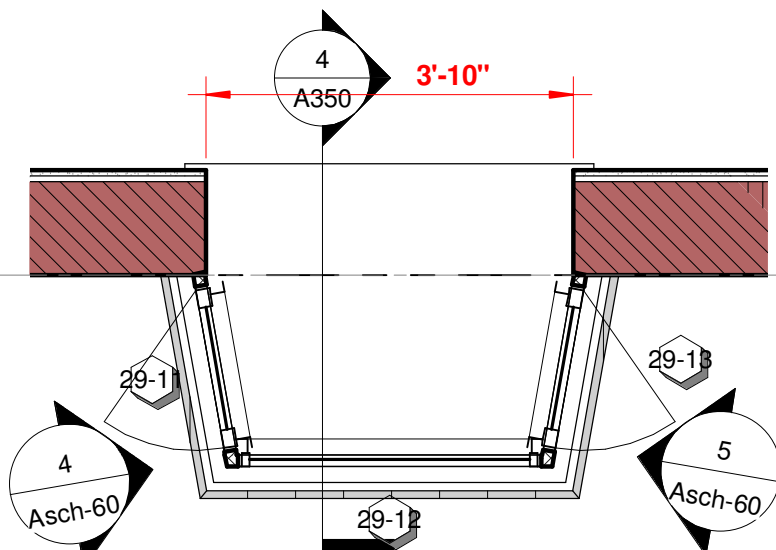
③ BAY WINDOW SECTION 29-11, 29-12 AND 29-13
1/2" = 1'-0"



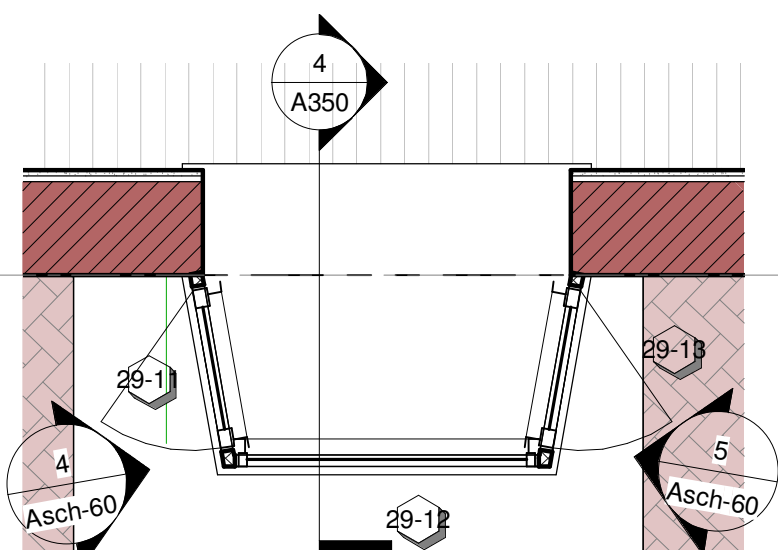
① 29TH ST NW 2ND FL WINDOW ELEVATION 29-21 AND 29-21
1/2" = 1'-0"



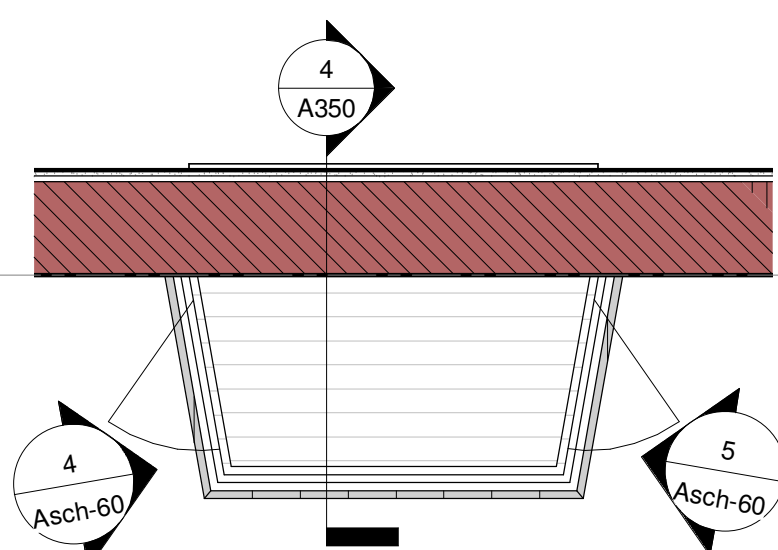
⑦ 29TH ST NW 2ND FL WINDOW SECTION 29-21 AND 29-21
1/2" = 1'-0"



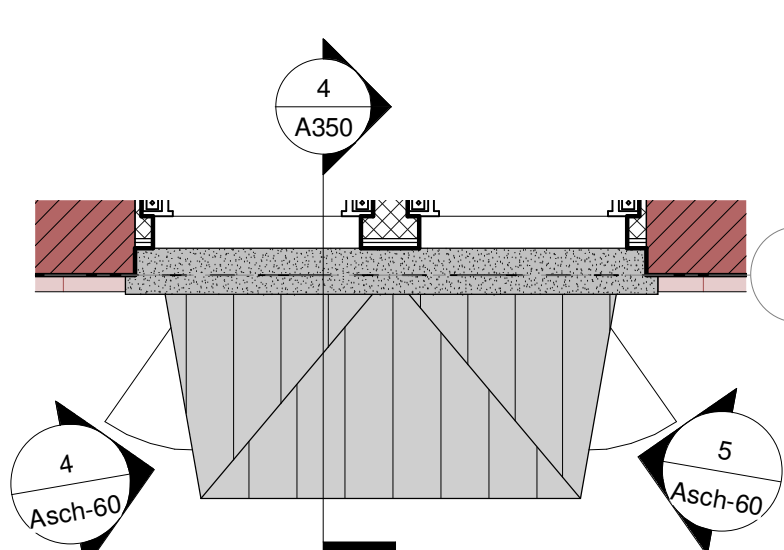
⑧ BAY WINDOW INTERIOR RCP 29-11, 29-12 AND 29-13
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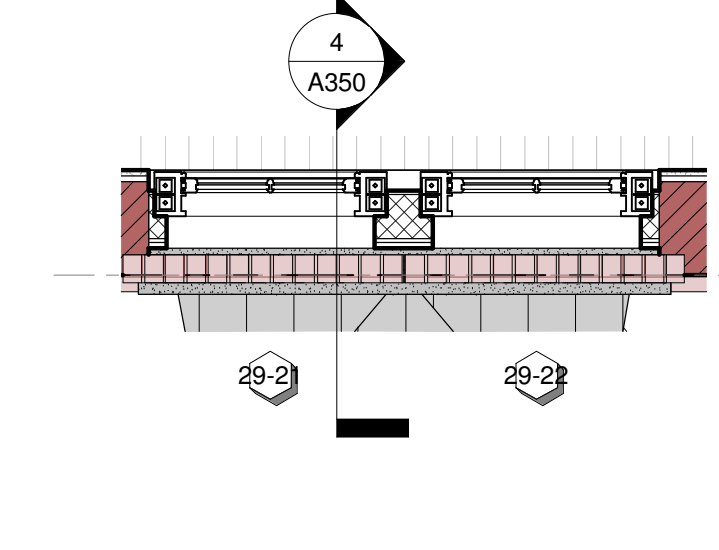
⑥ BAY WINDOW FLOOR PLAN 29-11, 29-12 AND 29-13
1/2" = 1'-0"



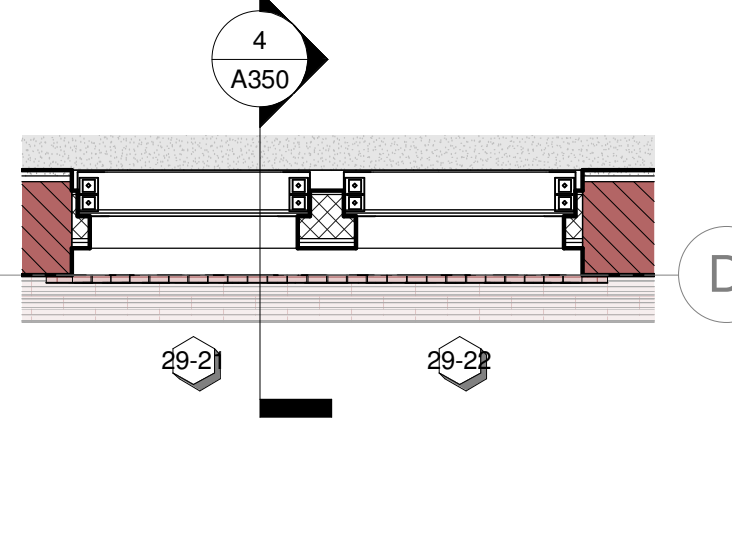
⑨ BAY WINDOW EXTERIOR U/S RCP 29-11, 29-12 AND 29-13
1/2" = 1'-0"



⑪ BAY WINDOW ROOF 29-11, 29-12 AND 29-13
1/2" = 1'-0"



⑩ 29TH ST NW 2ND FL WINDOW PLAN 29-21 AND 29-22
1/2" = 1'-0"



⑫ 29TH ST NW 2ND FL WINDOW RCP 29-21 AND 29-22
1/2" = 1'-0"



⑬ BAY WINDOW PHOTOS 29-11, 29-12 AND 29-13
3/4" = 1'-0"



⑭ 29TH ST NW 2ND FL WINDOW PHOTO 29-21 AND 29-22
3/4" = 1'-0"

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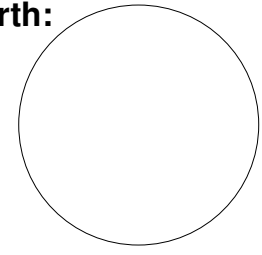
Project Name:
2900-2902 DUMBARTON ST NW RENOVATIONS

2900 DUMBARTON St NW WASHINGTON DC 20007

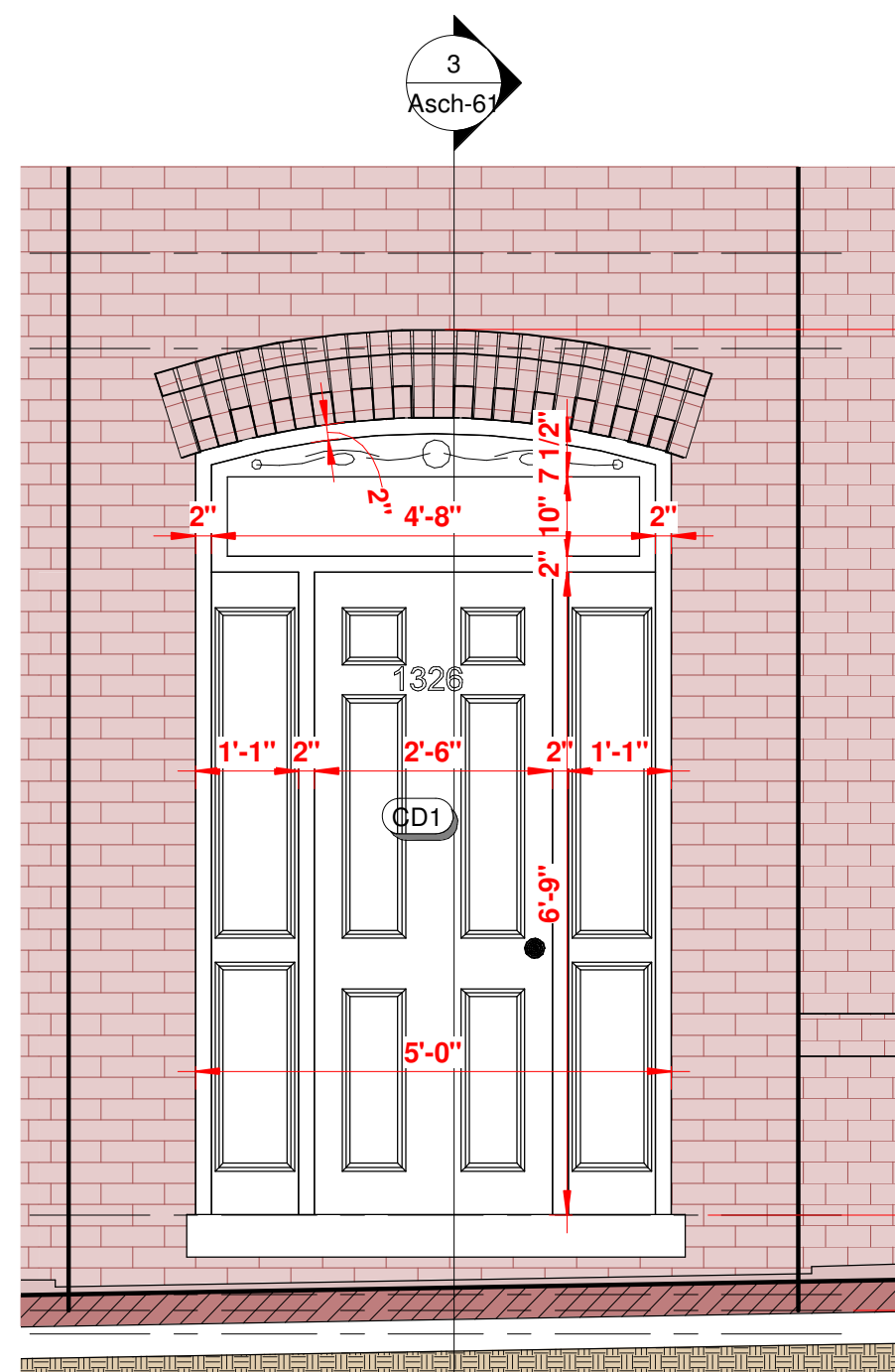
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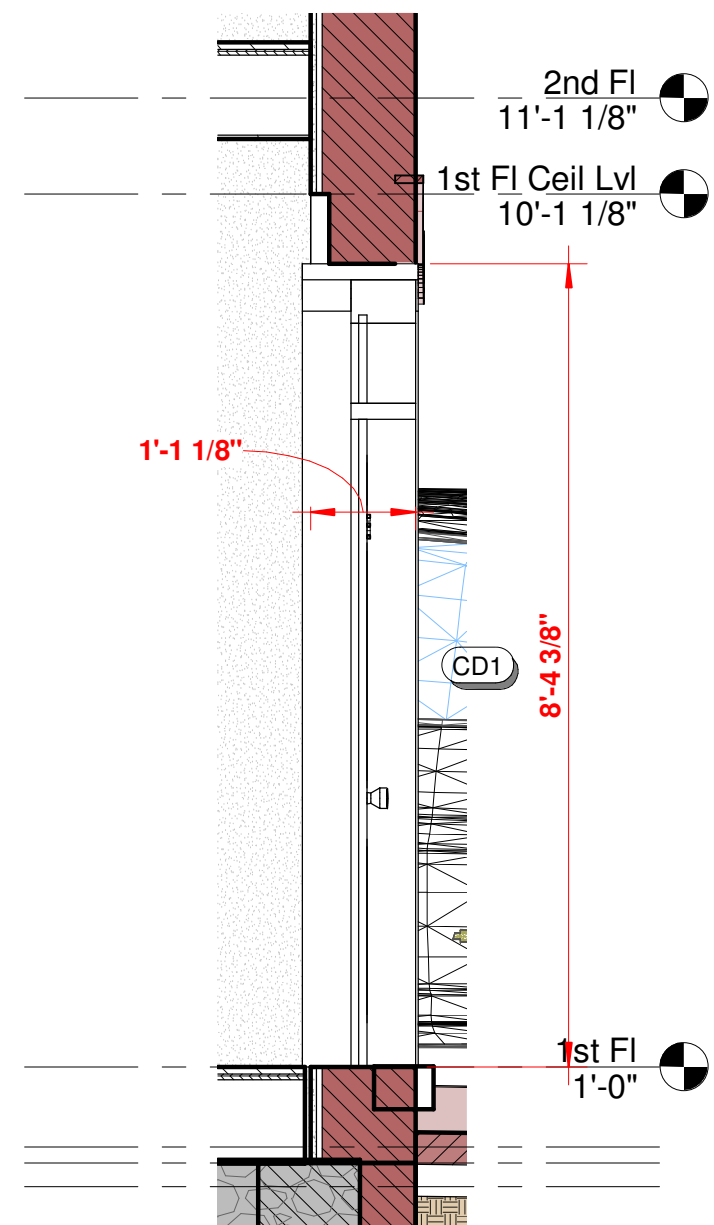
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WINDOW DETAILS 29TH ST FACADE

North: 	Project No.: Project Number
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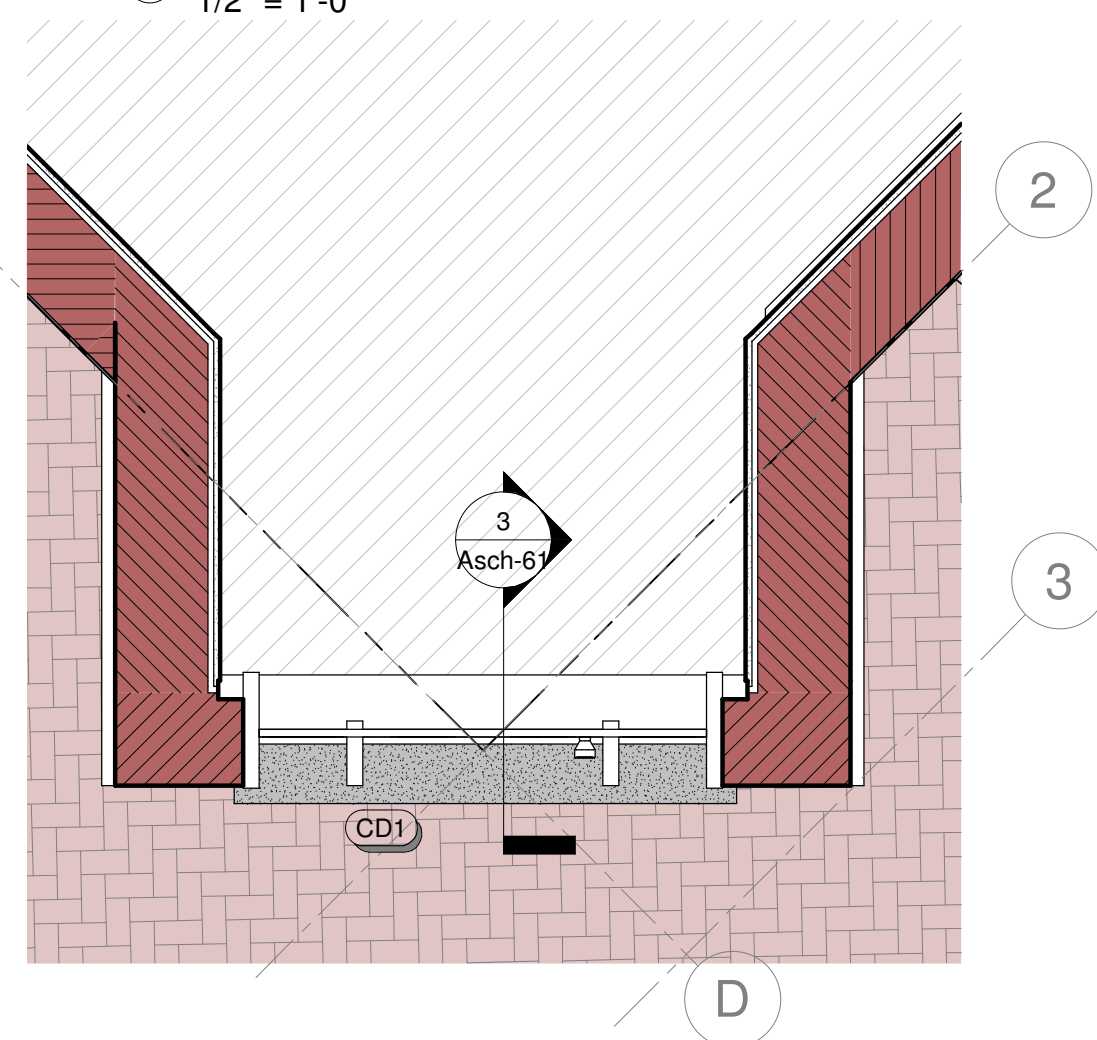
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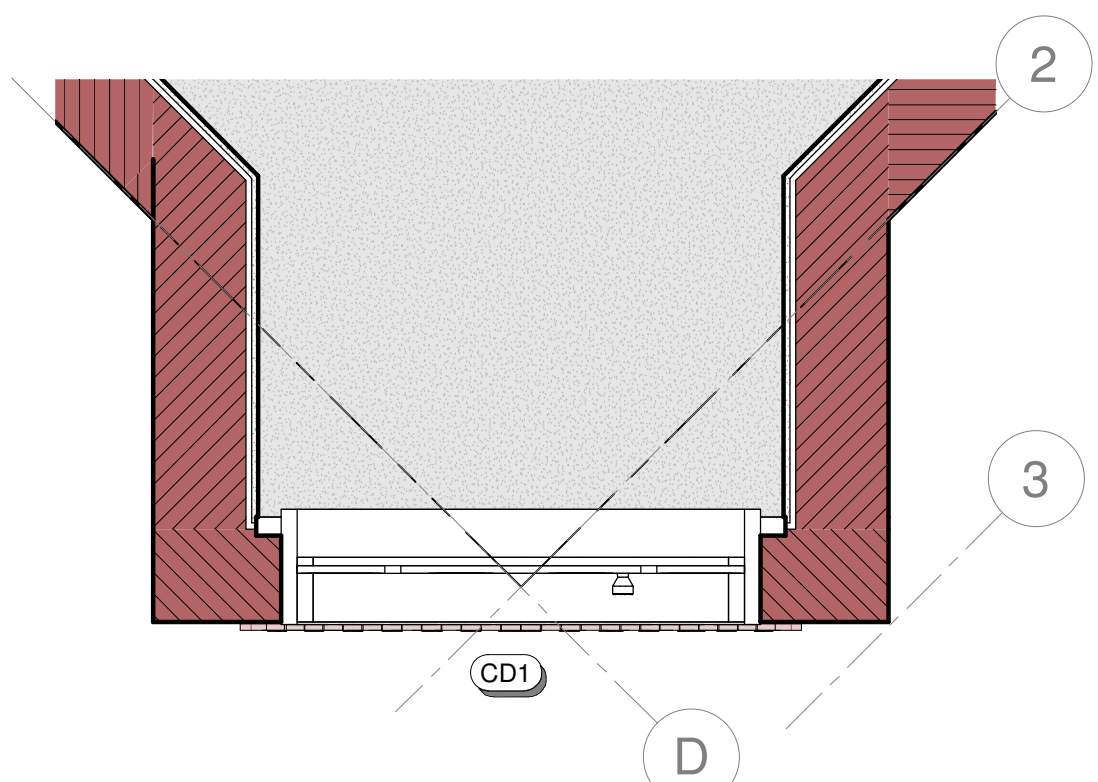
2 CORNER BAY GF DOOR ELEVATION
1/2" = 1'-0"



3 CORNER BAY GF DOOR SECTION
1/2" = 1'-0"



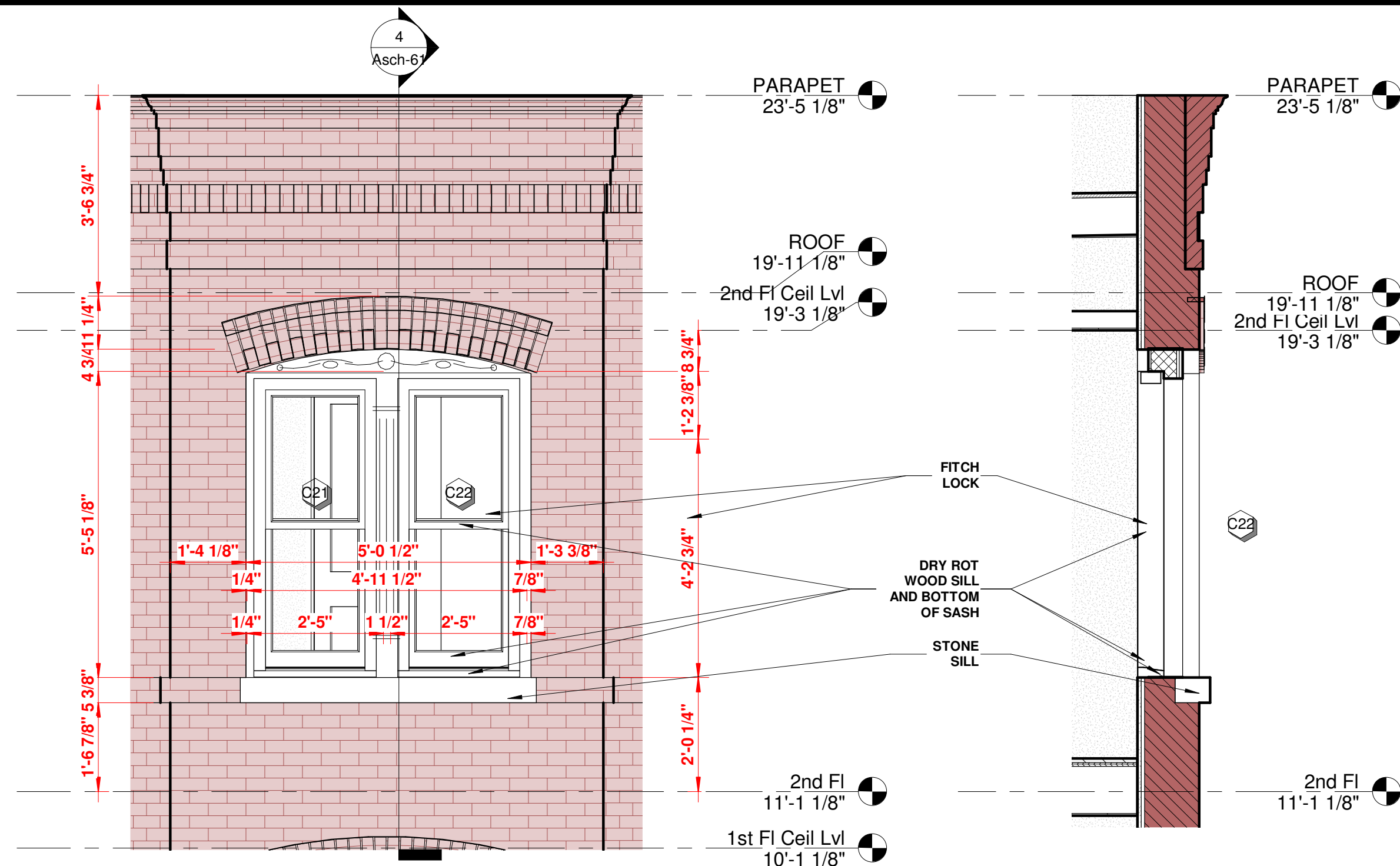
7 CORNER BAY GF DOOR PLAN
1/2" = 1'-0"



8 CORNER BAY GF DOOR RCP
1/2" = 1'-0"

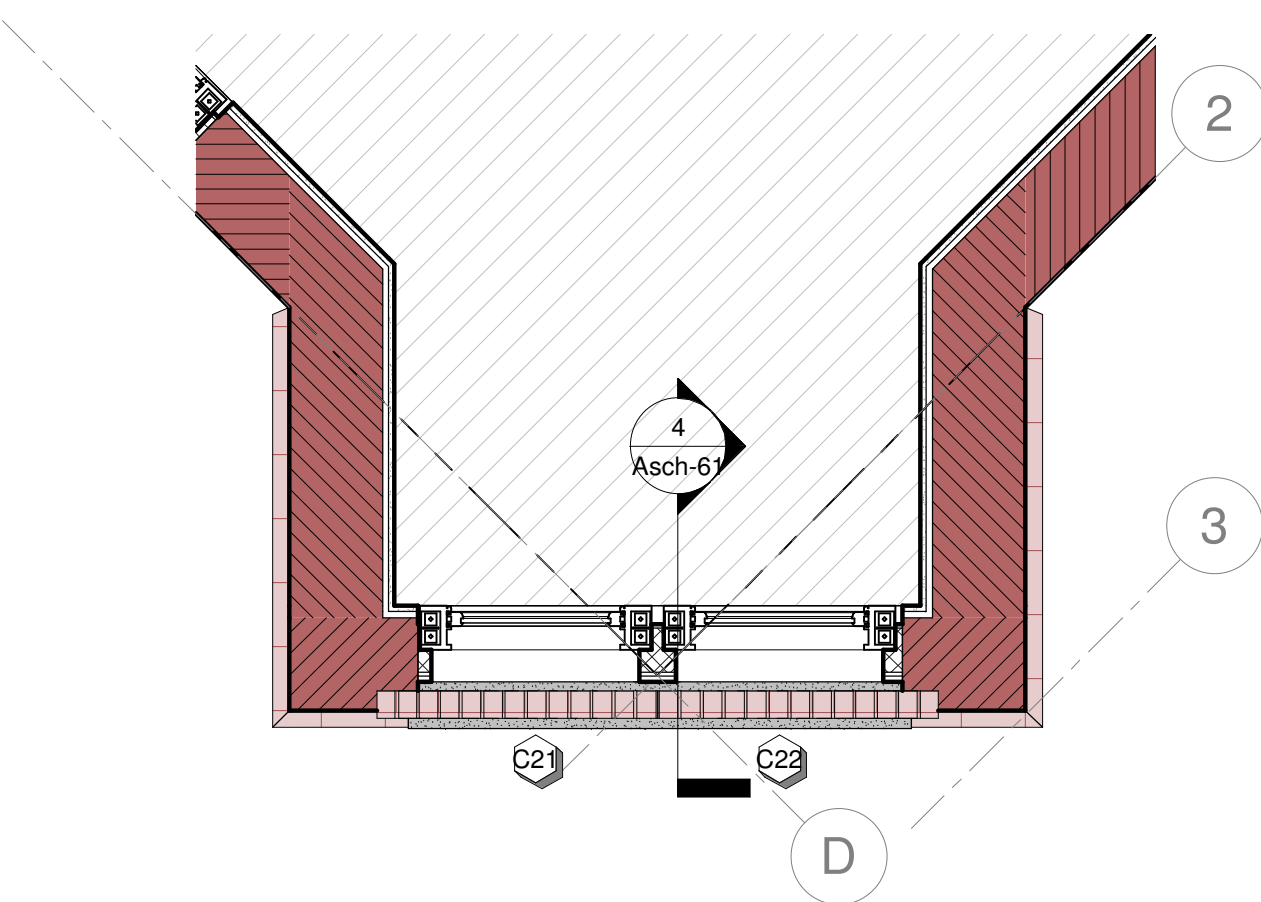


5 CORNER GF DOOR PHOTO
1" = 1'-0"

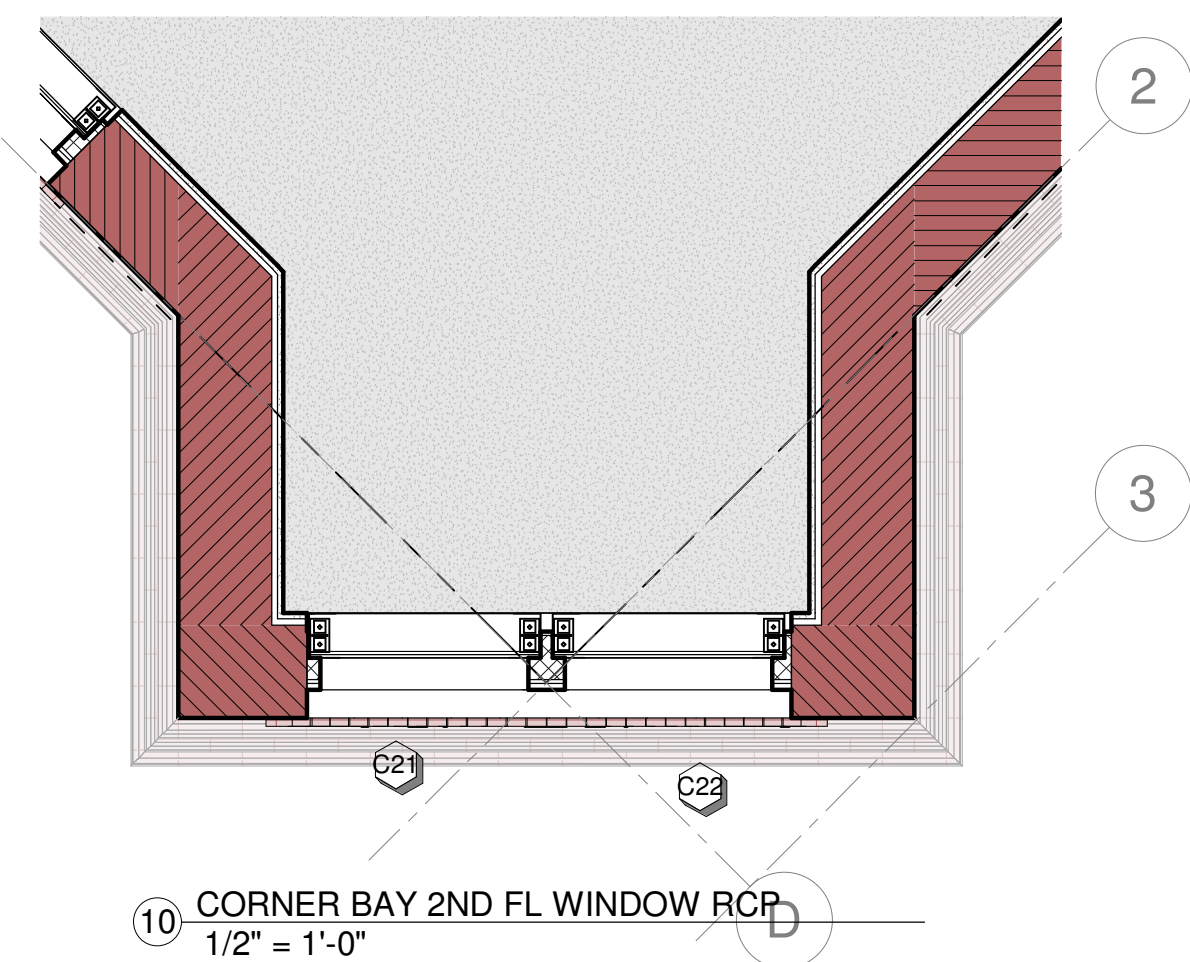


1 CORNER BAY 2ND FL WINDOW
ELEVATION
1/2" = 1'-0"

4 CORNER BAY 2ND FL WINDOW SECTION
1/2" = 1'-0"



9 CORNER BAY 2ND FL WINDOW PLAN
1/2" = 1'-0"



10 CORNER BAY 2ND FL WINDOW RCP
1/2" = 1'-0"



6 CORNER 2ND FL WINDOW PHOTO
1" = 1'-0"

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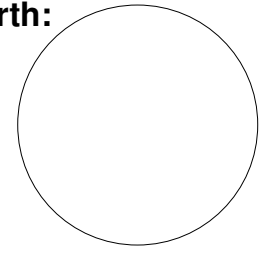
Project Name:
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ST NW RENOVATIONS**

2900 DUMBARTON St NW WASHINGTON DC
20007

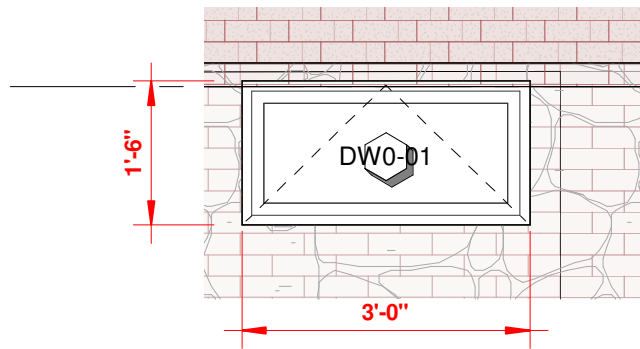
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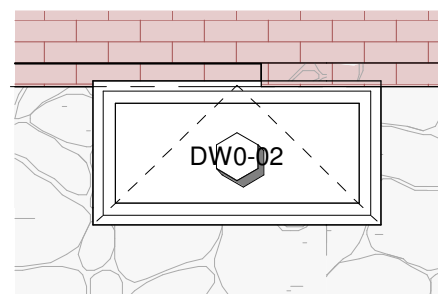
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**CORNER BAY (29TH
AND DUMBARTON)
DOOR AND WINDOW**

North: 	Project No.: Project Number
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Stamp:	Date: 10/15/2024 6:29:27 PM

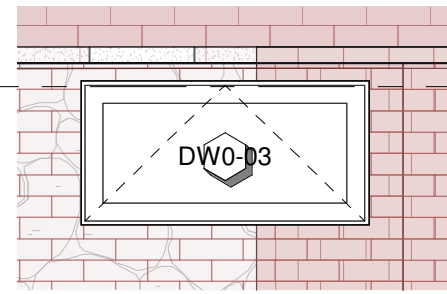
Drawing No.:
Asch-61



DUMBARTON ST CELLAR WINDOW
DETAIL DW0-01
1/2" = 1'-0"



DUMBARTON ST CELLAR WINDOW
DETAIL DW0-02
1/2" = 1'-0"



DUMBARTON ST CELLAR WINDOW
DETAIL DW0-03
1/2" = 1'-0"



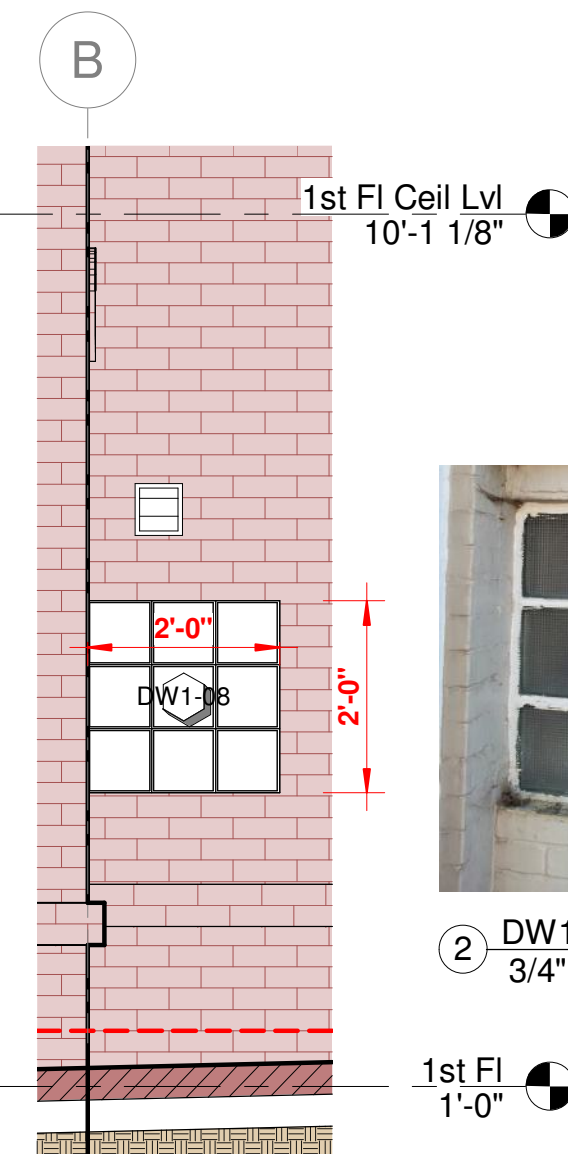
DW0-01 PHOTO
1/4" = 1'-0"



DW0-02 PHOTO
1/4" = 1'-0"

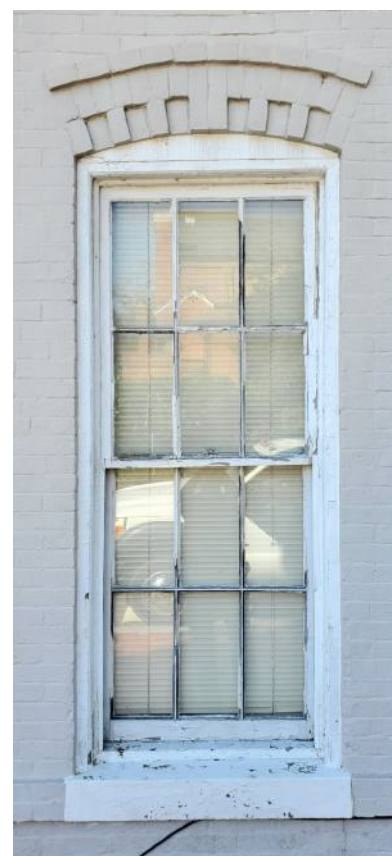


DW0-03 PHOTO
1/2" = 1'-0"



DW1-08 PHOTO
3/4" = 1'-0"

DUMBARTON ST GF WINDOW DETAIL
DW1-8
1/2" = 1'-0"



DW1-01 PHOTO
1" = 1'-0"



DW1-02 PHOTO
1" = 1'-0"



DW1-03 PHOTO
1" = 1'-0"



DW1-04 PHOTO
1 1/2" = 1'-0"



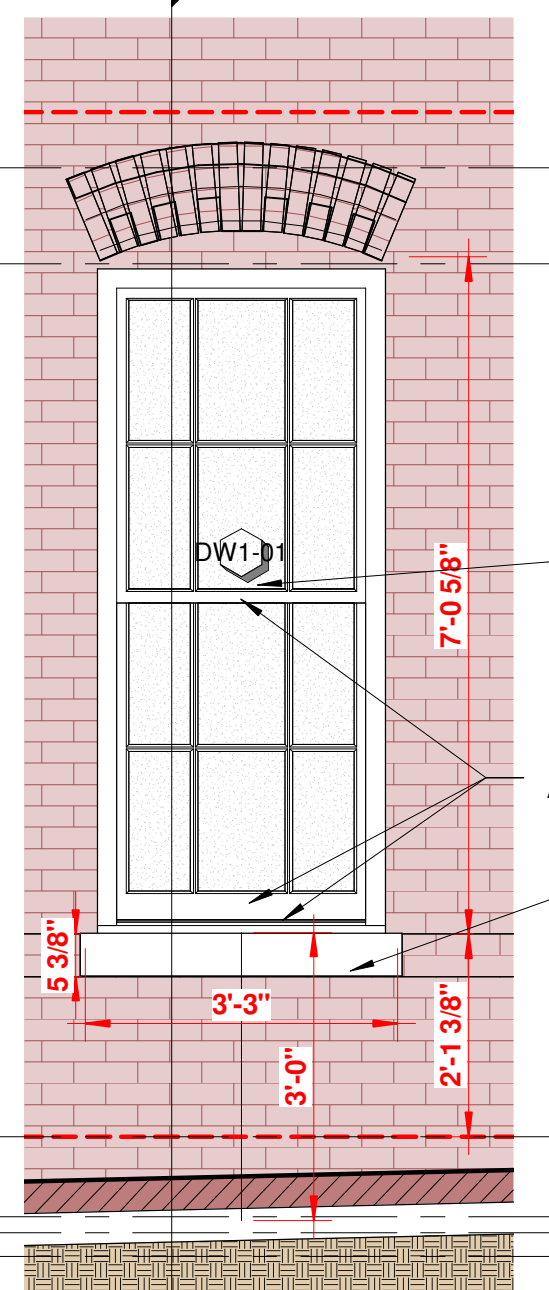
DW1-05 AND DW1-06 PHOTO
1 1/2" = 1'-0"



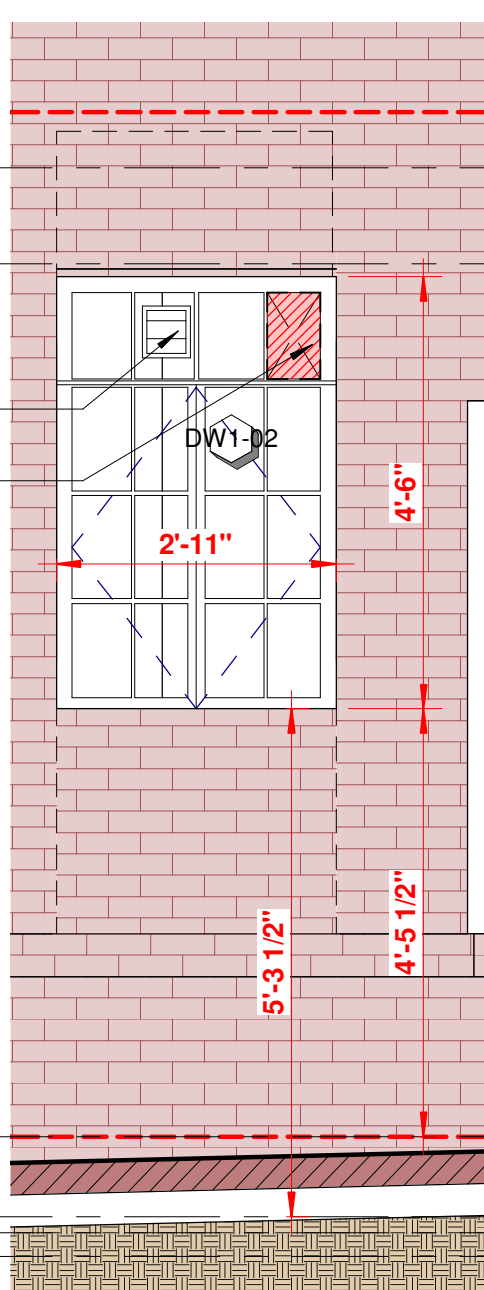
DW1-07 PHOTO
1" = 1'-0"



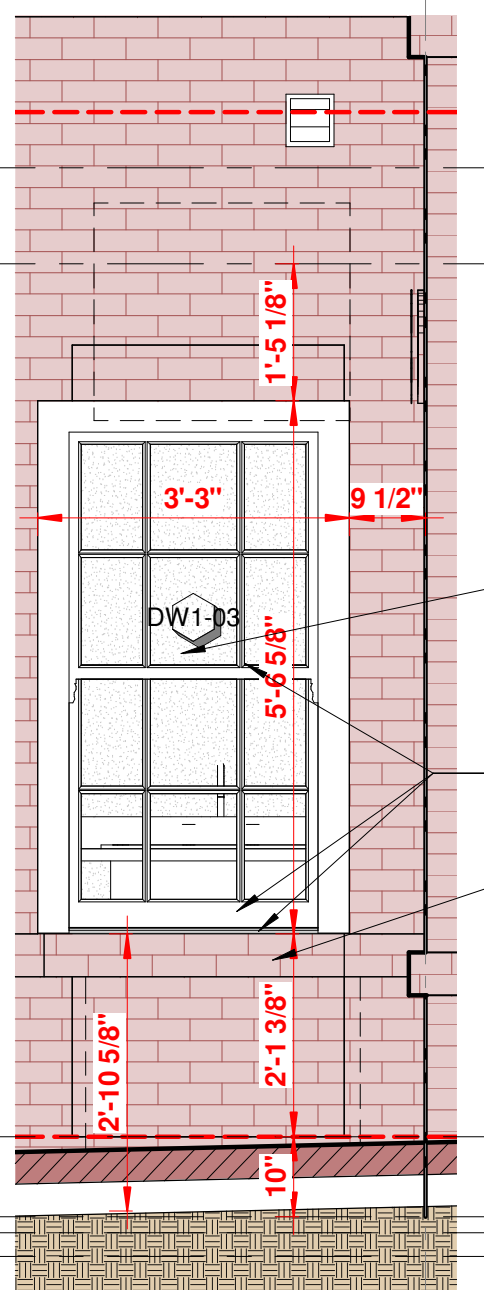
DW1-09 PHOTO
3/4" = 1'-0"



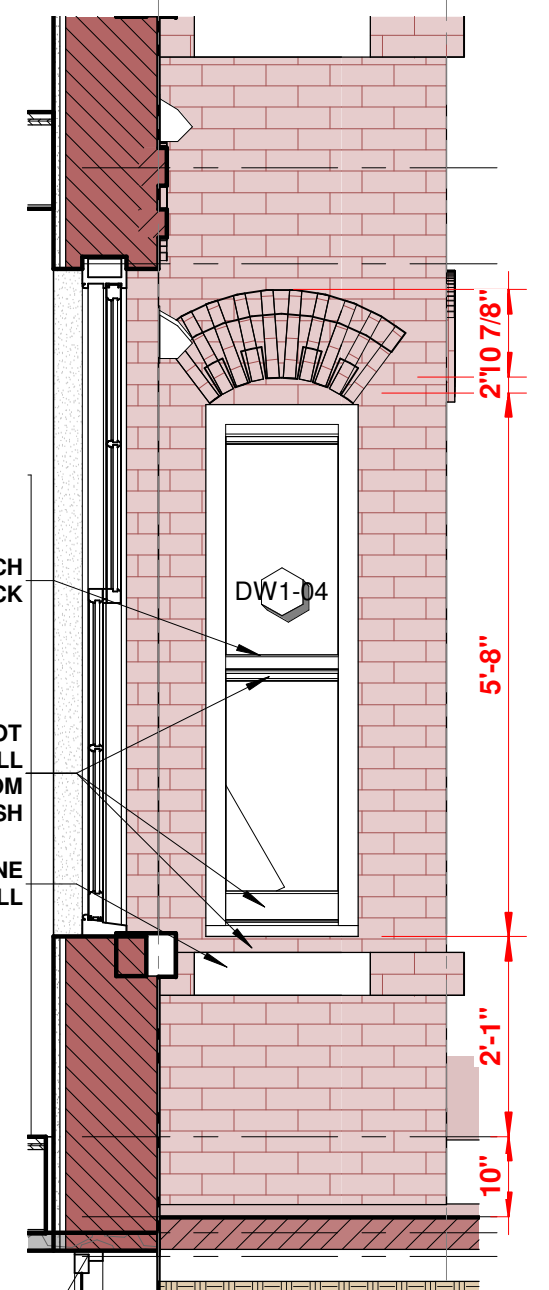
DUMBARTON ST GF WINDOW DETAIL
DW1-01
1/2" = 1'-0"



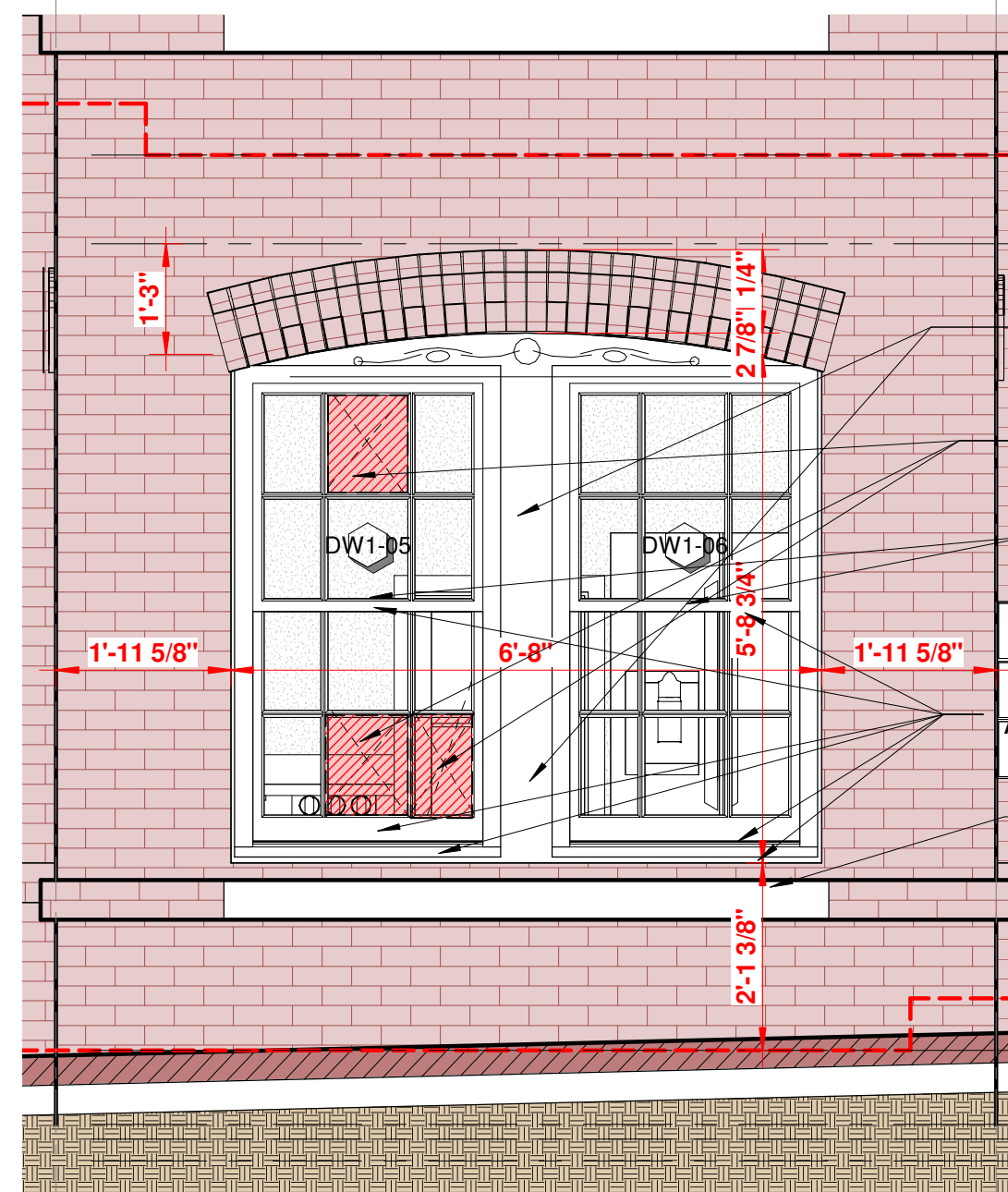
DUMBARTON ST GF WINDOW DETAIL
DW1-02
1/2" = 1'-0"



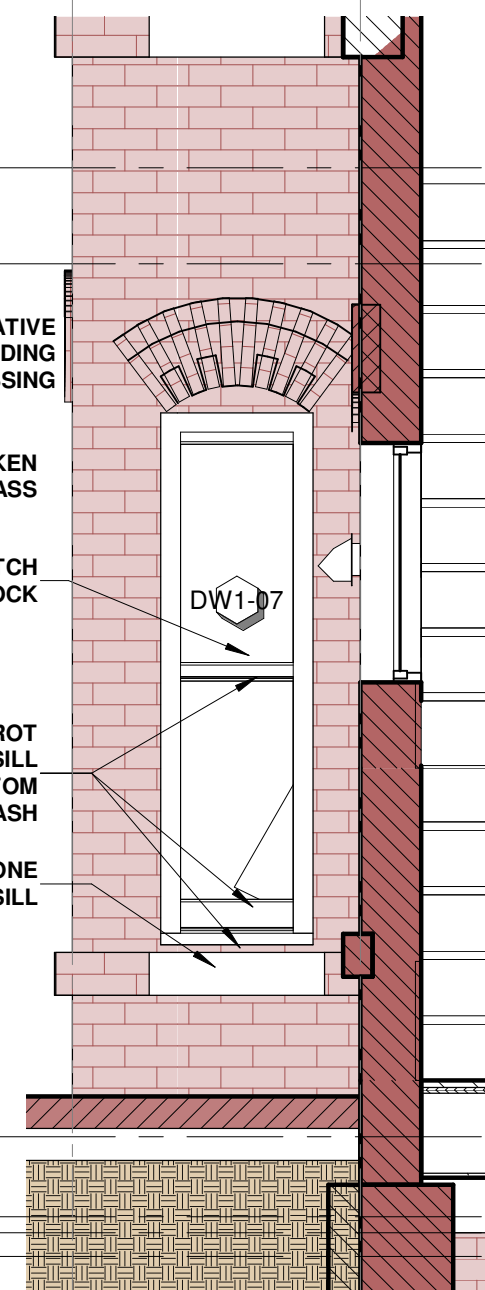
DUMBARTON ST GF WINDOW DETAIL
DW1-03
1/2" = 1'-0"



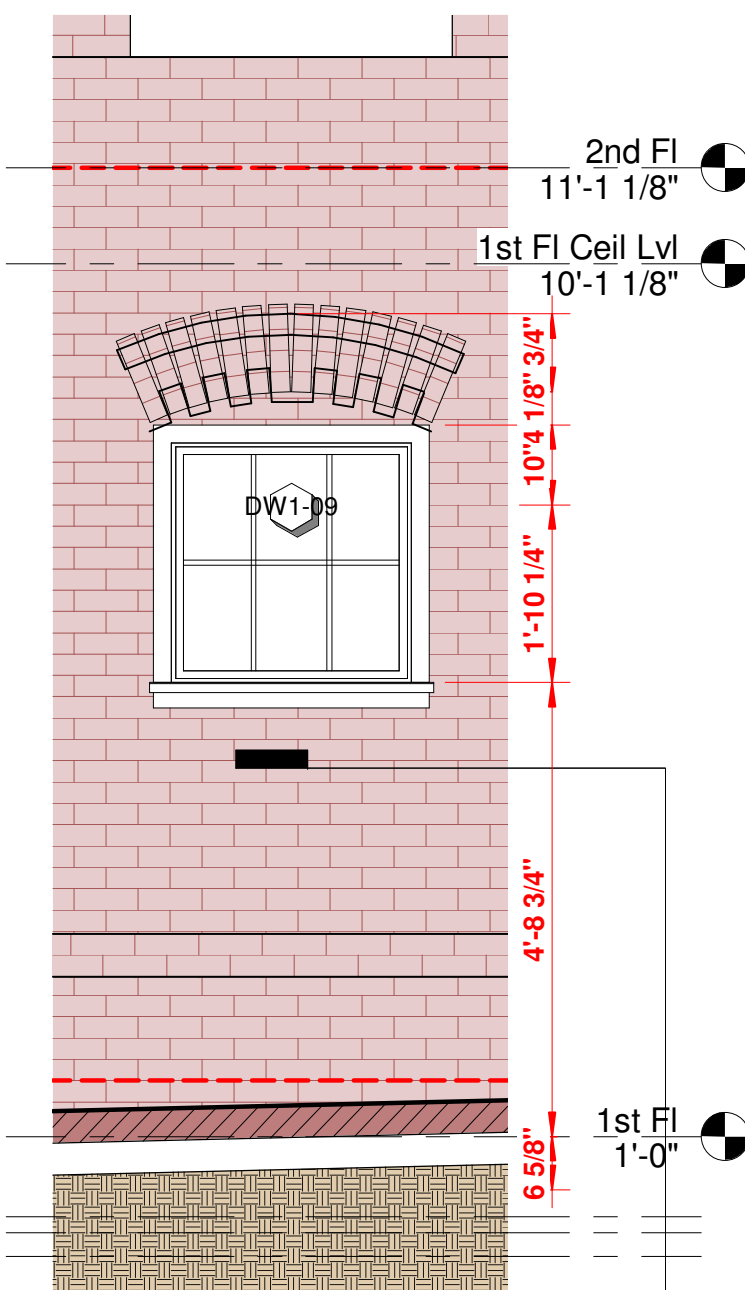
DUMBARTON ST GF WINDOW DETAIL
DW1-04
1/2" = 1'-0"



DUMBARTON ST GF BAY DOUBLE
WINDOW DETAIL DW1-05 AND DW1-06
1/2" = 1'-0"



DUMBARTON ST GF WINDOW DETAIL
DW1-07
1/2" = 1'-0"



DUMBARTON ST GF WINDOW DETAIL
DW1-09
1/2" = 1'-0"

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Project Name:
**2900-2902 DUMBARTON
ST NW RENOVATIONS**

2900 DUMBARTON St NW WASHINGTON DC
20007

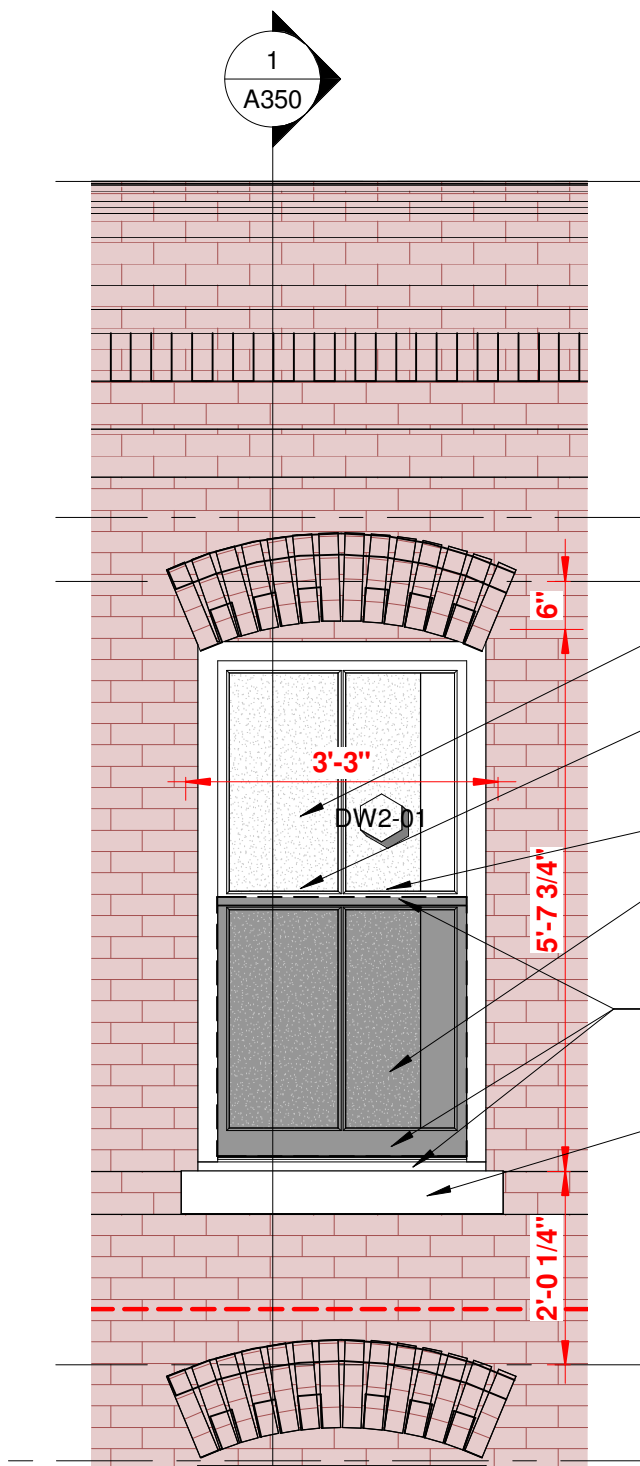
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INVESTMENTS NMN

REV No	REVISION DATE	REVISION DESCRIPTION
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Drawing Title:
**DUMBARTON ST GF
FACADE WINDOWS**

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	PERMIT No. Checker
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Stamp:	Date: 10/15/2024 6:29:37 PM

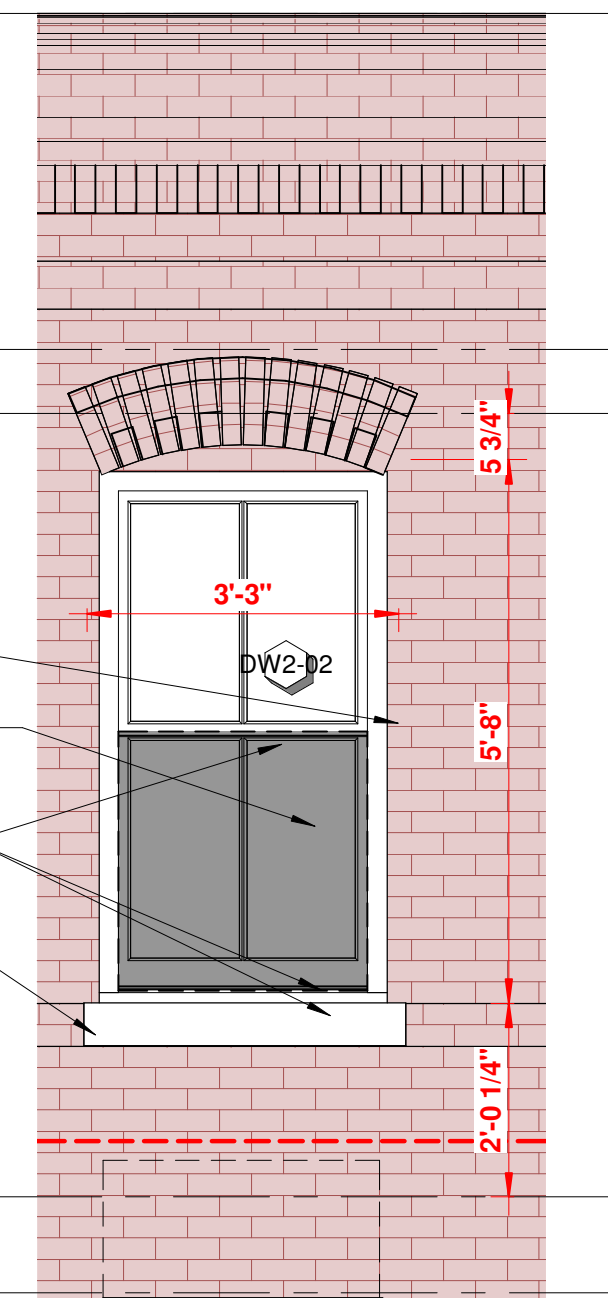
Drawing No.:
Asch-62



DUMBARTON ST 2ND FL WINDOW
DETAIL DW2-01
1/2" = 1'-0"



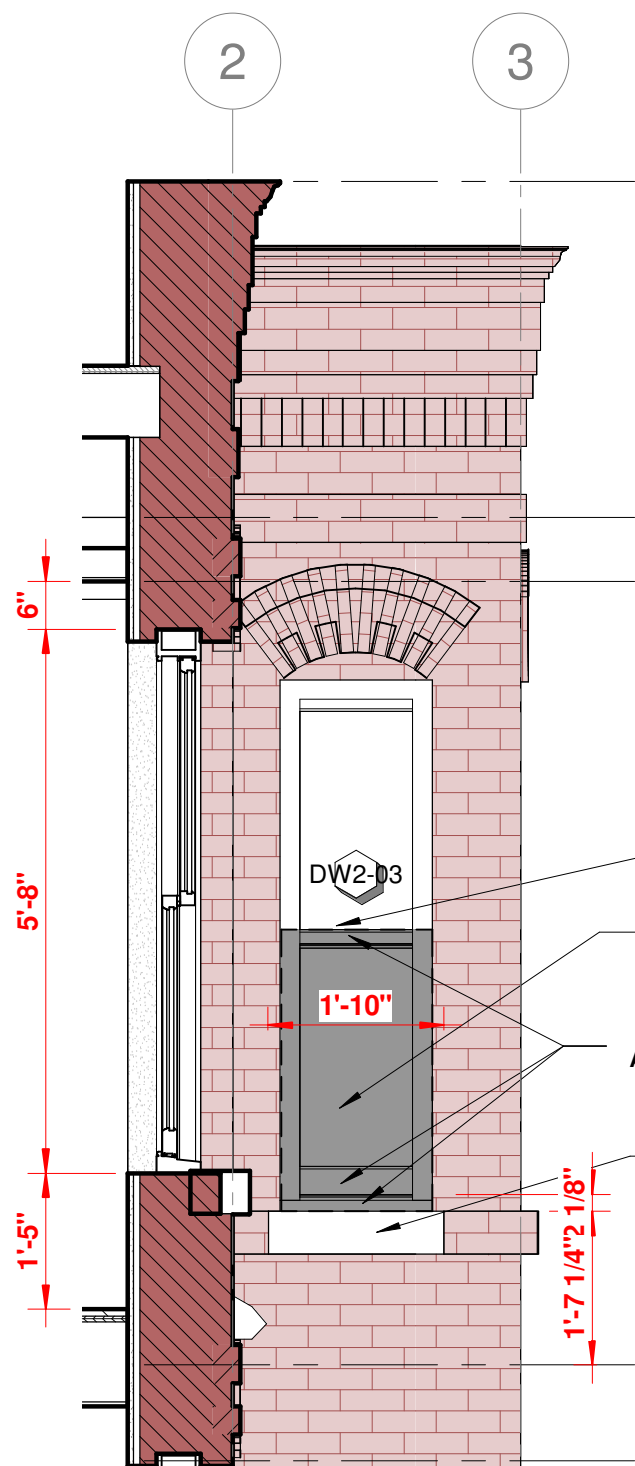
DW2-01 PHOTO
1 1/2" = 1'-0"



DUMBARTON ST 2ND FL WINDOW
DETAIL DW2-02
1/2" = 1'-0"



DW2-02 PHOTO
1 1/2" = 1'-0"



DUMBARTON ST 2ND FL BAY EAST
WINDOW DETAIL DW2-03
1/2" = 1'-0"



DW2-03 PHOTO
1/4" = 1'-0"



DUMBARTON ST 2ND FL BAY DOUBLE
WINDOW DETAIL DW2-04 AND DW2-05
1/2" = 1'-0"



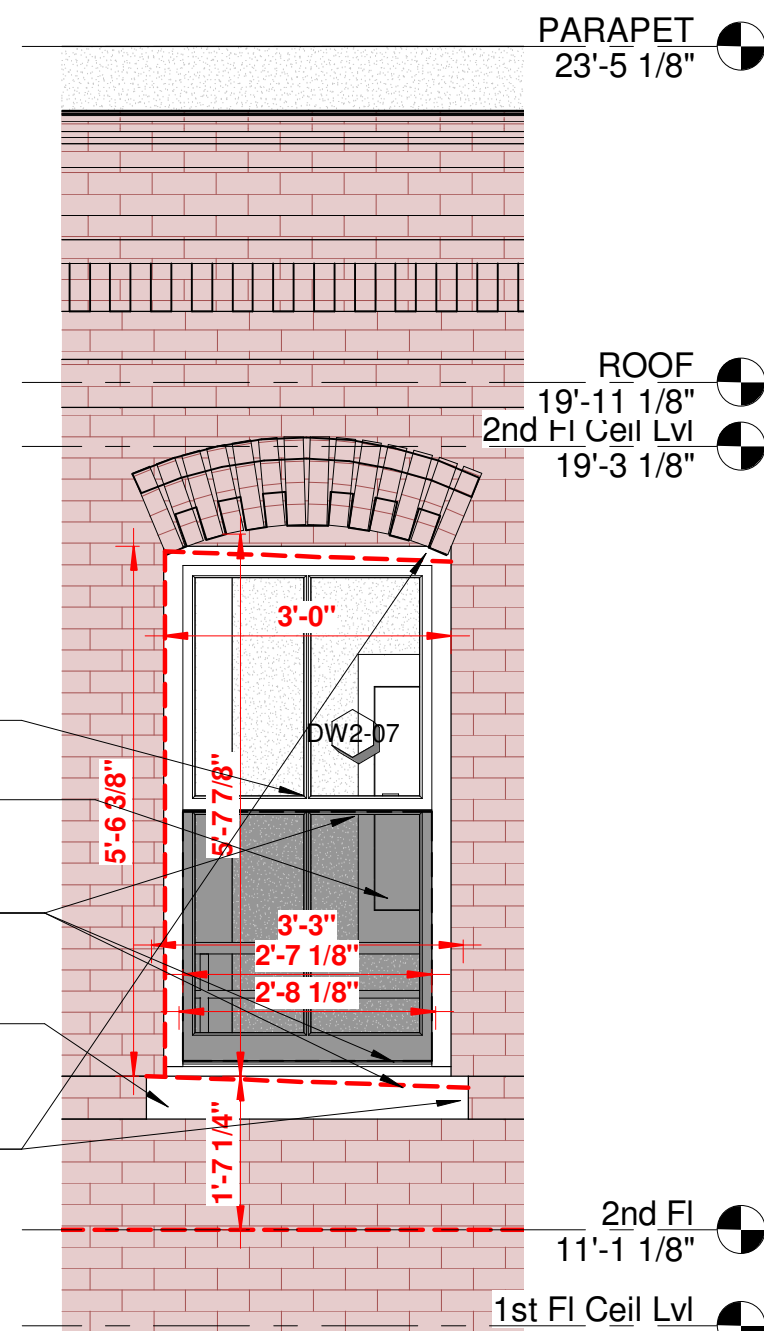
DW2-04 AND DW2-05 CROPPED
1 1/2" = 1'-0"



DUMBARTON ST 2ND FL BAY WEST
WINDOW DETAIL DW2-06
1/2" = 1'-0"



DW2-06 PHOTO
1 1/2" = 1'-0"



DUMBARTON ST 2ND FL WINDOW
DETAIL DW2-07
1/2" = 1'-0"



DW2-07 PHOTO
1 1/2" = 1'-0"

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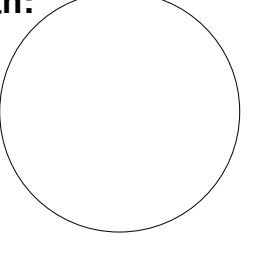
Project Name:
**2900-2902 DUMBARTON
ST NW RENOVATIONS**

2900 DUMBARTON St NW WASHINGTON DC
20007

Client:
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REV No	REVISION DATE	REVISION DESCRIPTION
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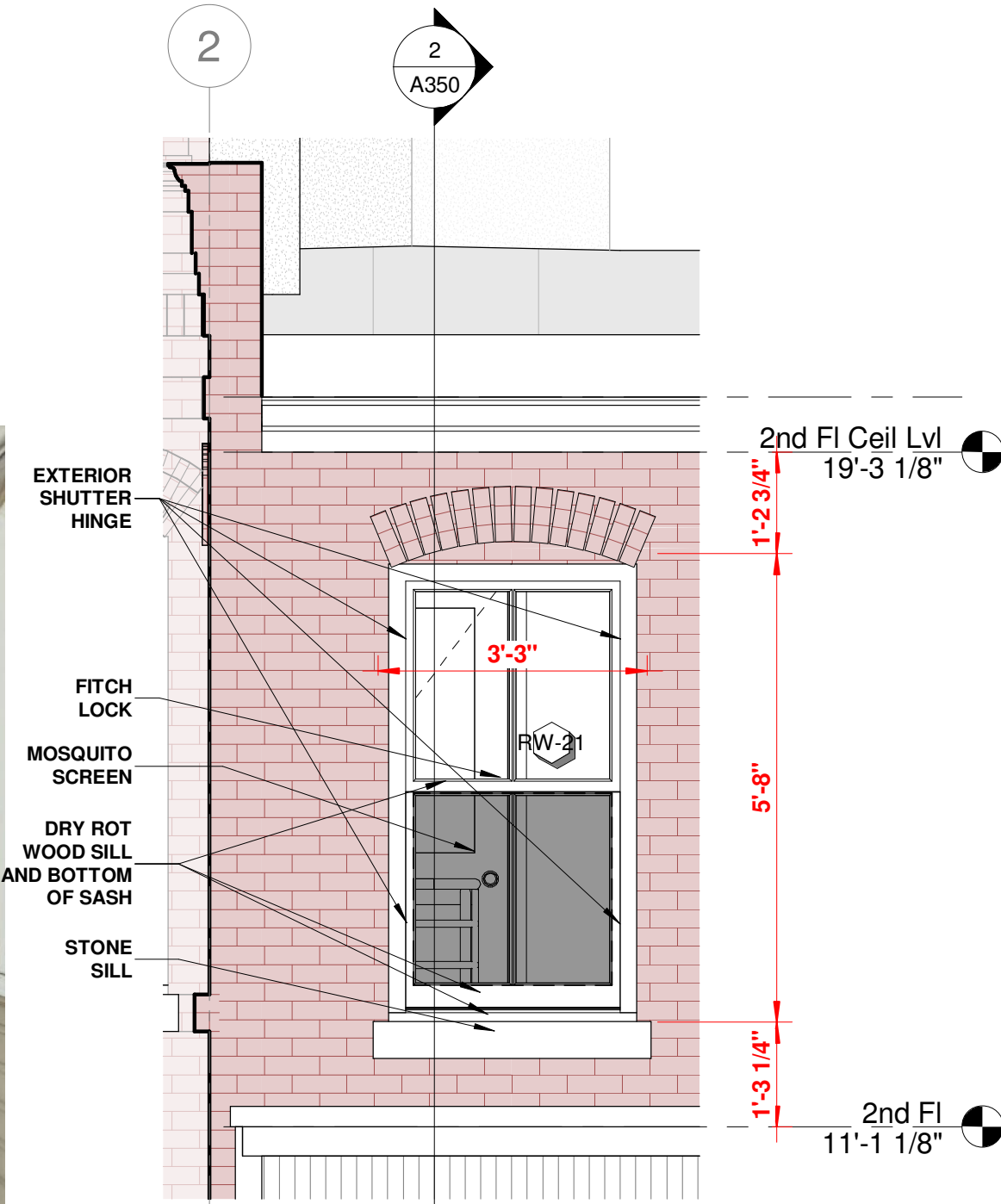
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**DUMBARTON ST 2ND FL
FACADE WINDOWS**

North: 	Project No.: Project Number
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Stamp:	Date: 10/15/2024 6:29:44 PM

Drawing No.:
Asch-63



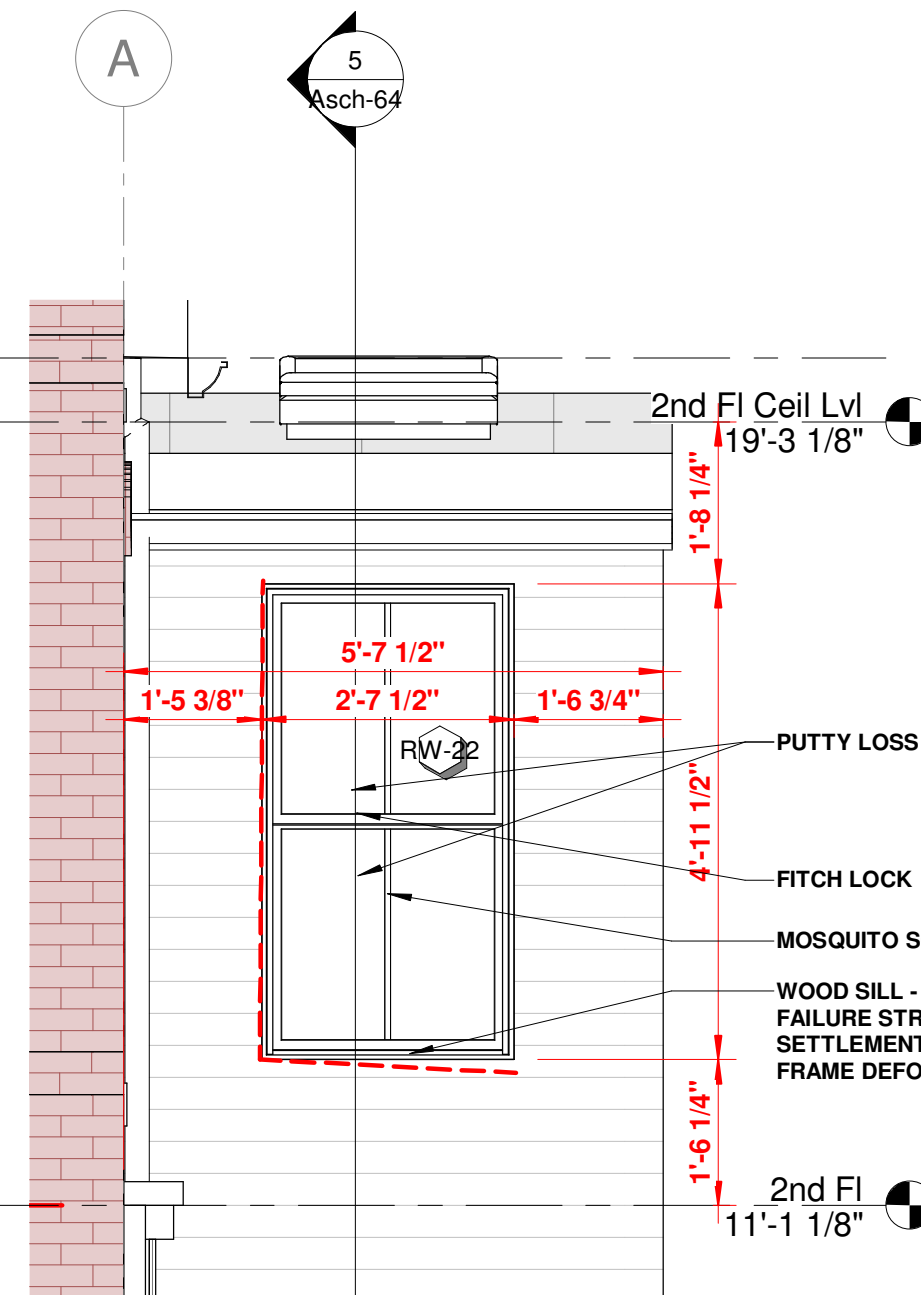
10 RW-21 PHOTO
1/2" = 1'-0"



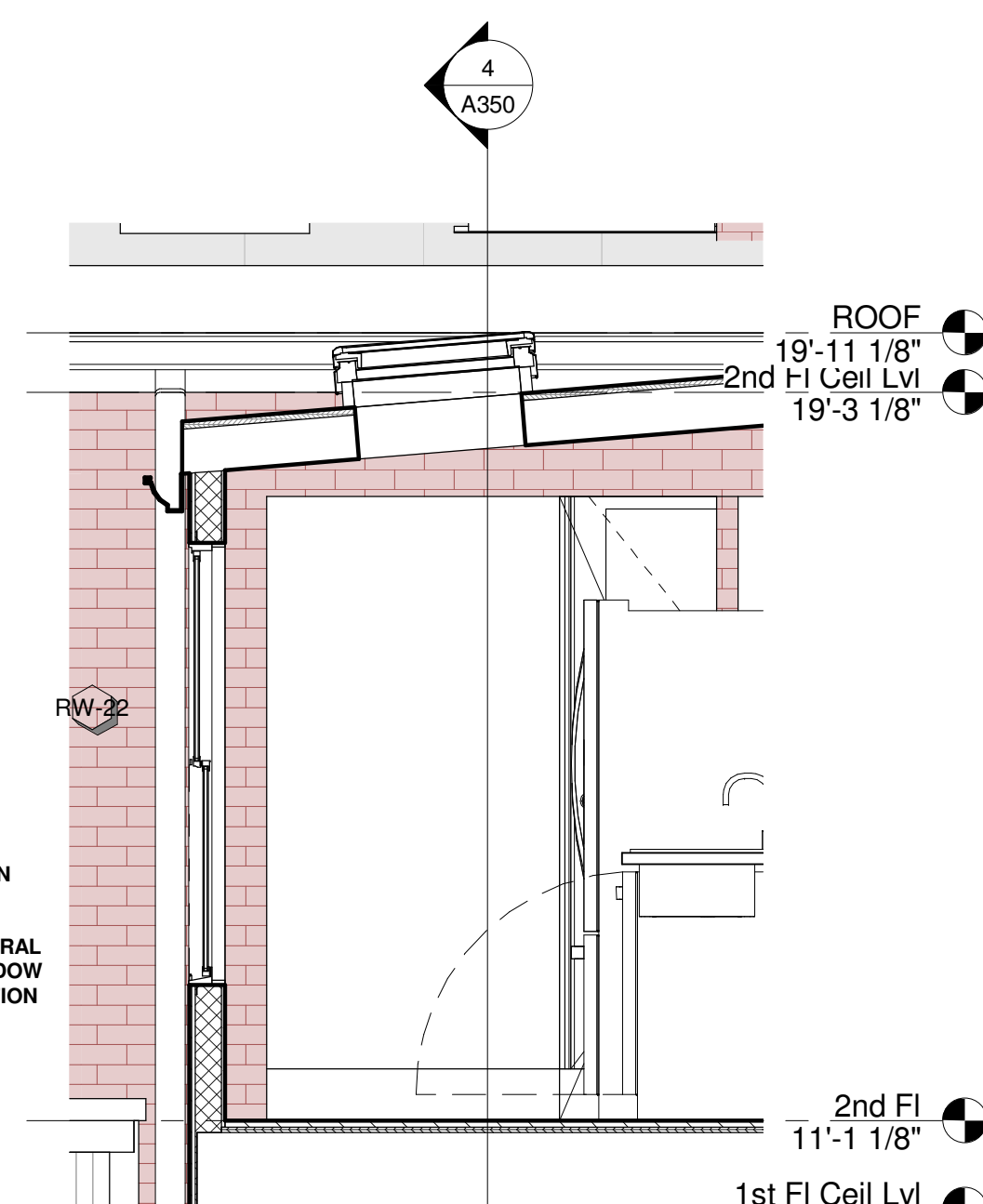
3 REAR YARD 2ND FL WINDOW DETAIL
RW-21
1/2" = 1'-0"



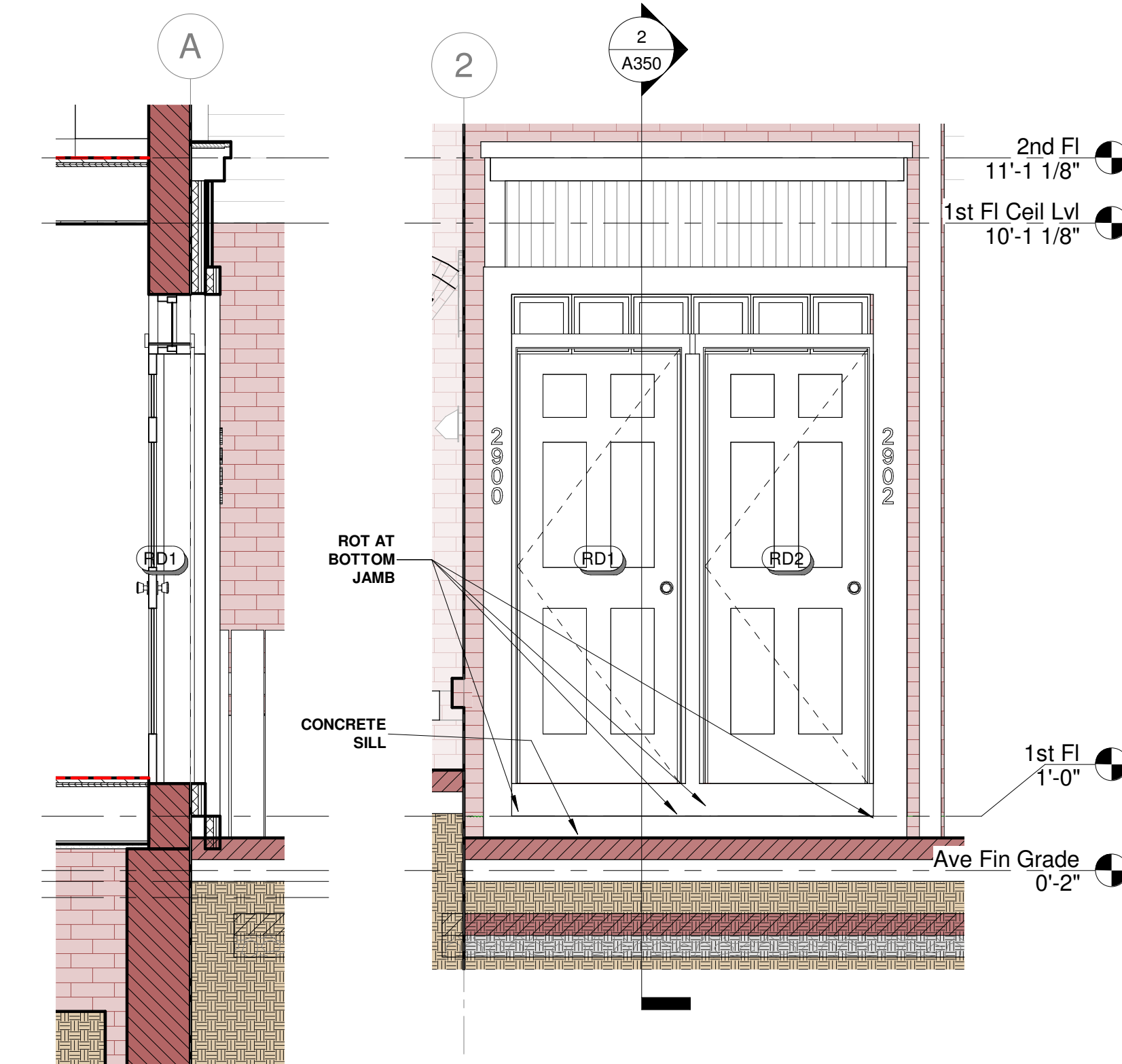
11 RW-22 PHOTO
1 1/2" = 1'-0"



4 REAR YARD 2ND FL WINDOW DETAIL
RW-22
1/2" = 1'-0"



5 REAR YARD 2ND FL WINDOW DETAIL
RW-22
1/2" = 1'-0"

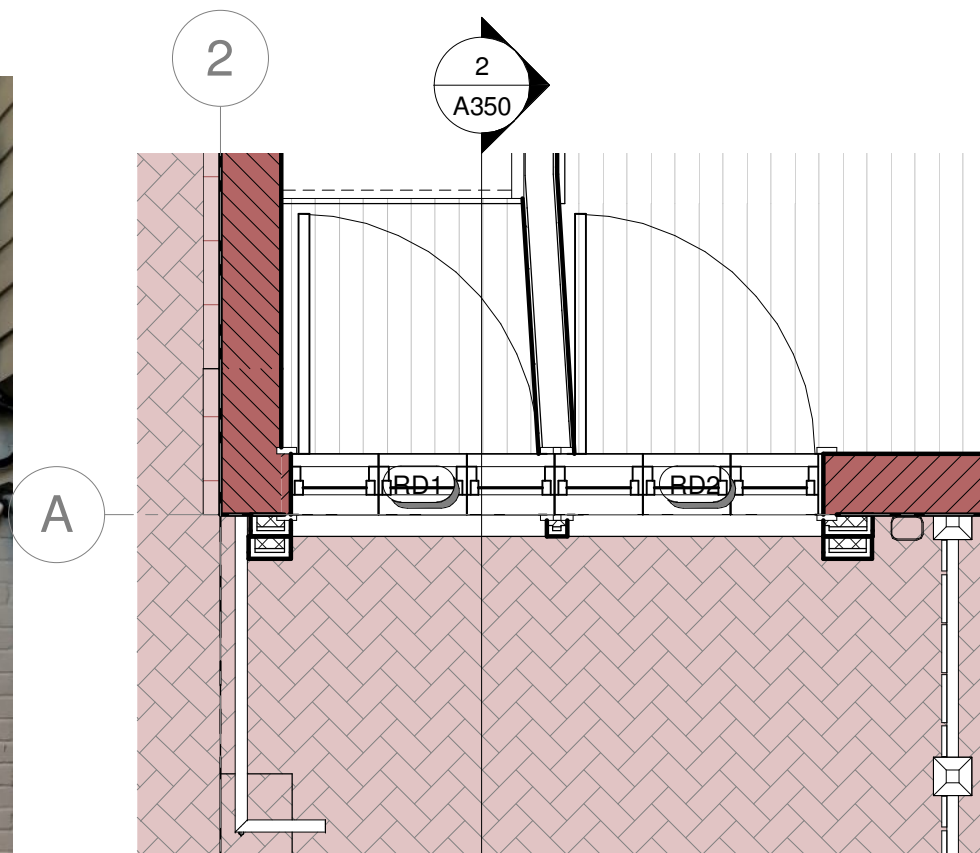


6 REAR YARD RD1 SECTION DETAIL
1/2" = 1'-0"

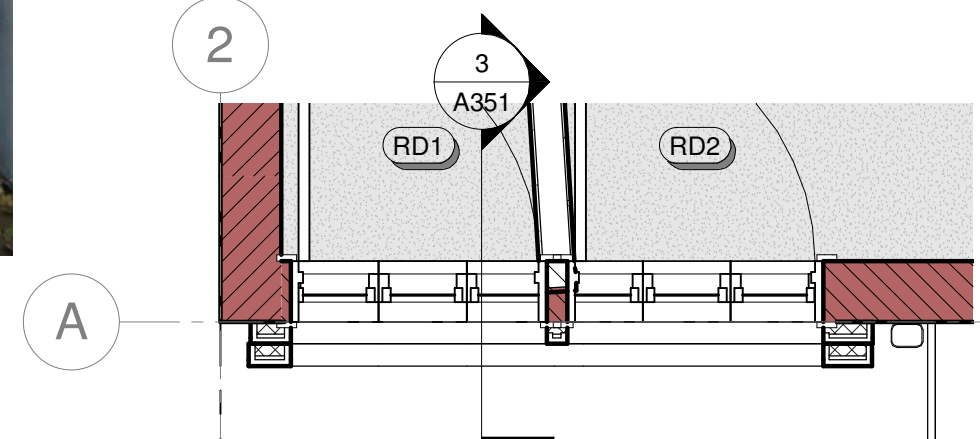
1 REAR YARD GF DOOR ELEVATION
DETAIL RD1 AND RD2
1/2" = 1'-0"



7 REAR YARD GF DOOR DETAIL RD1 AND
RD2 PHOTO
1" = 1'-0"



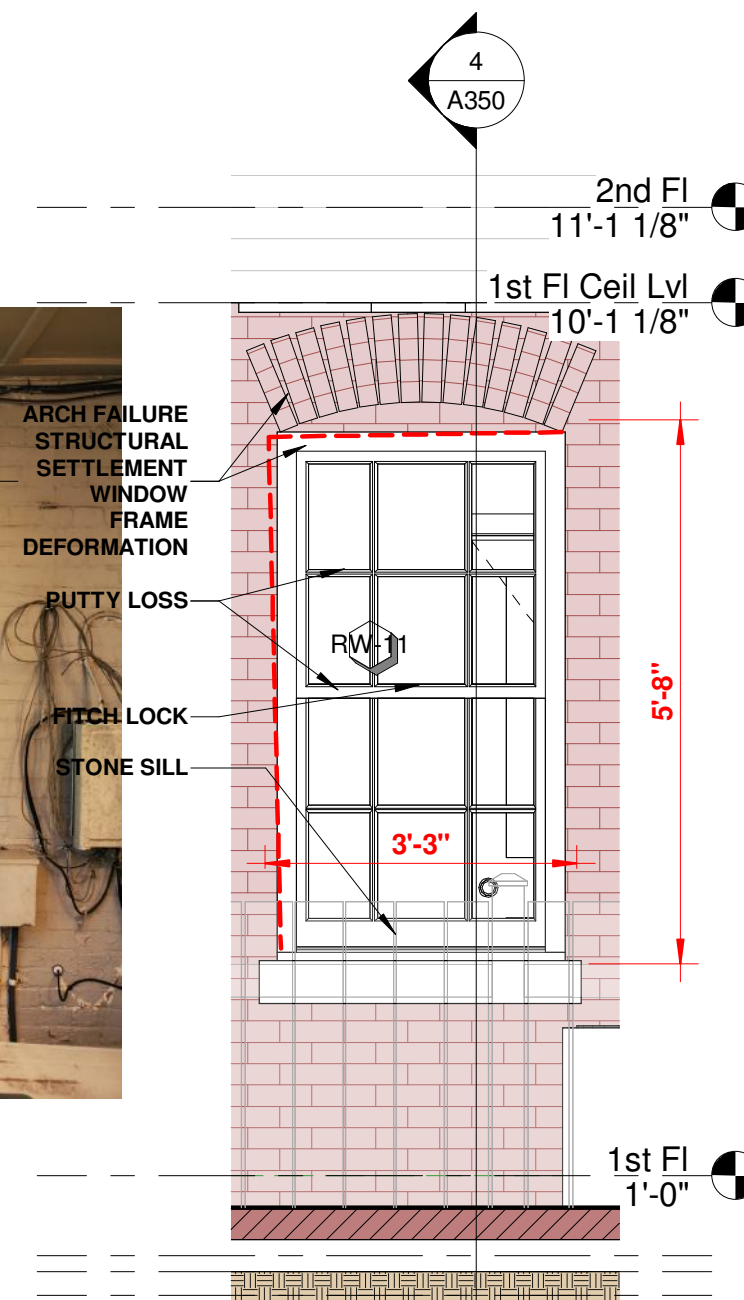
8 REAR YARD GF DOOR PLAN DETAIL RD1
AND RD2
1/2" = 1'-0"



9 REAR YARD GF DOOR RCP DETAIL RD1
AND RD2
1/2" = 1'-0"



12 RW-11 PHOTO
3" = 1'-0"



2 REAR YARD RW-11 WINDOW DETAIL
1/2" = 1'-0"

Architect:
ARIMSE ARCHITECTS
ARIMSEARCHITECTURE.COM
703-662-1115



MARVELLA
ARCHITECTURE | DEVELOPMENT | CONSTRUCTION | ESTIMATION

Project Name:
**2900-2902 DUMBARTON
ST NW RENOVATIONS**

2900 DUMBARTON St NW WASHINGTON DC
20007

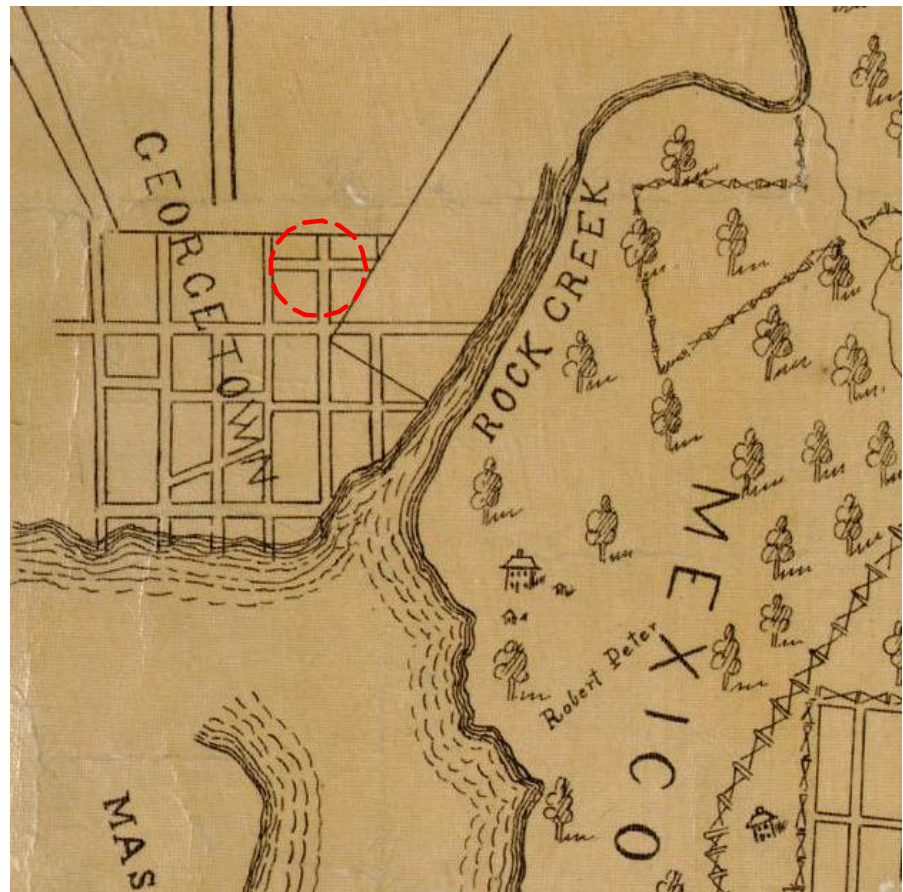
Client:
INVESTMENTS NMN

REV No	REVISION DATE	REVISION DESCRIPTION
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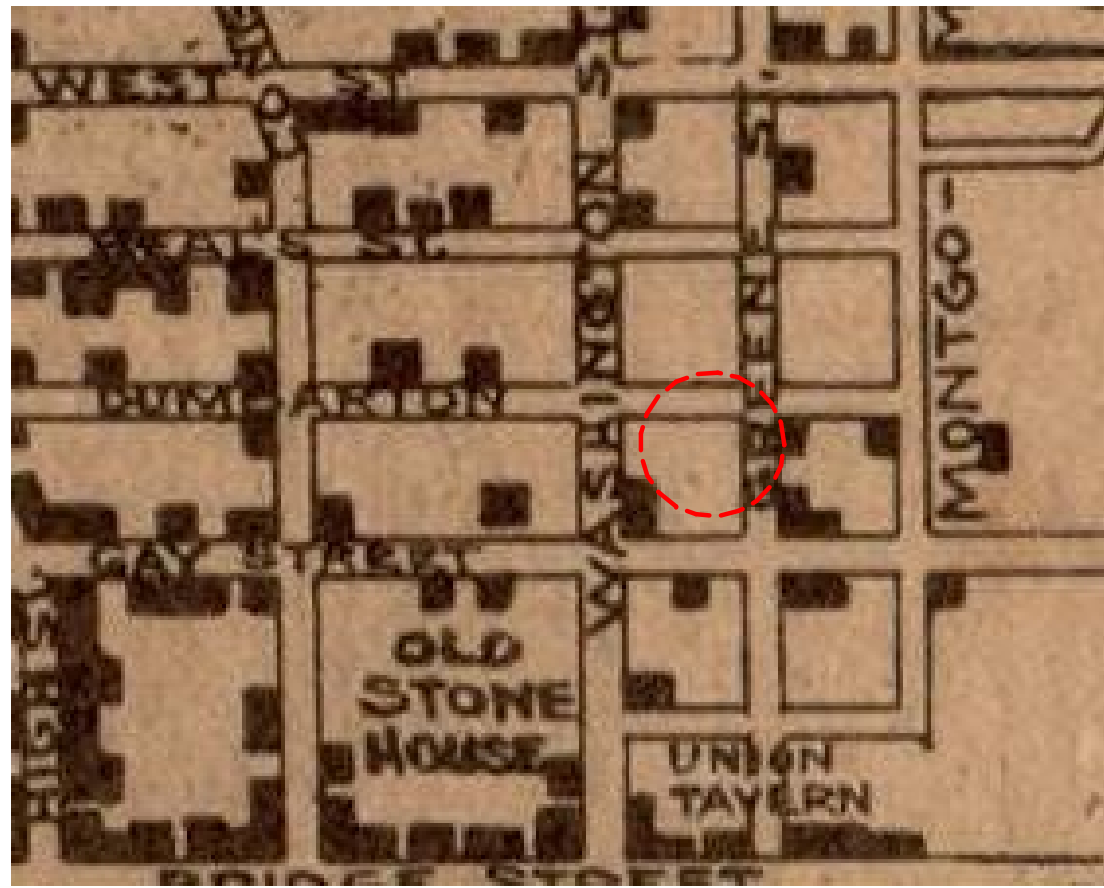
Drawing Title:
**REAR YARD WINDOW
AND DOORS**

North: 	Project No.: Project Number
	Drawn by: Author
	PERMIT No. Checker
	Scale: As indicated
Stamp:	Date: 10/15/2024 6:29:52 PM

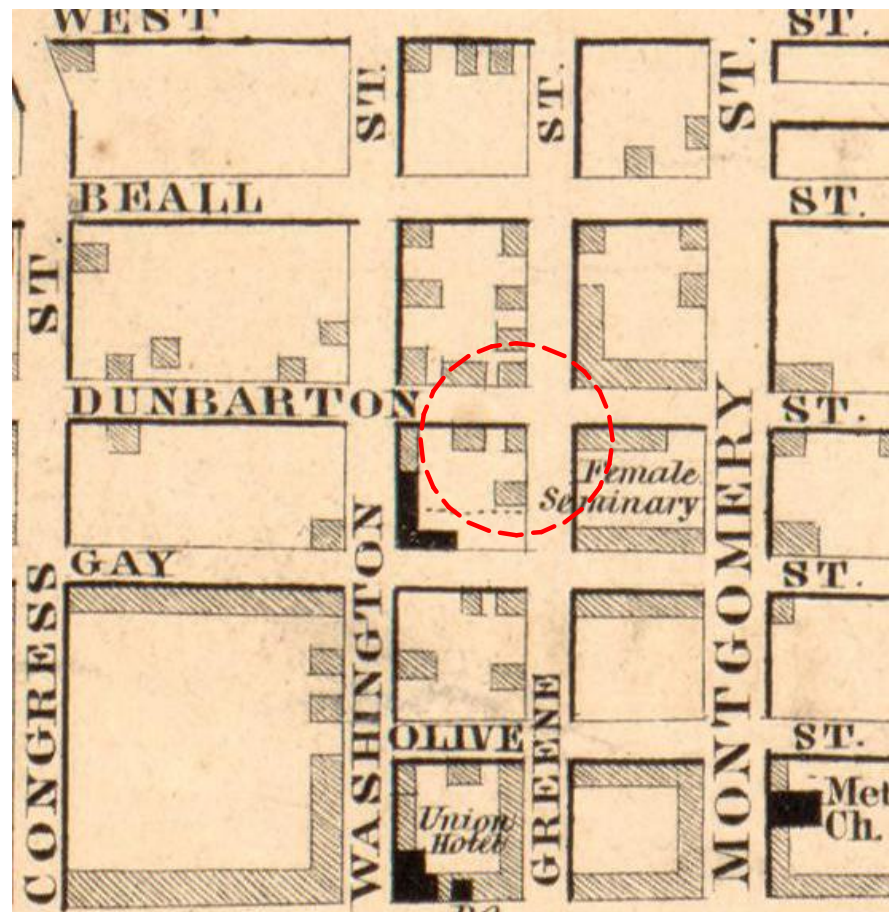
Drawing No.:
Asch-64



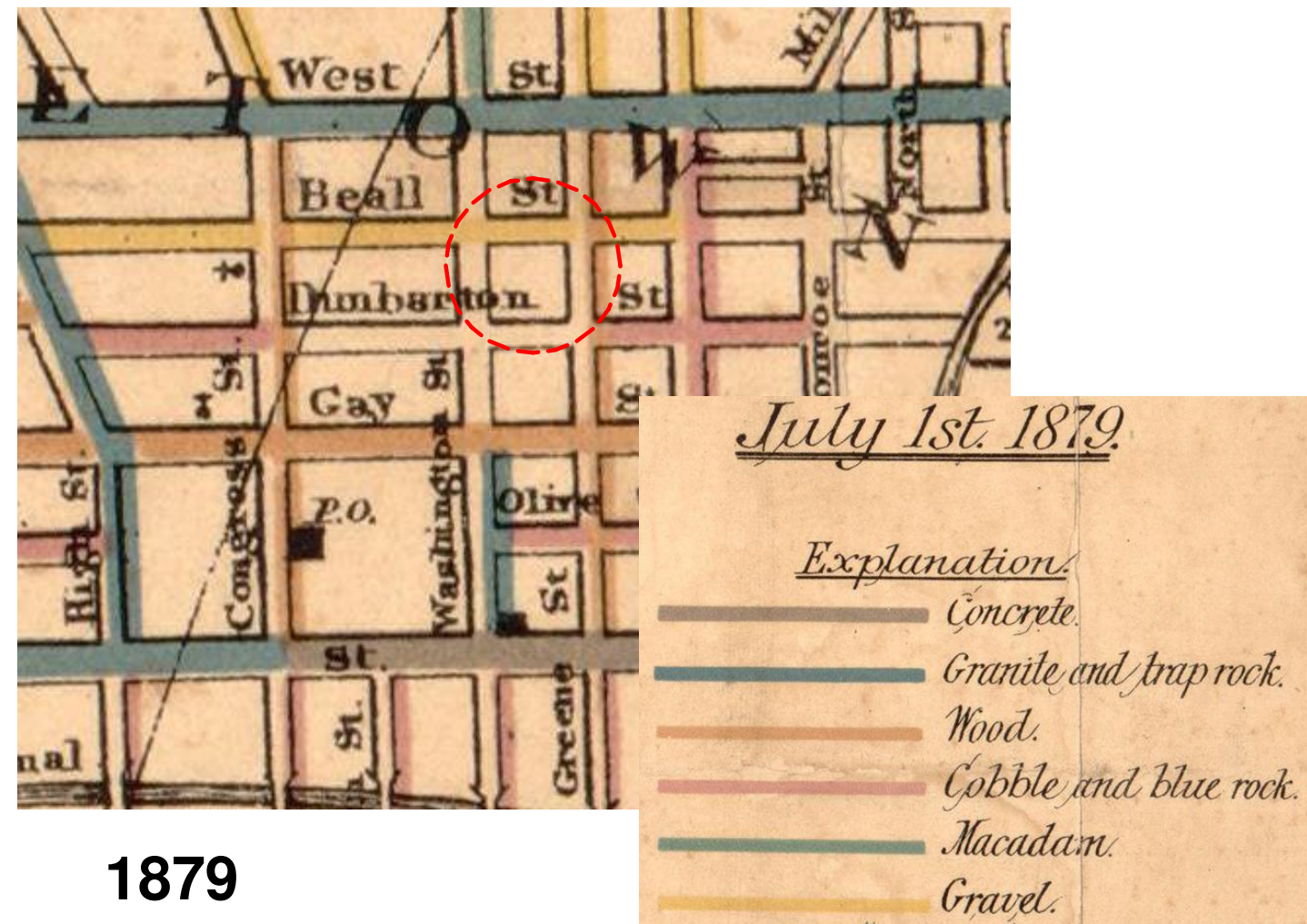
1796



1801

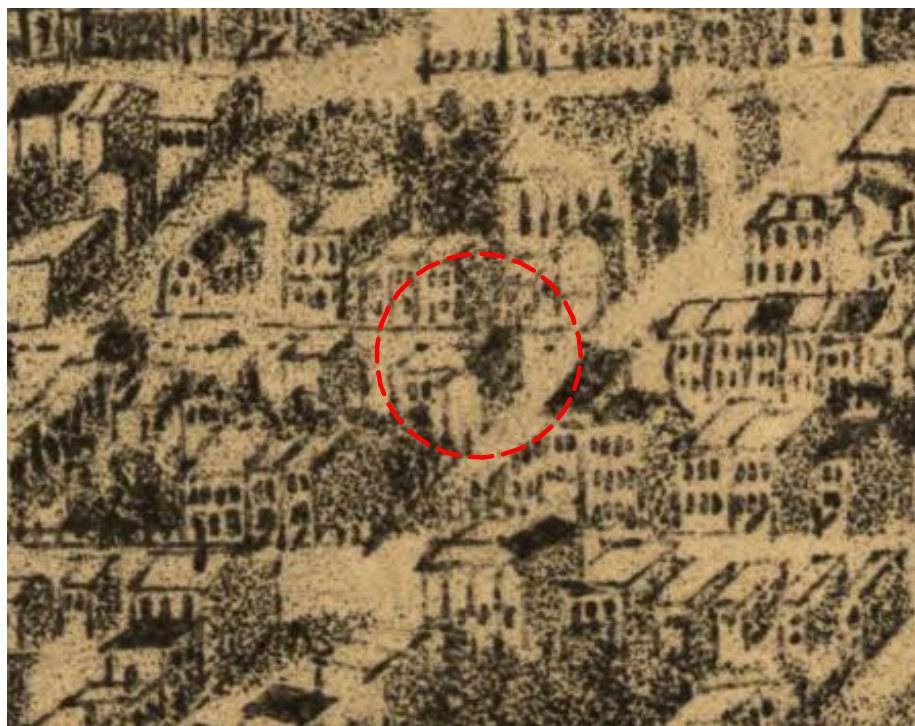


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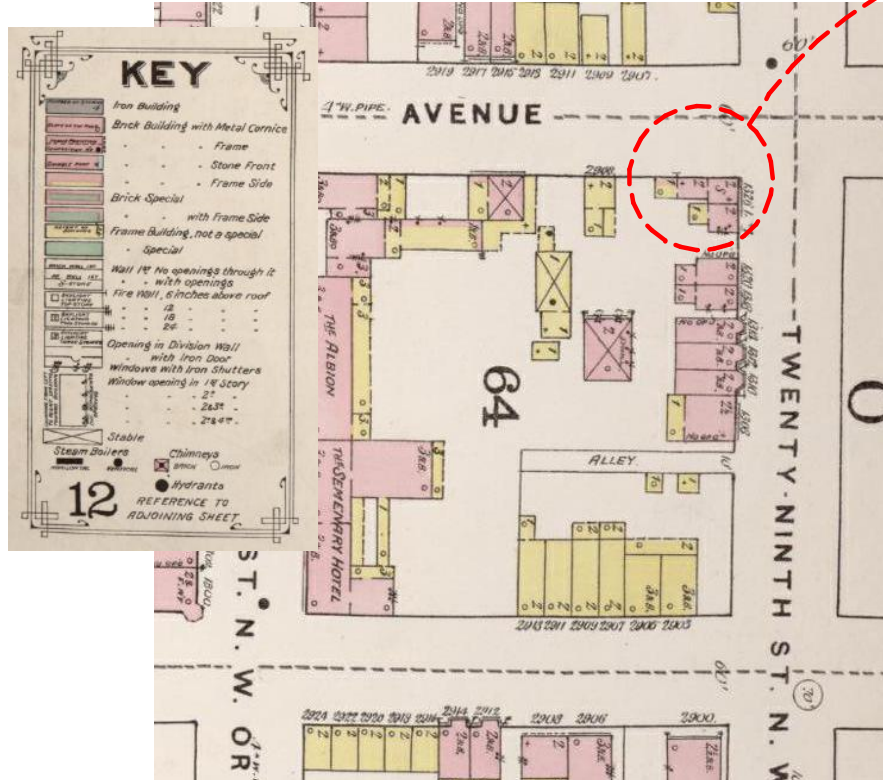


1879

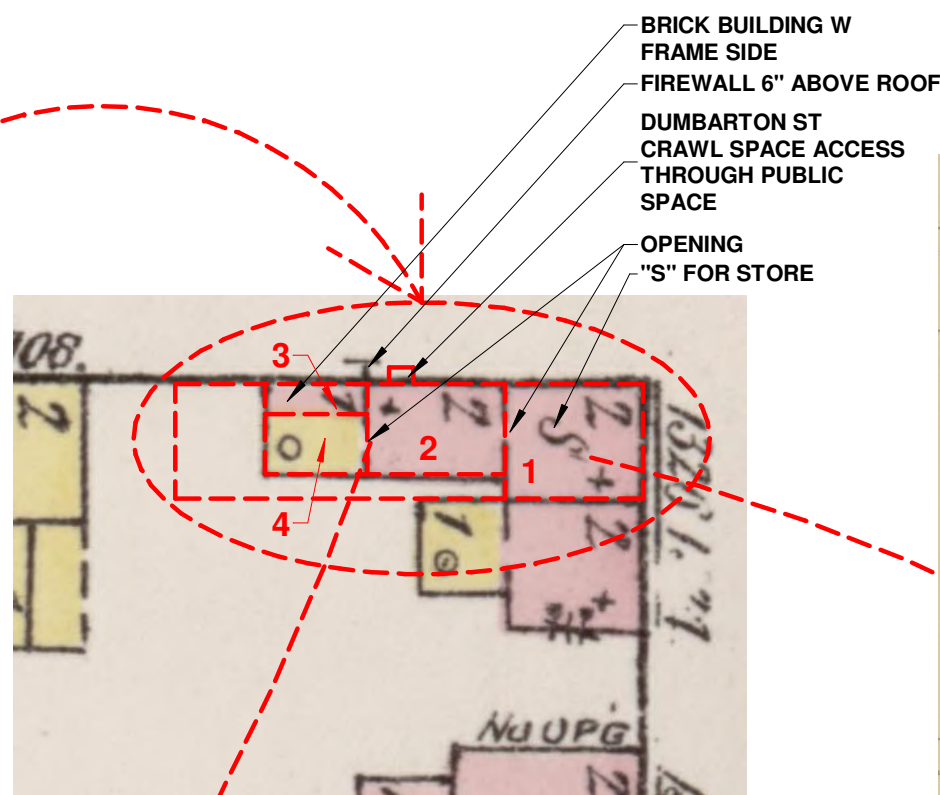
② SUPPORT HISTORIC MAP
6" = 1'-0"



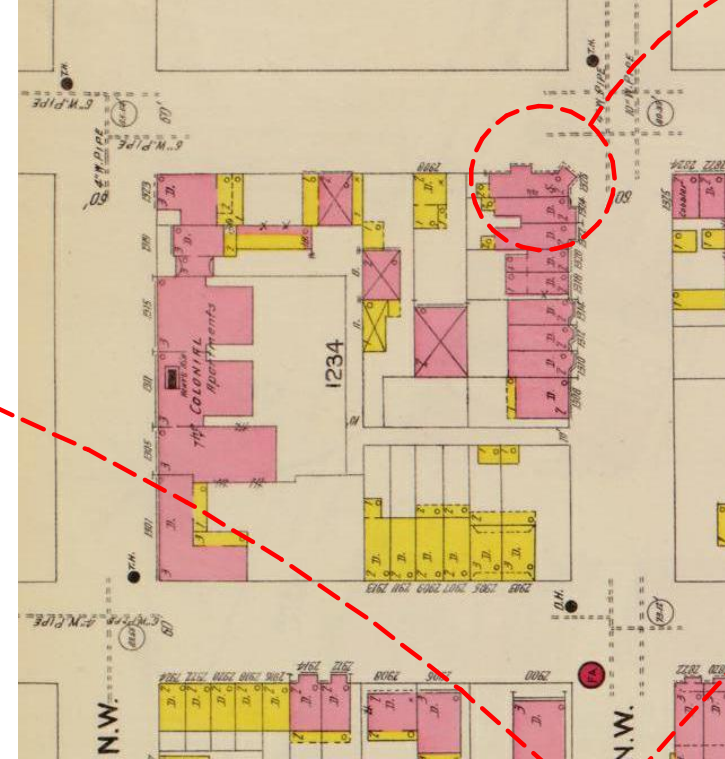
1883 BIRDS
EYE VIEW
A. Sachse & Co.



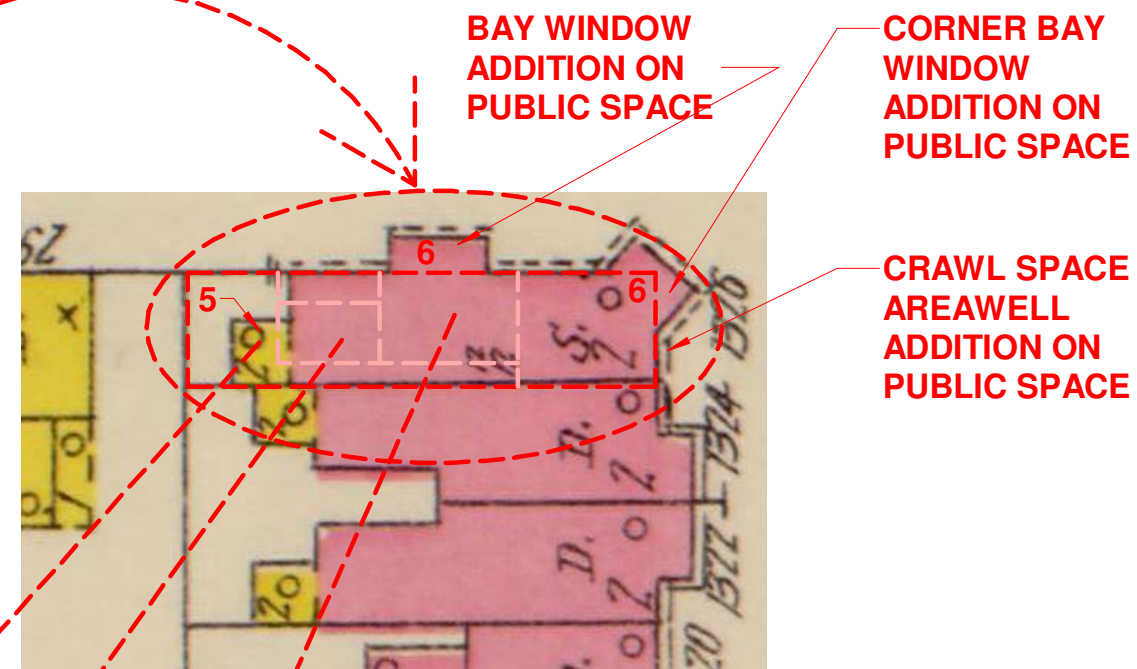
1888
SANBORN



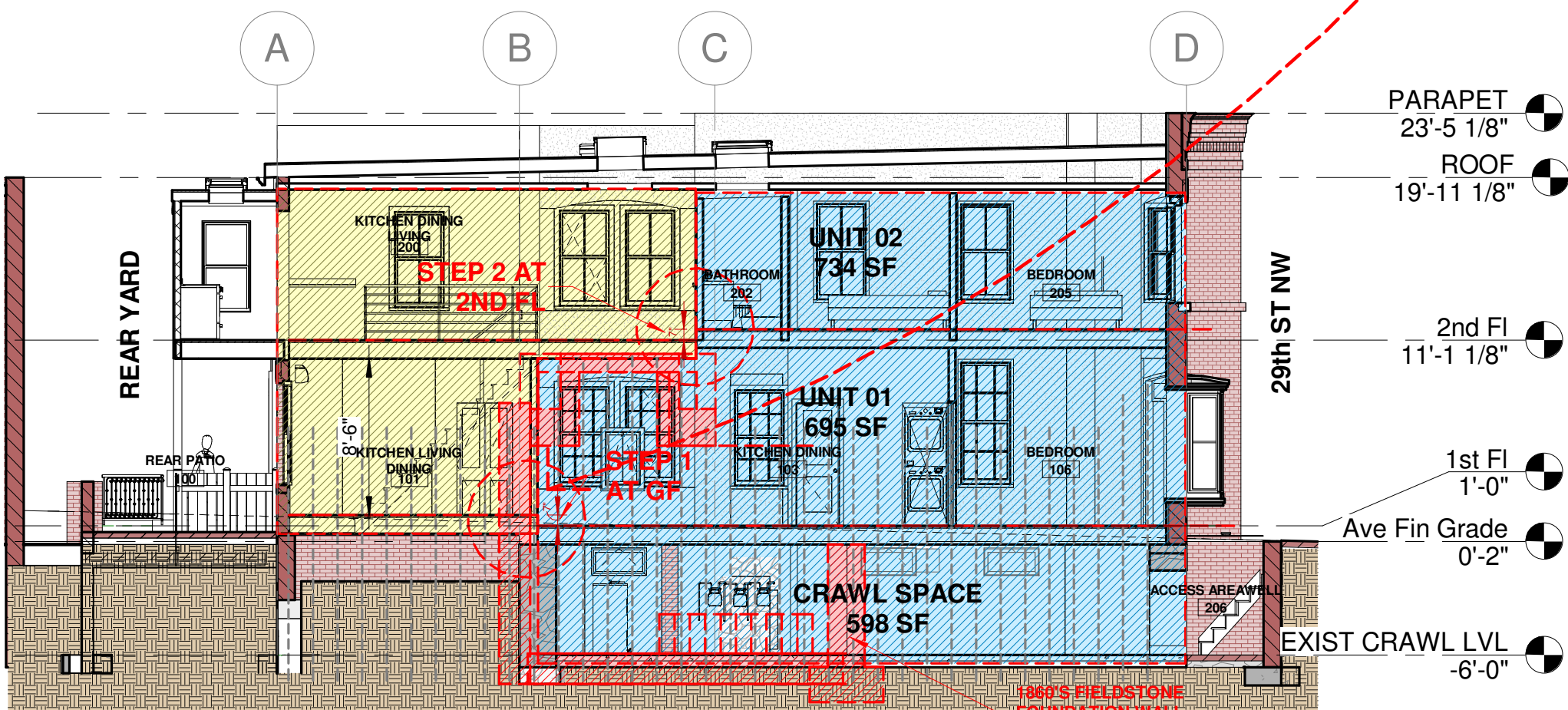
1888
SANBORN
DETAIL



1903
SANBORN



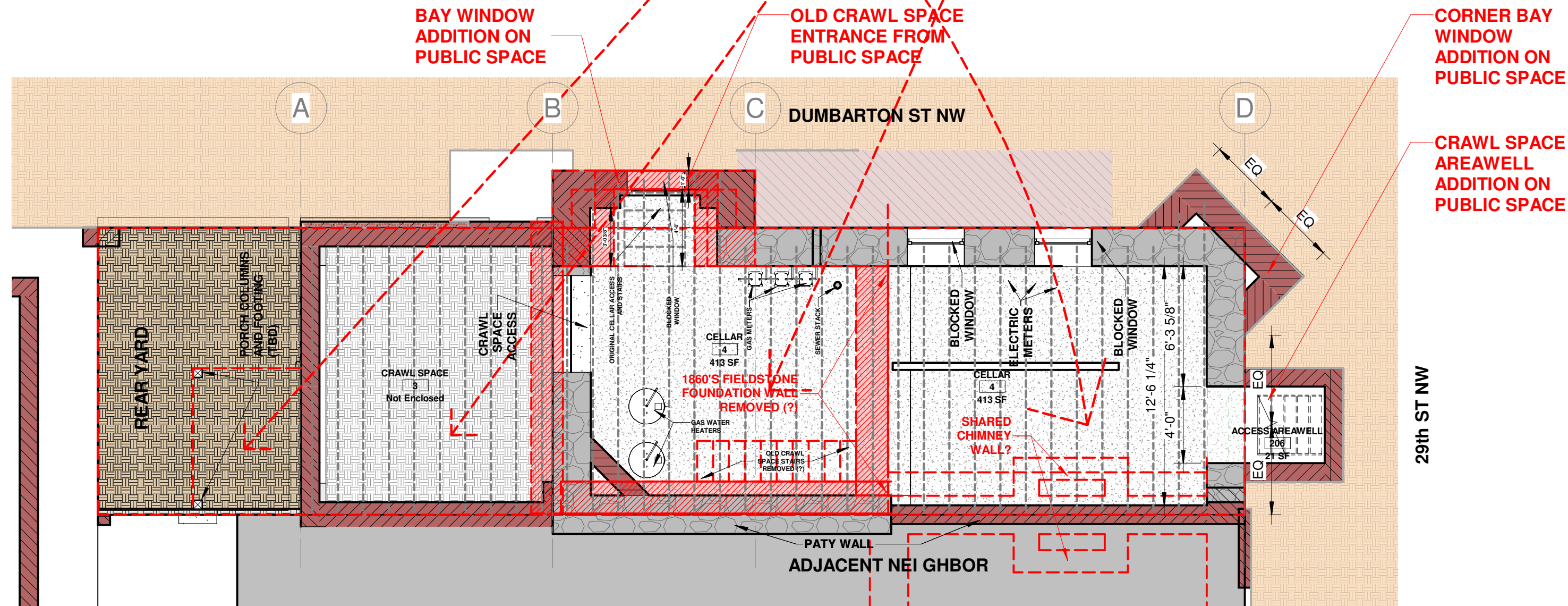
1903
SANBORN
DETAIL



EXISTING LONGITUDINAL SECTION 2
HISTORIC ANALYSIS

④ 1/8" = 1'-0"

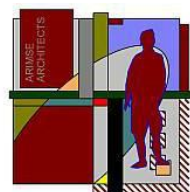
① PROPERTY HISTORY - SANBORN PLANS
3/8" = 1'-0"



EXIST CRAWL LVL HISTORICAL
ANALYSIS

③ 3/16" = 1'-0"

Architect:
ARIMSE ARCHITECTS
ARIMSEARCHITECTURE.COM
703-662-1115



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ARCHITECTURE | DEVELOPMENT | CONSTRUCTION | ESTIMATION

Project Name:
**2900-2902 DUMBARTON
ST NW RENOVATIONS**

2900 DUMBARTON St NW WASHINGTON DC
20007

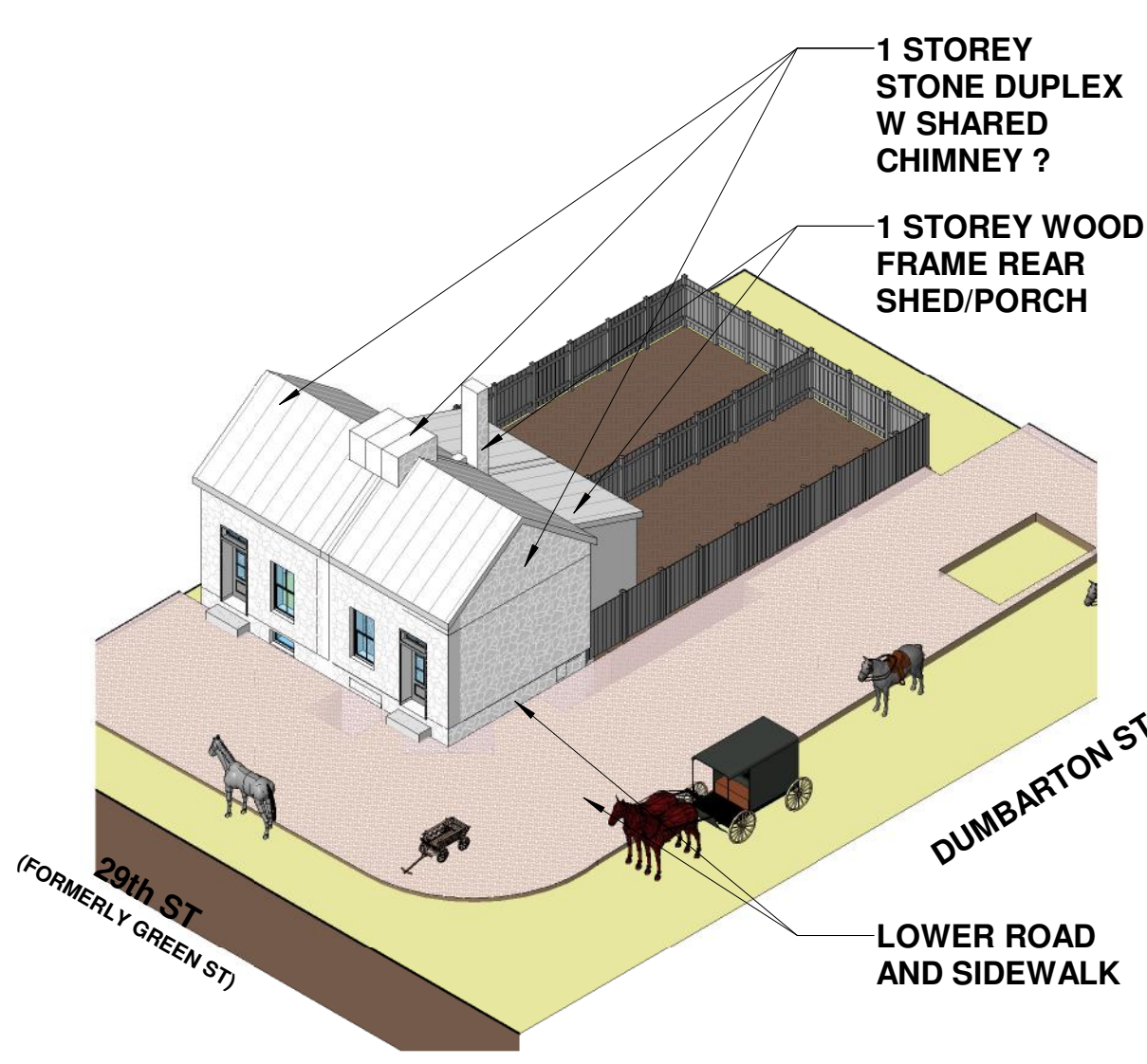
Client:
INVESTMENTS NMN

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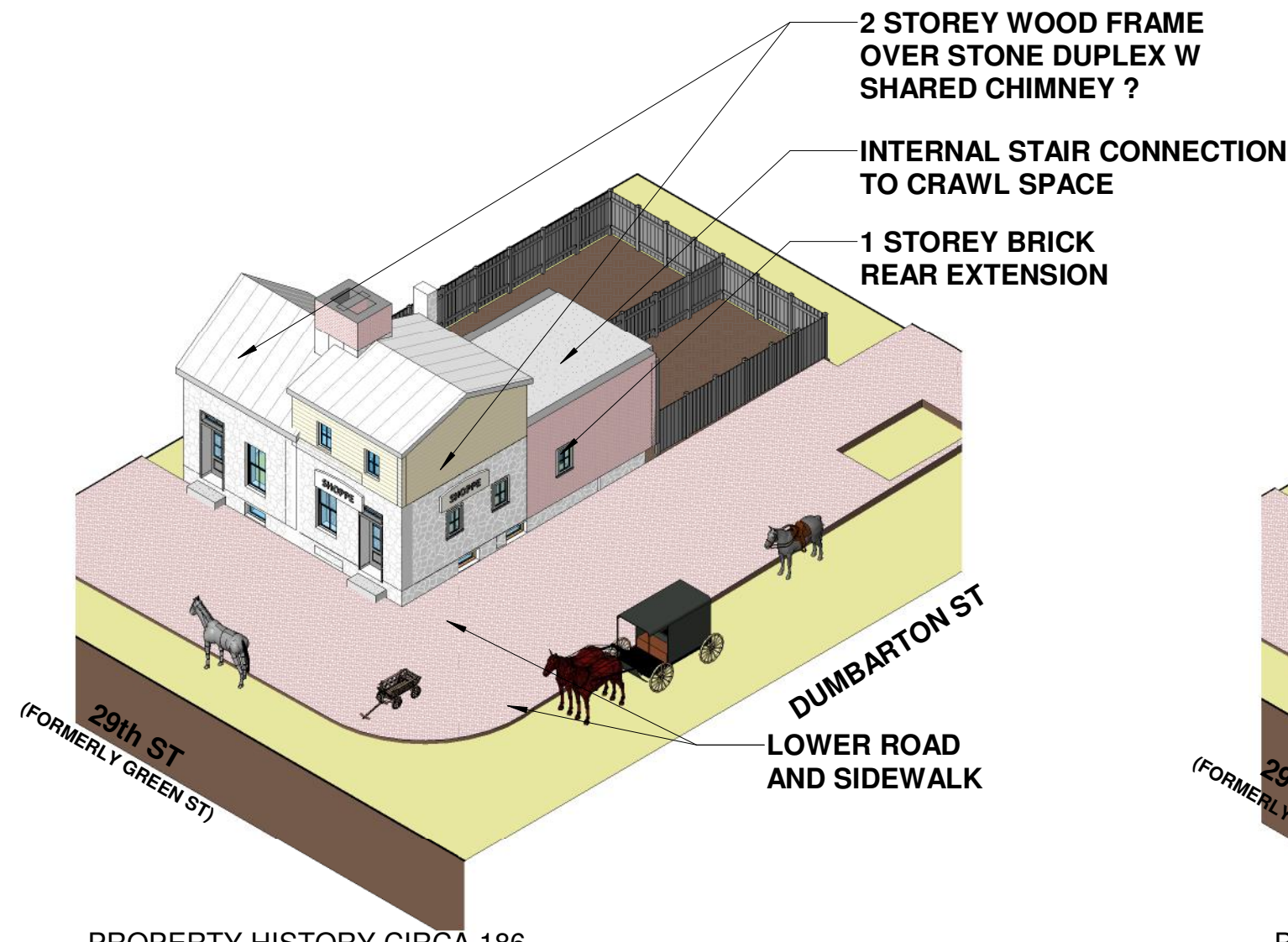
Drawing Title:
**PROPERTY HISTORY -
SANBORN AND BAIST
FIRE INSURANCE MAP
DATA**

North:	Project No.:
	Project Number
	Drawn by: Author
	PERMIT No. Checker
Stamp:	Scale: As indicated
	Date: 10/15/2024 6:18:55 PM

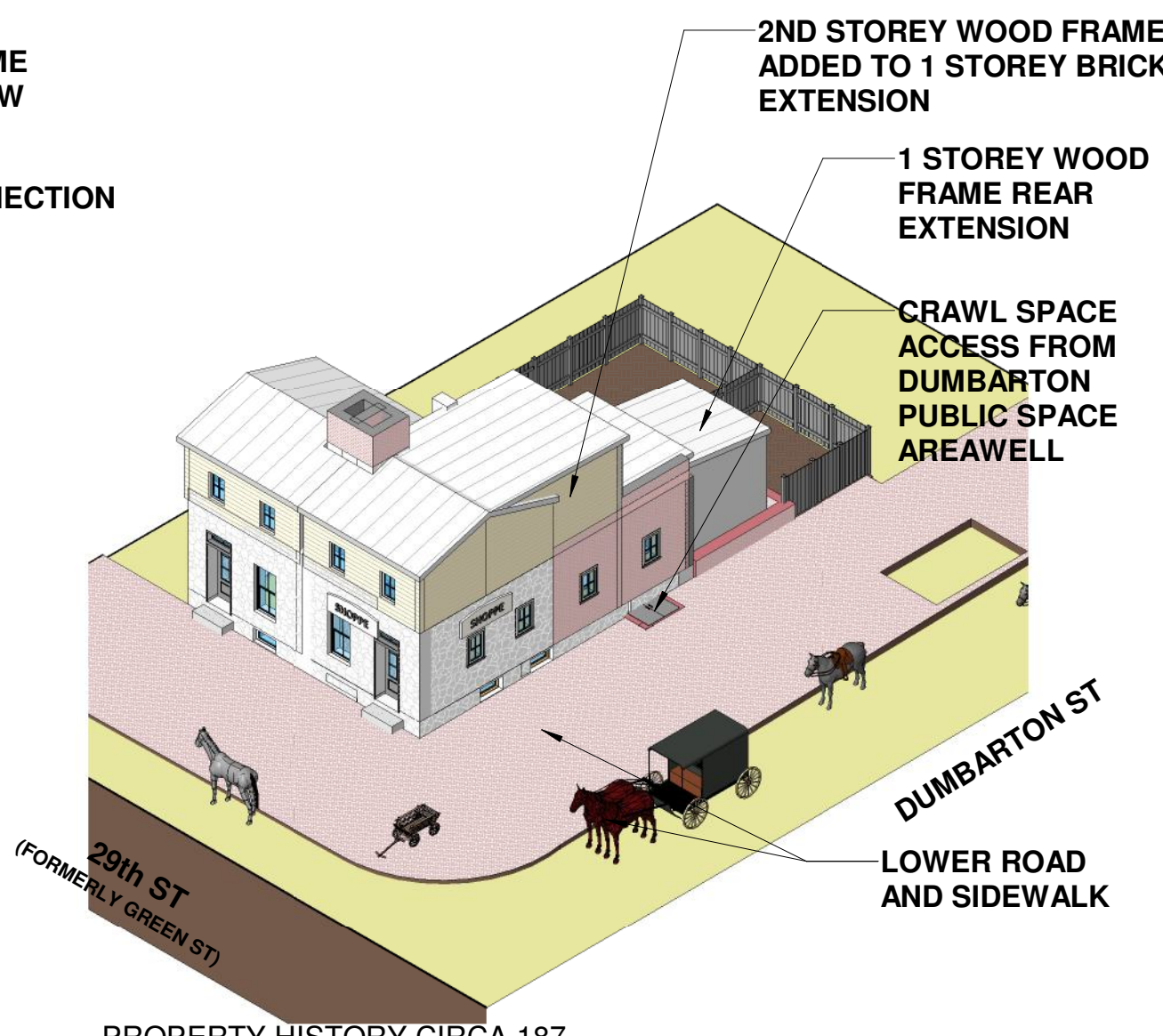
Drawing No.:
A110



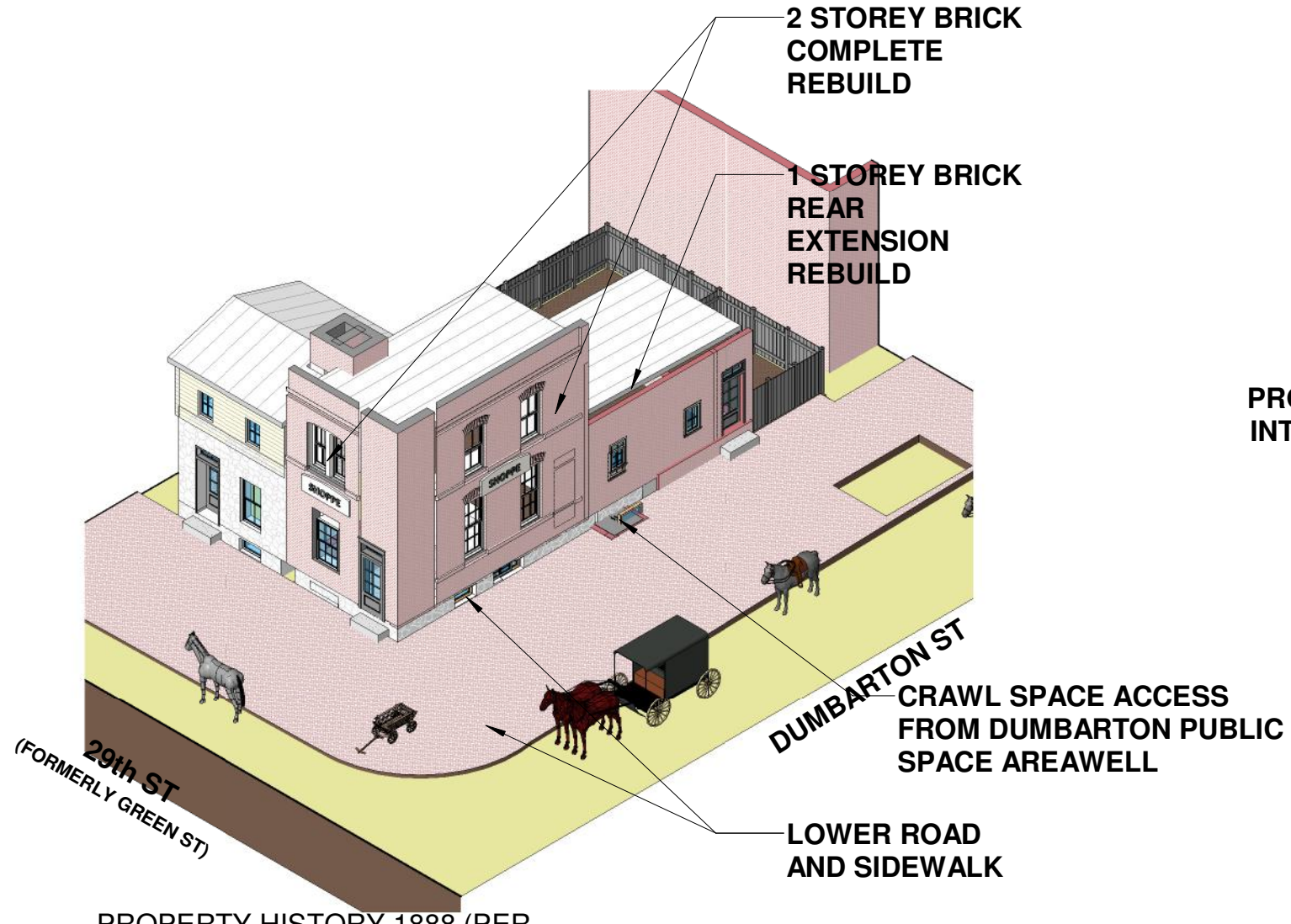
1 PROPERTY HISTORY CIRCA 1850



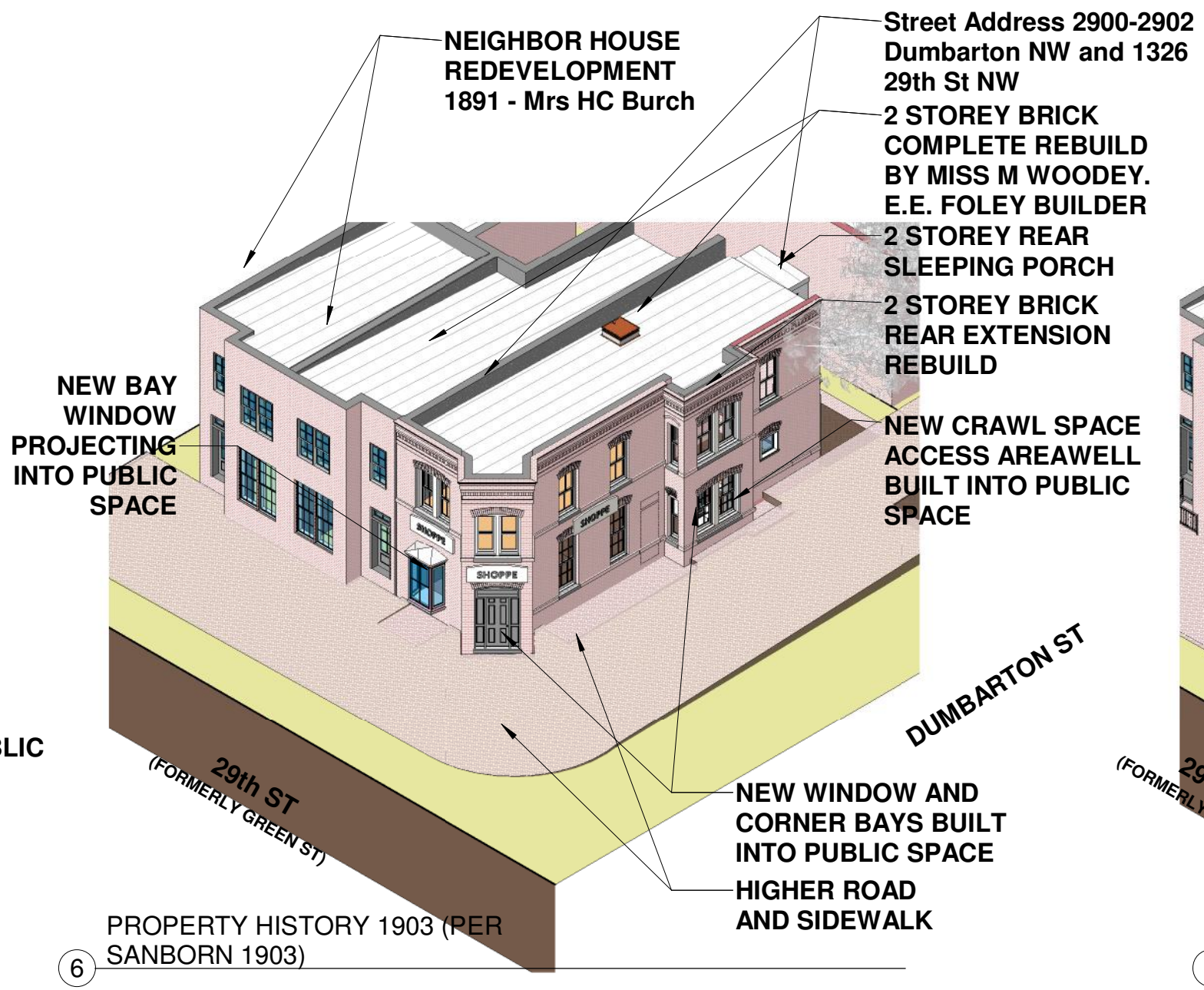
2 PROPERTY HISTORY CIRCA 186-187 (CONJECTURAL)



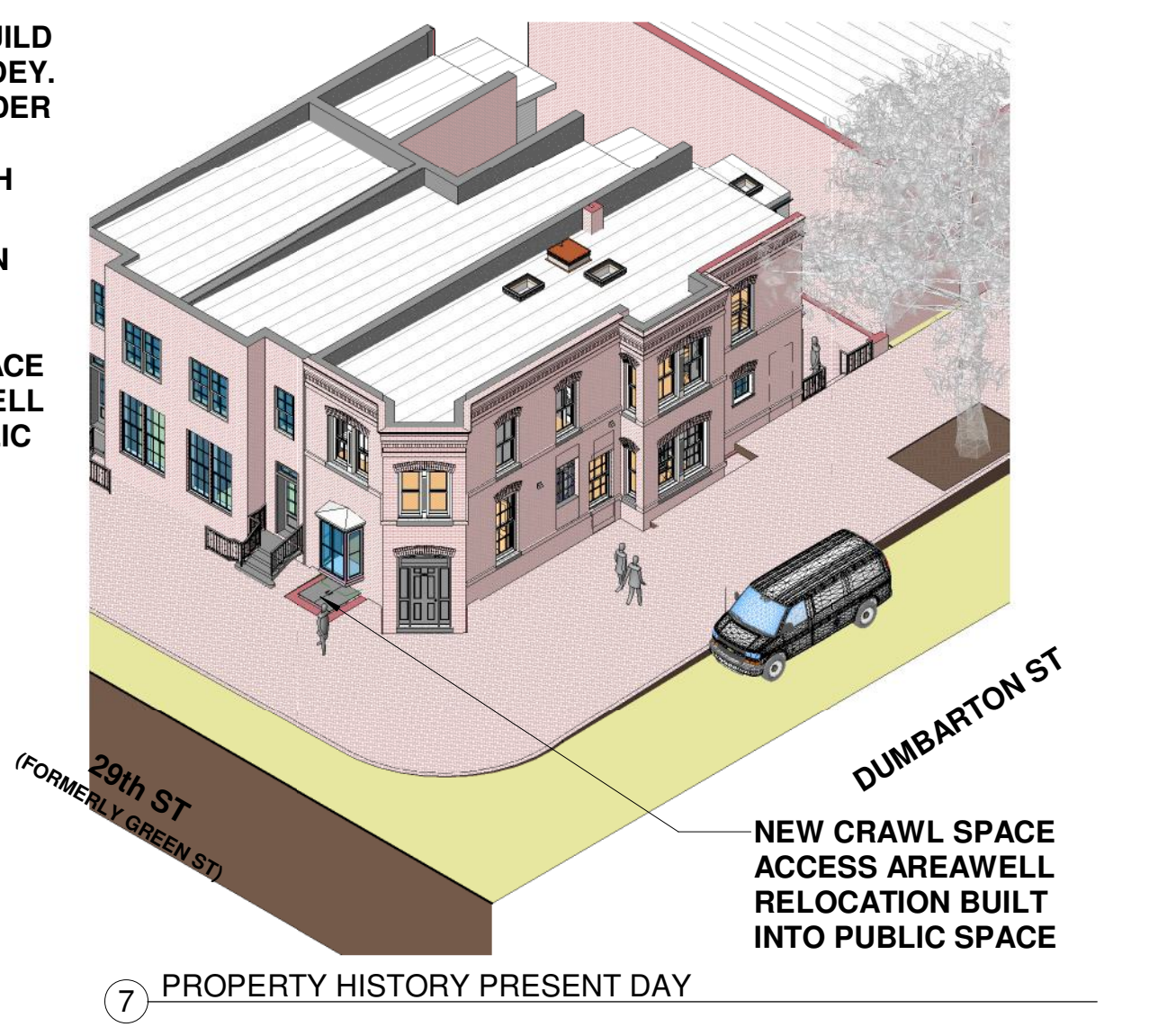
3 PROPERTY HISTORY CIRCA 187-188 (CONJECTURAL)



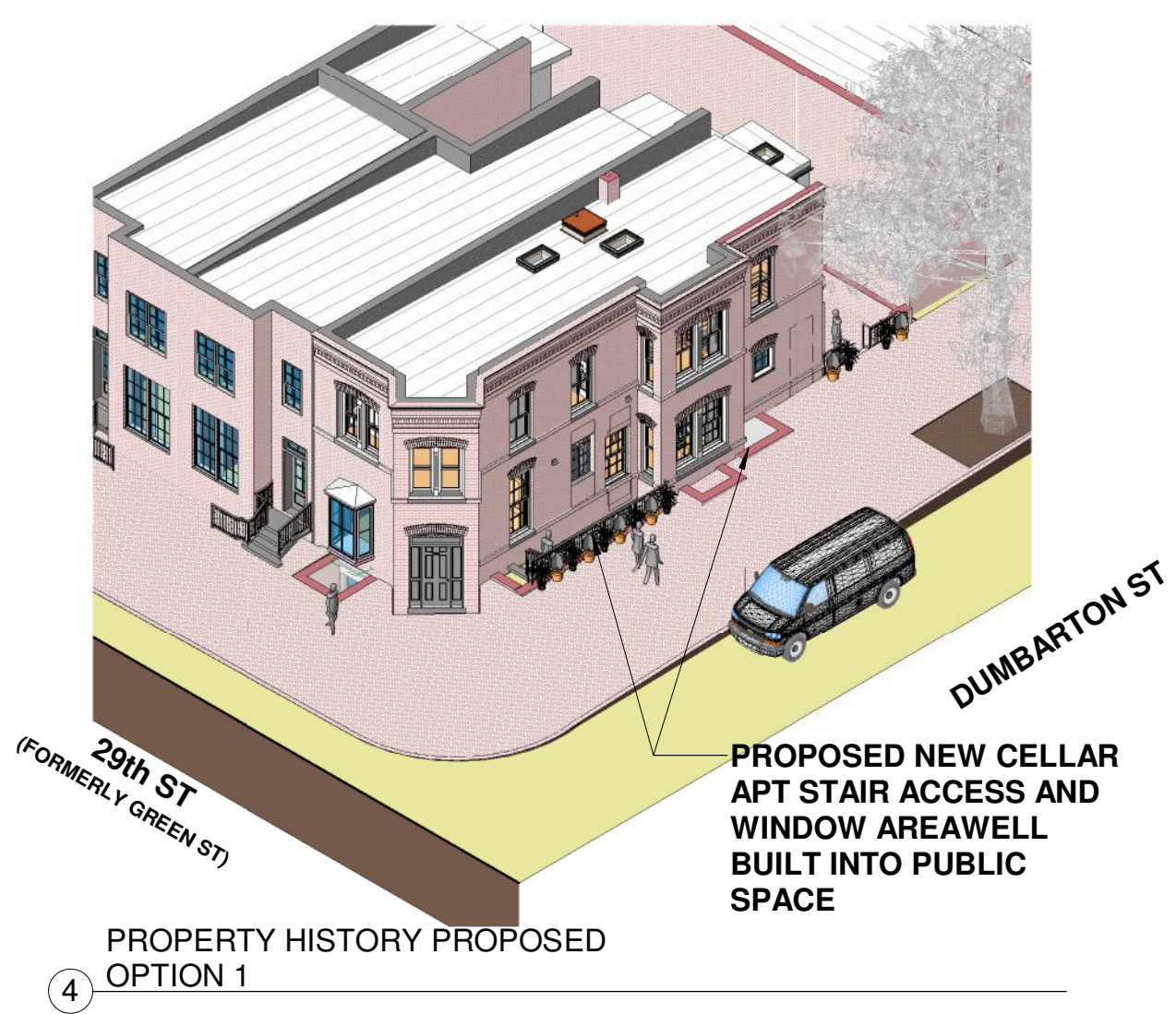
5 PROPERTY HISTORY 1888 (PER SANBORN 1888)



6 PROPERTY HISTORY 1903 (PER SANBORN 1903)



7 PROPERTY HISTORY PRESENT DAY



4 PROPERTY HISTORY PROPOSED OPTION 1

HISTORICAL NARRATIVE

The 3D Time-Lapse drawing illustrates the evolution of the property at 2900 Dumbarton. The drawing shows that:

1801: The property appears to be undeveloped land at this time.

(Circa) 1850s: The first structure on the property emerges as a one-story (?) stone duplex with a shared chimney, developed at the same time as the neighboring structure. A wood-frame rear shed or porch is also present.

(Circa) 1860s: The property sees the addition of a wood frame (?) 2nd story, on top of the existing one-story stone duplex. The rear shed/porch is likely removed and a 1 storey brick addition is constructed (?), while the neighboring structure retains the original rear porch. The building is probably converted from a single dwelling unit into a store/retail use in the GF as shown in the Sanborn map. The Owner most likely lived in the upper floor flat

(Circa) 1870s: The property sees further expansion with the enlargement of the two-story brick structure that may encompass or replace the earlier stone and brick structure. The shared chimney likely remains, and a further one-story brick rear extension is added.

1888: Some catastrophic event might (fire?) have occurred at around this time at 2900 Dumbarton side of the duplex that necessitated the removal of the stone walls down to level. The stone two-story structure is probably (?) removed and replaced with a 2 storey brick structure, a flat roof installed and the 1 storey brick rear extension from the 1870s is expanded.

1903: Some other catastrophic event might (fire?) have occurred at around this time on the other side of the duplex or simply a run of the mill property redevelopment, that necessitated the removal of the remaining stone walls down to ground level and the removal of the shared chimney wall. The entire building undergoes a complete rebuild, resulting in a two-story brick structure. The rear extension is also rebuilt with matching brick facade, and a two-story rear sleeping porch is added, with new window and corner bays built into the public space. The neighboring house also sees redevelopment during this period. The property is further converted into a 3 apt flats

Present Day: The building retains its two-story brick structure from the 1903 rebuild. The rear sleeping porch is no longer present. The neighboring house has further evolved, with the addition of a crawl space access area well and a bay window projecting into the public space. The use of the building has been converted to 3 apt flats (GF studio, GF 1 bed and 2nd fl 2 bed

Architect:
ARIMSE ARCHITECTS
ARIMSEARCHITECTURE.COM
703-662-1115

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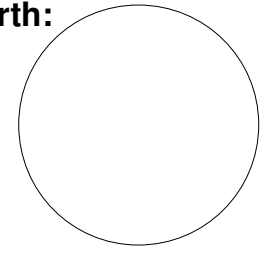
Project Name:
2900-2902 DUMBARTON ST NW RENOVATIONS

2900 DUMBARTON St NW WASHINGTON DC 20007

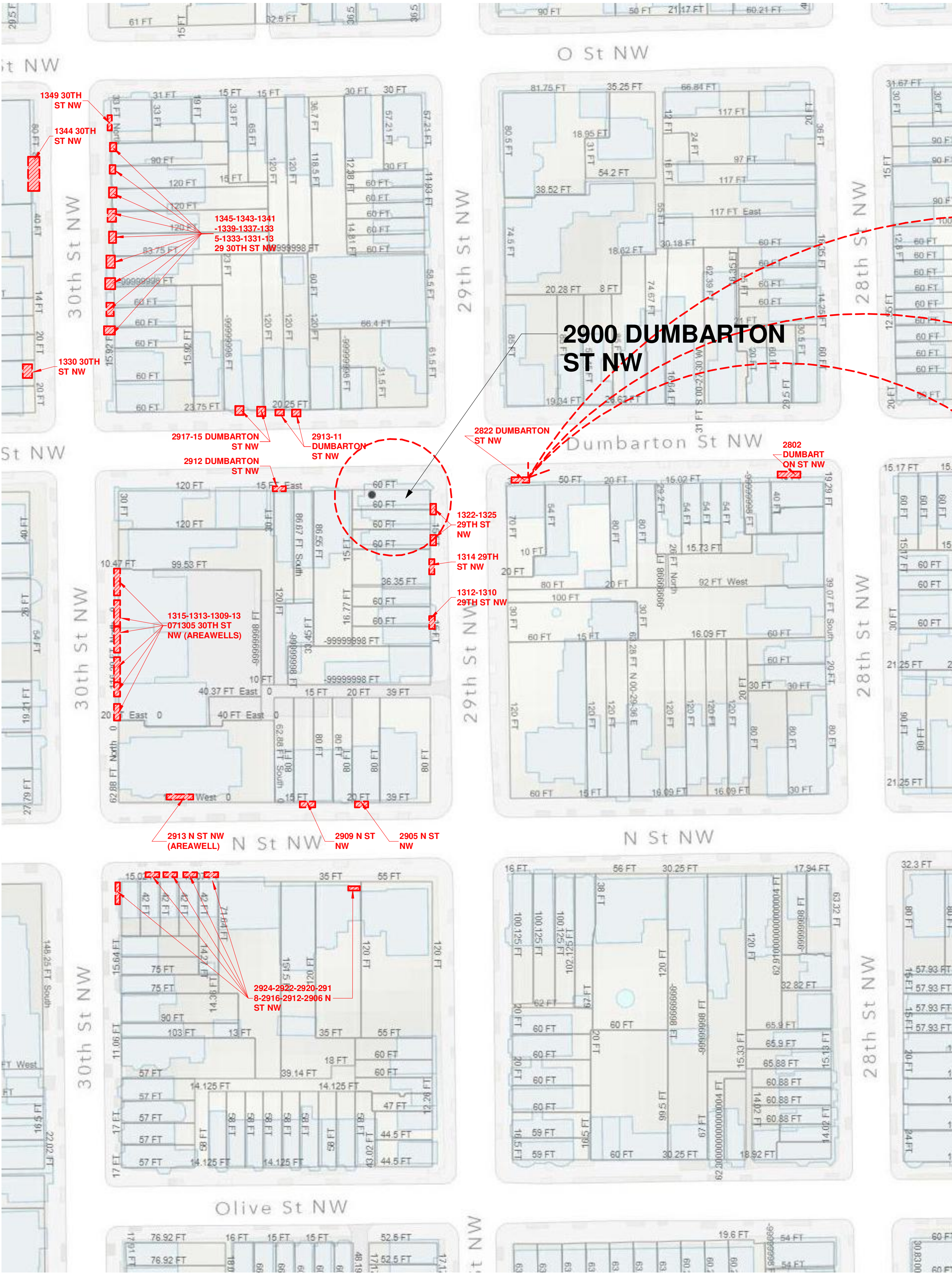
Client:
INVESTMENTS NMN

REV No	REVISION DATE	REVISION DESCRIPTION
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Drawing Title:
PROPERTY HISTORY - 3D TIME LAPSE

North: 	Project No.: Project Number
	Drawn by: Author
	PERMIT No. Checker
	Scale: Date: 10/15/2024 6:19:11 PM

Drawing No.:
A115



1 PUBLIC SPACE STAIRS
12" = 1'-0"



2822 DUMBARTON ST BASEMENT AREA WELL ENTRANCE VIEW FROM 2900 DUMBARTON ST



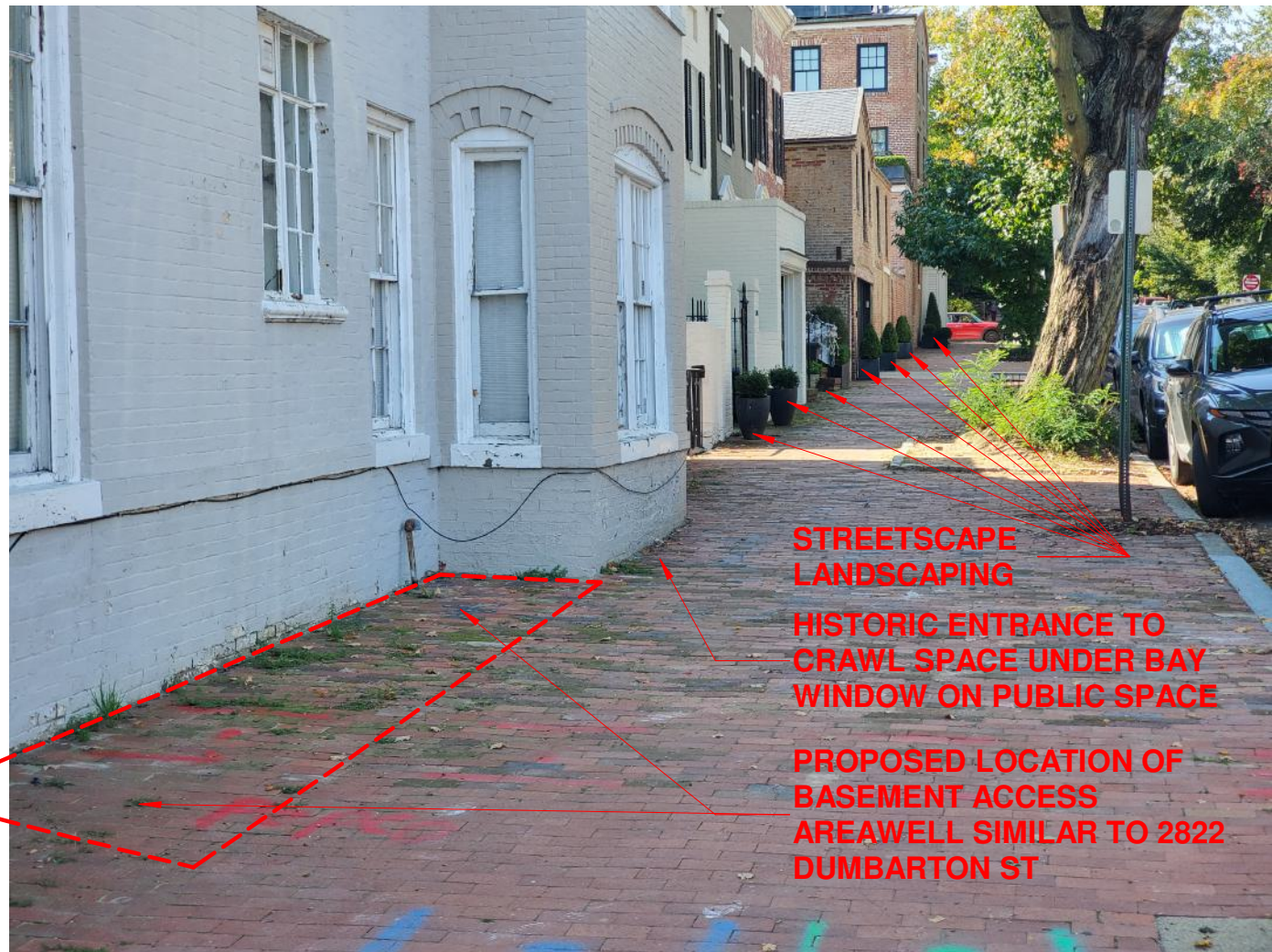
2822 DUMBARTON ST BASEMENT AREA WELL ENTRANCE WITH 2900 DUMBARTON ST IN THE BACKGROUND



2822 DUMBARTON ST BASEMENT AREA WELL ENTRANCE WITH 2900 DUMBARTON ST IN THE BACKGROUND



CORNER OF 2900 DUMBARTON AND 29TH ST SHOWING STREETSCAPE LANDSCAPING BY NEIGHBORS



2900 DUMBARTON SHOWING STREETSCAPE LANDSCAPING BY NEIGHBORS ALONG DUMBARTON ST



HISTORIC DUMBARTON ST CRAWL SPACE ENTRANCE

Architect:
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20007

Client:
INVESTMENTS NMN

REV No	REVISION DATE	REVISION DESCRIPTION
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Drawing Title:
STAIRS IN PUBLIC SPACE IN THE VICINITY OF THE PROJECT

North: 	Project No.: Project Number
	Drawn by: Author
	PERMIT No.: Checker
Stamp:	Scale: As indicated
	Date: 10/15/2024 6:19:18 PM

Drawing No.:
A120

BASEMENT LIGHT AND AIR CALCULATION

R403.1 Habitable Rooms

Habitable rooms shall have an aggregate glazing area of not less than 8 percent of the floor area of such rooms. Natural ventilation shall be through windows, skylights, doors, louvers or other approved openings to the outdoors air. Such openings shall be provided with ready access or shall otherwise be readily controllable by the building occupants. The operable area to the outdoors shall be not less than 4 percent of the floor area being ventilated.

R403.2 Adjoining Rooms

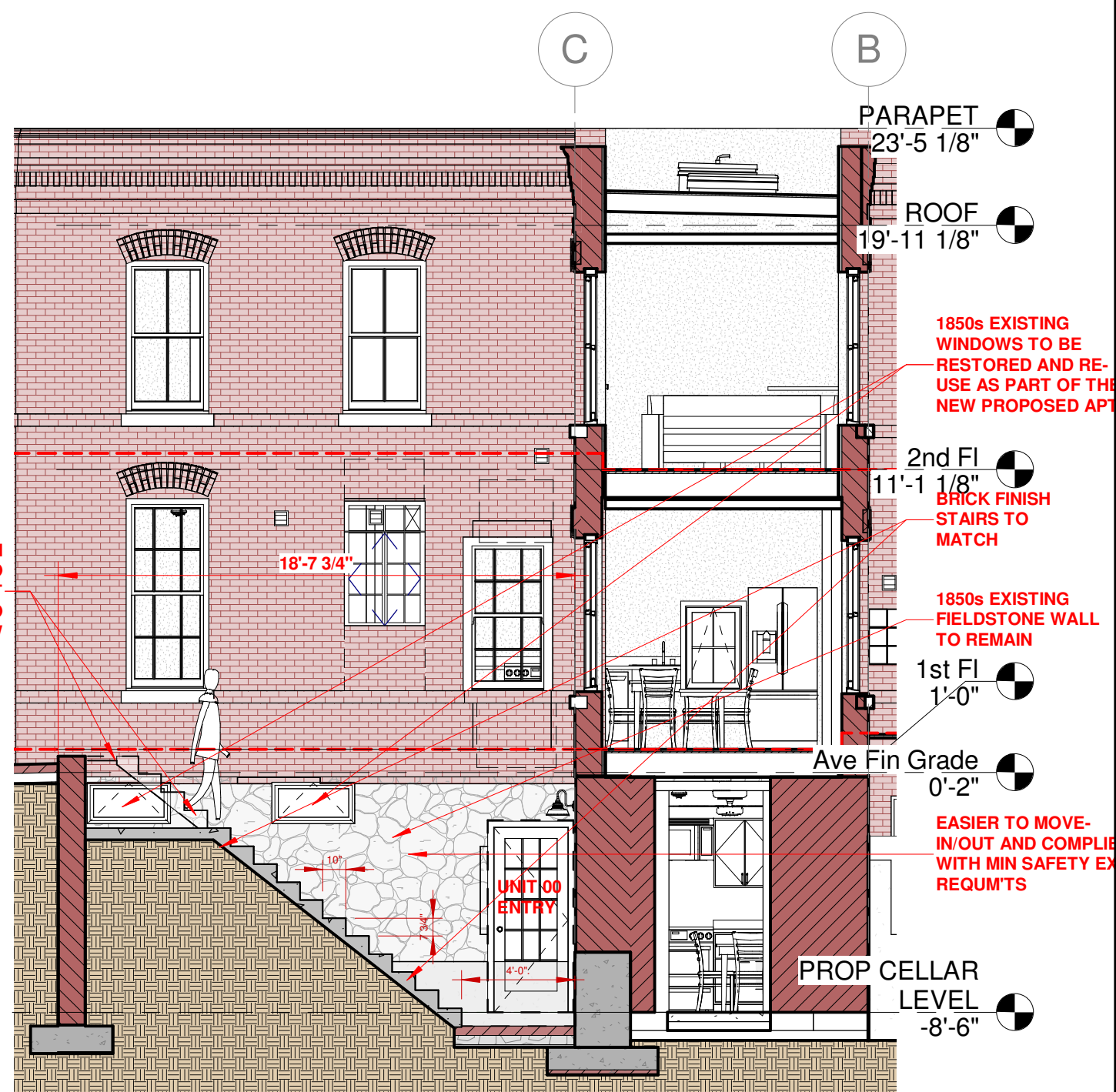
For the purpose of determining light and ventilation requirements, rooms shall be considered to be a portion of an adjoining room where not less than one-half of the area of the common wall is open and unobstructed and provides an opening of not less than one-tenth of the floor area of the interior room and not less than 25 square feet (2.3 m2).

CALCULATIONS:

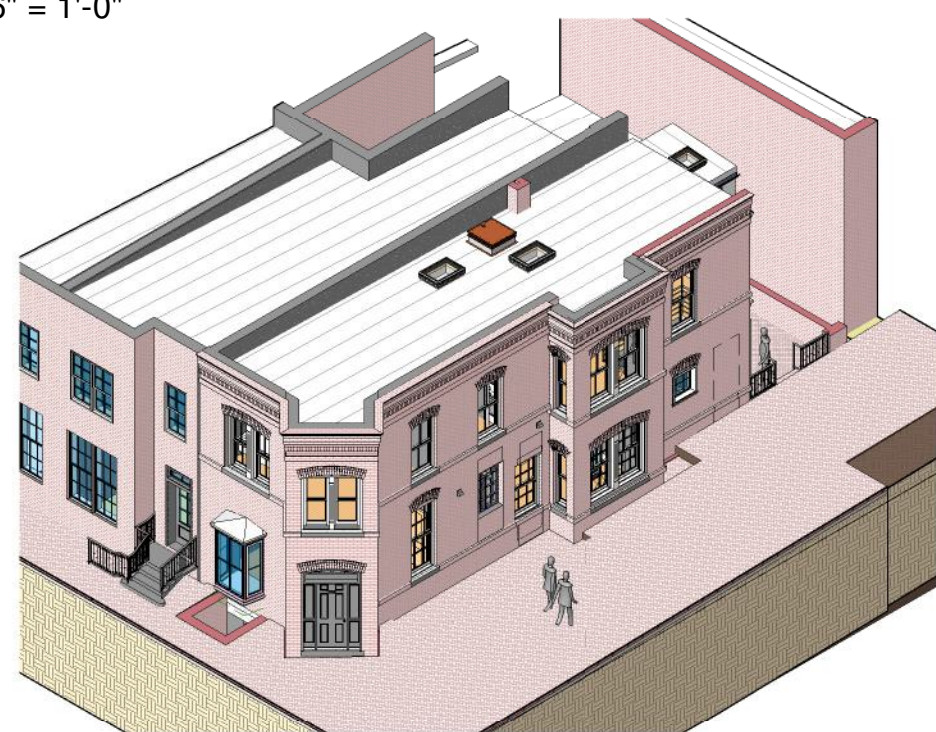
1. LIVING DINING KITCHEN AND HALLWAY AREA = 350 SF
2. GLAZING AREA = 350 SF x 8% = 28 SF
3. VENTILATION AREA = 350 x 4% = 14 SF

PROPOSED LIGHT AND AIR:

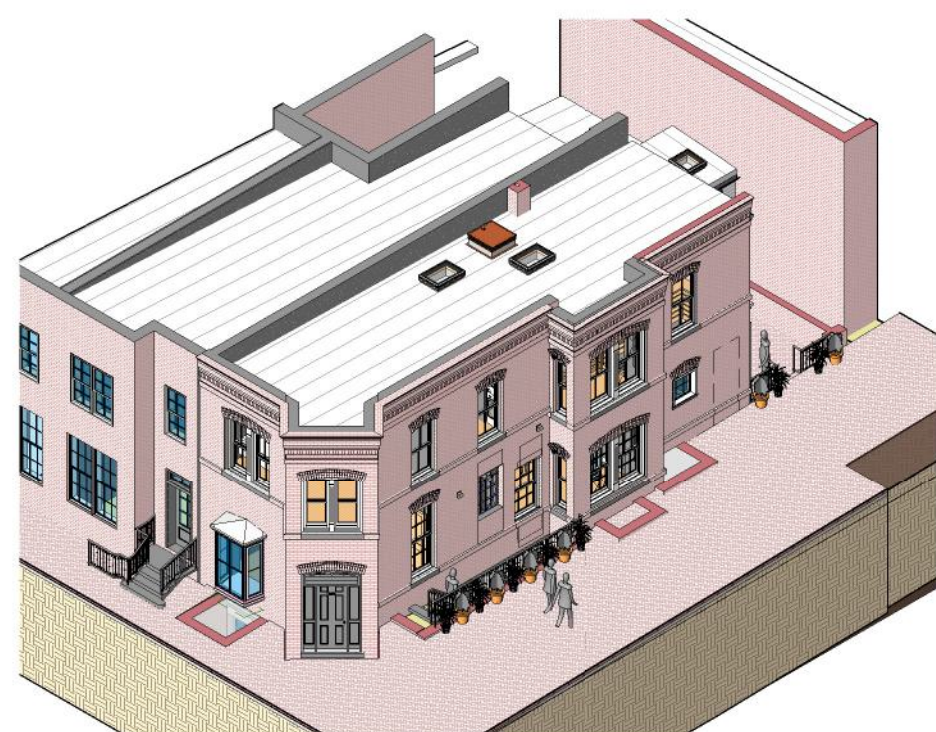
1. ENTRANCE DOOR = 3' x 7' = 21 SF
2. GLAZING AREA = 350 SF x 8% = 28 SF
3. VENTILATION AREA = 350 x 4% = 14 SF
4. EXISTING CELLAR WINDOWS = 3 x 4.5 SF EA = 13.5 SF



11 OPTION 1 STAIR SECTION
3/16" = 1'-0"

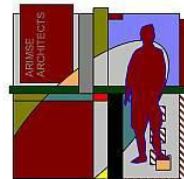


6 EXISTING CORNER VIEW BMT STAIR



7 PROPOSED CORNER VIEW BMT STAIR
OPTION 1

Architect:
ARIMSE ARCHITECTS
ARIMSEARCHITECTURE.COM
703-662-1115



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Project Name:
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ST NW RENOVATIONS**

2900 DUMBARTON St NW WASHINGTON DC
20007

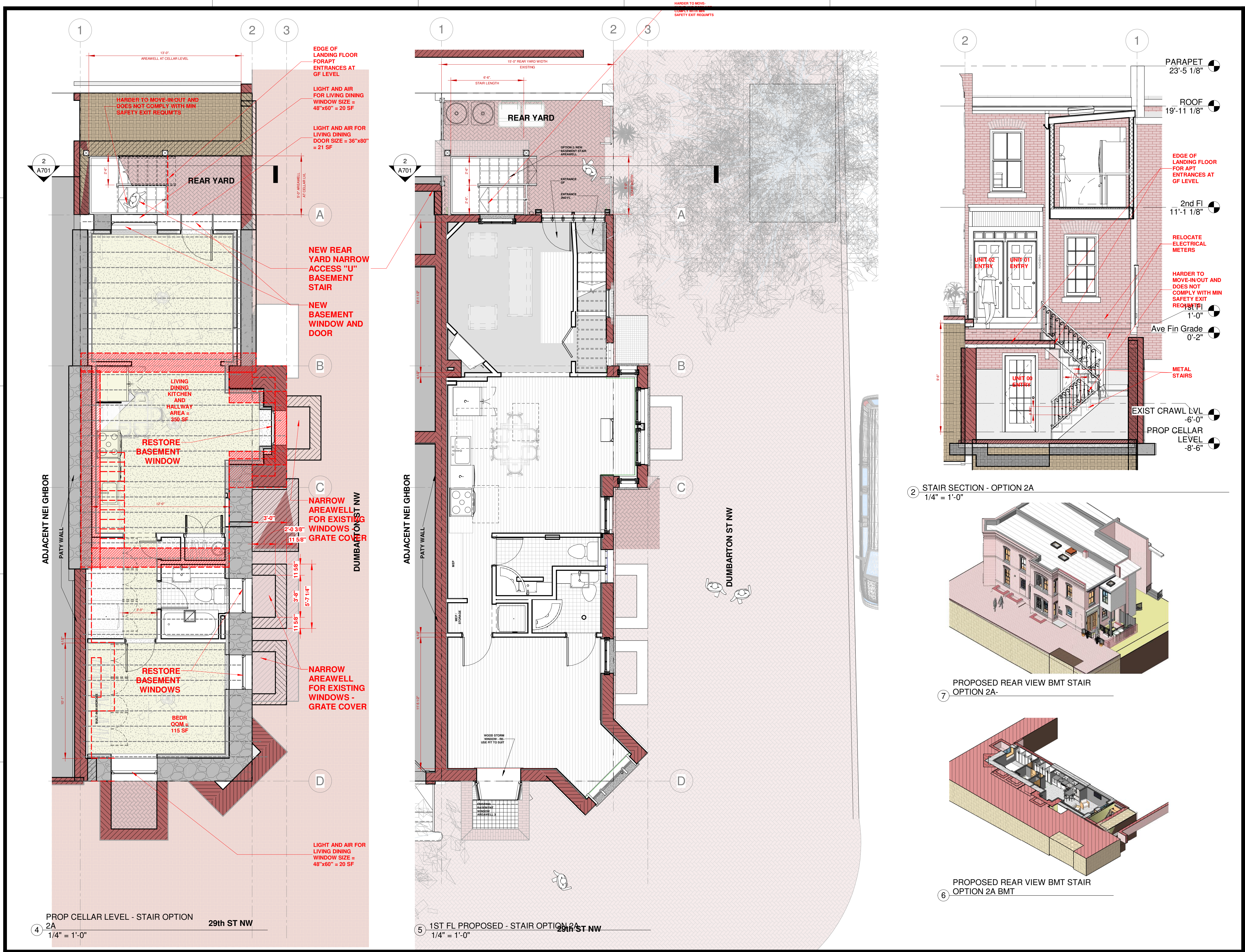
Client:
INVESTMENTS NMN

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Drawing Title:
**BASEMENT STAIR
OPTION 1 -
DUMBARTON ST**

North: 	Project No.: Project Number
	Drawn by: Author
	PERMIT No.: Checker
Stamp:	Scale: As indicated
	Date: 10/15/2024 6:23:22 PM

Drawing No.:
A700



Architect:
ARIMSE ARCHITECTS
ARIMSEARCHITECTURE.COM
703-662-1115

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Project Name:
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ST NW RENOVATIONS**

2900 DUMBARTON St NW WASHINGTON DC
20007

Client:
INVESTMENTS NMN

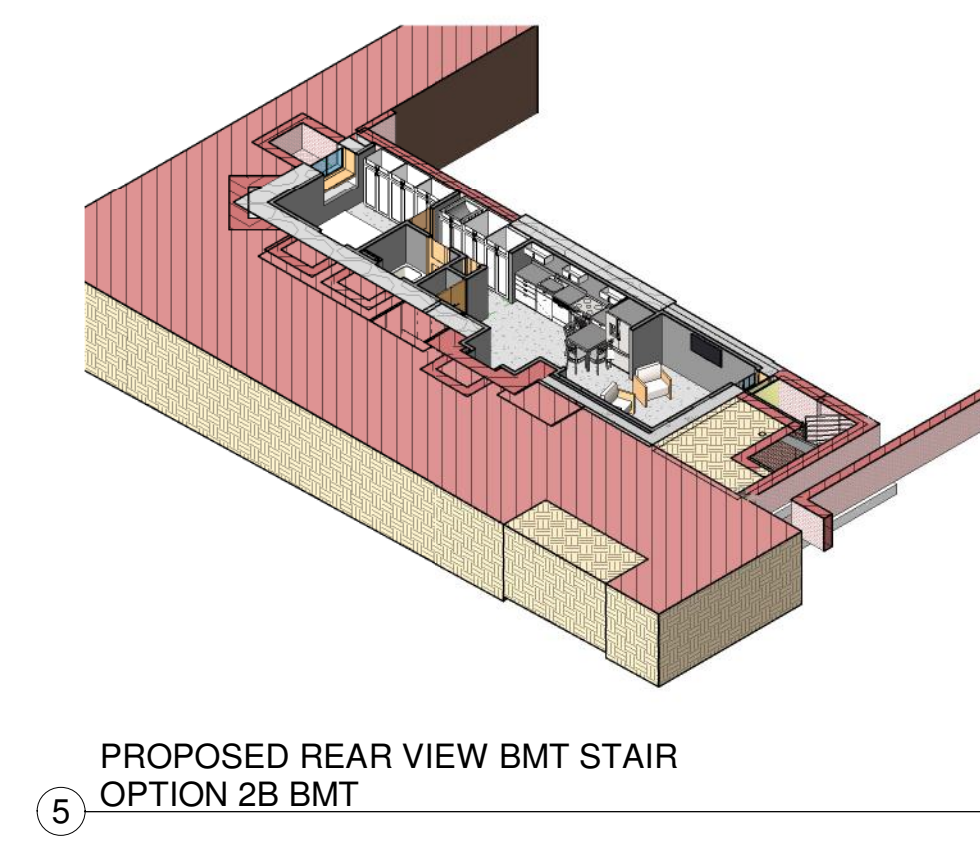
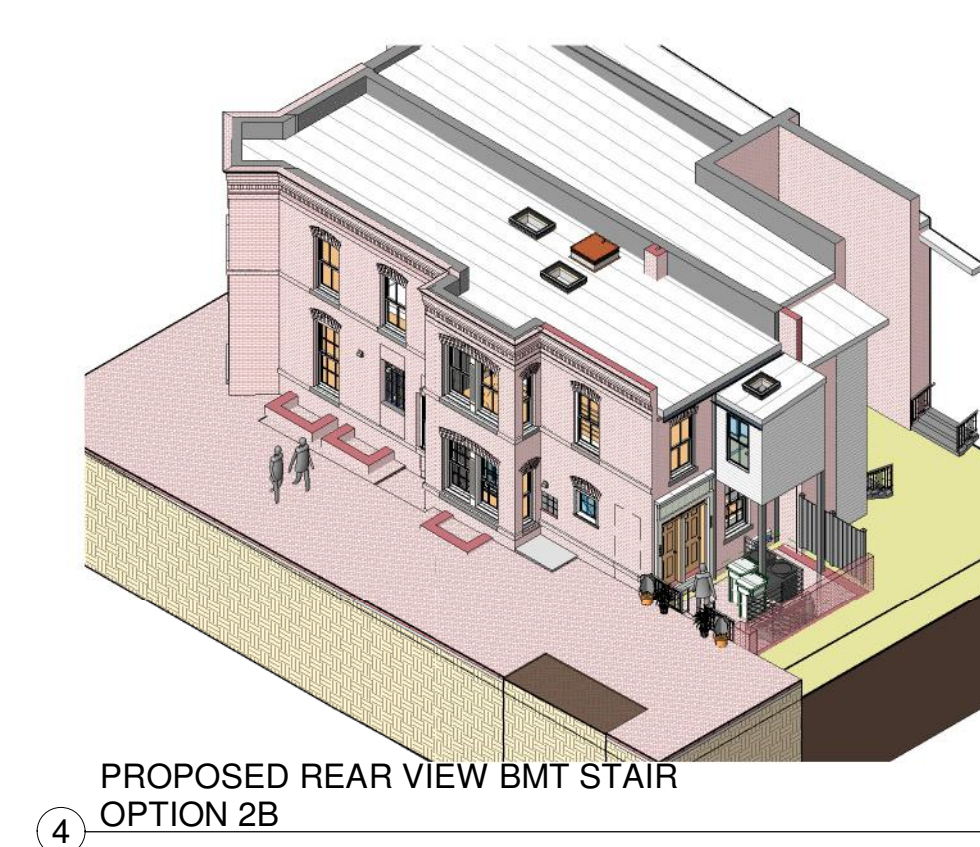
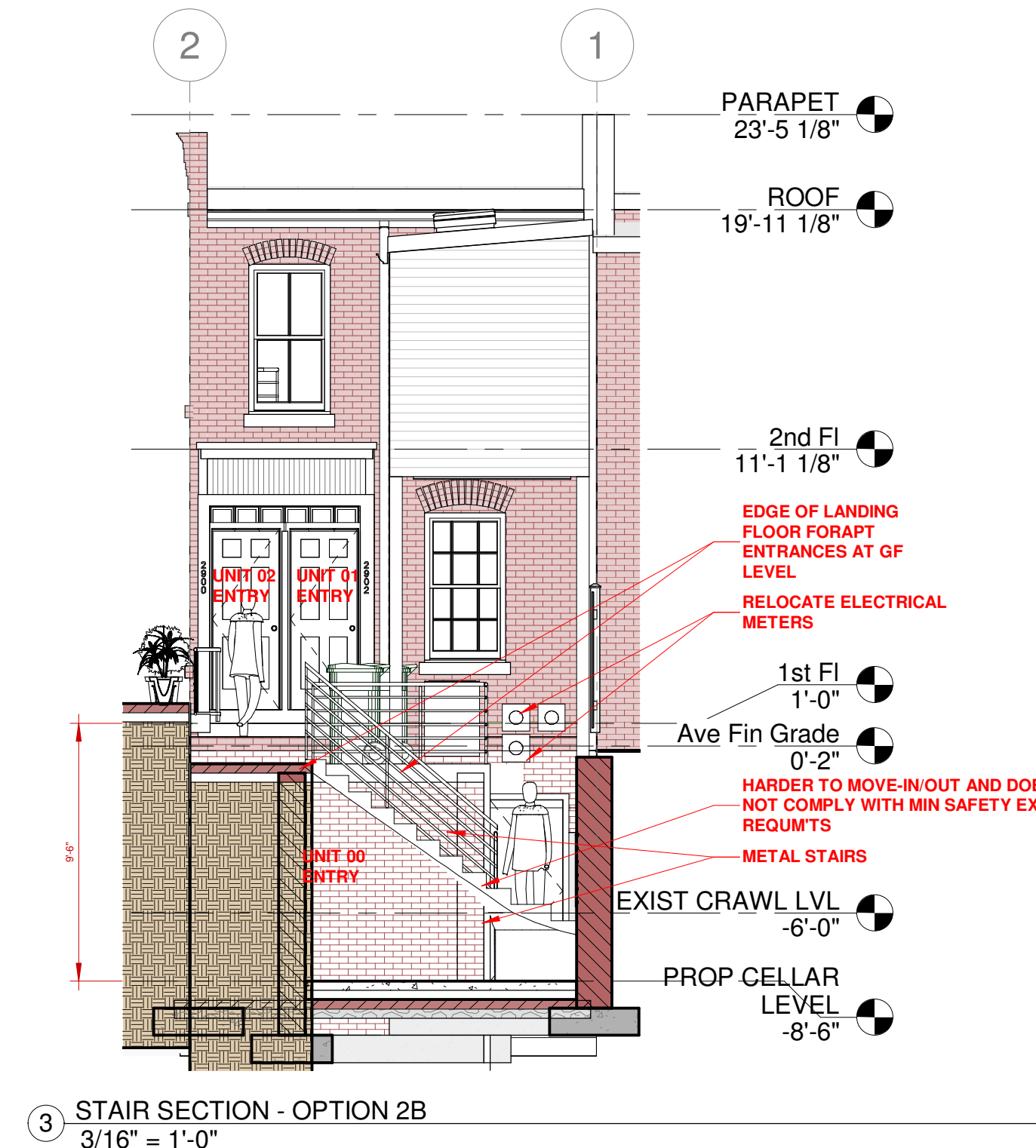
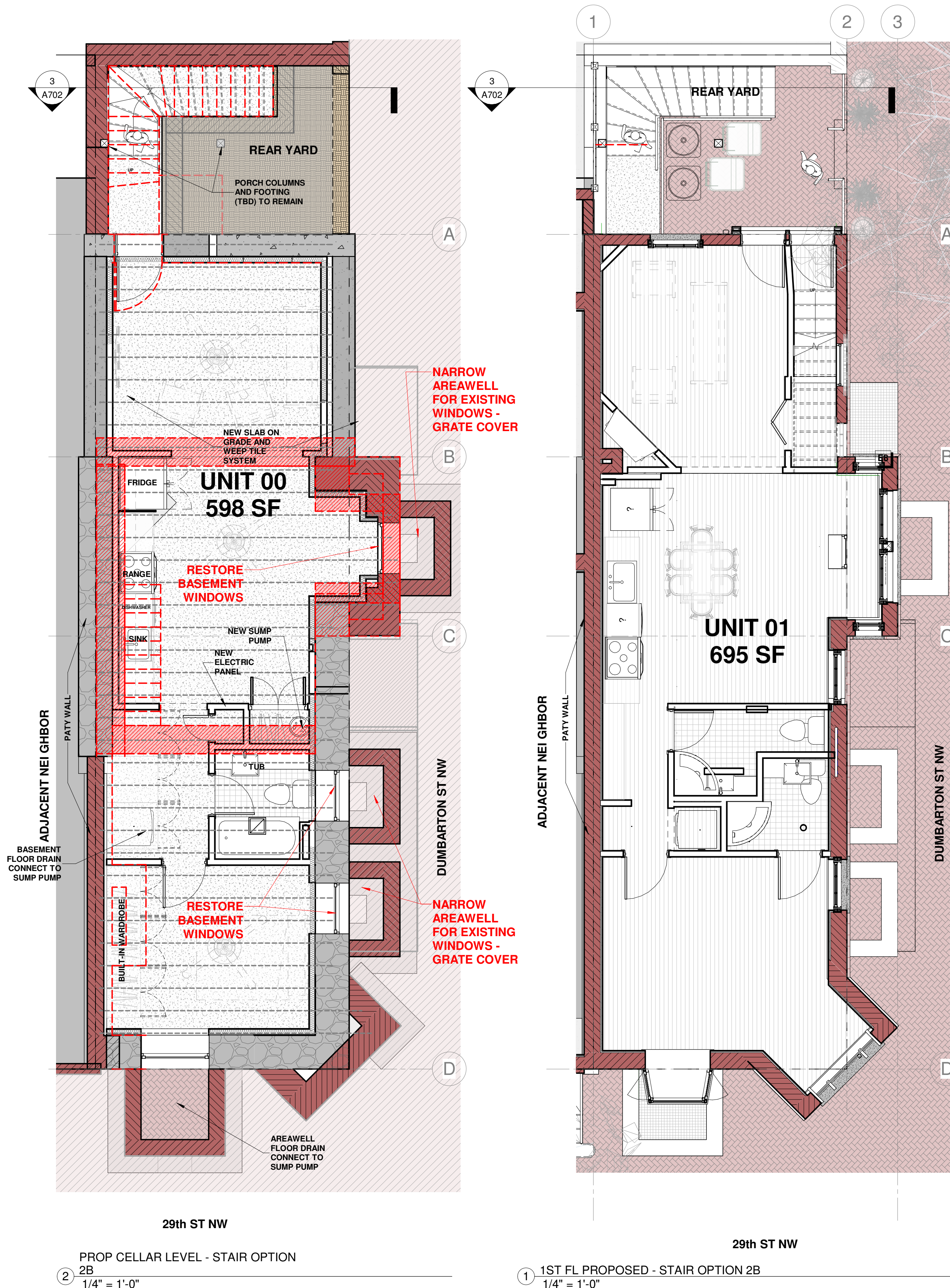
REV No	REVISION DATE	REVISION DESCRIPTION
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Drawing Title:
**BASEMENT STAIR
OPTION 2A - REAR
YARD "U"**

North:	Project No.: Project Number
	Drawn by: Author
	PERMIT No. Checker

Stamp:	Scale: 1/4" = 1'-0"
	Date: 10/15/2024 6:27:39 PM

Drawing No.:
A701



Architect:

ARIMSE ARCHITECTS

ARIMSEARCHITECTURE.COM

703-662-1115

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Project Name:

2900-2902 DUMBARTON ST NW RENOVATIONS

2900 DUMBARTON St NW WASHINGTON DC 20007

Client:

INVESTMENTS NMN

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Drawing Title:

BASEMENT STAIR OPTION 2B - REAR YARD "L"

North:	Project No.:	Project Number
	Drawn by:	Author
Stamp:	PERMIT No.	Checker
	Scale:	As indicated
	Date:	10/15/2024 6:28:12 PM

Drawing No.:

A702



PRELIMINARY PROPOSED VIEW FROM
CORNER - OPTION 1

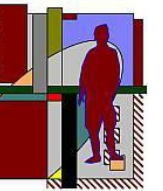


PRELIMINARY PROPOSED VIEW FROM
DUMBARTON - OPTION 1



PRELIMINARY PROPOSED VIEW
DUMBARTON FACADE - OPTION 1

Architect:
ARIMSE ARCHITECTS
ARIMSEARCHITECTURE.COM
703-662-1115



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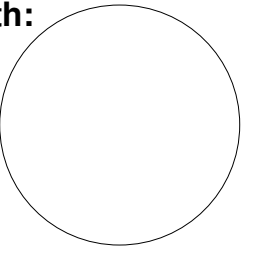
Project Name:
**2900-2902 DUMBARTON
ST NW RENOVATIONS**

2900 DUMBARTON St NW WASHINGTON DC
20007

Client:
INVESTMENTS NMN

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Drawing Title:
**PROPOSED VIEWS
OPTION 1**

North: 	Project No.: Project Number
	Drawn by: Author
	PERMIT No. Checker
Stamp:	Scale:
	Date: 10/15/2024 6:28:28 PM

Drawing No.:
A720



PRELIMINARY PROPOSED VIEW FROM
CORNER - OPTION 2

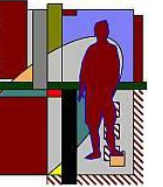


PRELIMINARY PROPOSED VIEW FROM
DUMBARTON - OPTION 2



PRELIMINARY PROPOSED VIEW
DUMBARTON FACADE - OPTION 2

Architect:
ARIMSE ARCHITECTS
ARIMSEARCHITECTURE.COM
703-662-1115



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Project Name:
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ST NW RENOVATIONS**

2900 DUMBARTON St NW WASHINGTON DC
20007

Client:
INVESTMENTS NMN

REV No	REVISION DATE	REVISION DESCRIPTION

Drawing Title:
**PROPOSED VIEWS
OPTION 2**

North: 	Project No.: Project Number
	Drawn by: Author
	PERMIT No. Checker

Stamp:	Scale:
	Date: 10/15/2024 6:28:45 PM

Drawing No.:
A725

October 31st, 2024

Committee of Fine Arts
United States Commission of Fine Arts
401 F Street NW, Suite 312
Washington, D.C. 20001-2728

Re: Request for Approval to Replace Windows at 2900-2902 Dumbarton St NW

Dear Committee Members,

We are reaching out to request approval for the replacement of windows at the property located at 2900-2902 Dumbarton Street NW. After careful consideration of the costs associated with restoration versus replacement, it is evident that restoring the windows would impose a significant financial burden on the property owner, making replacement the more feasible option.

The estimated restoration cost per window is approximately \$2,500, compared to a replacement cost of \$1,300 per window. With 27 windows on the property, this results in a total cost of \$67,500 for restoration versus \$35,100 for replacement—a difference of \$32,400, which highlights the economic impracticality of restoration under the current scope of work.

Restoration Scope of Work:

The typical restoration process for historic wood windows includes an extensive series of steps designed to preserve as much historic fabric as possible. Restoration requires approximately 20 hours of skilled labor per window, given the detailed and labor-intensive procedures involved, including:

1. Preparatory Procedures: Disassembling screens, metal grills, tracks, mountings, and any related hardware, and removing elements like plywood infill, vents, or air conditioning units if applicable.
2. Window Repair Procedures: Disassembly of shades, blinds, and stop beads for potential patching, labeling and salvaging unbroken glass, removing old glazing, sanding, priming, and painting wood, inspecting and reusing weatherstripping, and removing old paint and caulking from frames and moldings.
3. Additional Considerations: In cases where the sash is reinstalled in a new configuration, further adjustments may be required, such as fabricating historic hardware.

The overall goal is to retain the historic character while making the windows weather-resistant and serviceable for long-term use. However, this approach involves extensive labor and costly materials, leading to a high per-window cost that significantly exceeds replacement.

Replacing the existing windows with in-kind aluminum-clad wood windows would allow us to maintain the historic character of the pro

Replacement Scope of Work:

Replacing the existing windows with in-kind aluminum-clad wood windows would allow us to maintain the historic character of the property while achieving a more practical, cost-effective outcome. Replacement requires approximately 5 hours of labor per window and includes:

1. Pre-Installation Phase: Site assessment, documentation, and approval procedures, selecting and ordering custom-fabricated in-kind windows.
2. Installation Phase: Preparation of window openings, installation of new frames and sashes, and application of sealants for a watertight finish. Interior and exterior trims would match historic profiles, and hardware would be selected to reflect the original style.
3. Post-Installation Phase: A final inspection, client walkthrough, and provision of maintenance instructions to ensure long-term functionality and aesthetic compatibility with the historic building.

Cost Justification and Conclusion:

The cost to restore all 27 windows would amount to \$67,500, requiring an estimated 540 hours of labor (20 hours per window). In contrast, replacing all windows would total \$35,100, with approximately 135 hours of labor (5 hours per window). By choosing replacement, we can ensure the building's integrity while honoring its historic character in a way that is financially sustainable for the owner.

We appreciate your consideration of this request and hope the Committee will support the proposed replacement, which strikes a balance between preservation and economic feasibility.

Sincerely,



Mike Lawler

Marvella Construction Company

Licensed Contractor (DC, MD, VA)