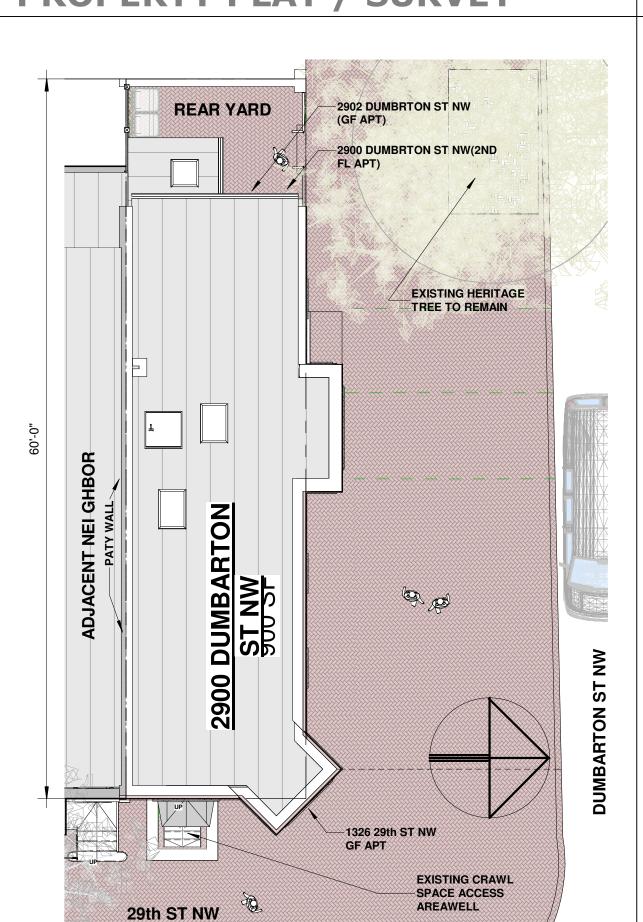
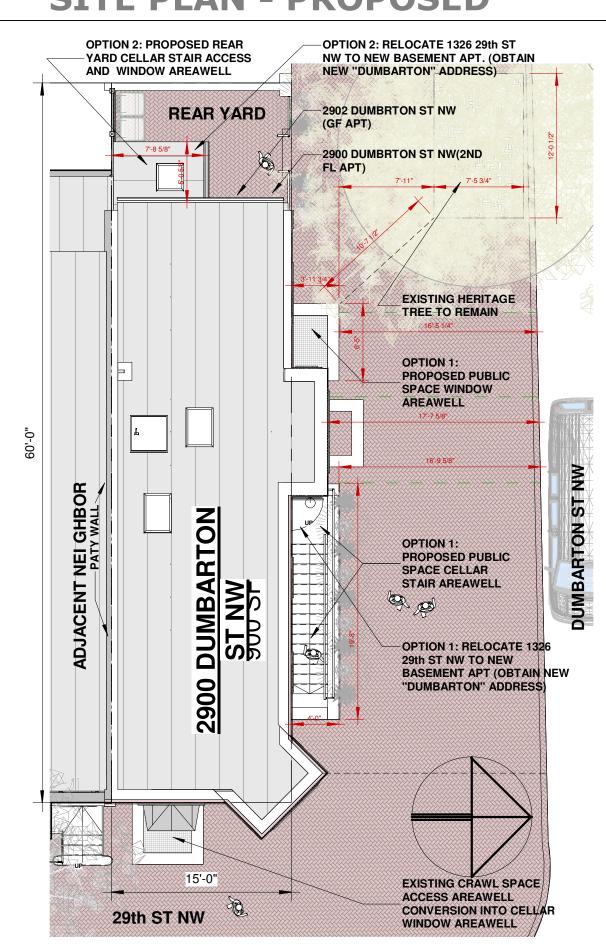


PROPERTY PLAT / SURVEY



SITE PLAN - PROPOSED



CODE'S SUMMARIES

DC ZONING ANALYSIS SUMMARY

PROJECT NAME: 2900-2902 DUMBARTON ST RENOVATIONS

2900-2902 DUMBARTON ST NW WASHINGTON DC 20007 **ADDRESS/UNIT:** ZONING: R-20 / DC ZONING CODE 2016

LOT TYPE/SSL: TAX LOT / 1234 0810 GEORGETOWN HISTORIC DISTRICT
 COMMISSION OF FINE ARTS JURISDICTION AREA

SCOPE OF WORK:

EXISTING STRUCTURE:

1. THE EXISTING TRIPLEX BUILDING WILL REMAIN. PROPOSED RENOVATION AS FOLLOWS

PROPOSED RENOVATION:

1. EXISTING CRAWL SPACE CONVERSION INTO CELLAR:

A. NEW UNDERPINNING UNDER EXISTING FOUNDATION

B. LOWERING OF THE EXISTING CRAWL SPACE FLOOR LEVEL TO ACHIEVE 8:0" CELLAR CEILING
HEIGHT

C. PROCOSED NEW CELLAR UNIT AND TO SO OF A DED 4 DATE AND THAT

HEIGHT
C. PROPOSED NEW CELLAR UNIT (UNIT 00) 600 SF 1 BED 1 BATH APT UNIT
D. PROPOSED NEW CELLAR STAIR ACCESS AND WINDOW AREAWELL
E. CONVERSION OF EXISTING CRAWL SPACE ACCESS AREAWELL INTO NEW CELLAR WINDOW
AREAWELL. NEW HISTORIC/HEITAGE TYPE "IN-KIND" AND NEW OPERABLE METAL GRATE.
EXISTING ABOVE GROUND 2 STOREY STRUCTURE AS FOLLOWS:
A. EXISTING GROUND FLOOR (UNIT 01) 1 BED 1 BATH TO BE REFURBISHED, KITCHEN AND
BATHROOM REFINISHED WITH REPLACEMENT IN KIND KITCHEN AND PLUMBING FISXTURES.
B. EXISTING 2ND FLOOR (UNIT 02) 2 BED 1 BATH TO BE REFURBISHED, KITCHEN AND
BATHROOM REFINISHED WITH REPLACEMENT IN KIND KITCHEN AND PLUMBING FISXTURES.
C. A ROOF TERRACE ACCESS FOR THE UPPER UNIT
EXISTING WINDOWS PROPOSED TO BE REPLACED WITH NEW HISTORIC/HERITAGE TYPE "INKIND"

			REQUIRED (ALLOWABLE - MAX - MIN)	EXISTING	PROPOSEI
6	7	ZONING	R-20		UNCHANGED
	8	LOT AREA	2,000 SF	900 SF	UNCHANGED
	9	PERVIOUS SURFACE (20% MIN)	180 SF MIN (900 SF x 20% = 180 SF MIN)	0 SF EXIST (NO PERVIOUS SURFACE)	UNCHANGED
	10	UNITS / BEDROOMS	3 UNITS CERTIFICATE OF OCCUPANCY CO2302987	3 UNITS 00 - GF: STUDIO 1 BTH 01 - GF: 1BD 1 BTH 02 - 2ND FL 2BD 1 BTH	3 UNITS 00 - CS: 1BD + 1 BTH 01 - GF: 1BD + 1 BTH 02 - 2ND FL 2BD + 1 BT
	11	LOT OCCUPANCY 60% MAX ALLOWED	540 SF MAX (900 SF x 60% = 540)	790 SF EXIST (900 SF:110 SF = 12.2%)	UNCHANGED
	12	GROSS FLOOR AREA	1,620 SF (MAX PER LOT OCC 540 SF x 3 STOREYS)	1,580 SF (EXIST 790 SF x 2 STOREYS = 1,580 SF)	UNCHANGED (NEW 790 SF CRAWL SPAC DOES NOT COUNT FOR FAR
	13	YARDS / SETBACKS	FRONT - EXIST FT SIDE 1 - 0 FT SIDE 2 - 0 FT REAR - 20 FT	FRONT - EXIST FT SIDE 1 - 0 FT SIDE 2 - 0 FT REAR - 10'-7" FT	UNCHANGED
	14	BUILDING HEIGHT	35 FT	22 FT	UNCHANGED
	15	PARKING	0 NO REAR ALLEY ACCESS - EXEMPT FROM PARKING	0 NO REAR ALLEY ACCESS - EXEMPT FROM PARKING	0 NO REAR ALLEY ACCES EXEMPT FROM PARKIN
	16	MIN LOT WIDTH	20 FT	15 FT	UNCHANGED
	17	STORIES	3 MAX	2	UNCHANGED
	18	DC-WASA	PLAN #: TBD		
	19	ESC-DOEE	STORMWATER DA)	
+	20	DDOT	PUBLIC SPACE PE OCCUPANCY PERI		
	1				

BUILDING CODE ANALYSIS SUMMARY

CODE/ EDITION:

2017 District of Columbia Building Code - Part 1 2017 District of Columbia Building Code - Part 2 2017 District of Columbia Energy Conservation Code 017 District of Columbia Green Construction Code

BLDG CODE NARRATIVE:

	3. BUILDING WILL COMPL	LY WITH THE BUILDING CODE		
		REQUIRED (ALLOWABLE - MAX - MIN)	<u>EXISTING</u>	PROPOSED
3	OCCUP USE CLASSIFICATION: (IBC SECTION 310.4)	R-3	R-3	R-3
4	ALLOWABLE BLDG AREA: (IBC SECTION 503)	N/A	N/A	N/A
5	CONSTRUCTION TYPE: (IBC TABLE 601)	N/A	3B (EXTERIOR WALLS MASONRY 2HR - INTERIOR FLOOR STRUCTURE WOOD 0 HR)	UNCHANGED
6	OCCUPANT LOAD (IBC TABLE 1004.1.2)	N/A	N/A	N/A
7	SCOPE OF WORK AREA :	N/A	N/A	2,370 SF
8	NUMBER OF STORIES:	3 STOREYS ALLOWED	2 STORIES + CRAWL SPACE	2 STORIES + CELLAR
9	BUILDING HEIGHT	35 FT / 3 STORIES (IBC SECTION 504.2)	22 FT / 2 STORIES	UNCHANGED
10	BUILDING SPRINKLERED (IBC SECTION 903.3.1.2)	N/A	NO	NO
11	FIRE AND SMOKE ALARM (IBC SECTION 907.2.9 AND 907.2.11)	YES	SMOKE ALARMS (IBC SECTION 907.2.11.2)	SMOKE ALARM SYSTEM (IBC SECTION 907.2.11.2)
12	STANDPIPES (IBC SECTION 905 AND NFPA 14)	N/A	N/A	N/A
13	OTHER FIRE PROTECTION SYSTEM	N/A	N/A	N/A
14	ACCESSIBILITY OF BUILDING	N/A	N/A	N/A
15	ELEVATOR (IBC SECTION 1104)	N/A	N/A	N/A
16	MEANS OF EGRESS	1 DEDICATED EXIT x UNIT	1 DEDICATED EXIT x UNIT	1 DEDICATED EXIT x UNIT
17	FIRE RESIST RATING (IBC TABLE 601) (PARTY WALL IBC TABLE 706)	N/A	1- HORIZ MEANS OF EGRESS = 1 HR FR 2- VERT MEANS OF EGRESS = 0 HR FR 3- INT STRUCT = 0 HR FR 4- EXT STRUCT = 2 HR FR	UNCHANGED
18	TRAVEL DIST (IBC TABLE 1017.2)	N/A	200 LIN FT	200 LIN FT (NOT SPRINKLERED)
19	INTERIOR SIGNAGE	N/A	N/A	N/A

GENERAL NOTES

A. GENERAL NOTES:

COMPLY WITH ALL APPLICABLE BUILDING CODE, REGULATION, & ORDINANCE REQUIREMENTS. OCCUPANTS ADJACENT TO THE PROJECT AREA BOUNDARIES SHALL CONTINUE UNINTERRUPTED OCCUPANCY DURING CONSTRUCTION OF THE PROJECT
VERIFY FIELD CONDITIONS AND COORDINATE WITH THE PROJECT DOCUMENTS

PRIOR TO PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES, OMISSIONS, AMBIGUITIES OR CONFLICTS IN OR AMONG THE CONTRACT DOCUMENTS TO THE OWNER/ARCHITECT/DESIGNER FOR DIRECTION, CLARIFICATION, RE-DESIGN OR RESOLUTION BEFORE PROCEEDING WITH ANY OF THE WORK IN QUESTION. COORDINATE THE WORK WITH ALL REQUIREMENTS INDICATED IN THE PROJECT DOCUMENTS.
THESE GENERAL NOTES AND TYPICAL WRITTEN DETAILS APPLY THROUGHOUT

THE DRAWINGS UNLESS OTHERWISE NOTED OR SHOWN. "TYPICAL" OR "TYP" INDICATES IDENTICAL COMPLETE SYSTEM SHALL BE PROVIDED FOR EACH OCCURRENCE OF THE CONDITION NOTED.

"SIMILAR" INDICATES COMPLETE SYSTEM AND COMPONENTS SHALL BE PROVIDED COMPARABLE TO THE CHARACTERISTICS FOR THE CONDITION "AS REQUIRED" INDICATES COMPONENTS REQUIRED TO COMPLETE THE NOTED, SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS, SHALL BE

"ALIGN" INDICATES ACCURATELY PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE, AND PLUMB RELATION TO ADJACENT MATERIALS.

ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSABILITY OF THE CONTRACTOR AND HIS/HER SUBCONTRACTORS. INFORM THE OWNER/ARCHITECT/DESIGNER OF ANY DISCREPANCIES.

DIMENSIONS ARE INDICATED TO THE CENTERLINE OF THE STRUCTURAL GRID, FACE OF CONCRETE WALL, NOMINAL FACE OF CMU WALL, FACE OF PARTITION TYPE AS SCHEDULED, UON

ALIGNMENT OF PARTITIONS AND FINISHES AS SCHEDULED SHALL BE STRAIGHT, TRUE & PLUMB. THE PRIORITY FOR PROJECT DIMENSIONS SHALL BE IN THE FOLLOWING ORDER: 1)
MIN DIMEN FOR ACCESSIBILITY CLEARANCE & BUILDING CODE REQMT, 2)
LARGE SCALE DETAILS, 3) SMALL SCALE DETAILS, 4) ENLARGED VIEWS, 5) FLOOR PLANS AND ELEVATIONS
FLOOR ELEVATIONS ARE INDICATED TO THE FACE OF THE STRUCTURAL SLAB,

VERTICAL DIMENSIONS ARE INDICATED FROM THE FLOOR ELEVATION TO

FACE OF FINISHED MATERIAL AT THE DIMEN POINT, UNLESS NOTED ABOVE FINISH FLOOR -"AFF". CEILING HEIGHTS ARE INDICATED FROM THE FLOOR ELEVATION TO THE FACE SUSPENDED CEILING SYSTEM OR FACE OF FINISH MATERIAL AS SCHEDULED

DIMENSIONAL RELATIONSHIP BETWEEN PROJECT SYSTEMS AND COMPONENTS. DIMENSIONS SHALL NOT BE DETERMINED BY SCALING THE

PERFORM THE WORK AT THE PROJECT SITE DURING NORMAL BUSINESS

DIMENSIONS SHOWN ON THE DRAWINGS SHALL INDICATE THE REQUIRED

COORDINATE THE WORK WITH EQUIPMENT, FURNISHINGS, AND SYSTEMS PROVIDED BY THE OWNER.
IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODOLOGY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND/OR RECOMMENDATIONS. THE DRAWINGS ARE INTENDED FOR OBTAINING A PERMIT TO CONSTRUCT FOR

THE CITY/COUNTY AND ONLY SHOW THE MINIMUM AMOUNT OF DRAWINGS FOR THAT PURPOSE AND IN NO WAY ARE TO BE CONSTRUED AS TOTALLY COMPREHENSIVE CONSTRUCTION DOCUMENTS. ELECTRICAL AND PLUMBING WORK IS CONSIDERED DESIGN-BUILD BY THE CONTRACTOR. EQUIPMENT FURNISHED UNDER THE CONTRACT WILL BE NEW AND THAT ALL PERFORMED AND THAT THE WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT

DOCUMENTS.
THE CONTRACTOR IS RESPONSIBLE TO MAKE ALL NECESSARY PENETRATIONS THROUGH WALLS, FLOORS, ROOFS AND CEILINGS FOR ALL PIPES, ETC., WHETHER OR NOT SUCH PENETRATIONS ARE SPECIFICALLY SHOWN ON THE THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION, DIRECTION, EXECUTION AND PROTECTION OF ALL OPERATIONS

NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATIONG ALL PORTIONS OF THE WORK UNDER THE SCOPE OF WORK AND THE CONTRACT.

THE CONTRACTOR SHALL PAY ALL APPLICABLE TAXES AND FEES AND SHALL SECURE AND PAY FOR ALL PERMITS NECESSARY FOR COMPLETION OF THE AT THE COMPLETION OF THE JOB, THE CONTRACTOR SHALL PROVIDE **GUARANTEES COVERING ALL MATERIALS AND WORKMANSHIP PERFORMED BY** HIM AND HIS SUBCONTRACTORS FOR A PERIOD OF ONE YEAR FROM THE DATE
OF SUBSTABILAL COMPLETION. THE CONTRACTOR SHALL TURN OVER TO THE OWNER ALL GUARANTEES OF ALL MATERIALS USED IN THE WORK OF THE

THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CHANGES MADE BY THE CONTRACTOR, HIS FORCES, OR THE OWNER DURING CONSTRUCTION.
THE PROJECT IS NOT SUBJECT TO SUPERVISION BY THE ARCHITECT DURING

BEFORE SUBMITTING PROPOSALS BIDDERS SHALL CAREFULLY EXAMINE THE DRAWINGS AND NOTES, INSPECT THE SITE AND ACQUAINT THEMSELVES WITH ALL GOVERNING ORDINANCES, LAWS, ETC., AND OTHERWISW FAMILIARIZE THEMSELVES WITH ALL MATTERS WHICH AFFECT PERFORMANCE OF THE WORK, THE ACT OF SUBMITTING A PROPOSAL SHALL HIMSELF AND THEREFORE NO CONCESSION WILL BE GRANTED BECAUSE OF ANY CLAIM OR MISUNDERSTANDING OR LACK OF INFORMATION.

PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND SUPERVISION NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH CONTRACT

ALL SILLS, HEADER BEAMS AND BASE PLATES ON MASONRY AND/OR CONCRETE FOUNDATION/SLAB LOCATED WITHIN 30" OF THE GROUND TO BE PRESSURE TREATED PINE, SIZE AS SHOWN. INSTALL OVER A LAYER OF SILL FOAM AND ATTACH SECURELY. STUDS: TO BE NOMINAL 2X4, 2X6, 2X8 WHERE INDICATED, 10' OR SHORTER. "STUD" OR No. 2 STRUCTURAL LIGHT FRAMING GRADE, ANY SPECIES GRADED UNDER WWPA, WCLIB, SPIB OR NLGA RULES. PLYWOOD: PROVIDE APA GRADED PANELS COMPLYING WITH PS 1/ANSI A199,

FASTENERS: HOT DIPPED GALVANIZED, ASTM A 153 STEEL FOR HIGH HUMIDITY AND TREATED WOOD LOCATIONS.

> PER IBC SECTION 1608 PER IBC SECTION 1609

PER IBC SECTION 1613

MODERATE TO HEAVY

PER IBC SECTION 1607

SEE STRUCTURAL

WIND SPEED: FROST LINE DEPTH: WINTER DESIGN TEMPTR: LIVE LOAD: SOIL BEARING CAPACITY: CONC FOUNDATION AND SLAB:

ı	
	CONSULTANTS
	Civil Engineer: SERA ENGINEERED LLC GALATES SERA, PhD, PMP, PE 4300 Georgia Ave NW, Washington, DC 20011 (202) 417-6559 gladys@seraengineered.com DC LICENSE No.: PE908893
	Structural Engineer: ONYX STRUCTURAL TIMOTHY PARK, PE 1660 International Drive, Suite 600, McLean, VA 22102 814-876-2782 tpark@onyxstructural.com DC LICENSE No.: PE908440
	Mechanical Engineer: PERMITZIP, PLC KENNETH SHULTZ, PE. 208 W 25th St, Suite 203, Norfolk, VA 23517 804.591.0090 kshultz@permitzip.com DC LICENSE No.: PE922366
	Contractor: BANKS AND SON BUILDERS SAM BANKS 1756 Laurance Ct, Crofton, MD 21114-2128

301-310-3645 Sam@banksandsonbuilders.com

DC LICENSE No.: 420220000004

DRAWING LIST

SHEET#

OIILLI //	OHEET HAME
A000	COVER SHEET
AG-130	ZONING CODE ANALYSIS
Aspec 03	WINDOW REPLACEMENT SPECS
Asch-40	ROOM AND DOOR SCHEDULES
Asch-50	EXISTING WINDOW RESTORATION AND REPAIR SCHEDULE
Asch-52	WINDOW REPAIR AND RESTORATION SPECS (EXTENDED)
Asch-60	WINDOW DETAILS 29TH ST FACADE
Asch-61	CORNER BAY (29TH AND DUMBARTON) DOOR AND WINDOW
Asch-62	DUMBARTON ST GF FACADE WINDOWS
Asch-63	DUMBARTON ST 2ND FL FACADE WINDOWS
Asch-64	REAR YARD WINDOW AND DOORS
A100	EXISTING SUMMARY VIEWS
A101	EXISTING EXTERIOR PHOTOS
A102	EXISTING CONDITION INTERIOR PHOTOS
A110	PROPERTY HISTORY - SANBORN AND BAIST FIRE INSURANCE MAP DATA
A115	PROPERTY HISTORY - 3D TIME LAPSE
A120	STAIRS IN PUBLIC SPACE IN THE VICINITY OF THE PROJECT
A200-1	PROPOSED SUMMARY VIEWS
A201	CELLAR FLOOR PLANS - UNIT 00
A202	1ST FL PLANS - UNIT 01
A203	2ND FL PLANS - UNIT 02
A300	EXISTING ELEVATIONS
A310	PROPOSED ELEVATIONS
A350	EXISTING SECTIONS
A351	PROPOSED SECTIONS
A700	BASEMENT STAIR OPTION 1 - DUMBARTON ST
A701	BASEMENT STAIR OPTION 2A - REAR YARD "U"
A702	BASEMENT STAIR OPTION 2B - REAR YARD "L"
A720	PROPOSED VIEWS OPTION 1
A725	PROPOSED VIEWS OPTION 2
Asch-51	EXISTING WOOD WINDOW DETAILS AND SURVEY ASSESSMENT PHOTOS

LOCATION MAP

2900 DUMBARTON St NW

WASHINGTON DC 20007

Aluminum Earth

Oriented Strand ss

Cast Stone Fibrous Fire Grout

Cast-In-Plac(Fine Fill

Gypsum MasWood

Concrete

Brick

MATERIALS LEGEND

Non-Foam Insul se Fill Solid Black CEM Deck

Glazed CMUPrecast

Solid Gray Clay Tile

Terrazzo

SHEET NAME

A000	COVER SHEET		
AG-130	ZONING CODE ANALYSIS		
spec 03	WINDOW REPLACEMENT SPECS		
Asch-40	ROOM AND DOOR SCHEDULES		
Asch-50	EXISTING WINDOW RESTORATION AND REPAIR SCHEDULE		
Asch-52	WINDOW REPAIR AND RESTORATION SPECS (EXTENDED)		
Asch-60	WINDOW DETAILS 29TH ST FACADE		
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A100	EXISTING SUMMARY VIEWS		
A101	EXISTING EXTERIOR PHOTOS		
A102	EXISTING CONDITION INTERIOR PHOTOS		
A110	PROPERTY HISTORY - SANBORN AND BAIST FIRE INSURANCE MAP DATA		
A115	PROPERTY HISTORY - 3D TIME LAPSE		
A120	STAIRS IN PUBLIC SPACE IN THE VICINITY OF THE PROJECT		
A200-1	PROPOSED SUMMARY VIEWS		
A201	CELLAR FLOOR PLANS - UNIT 00		
A202	1ST FL PLANS - UNIT 01		
A203	2ND FL PLANS - UNIT 02		
A300	EXISTING ELEVATIONS		
A310	PROPOSED ELEVATIONS		
A350	EXISTING SECTIONS		
A351	PROPOSED SECTIONS		
A700	BASEMENT STAIR OPTION 1 - DUMBARTON ST		
A701	BASEMENT STAIR OPTION 2A - REAR YARD "U"		
A702	BASEMENT STAIR OPTION 2B - REAR YARD "L"		
A720	PROPOSED VIEWS OPTION 1		
A725	PROPOSED VIEWS OPTION 2		
Asch-51	EXISTING WOOD WINDOW DETAILS AND SURVEY ASSESSMENT PHOTOS		

ARIMSE ARCHITECTS ARIMSEARCHITECTURE.COM 703-662-1115





2900-2902 **DUMBARTON** ST NW RENOVATIONS

2900 DUMBARTON St NW WASHINGTON DC

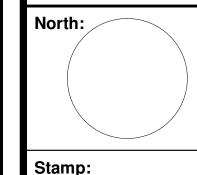
INVESTMENTS NMN

REV | REVISION |

REVISION DESCRIPTION

Drawing Title:

COVER SHEET



Project Number Author

Checker As indicated

10/15/2024 6:18:44 PM

Drawing No.:



ARIMSE ARCHITECTS ARIMSEARCHITECTURE.COM 703-662-1115



Project Name: 2900-2902 **DUMBARTON** ST NW RENOVATIONS

2900 DUMBARTON St NW WASHINGTON DC

INVESTMENTS NMN

REVISION DESCRIPTION REV REVISION

Drawing Title:

EXISTING SUMMARY VIEWS

Project Number Author Checker As indicated 10/28/2024 2:59:28 PM

Drawing No.:

EXISTING WINDOW RESTORATION SCHEDULE ROUGH REPAIR CLASS EXISTING CONDITIONS SURVEY / INSPECTION / ASSESSMENT OPENING EXTERIOR FRAME INTERIOR TRIM BOTTOM SASH TOP SASH ACCESORIES ACCESORIES COLOR **ROOM NAME** COMMENTS WOOD PAINT GREEN NEW AREAWELL REQUIRED EXIST CRAWL LVL DW0-01 4 3'-0" 1'-6" 4'-3 3/4" 5'-9 3/4" 0 R1 R2 EXIST CRAWL LVL DW0-02 4 CELLAR 3'-0" 1'-6" 4'-3 3/4" 5'-9 3/4" 0 WOOD PAINT GREEN R1 R2 NEW AREAWELL REQUIRED WR-WJ-PC GB EXIST CRAWL LVL DW0-03 4 3'-0" 1'-6" 4'-3 3/4" 5'-9 3/4" 0 WOOD PAINT GREEN WR-WJ-PC NEW AREAWELL REQUIRED CELLAR R1 R2 GB | EXIST CRAWL LVL: 3 29-11 108 **BAY WINDOW** 1'-9" | 5'-5" | 1'-9 1/2" | 7'-2 1/2" | 1 OVER 1 | WOOD | PAINT | WHITE | WR-PC | PC | PC | PC | WR-WJ-OM-PC PC GR WR-WJ-PC GR **BAY WINDOW SOUTH - CASEMENT** R1 R2 WR-WJ-OM-PC PC GR 3'-2" 5'-6" 1'-9 3/8" 7'-3 3/8" 2 OVER 2 WOOD PAINT WHITE WR-PC PC PC PC WR-WJ-PC BAY WINDOW FRONT - FIXED 29-12 108 GR R1 R2 1'-9" 5'-5" 1'-9 1/2" 7'-2 1/2" 1 OVER 1 WOOD PAINT WHITE WR-PC PC PC PC WR-WJ-OM-PC PC GR WR-WJ-PC R1 R2 BAY WINDOW NORTH - CASEMENT 29-13 108 **BAY WINDOW** 3'-3" 7'-1" 2'-1" 9'-2" 6 OVER 6 WOOD PAINT WHITE WR-PC PC PC PC DW1-01 106 WR-WJ-OM-PC PC GR WR-WJ-PC R2 4'-6" 4'-5 1/2" 8'-11 1/2" 6 OVER 6 METAL PAINT WHITE OF-PC PC PC DOUBLE CASEMENT - BATHROOM DW1-02 PC R1 R2 1st Fl KITCHEN DINING 3'-3" 5'-8" 2'-0" 7'-8" 6 OVER 6 WOOD PAINT WHITE WR-PC PC PC R1 R2 WR-WJ-PC WATER INTRUSION - NO ARCH ON TOP KITCHEN DINING 1'-10" 5'-8" 2'-1" 7'-9" 1 OVER 1 WOOD PAINT WHITE WR-PC PC PC PC WR-WJ-OM-PC PC GR WR-WJ-PC WATER INTRUSIOM R1 R2 DW1-04 103 GR JOINT COLUMN - MOLDING RESTORATION DW1-05 | 103 KITCHEN DINING 5'-8" | 2'-2 1/8" | 7'-10 1/8" | 6 OVER 6 | WOOD | PAINT | WHITE | WR-PC | PC | PC | WR-WJ-OM-PC PC GR WR-WJ-PC R2 1st FI 3'-3" R1 WATER INTRUSION JOINT COLUMN - MOLDING RESTORATION 5'-8" | 2'-2 1/8" | 7'-10 1/8" | 6 OVER 6 | WOOD | PAINT | WHITE | WR-PC | PC | PC | WR-WJ-OM-PC | PC | GR R2 DW1-06 103 KITCHEN DINING WR-WJ-PC WATER INTRUSION 1'-10" 5'-8" 2'-0" 7'-8" 1 OVER 1 WOOD PAINT WHITE WR-PC PC PC PC DW1-07 103 WR-WJ-PC GR 2'-6" 2'-6" 4'-8 3/4" 7'-2 3/4" 6 WOOD PAINT WHITE WR-PC PC PC PC WR-WJ-PC PC GR R1 R2 FIXED WINDOW DW1-09 200 WR-WJ-PC 3'-3" 5'-8" 2'-2 1/2" 7'-10 1/2" 6 OVER 6 WOOD PAINT WHITE WR-PC OF OF PC RW-11 100 WR-WJ-OM-PC PC GR R1 R2 STORM 2'-5" | 5'-5" | 2'-0 1/4" | 7'-5 1/4" | 2 OVER 2 | WOOD | PAINT | WHITE | WR-PC | PC | PC | PC | JOINT COLUMN 2nd Fl 29-21 205 WR-WJ-PC R1 | R2 29-22 205 2'-5" 5'-5" 2'-0 1/4" 7'-5 1/4" 2 OVER 2 WOOD PAINT WHITE WR-PC PC PC WR-WJ-OM-PC PC GR WR-WJ-PC GR JOINT COLUMN 2nd FI BEDROOM R1 R2 2'-5" | 5'-5" | 2'-0 1/4" 7'-5 1/4" | 1 OVER 1 | WOOD | PAINT | WHITE | WR-PC | PC | PC | PC | WR-WJ-OM-PC PC GR JOINT COLUMN 2nd Fl C21 205 WR-WJ-PC GR R1 R2 C22 205 WR-WJ-OM-PC PC GR 2'-5" 5'-5" 2'-0 1/4" 7'-5 1/4" 1 OVER 1 WOOD PAINT WHITE WR-PC PC PC PC WR-WJ-PC GR R1 R2 JOINT COLUMN 3'-3" 5'-8" 2'-0" 7'-8" 2 OVER 2 WOOD PAINT WHITE WR-PC PC PC PC WR-WJ-OM-PC PC GR WR-WJ-PC UPPER SASH BOTTOM STYLE DISLOGDED 3'-3" 5'-8" 2'-0 1/4" 7'-8 1/4" 2 OVER 2 WOOD PAINT WHITE WR-PC PC PC WR-WJ-OM-PC PC GR R1 R2 DW2-02 207 BEDROOM WR-WJ-PC GR DW2-03 | 200 | KITCHEN DINING LIVING | 1'-10" | 5'-8" | 1'-7 1/4" | 7'-3 1/4" | 1 OVER 1 | WOOD | PAINT | WHITE | WR-PC | PC | PC | PC | R1 2nd FI WR-WJ-OM-PC | PC | GR | WR-WJ-PC GR DW2-04 | 200 | KITCHEN DINING LIVING | 3'-3" | 5'-8" | 1'-8" | 7'-4" | 2 OVER 2 | WOOD | PAINT | WHITE | WR-PC | PC | PC | WR-WJ-OM-PC WR-WJ-PC R1 R2 JOINT COLUMN DW2-05 200 KITCHEN DINING LIVING 3'-3" 5'-8" 1'-8" 7'-4" 2 OVER 2 WOOD PAINT WHITE WR-PC PC PC PC WR-WJ-PC R1 R2 JOINT COLUMN WR-WJ-OM-PC | PC | GR | DW2-06 200 KITCHEN DINING LIVING 1'-10" 5'-8" 1'-7 1/4" 7'-3 1/4" 1 OVER 1 WOOD PAINT WHITE WR-PC PC PC PC HR WR-WJ-PC R1 R2 DW2-07 | 200 | KITCHEN DINING LIVING | 3'-3" | 5'-8" | 1'-7" | 7'-3" | 2 OVER 2 | WOOD | PAINT | WHITE | OF-PC | OF-PC | OF-PC | OF-PC | WR-WJ-OM-PC PC GR WR-WJ-PC BRICK WALLSETTLEMENT R1 R2 R3P RW-21 | 200 | KITCHEN DINING LIVING | 3'-3" | 5'-8" | 1'-3 1/4" | 6'-11 1/4" | 2 OVER 2 | WOOD | PAINT | WHITE | WR-PC | PC | PC | PC | PC PC GR WR-WJ-PC GR R1 R2 RW-22 200 KITCHEN DINING LIVING 2'-7 1/2" 4'-11 1/2" 1'-6 1/4" 6'-5 3/4" 2 OVER 2 WOOD PAINT WHITE WR-PC PC PC OF-PC 2nd FI OF-PC-WR PC GR WR-WJ-PC R1 GR

exterior. B. Inspect all moving parts. A. Also, check the glazing bed on interior side of glass pane. drain off. E. Look for areas with paint failure (peeling, cracking, blistering, etc.) to help Inspect the condition of the wood

A. Those windows in Class I, II, and III, should be repaired and those in Class IV should be repaired with exact duplicates. If the number of Class IV windows exceeds 75%, then total replacement may be approved. Check for water penetration or air infiltration around the window frame interior and

A. Check that the sash lock is operable and keeps the window shut tightly.

B. Ensure that the sash(es) move freely up and down and the sash cord or chain moves smoothly through its pulley, if it exists C. Check glazing putty for cracked, loosened, or missing sections.

D. d. Examine the sill to ensure it slopes away from the window for water to

identify points of water penetration. A. Paint failure does not equal bad wood condition requiring replacement.

A. Common areas for water collection and deterioration are the sill, joints between the sill and jamb, corners of the bottom rails, and muntin joints B. If severe deterioration exists, it is usually visible. C. To check less visible deteriorated areas use a small ice pick or awl and

probe into wood surface at an angle a. Try to pry up a small section of the wood. Sound wood comes up in long, fibrous splinters, but decayed wood will lift up in short, irregular pieces due to the breakdown of fiber strength

EXISTING EAST ELEVATION - 29TH ST

1 NW - WINDOW SCHEDULE

3/16" = 1'-0"

OPERATION DEFECTS KEY:

• OM = OPERATION NULL - Sash not operable / sticks / OF = PERIMETER FRAME DISLOGEMENT - Building settling • OL = WINDOW AIR LEAK / DRAFT / LOOSE SHASHES

• OI = SOUND INSULATION / ENERGY EFFICIENCY • **OS** = SECURITY / PRIVACY PAINT DEFECTS:

• **PP** = PAINT PEELING / INTERCOAT - Moisture / Adhesion • **PB** = PAINT BLISTERING - Moisture / Temperature • **PC** = PAINT CRACKING - Moisture / surface prep / thin coat

• PM = PAINT MILDEW - Stain Fungi - Moisture • PD = PAINT DISCOLORATION - Wood Extractives / Rust • **PR** = PAINT REMOVAL - Graffiti / vandalism

WOOD DEFECTS: • WR = WOOD ROT / DECAY - Humidity • WW = WOOD WARP / BOWING - Humidity

• WI = WOOD INFESTATION - Insects • WJ = WOOD JOINT SEPARATION - Wear and tear GLAZING DEFECTS: • **GB** = GLASS BROKEN - Cracked, Accident / vandalism

• GR = GLASS RE-INSTALLATION HARDWARE DEFECTS: • HM = HARDWARE MISSING - Wear and tear

• **HR** = HARDWARE DEFECTIVE - Wear and tear • HO = CORDS AND WEIGHT BROKEN - Wear and Tear . Repair Class I: Routine Maintenance: is associated with small repairs,

which are usually performed as a part of a building's annual maintenance program. Typical maintenance to keep a window in good

condition usually includes: a. limited paint removal,

b. repair of sash, including re-glazing where necessary, c. repairs to the frame.

d. weather-stripping and e. repainting Repair Class II: Stabilization: shows a small degree of physical deterioration but can be repaired in place by:

A. Partially decayed wood can be waterproofed B. patched. C. built-up, or

D. consolidated and repainted to achieve sound condition, good appearance, and long life.

DW0-01-

EXISTING NORTH ELEVATION-

DUMBARTON ST NW - WINDOW

BASEMENT

WINDOW

2 SCHEDULE 3/16" = 1'-0"

. Repair Class III: Partial Replacement (Splices and Parts Replacement) A. In some cases, wood deterioration is so advanced that stabilization is impractical, and the only way to retain some of the original fabric is to replace damaged parts by splicing new matching wood into existing members or replacing parts of the frame. It is necessary to remove the affected parts and have a carpenter or woodworking m

reproduce the missing parts. 4. Repair Class Four (IV), <u>Total Replacement:</u> if the entire fabric of the window has deteriorated, then the only feasible alternative is total

DW0-03-

REPAIR TYPES KEYS:

• CLASS 1: ROUTINE MAINTENANCE

• R1C = CLEAN FRAME AND GLASS • R1CK = CAULKING

• **R1P** = PAINT

• R10 = OPERATION ACTIVE / HARDWARE ADJUSTMENT • R1E = EFFICIENCY / WEATHERSTRIPPING

• CLASS 2: STABILIZATION

• R2C = FILL CRACKS AND HOLES - Putty or Epoxy • R2R = RE-BUILD ROTTED AREAS - Epoxy w Putty • CLASS 3 - PARTIAL REPLACEMENT:

• R3S = PARTIAL SILL REPLACEMENT • R3L = PARTIAL LINTEL REPLACEMENT

• **R3J** = PARTIAL JAMB REPLACEMENT • R3P = PARTIAL SASH FRAME REPLACEMENT • R3M = PARTIAL MUNTIN REPLACEMENT CLASS 4 TOTAL REPLACEMENT:

 R4K = COMPLETE WINDOW AND FRAME IN-KIND REPLACEMENT

R4S = COMPLETE SASH IN-KIND REPLACEMENT • CLASS 5 OTHER DEFECTS:

• R4I = COMPLETE WINDOW WITHIN FRAME IN-KIND

EXISTING WEST ELEVATION - REAR

(3) YARD - WINDOW SCHEDULE

• R5H = REPLACE / REPAIR HARDWARE

CURRENT STREET LEVEL

1860'S STREET LEVEL

ASSESSMENT DEFECTS AND TYPICAL R1. R2 AND R3 TYPE REPAIRS

R1 Visible gap at sill | Twisted outer case or weights prevented from full travel in weight box | Check and free snagged weights. Remove lower sash and add timber to bottom rail.

R1 Gaps leading to draughts | | Consider draughtstripping (see upgrading section).

R2/R3 Meeting rails not level | Twisted, warped, or excessively worn sashes | Check and replace sash cords. Remove sashes and add new timbers to

R2/R3 Joints in sashes opening up | Mortices snapped or eased apart due to excessive force | Glue, wedge, and clamp the joint. OR: Strengthen with nonferrous metal angle plates. OR: Take out glass from sash, disassemble sash (remove wedges/dowels), and piece in new timbers at ends with new mortices/tenons. Replace old dowels with glued new ones.

R1 Broken sash cords | Wear and tear, undersized cord for heavy sashes, or cord snagging on pulley | Weigh sashes to ensure correct weights. Replace/amend weights. Renew sash cord. Check pulleys.

R1 Broken/cracked glass | Accidental damage, vandalism, small diagonal cracks (may indicate sash distortion) | Small corner cracks in original glass may be acceptable. Otherwise, remove and reglaze without damaging

R1 Flaking/missing paint | Deterioration of old paint, excess moisture in timber | Check moisture levels and correct defects. Remove loose paint, prepare surface, and repaint with appropriate system.

R1/R2 Badly worn sash stile timber | Wear and tear, aggravated by projecting elements | Scrape/sand projecting timber/paint. Adjust simplex hinge knuckles. Move baton rods closer to sash. Fill grooves with proprietary filler. Re-edge sashes if wear is severe.

R2/R3 Timber missing/damaged | Localized decay (e.g., in sills) or physical impact damage | Piece in new timber. Cut out decayed timber (remove glass if needed) and replace with matching sections. For glazing bar repairs, replace the full bar if piecing is impractical.

R1 Evidence of previous repairs (e.g., metal strengthening angles) Often used to secure broken mortice joints | May not need work. Replace if necessary by re-making mortices.

after repairs | Cut out defective putty (soften with alkali stripper or hot air gun). Apply linseed oil to exposed timber, then new putty. Don't paint new

R1 Missing/defective glazing putty | Deterioration, incorrect repainting

R1/R2 Missing/defective external mastic/sealant | Deterioration, movement in case joinery or masonry | Cut out defective mastic. Pack gaps with suitable material (e.g., damp newspaper or expanding foam). Seal with lime mortar and finish with a fillet of burnt sand and boiled linseed oil mastic.

R1/R2 Missing/defective sill bedding mortar | Deterioration from external water sources | Rake out defective mortar, replace with new bedding mortar, pack thoroughly. Form a recessed drip below the sill edge.

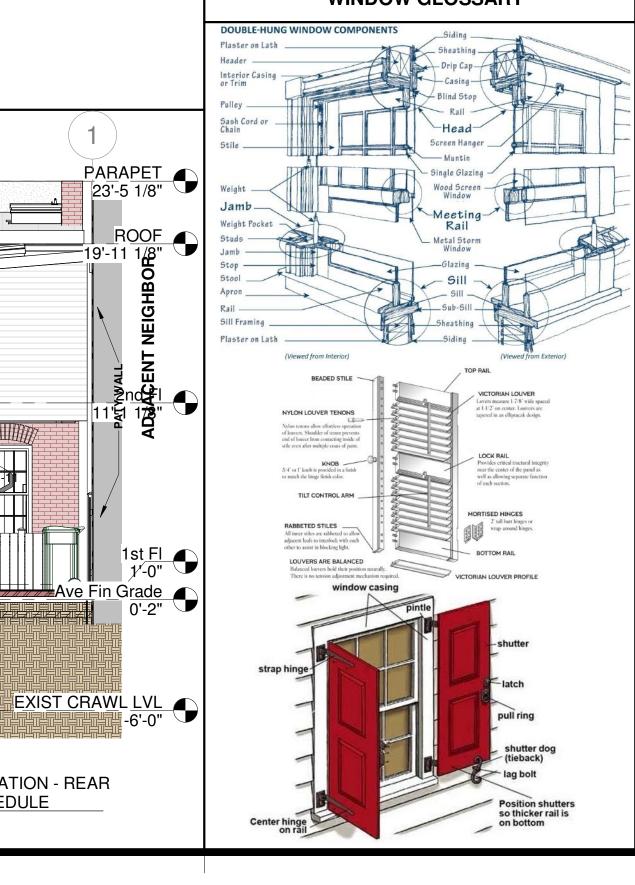
R1 Sashes drop/rise or drift | Sash weights too light/heavy, heavier/lighter glass than original | Weigh sashes and weights. Upper sash weights should be 2lb heavier, lower sash weights 2lb lighter. Replace/adjust weights, renew cord, check pulleys.

R2/R3 Timber decay in sill, parting beads, sash joinery, hidden parts of case | External weathering, excess internal condensation, moisture ingress | Replace decayed timber with matching sections. Remedy moisture sources, ventilate affected areas. Chemical treatments rarely needed.

R1/R2 Debris in weight pockets | Gradual erosion of mortar/soft sandstones Remove weight box cover, clear debris, replace cover.

R1/R2 Shutters stuck/difficult to open, split/decayed panels, damp plaster structural opening defects | Paint buildup, damaged hinges, distortion. moisture, external building defects, historic/ongoing movement | Carefully open shutters, remove fixings/excess paint. Repair/replace hinges, rectify external causes of distortion. Fill cracks, remedy moisture sources, replace decayed timber/plaster. Consult an engineer for structural issues.

WINDOW GLOSSARY



Architect: **ARIMSE ARCHITECTS** ARIMSEARCHITECTURE.COM 703-662-1115



2900-2902 **DUMBARTON** ST NW RENOVATIONS

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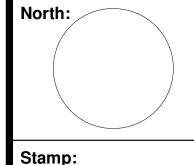
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REVISION DESCRIPTION

Drawing Title:

EXISTING WINDOW RESTORATION AND REPAIR SCHEDULE



Project Number Author

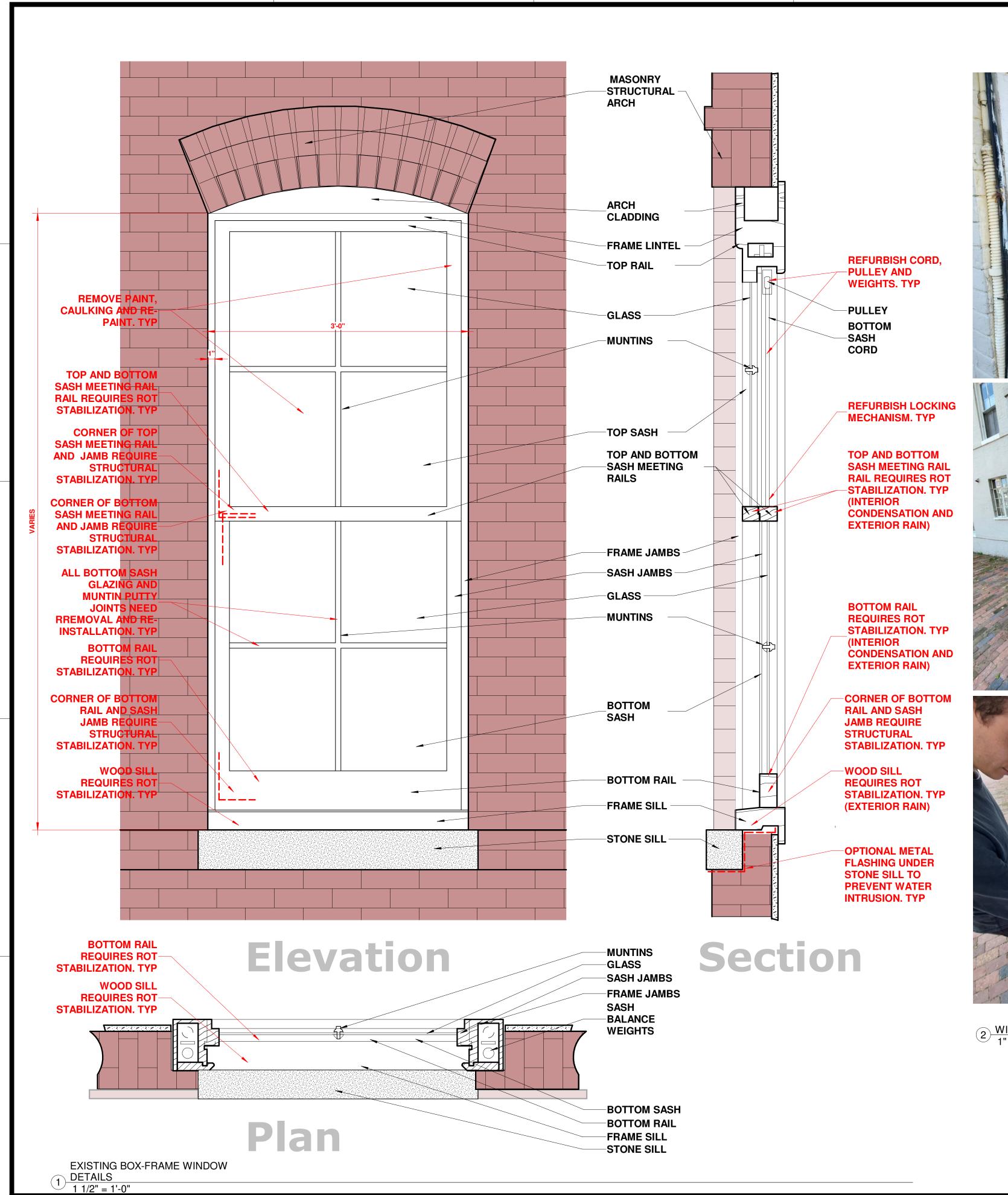
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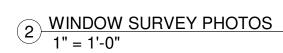
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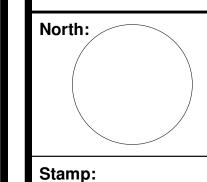
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EXISTING WOOD WINDOW DETAILS AND **SURVEY ASSESSMENT PHOTOS**

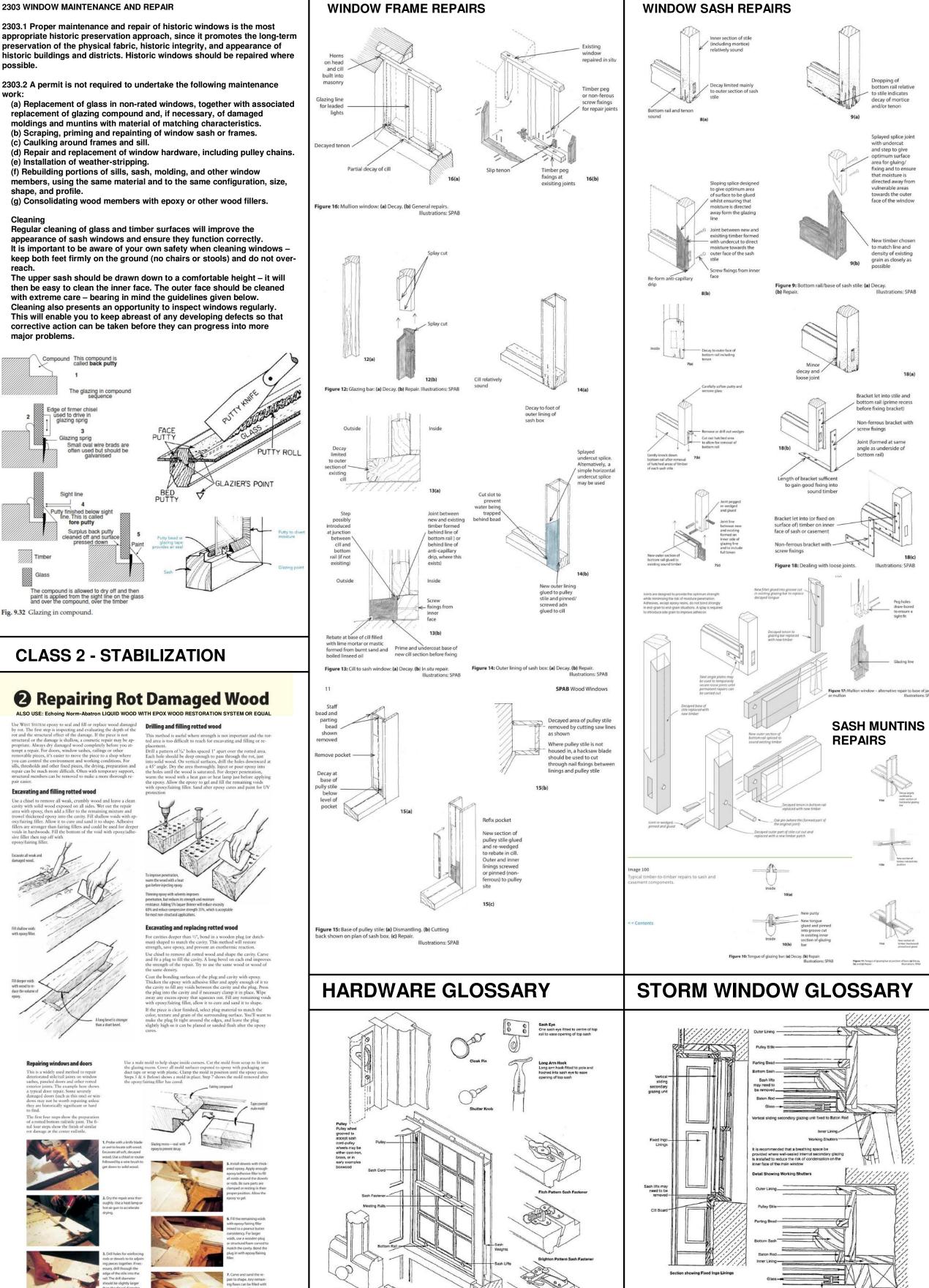


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CLASS 1 - ROUTINE MAINTENANCE

CLASS 3 - PARTIAL REPLACEMENT CLASS 4 - TOTAL REPLACEMENT 2305 WINDOW REPLACEMENT: GENERAL PROVISIONS 2305.1 Replacement of historic windows should be considered only if the preferred option of preserving historic windows is not feasible, given the facts and circumstances of each particular case. 2305.2 Under the D.C. Construction Code (12 DCMR § 105.2.5), a permit is required for the replacement of windows in historic landmarks or buildings withi an historic district. 2305.3 The requirement for a permit applies equally to the removal or replacement of sash in existing frames, and to the removal or replacement of both sash and frames. If repair or rehabilitation of frames is proposed, that work shall also be indicated on the permit application. 2305.4 Replacement sash and frames shall match the historic sash and frames in all respects—configuration, method of operation, profile, dimensions, material, finish, and any other salient character-defining features, except as provided 2305.5 Replacement windows shall be measured and installed to properly fit and fill historic window openings to match the historic exterior appearance. New window installations shall not result in an increase in the dimensions of the exterior framing or a diminution in the dimensions of glazing. Reducing the size of an historic window opening with trim, panels, or other materials is not 2305.6 Panning, capping, or wrapping of window piers, mullions, frames, and sills is generally discouraged. Where panning is determined appropriate, it shall be shaped or extruded to match window profiles when used on principal 2305.7 Replacement windows may be double-glazed, but they shall have either "true-divided" lights (muntins which structurally support individual panes of glass), or "simulated-divided" lights (integrally applied external and internal muntins which convey the appearance of "true divided" light windows), as appropriate to match the configuration and profiles of the historic window. False muntins or "grids" located between two panes of glass, and removable "snapins" applied either internally or externally are not considered acceptable muntins 2305.8 Glazing in replacement windows shall be clear, non-reflective glass unless otherwise historically appropriate or determined compatible by the staff. Replacement of stained or specialty glass shall match the historic glass or be historically appropriate or compatible. 2305.9 The standards for window replacement reflect a hierarchy of building importance, as delineated in the following sections. The strictest standard shall be applied to National Historic Landmarks, historic landmarks, major buildings in historic districts, and primary elevations of contributing buildings in historic districts. A more flexible standard shall be applied to secondary elevations of contributing buildings in historic districts and larger buildings with bays of repetitive windows. The most flexible standard shall be applied to noncontributing buildings and new construction. 2305.10 Replacement of windows in a building with multiple owners, such as cooperatives and condominiums, should be coordinated among the owners, the building's board of directors, and, if applicable, the management company. In instances where individual owners will be responsible for their own window

REPAIR 5 - ENVIRONMENT

2304 STORM WINDOWS AND WINDOW SCREENS

with its general historic character.

2304.1 The use of secondary windows or storm windows, either exterior or interior, is encouraged as a means of preserving historic windows. Under the D.C. Construction Code (12 DCMR § 105.2), a permit is not required for the nstallation of storm windows in historic landmarks or in historic districts. The following design principles for storm windows and screens are advisory to assist property owners in achieving compatible installations.

replacement, preparation of a window replacement master plan is strongly

2305.11 If the existing windows in an historic building are not historic windows,

replacement windows should be consistent with the historic window design if

known, or should be consistent with the period of the building and compatible

2304.2 Interior Storm Windows (a) Storm panels should have no intermediate dividing members (mullions or muntins), except on large windows, where any necessary dividing members should align with major divisions of the historic window. (b) Frames should be narrow and not visible or minimally visible when viewed from the exterior of the building.

(c) Glazing should be only of clear glass or other transparent material. 2304.3 Exterior Storm Windows

(a) Sash should fit tightly within window openings without the need for a subframe or panning around the perimeter. (b) Sash should have no intermediate dividing members (mullions or muntins), except on large windows, where any necessary dividing members should align with major divisions of the historic window. (c) Meeting rails should be used only in conjunction with double-hung

(d) The color of the frame members should approximate the color of the primary window frame or sash. (e) Glazing should be only of clear glass. (f) The plane of glass in the secondary (storm) sash shall be no more than two (2) inches further forward (towards the exterior) from the plane of the

windows and should be in the same relative location as in the primary sash

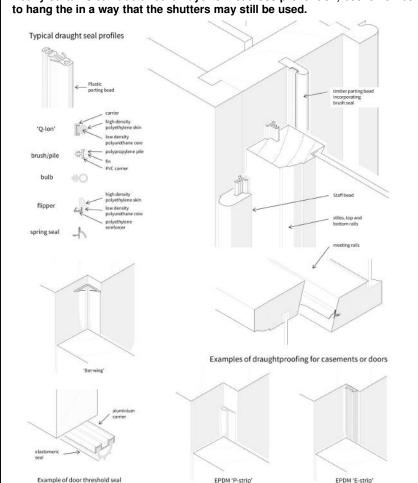
glass in the primary window unless unusual conditions make this infeasible 2304 4 Window Screens (a) The color of frame members should approximate the color of the primary window frame. (b) Half screens, covering only the lower sash, should be used on double

hung windows. If feasible, half screens should be located in the same plane as the upper sash of the window Shutters which fit well are effective for reducing heatloss and sound infiltration. New ones can be installed, however if the original shutters are still present these can be made useable again. The addition of curtain and

blinds will further reduce heatloss. Shutters have often been an integral part of the design and contribute to the character of the interior. When shutters are present they are worth restoring, for heat loss prevention, sound insulation and for the look and feel of the internal environment

Shutters which have been painted shut can be reopened. Due to the great increase in thermal performance of the windows it is worth exploring ways to have working shutters. Combining these with blinds will add to the thermal performance.

Heavy curtains can add another layer of heat loss prevention, but remembe



WOOD WINDOW RESTORATION SPECIFICATIONS

PART 3 – EXECUTION

1. Remove Stop.

a. Salvage to re-use.

c. Sand and repair

C. Remove all hardware.

1. Salvage to re-use.

in-kind to existing.

A. Removal of Window Sash:

b. Strip paint using chemical stripper

e. Prime (oil base primer, brush on).

f. Paint (oil base, two coats, brush on).

2. Clean to remove paint drips, spills and dirt.

3.1 REMOVAL

SECTION 086100 - WOOD WINDOW RESTORATION **PART 1 – GENERAL**

. 1.SUMMARY

A. The Work of this Section outlines the restoration of the existing wood windows, including screen and exterior trim replacement Work to

match in-kind to existing historic details. B. Wood windows have historically been coated with lead based paint (LBP). The testing, removal and proper disposal of such paint shall be the responsibility of a certified Lead Paint Contractor. Work involving the disruption of interior and exterior finishes shall take necessary precautions following a lead abatement spec and complying with EPA

ruling 40 CFR Part 745, 'lead; renovation, repair, and painting program;

lead hazard information pamphlet; notice for availability; final rule' implemented April 22, 2010. C. All damaged glazing on all elevations shall be replaced with new glass to match in-kind historic conditions.

. 2 SUBMITTALS A. Submit the following items for owner's written approval:

• Four (4) 12" x 12" square samples of each type of glass and glazing

- materials; · Replacement materials for weatherstripping replacement;
- Testing results as requested.
- Replacement hardware and accessories

Glazing compound:

- · a. Manufacturer's product literature; · b. Compatibility certificate
- Caulking: • a. Manufacturer's product literature:
- b. Color samples for Owner's color selection.
- Paint Samples:
- 1. Manufacturer's product literature for both primer and finish
- 2. Four (4) 6" X 6" square color samples of each finish paint. Color to match existing colors.
- · Chemical Cleaner: 1. Manufacturer's product literature;
- 2. Testing result from field test: 3. Conduct testing in accordance with manufacturer's
- recommendations
- Weather Stripping: 1. Manufacturer's product literature;
- 2. Weather stripping samples to verify compatibility with existing
- window operation and detail.
- Shop Drawings: 1. At a minimum, provide drawings including elevations, sections
- and details necessary to describe all damage to existing windows and frames and to describe methods of repair.
- 2. Plans and details of abatement protection. 3. Restoration Plan: A. Develop a plan of restoration encompassing all stages of
- B. Include at a minimum: a. Written description of all damage and methods and
- techniques of repair. b. Environmental factors affecting the work, and techniques
- and methods proposed to ensure construction within appropriate environmental conditions.
- c. Methods of protection for surrounding construction and exterior vegetated areas and soils.
- 9. Mockup: 1. Completed restoration of one (1) window to demonstrate aesthetic effects and set quality standards for material and execution. Review completed mock-up for approval by Owner.
- Correct all conditions noted during review process. Re-check until approved, at no additional cost to Owner. 2. Do not begin remaining restoration work until mock-up is

1.3 QUALITY ASSURANCE

1. The Work of this Section shall be conducted by a firm with not less than three (3) years of successful experience in wood 2. window restoration work similar to the historic restoration work

A. In-Kind: Replacement material to match original material in detail and

design in every way.

. 1.5 PROJECT CONDITIONS

A. Install all finish work plumb, level, true, and straight, with no distortions. Anchor finish work securely to supports and substrates, using concealed fasteners and blind nailing where possible. There are conditions that will not be made level or true due to settlement in the historic building.

B. Work of this Section shall be performed on a window-to-window basis a. Use fine finishing nails for exposed nailing, except as indicated,

- countersunk and filled flush with finish surface.
- b. Salvage all undamaged glass.
- c. Remove and replace rotten, damaged and/or deteriorating wood. d. Chemically remove lead base paint finishes. Apply primer and final
- finish only after testing chemically treated wood e. surfaces for alkalinity and moisture content compatible to paint
- manufacturer's written limitation(s). Submit a written f. copy of the test results to Owner's Representative.

1.6 PRE-INSTALLATION CONFERENCE A. Conduct a Pre-Installation Conference at the Project site.

PART 2 – PRODUCTS

2.1 WOODS

A. The following may be used for screens and exterior trim - Contractor's 1. Soft maple

2. Alder

2.2 GLASS

A. Provide replacement glass to broken or damaged glazing. Match with existing glass to be replaced. B. Reference the Drawings for windows to receive new glazing. At a minimum, replace all damaged and/or broken glass with new to match

2.3 GLAZING COMPOUND

A. "Pure" Linseed Oil Putty, manufactured by Dap.

2.4 SCREENS A. Charcoal colored aluminum in custom wood frame to match in-kind to

B. Use mortise and tenon for end-to-end joints to screen frames. Match existing conditions.

2.5 FASTENERS AND ANCHORAGES

A. Provide nail, screws and other anchoring devices of type, size, material, and finish suitable for intended use and required to provide secure attachment, concealed where possible. Hot-dip galvanize fasteners for work exposed to exterior and high humidities to comply with ASTM A 153.

2.6 STANDING AND RUNNING TRIM

A. Install with minimum number of joints possible, using full-length pieces from maximum length of lumber available. Cope at returns, miter at corners to produce tight fitting joints.

2.7 MISCELLANEOUS MATERIALS

A. Glass cleaners, primers, sealers, filling compounds, hardware, glazing points and weather stripping. 1. Provide all additional materials as necessary for work. Field coordinate extent of work with all conditions indicated.

3.2 TYPICAL DOUBLE-HUNG WINDOW RESTORATION A. Double-Hung Window Restoration: 1. Test window glazing putty for asbestos - Remove glazing from

2. Save historic glass. 3. Test window paint for lead - Strip paint using chemical stripper or

d. Test alkalinity and moisture content of chemical treated wood.

B. Remove sashes from jamb. Contractor shall be aware that existing

cords and pulleys shall be reused. Do not allow weight to be lost in wall.

3. Replace damaged or missing hardware with new hardware to match

a. Field verify extent of hardware replacement at each window location

4. Sand and repair sashes.

a. Fill gouges with epoxy. b. Replace missing and broken pieces with wood "Dutchman"

c. Stabilize weather checked frames.

5. Test alkalinity and moisture content of chemical treated wood. B. Prime sashes:

1. Oil-based paint, brush on. C. Replace lites:

1. Replace broken glazing with new to match E. Glaze lites:

1. Apply putty bed in glazing pocket 2. Lay glazing unit into glazing pocket in continuous putty bed 3. Insert 1 glazing point each 6 inches.

4. Apply putty over glazing points and edge of glazing continuously filling glazing pocket with a uniform bevel. F. Paint sashes: 1. Two (2) coats oil-based paint, brush on.

a. Paint shall cover glazing compound to seal. D. Replace lites:

1. Replace broken glass. E. Glaze lites:

1. Two (2) glazing points per side on the large glass. 2. One (1) glazing point per side on the small glass. F. Paint sashes:

1. Two (2) coats oil-based paint, brush on. 2. Paint shall cover glazing compound to seal.

3.3 ALL WINDOWS

- A. Re-install existing and/or new hardware. B. Re-install sashes. 1. Replace parting stop as necessary.
- C. Re-install stop: 1. Fasten with set finish nails
- 2. Putty nail holes in stop.
- 3. Touch-up paint on stop.
- 4. Apply finish coat of paint

A. Construct new screen frames to match in-kind with existing screen

- 1. Mortise and tenon joints
- 2. Routed inside edge. 3. Beaded screen molding.
- 4. Paint all wood with one (1) coat oil-base primer and two (2) coats finish paint.
- B. Install new screen wire and screen molding.
- 1. Touch up paint wood finish.
- C. Install screen hardware.
- 1. Salvage screen hardware removed from existing window screen,
- clean and install to new screen.
- 2. Install two (2) screen door hooks at bottom of large screens. 3. Install one (1) screen door hook at bottom of small screens.
- 3.5 EXTERIOR WINDOW MOLDING
- A. Reproduce in-kind molding.
- B. Remove existing top molding.
- C. Remove old drip cap.
- D. Replace rotted sill. E. Repair damaged siding.
- F. Install new molding. G. Sand and prepare existing molding to remain.
- H. Stabilize exterior sill with epoxy.
- 1. Prime all new wood with oil-base paint.
- 2. Finish all wood with two (2) coats oil-base paint.

J. Re-hang window screens.

3.6 INTERIOR PROTECTION A. The Contractor shall use care to protect and maintain interior

surfaces and finishes. Provide necessary touch-up of interior finishes as required by the Owner's Representative.

3.7 CURE, PROTECTION AND CLEANING A. Cure glazing sealants and compounds in compliance with

manufacturer's written instructions and recommendations, to obtain high early bond strength, internal cohesive strength and surface

B. Protect glass from chemical cleaning. C. Protect glass from breakage immediately upon installation by use of crossed streamers attached to framing and held away from glass. Do not apply markers to surfaces of glass

D. Remove and replace glass which is broken, chipped, cracked, abraded or damaged in other ways during construction period, including natural causes, accidents and vandalism

F. Wash and polish glass on both faces, interior and exterior, not more

E. Maintain glass in a reasonably clean condition during construction so that it will not be damaged by corrosive action and will not contribute (by wash-off) to deterioration of glazing materials and other Work.

than four (4) days prior to the date of Substantial Completion. Comply with glass manufacturer's recommendations for final cleaning. G. Touch-up paint and/or stain finish surfaces as required. H. Clean, dust, and leave adjacent Work area of the window in a clean

and neat manner

END OF SECTION





2900-2902 **DUMBARTON** ST NW RENOVATIONS

2900 DUMBARTON St NW WASHINGTON DC

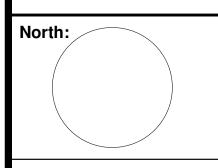
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WINDOW REPAIR AND **RESTORATION SPECS** (EXTENDED)



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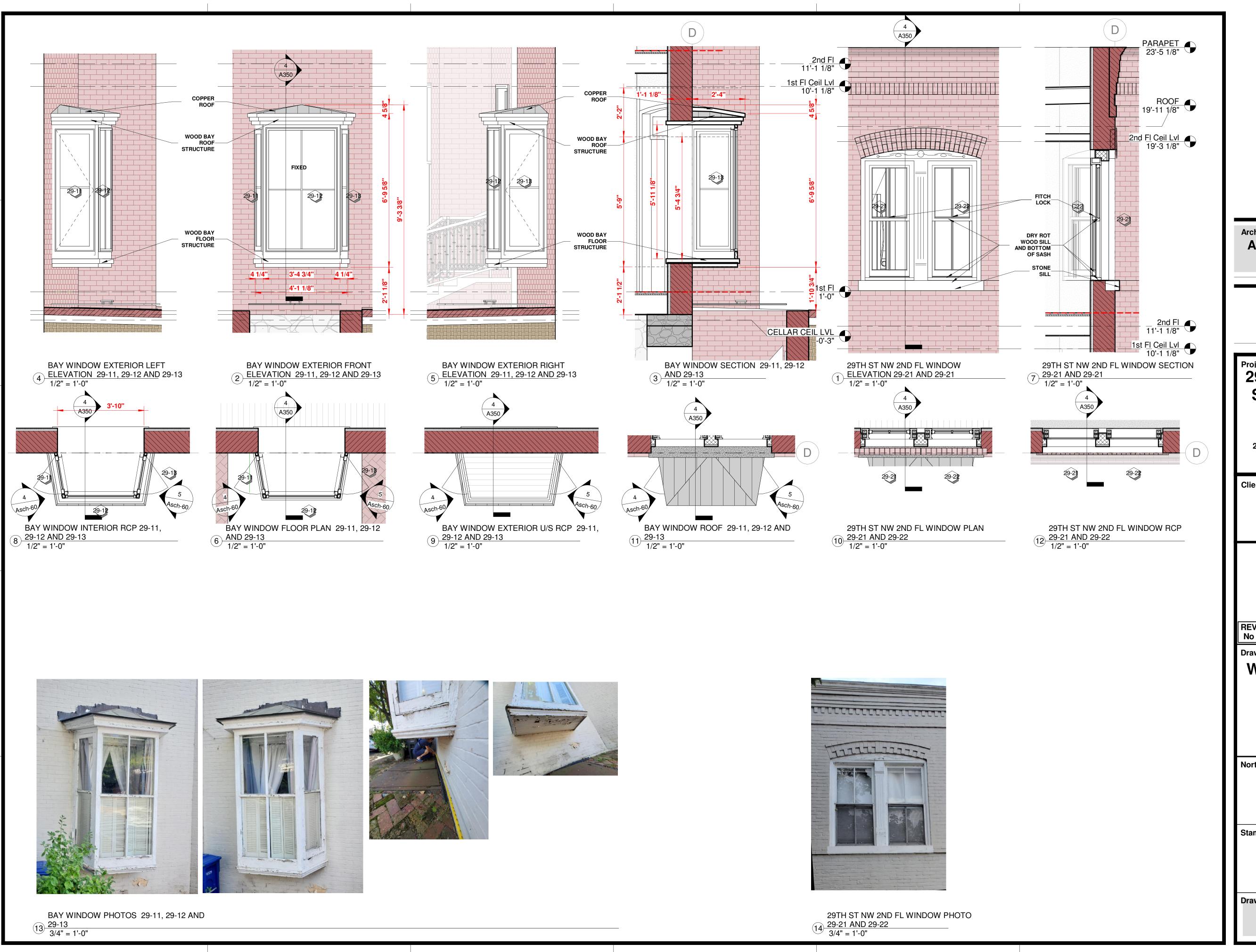
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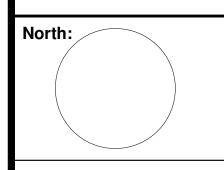
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WINDOW DETAILS 29TH ST FACADE



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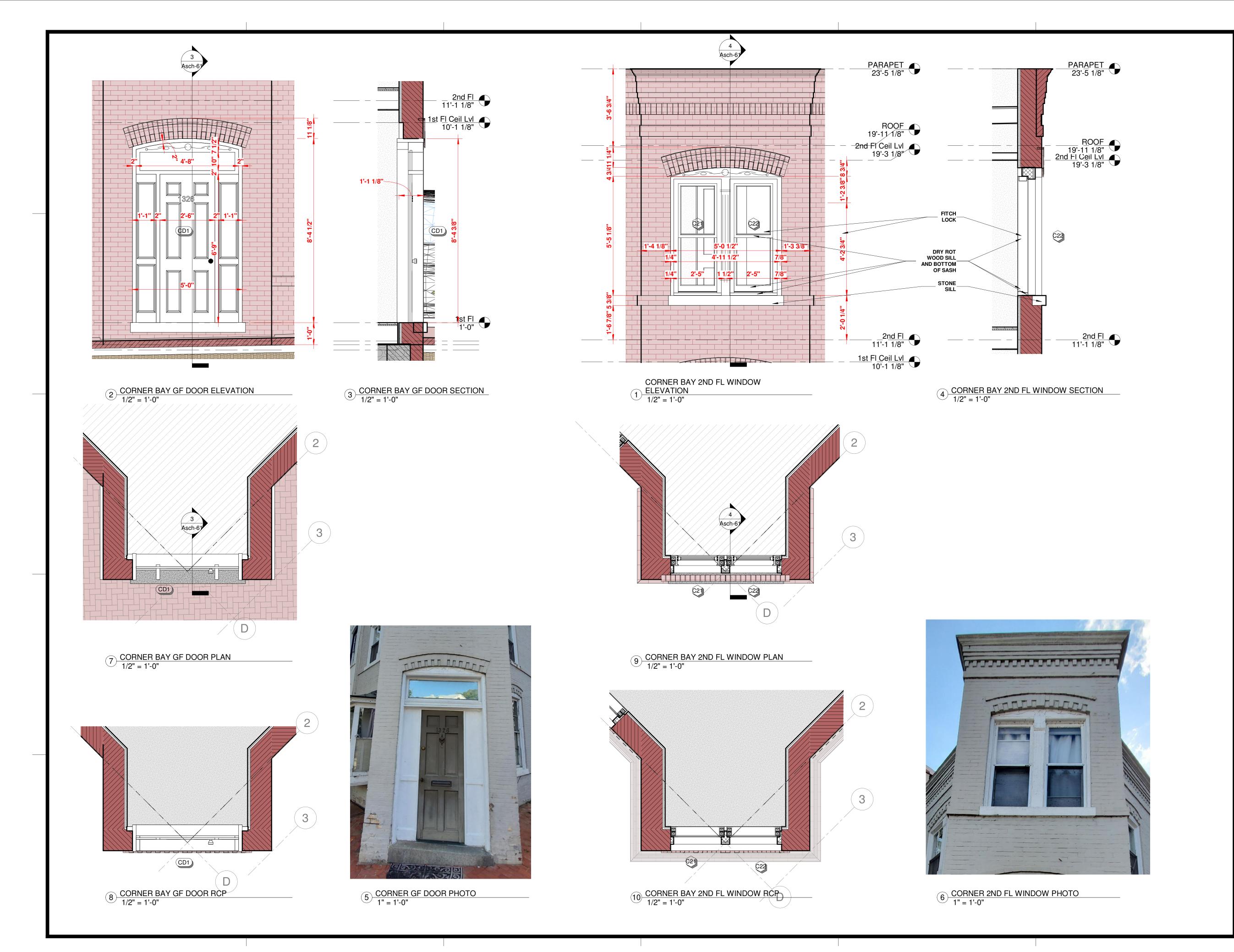
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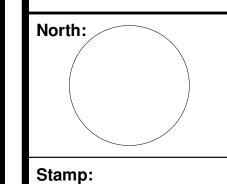
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CORNER BAY (29TH AND DUMBARTON) DOOR AND WINDOW



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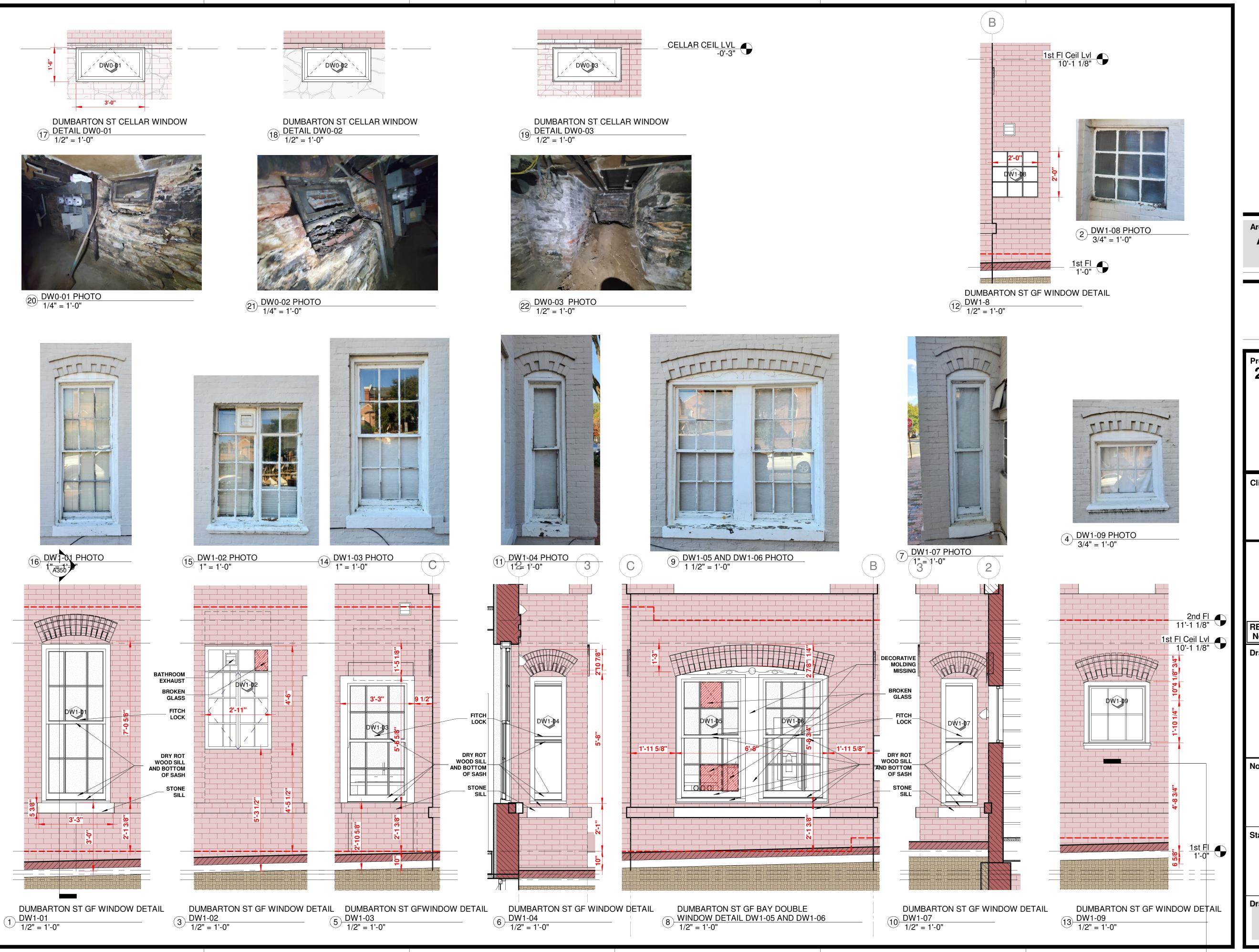
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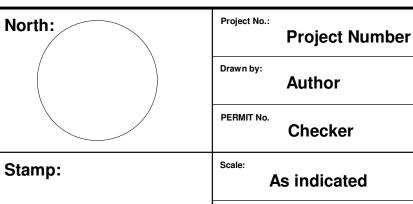
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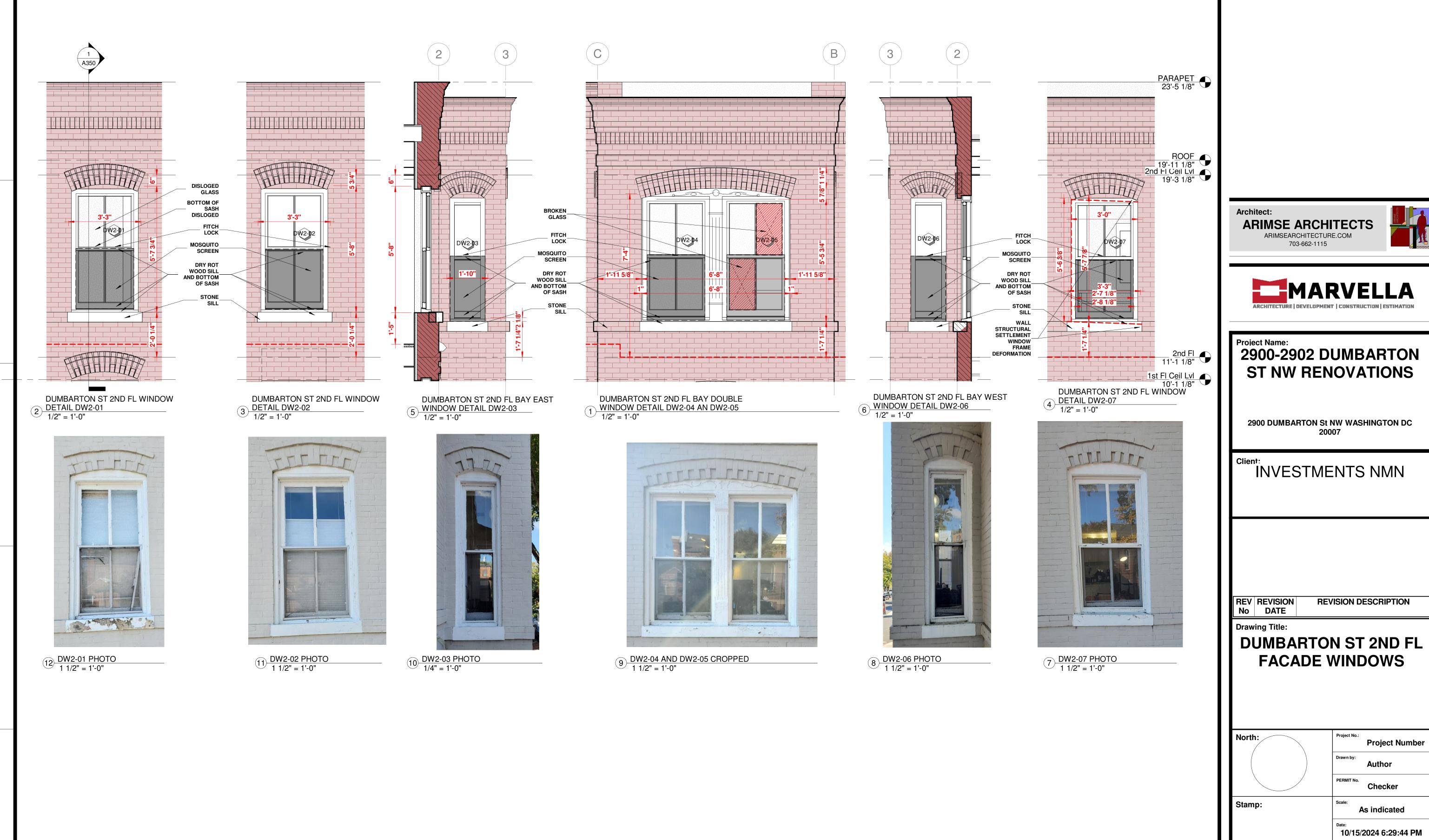
DUMBARTON ST GF FACADE WINDOWS



Drawing No.:

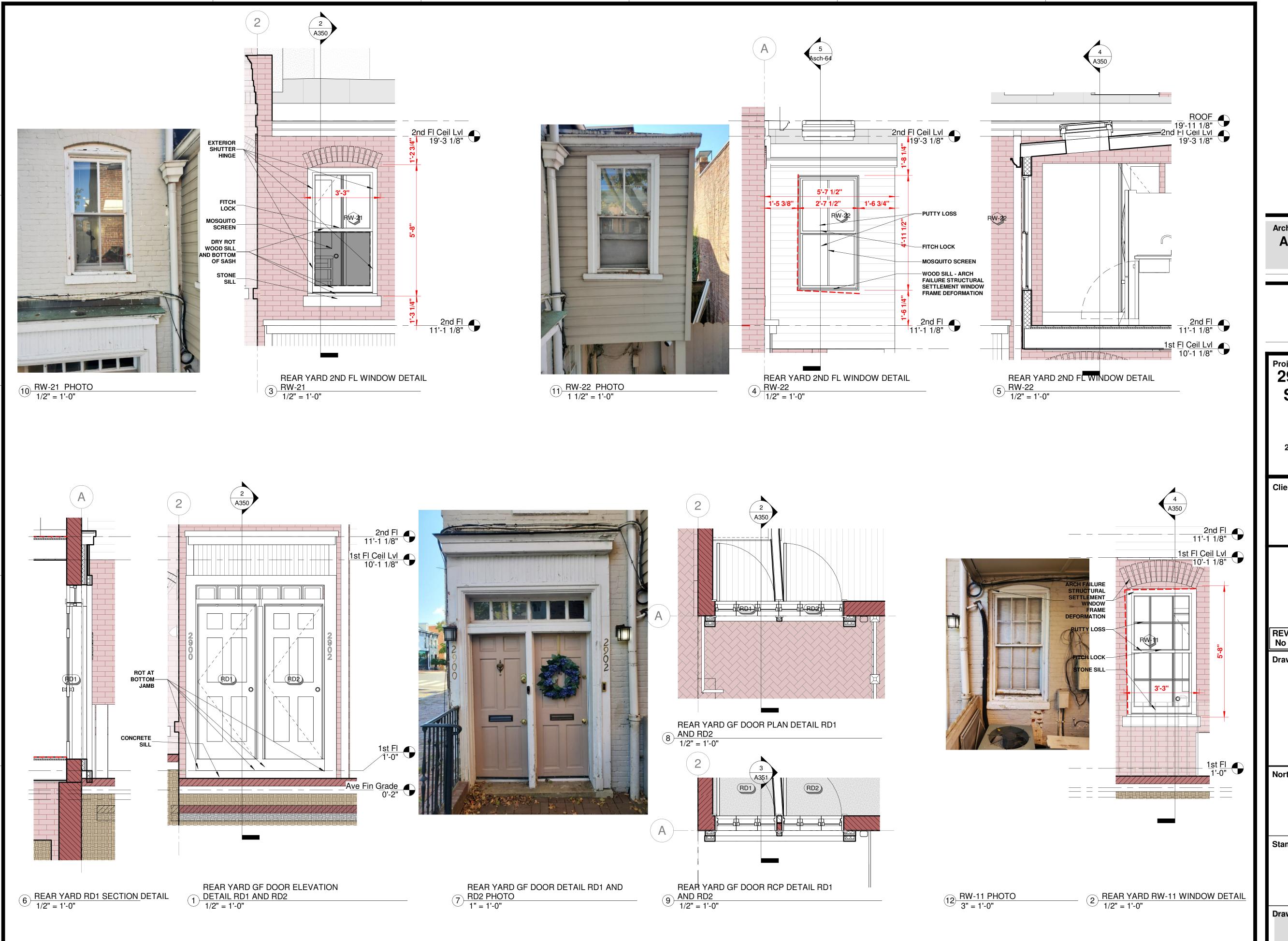
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FACADE WINDOWS Project Number Author Checker As indicated

Drawing No.:







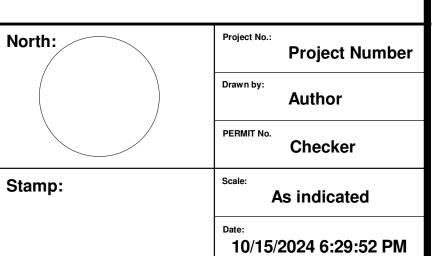
2900 DUMBARTON St NW WASHINGTON DC 20007

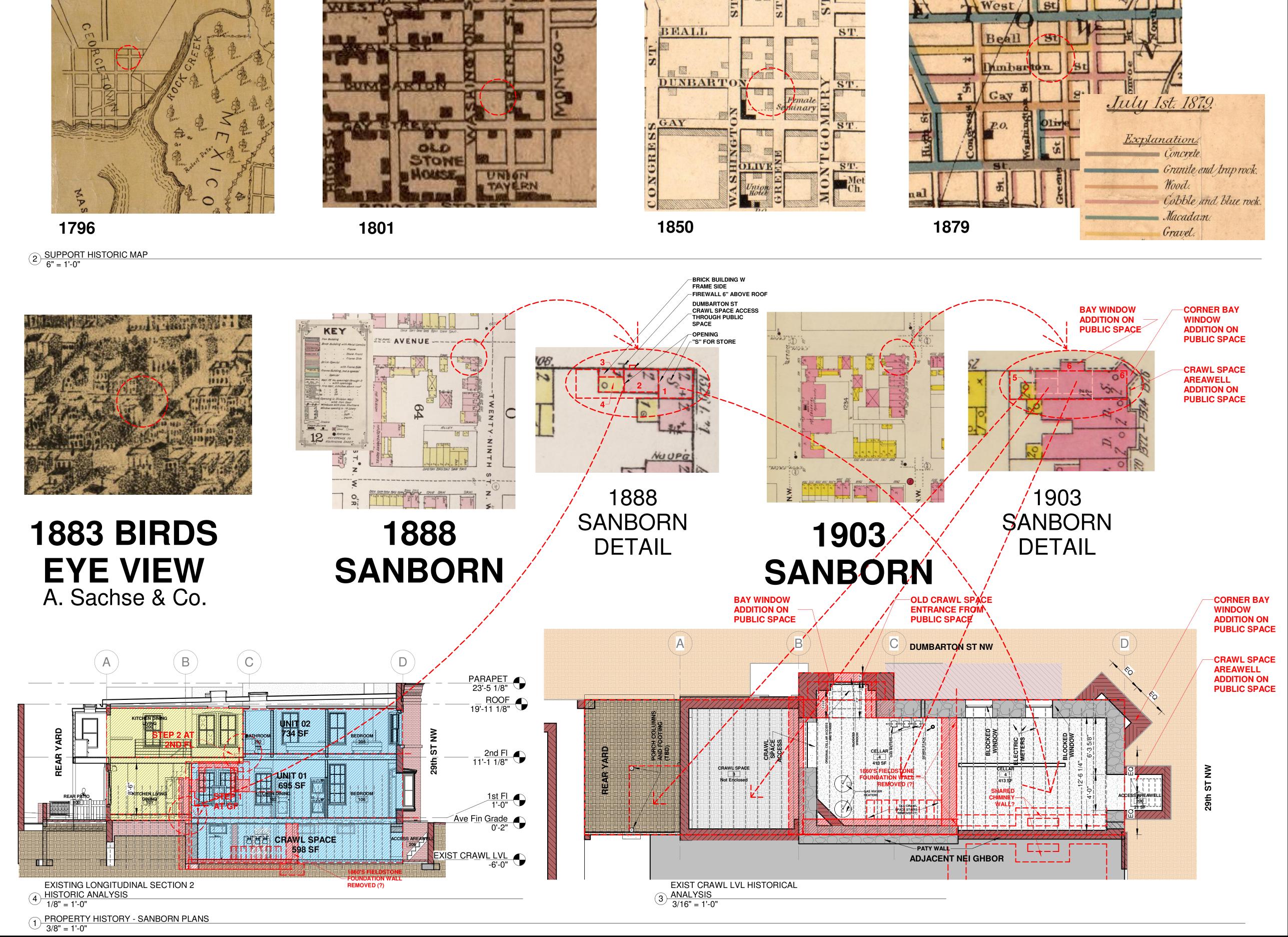
INVESTMENTS NMN

REV REVISION REVISION DESCRIPTION
No DATE

Drawing Title:

REAR YARD WINDOW AND DOORS













2900-2902 **DUMBARTON** ST NW RENOVATIONS

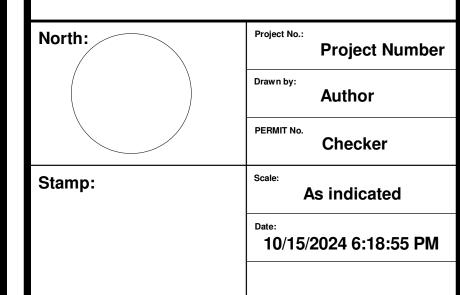
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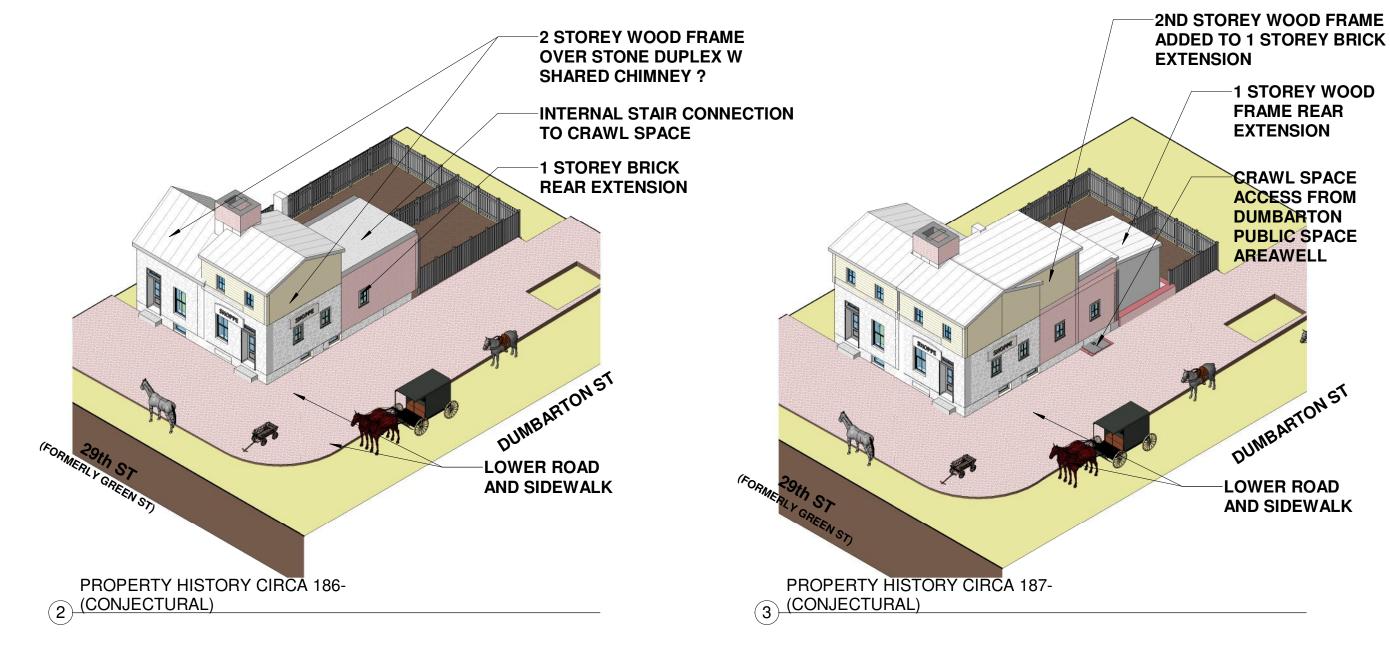
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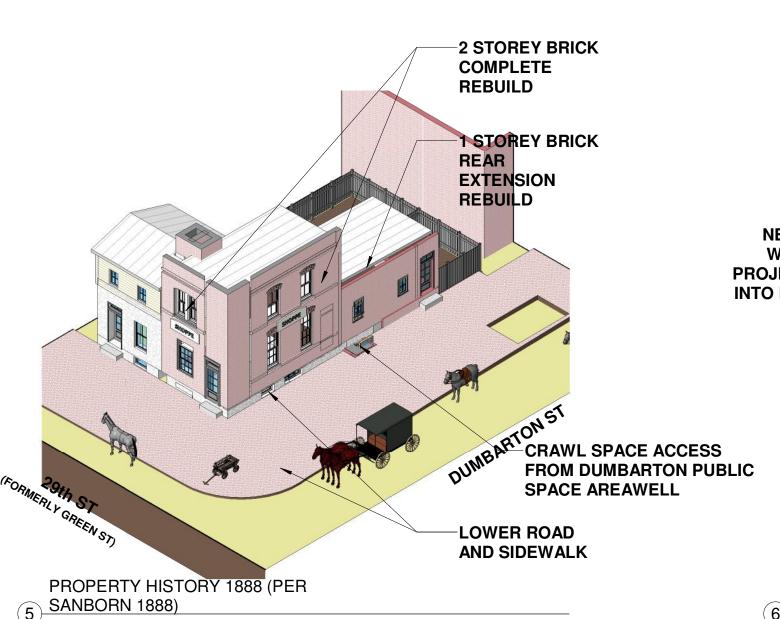
PROPERTY HISTORY -SANBORN AND BAIST FIRE INSURANCE MAP **DATA**

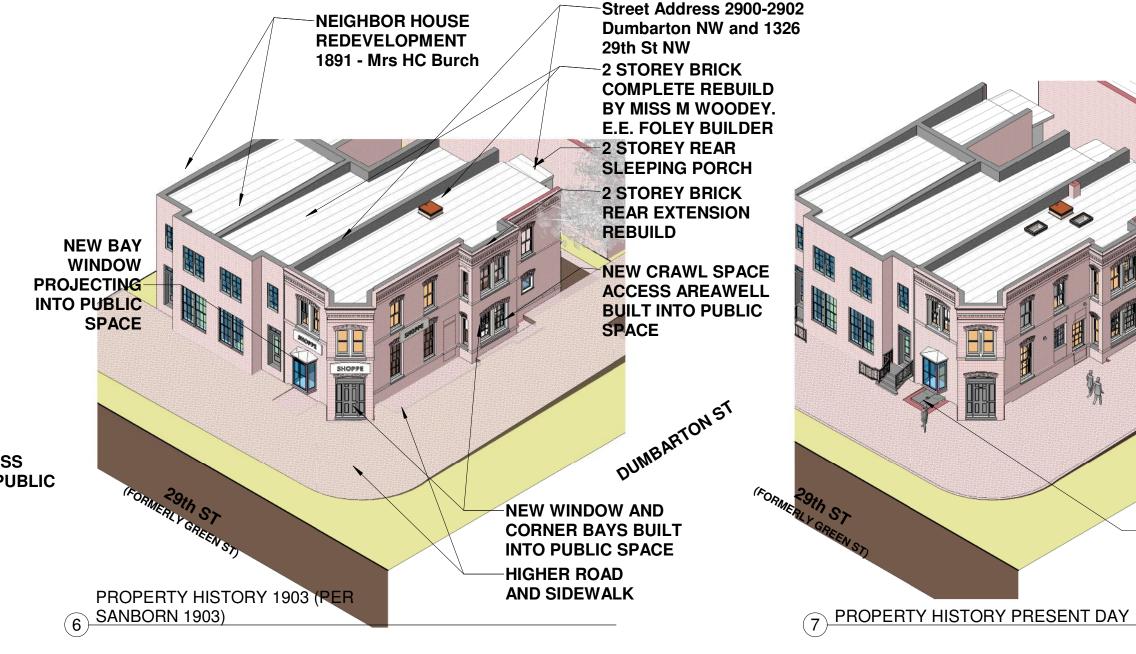


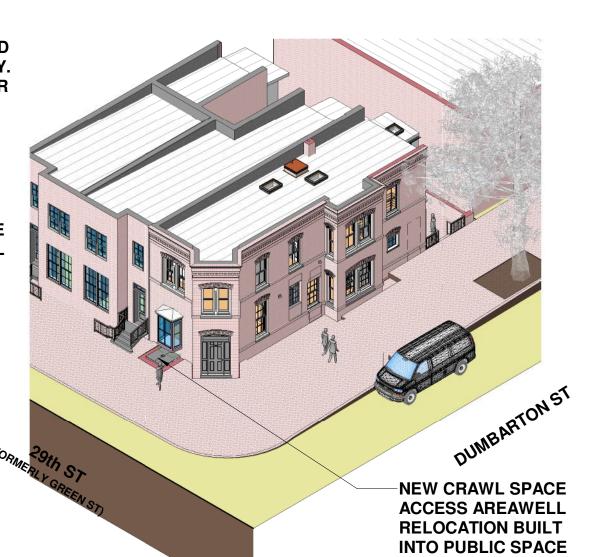
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1 STOREY STONE DUPLEX **W SHARED CHIMNEY?** 1 STOREY WOOD FRAME REAR SHED/PORCH **LOWER ROAD AND SIDEWALK** 1 PROPERTY HISTORY CIRCA 1850









HISTORICAL NARRATIVE

The 3D Time-Lapse drawing illustrates the evolution of the property at 2900 Dumbarton. The drawing shows that:

1801: The property appears to be undeveloped land at this time.

(Circa) 1850s: The first structure on the property emerges as a one-story (?) stone duplex with a shared chimney, developed at the same time as the neighboring structure. A wood-frame rear shed or porch is also present.

(Circa) 1860s: The property sees the addition of a wood frame (?) 2nd story, on top of the existing one-story stone duplex. The rear shed/porch is likely removed and a 1 storey brick addition is constructed (?), while the neighboring structure retains the original rear porch. The building is probably converted from a single dwelling unit into a store/retail use in the GF as shown in the Sanborn map. The Owner most likey lived in the upper floor flat

(Circa) 1870s: The property sees further expansion with the enlargment of the two-story brick structure that may encompass or replace the earlier stone and brick structure. The shared chimney likely remains, and a further one-story brick rear extension is added.

1888: Some catastrofic event might (fire?) have ocurred at around this time at 2900 dumbarto side of the duplex that necessitated the removal of the stone walls down to level. The stone twostory structure is probably (?) removed and replaced with a 2 storey brick structure, a flat roof installed and the 1 storey brick rear extension from the 1870s is expanded.

1903: Some other catastrofic event might (fire?) have ocurred at around this time on the other side of the duplex or simply a run of the mill property redevelopment, that necessitated the removal of the remaining stone walls down to ground level and the removal of the shared chimney wall. The entire building undergoes a complete rebuild, resulting in a two-story brick structure. The rear extension is also rebuilt with matching brick facade, and a two-story rear sleeping porch is added, with new window and corner bays built into the public space. The neighboring house also sees redevelopment during this period. The property is further converted into a 3 apt flats

Present Day: The building retains its two-story brick structure from the 1903 rebuild. The rear sleeping porch is no longer present. The neighboring house has further evolved, with the addition of a crawl space access area well and a bay window projecting into the public space. The use of the building has been converted to 3 apt flats (GF studio, GF 1 bed and 2nd fl 2 bed





2900-2902 **DUMBARTON** ST NW RENOVATIONS

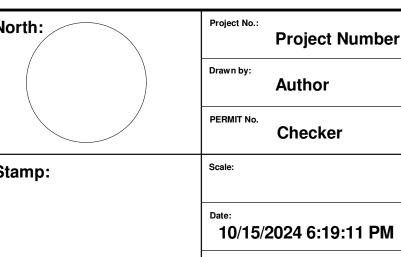
2900 DUMBARTON St NW WASHINGTON DC

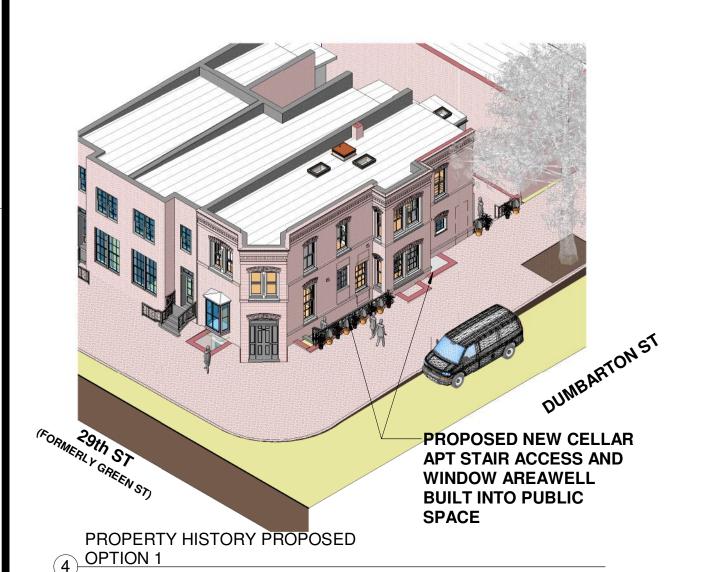
INVESTMENTS NMN

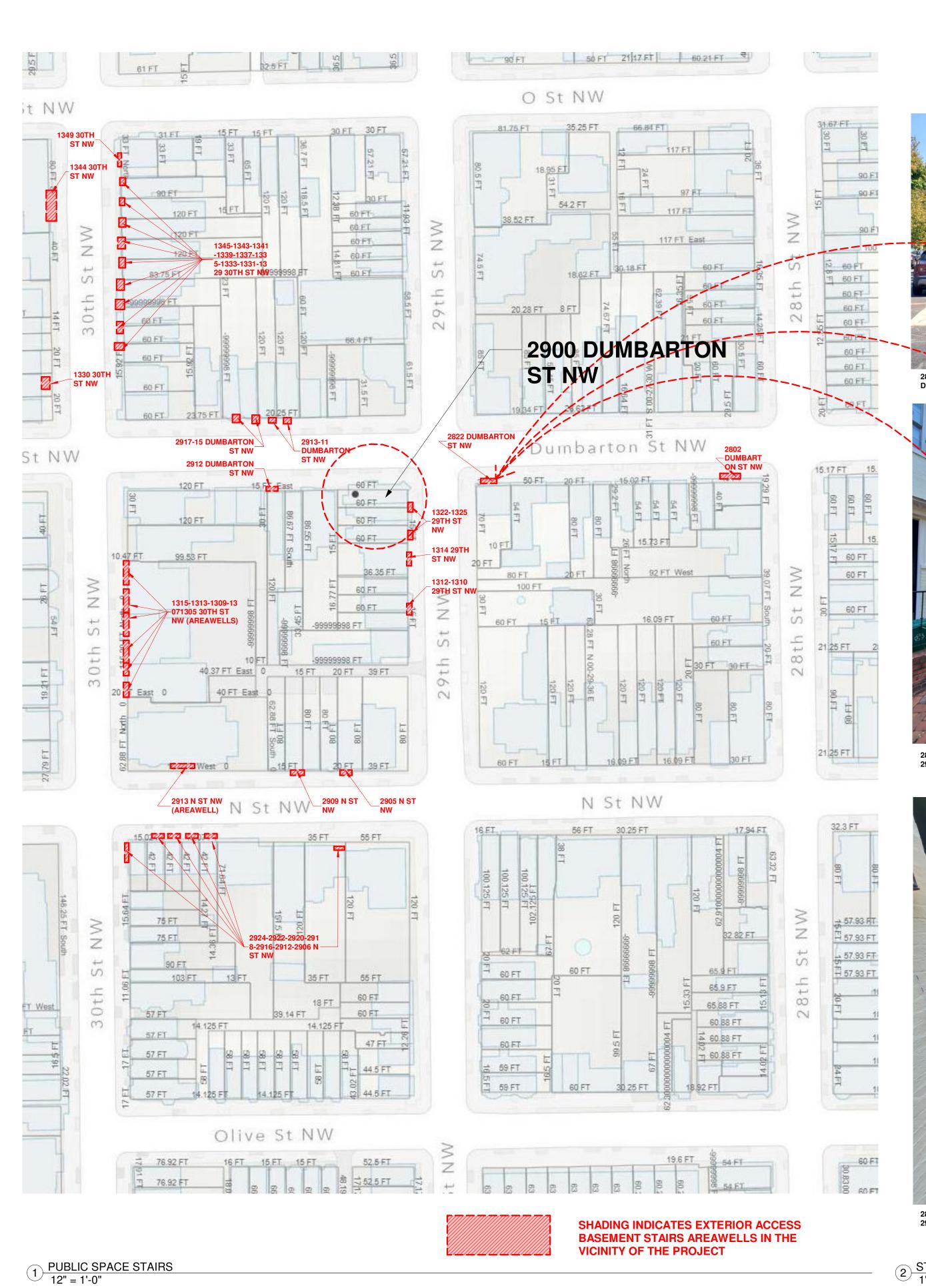
REV	REVISION	REVISION DESCRIPTION
No	DATE	

Drawing Title:

PROPERTY HISTORY -3D TIME LAPSE









2822 DUMBARTON ST BASEMENT AREAWELL ENTRANCE VIEW FROM 2900



2822 DUMBARTON ST BASEMENT AREAWELL ENTRANCE WITH 2900 DUMBARTON ST IN THE BACKGROUND



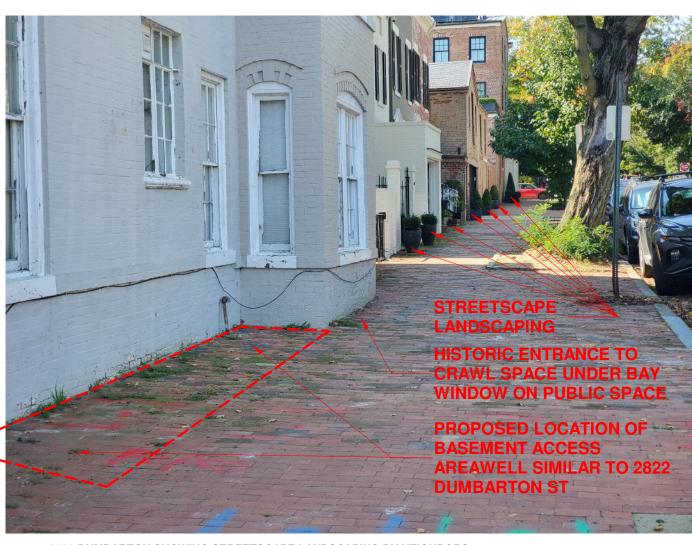
2822 DUMBARTON ST BASEMENT AREAWELL ENTRANCE WITH 2900 DUMBARTON ST IN THE BACKGROUND



2 STAIR AND POTTED PLANTS IN VICINITY
1" = 1'-0"



CORNER OF 2900 DUMBARTON AND 29TH ST SHOWING STREETSCAPE LANDSCAPING BY NEIGHBORS



2900 DUMBARTON SHOWING STREETSCAPE LANDSCAPING BY NEIGHBORS ALONG DUMBARTON ST



HISTORIC DUMBARTON ST CRAWL SPACE ENTRANCE





2900-2902 **DUMBARTON** ST NW RENOVATIONS

2900 DUMBARTON St NW WASHINGTON DC

INVESTMENTS NMN

REV	REVISION	REVISION DESCRIPTION
No	DATE	

Drawing Title:

STAIRS IN PUBLIC **SPACE IN THE VICINITY OF THE PROJECT**

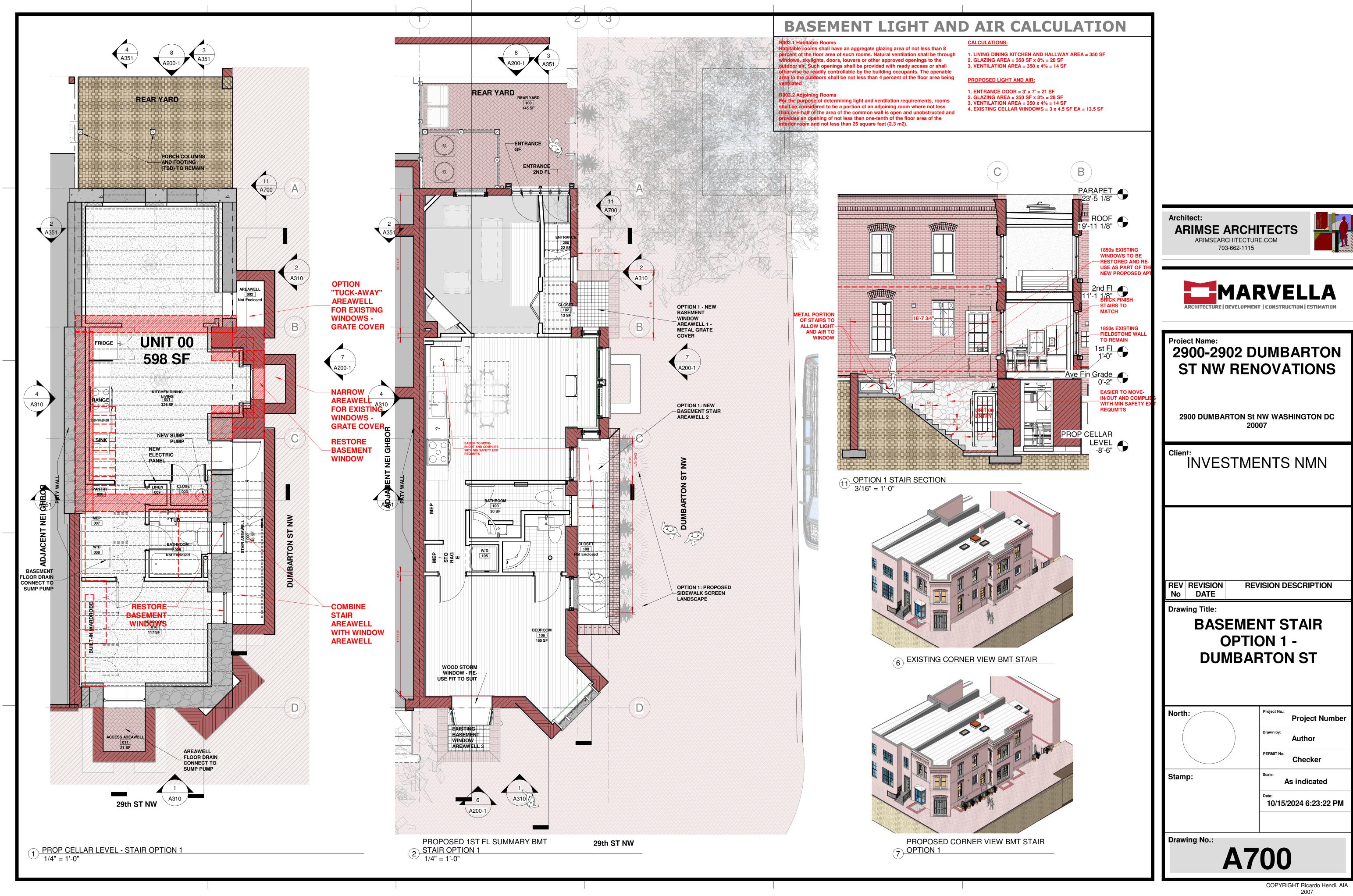
North:
Stamp:

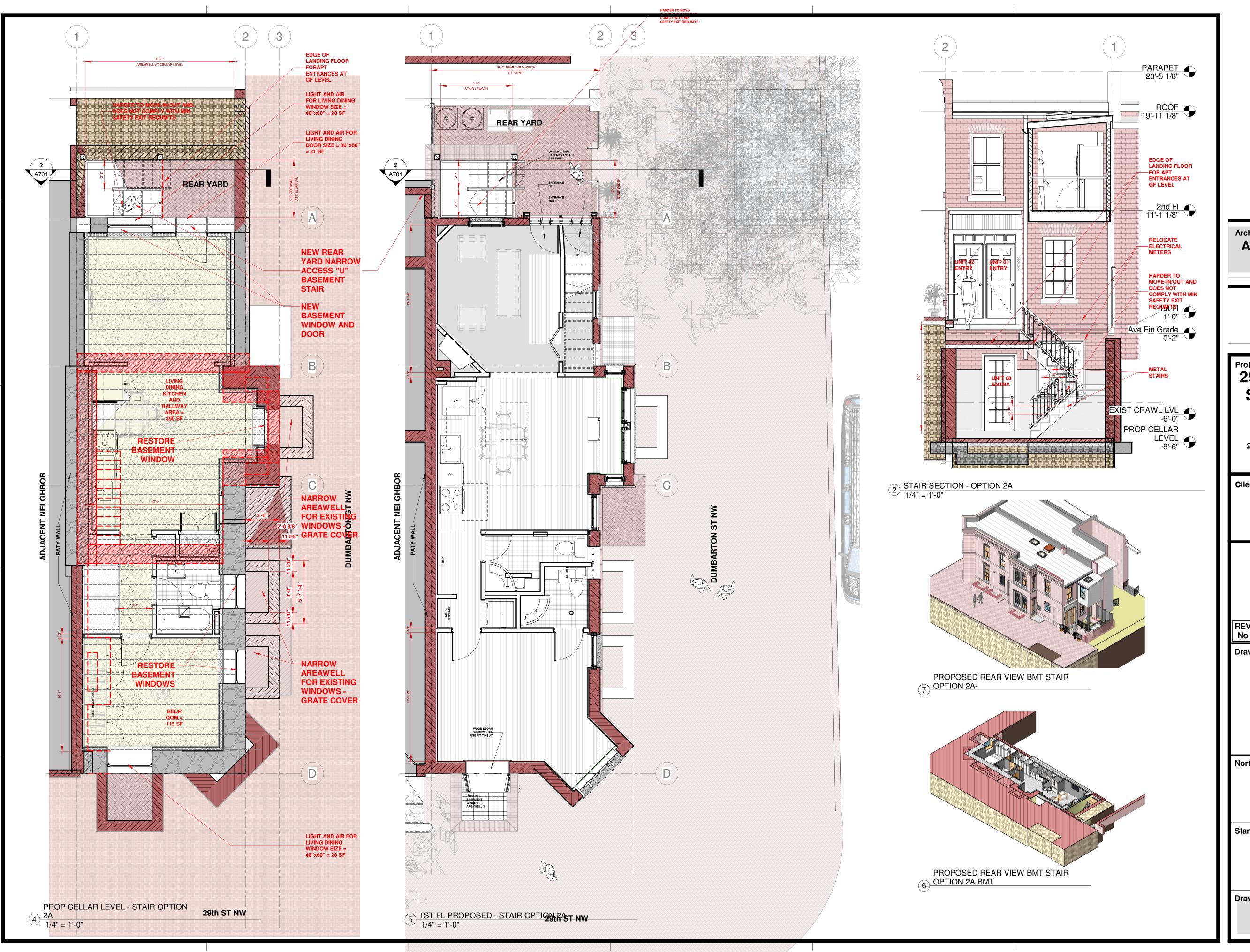
Project Number Author

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Drawing No.:









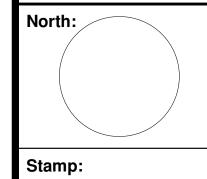
2900 DUMBARTON St NW WASHINGTON DC 20007

INVESTMENTS NMN

REV REVISION REVISION DESCRIPTION
No DATE

Drawing Title:

BASEMENT STAIR OPTION 2A - REAR YARD "U"



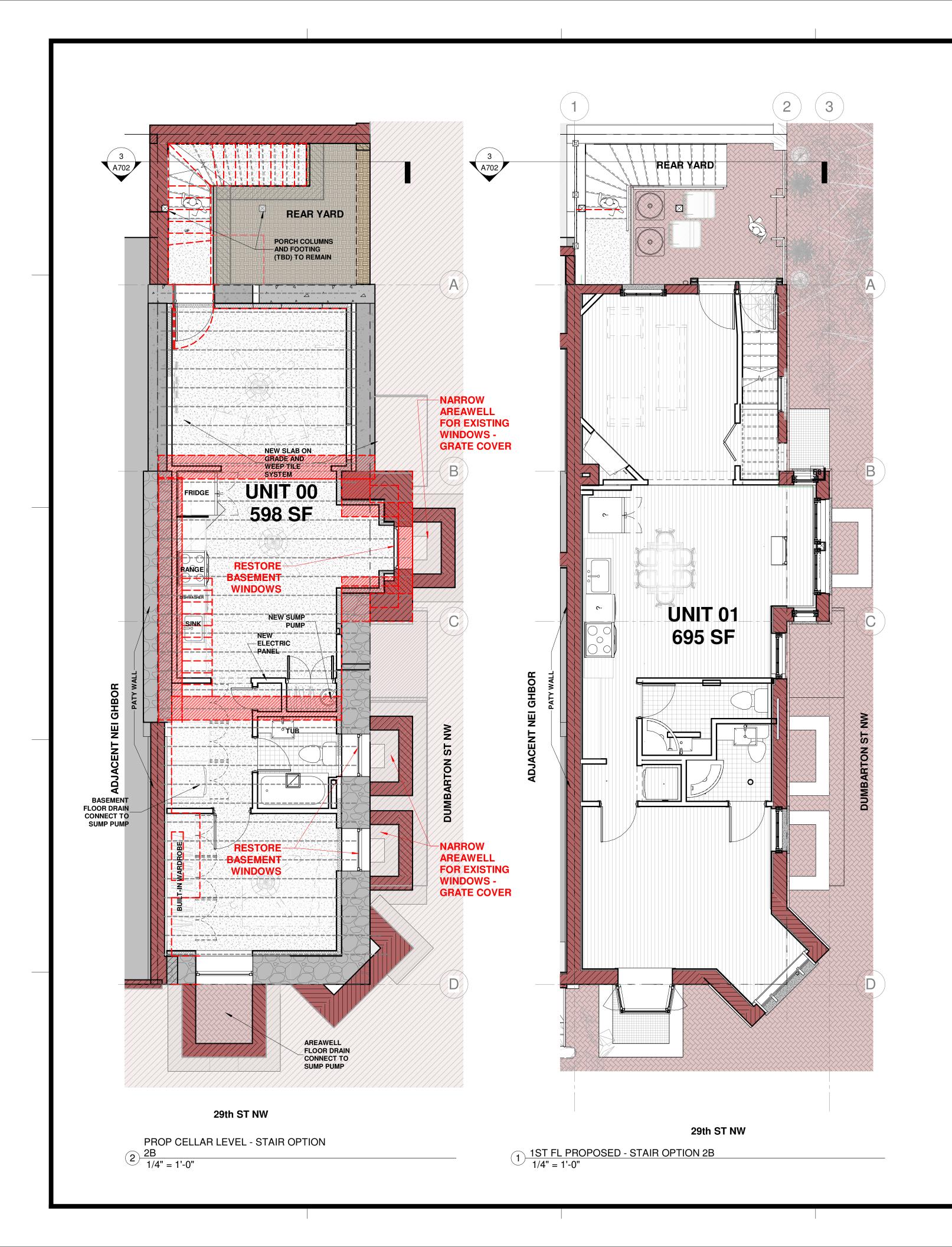
Project Number

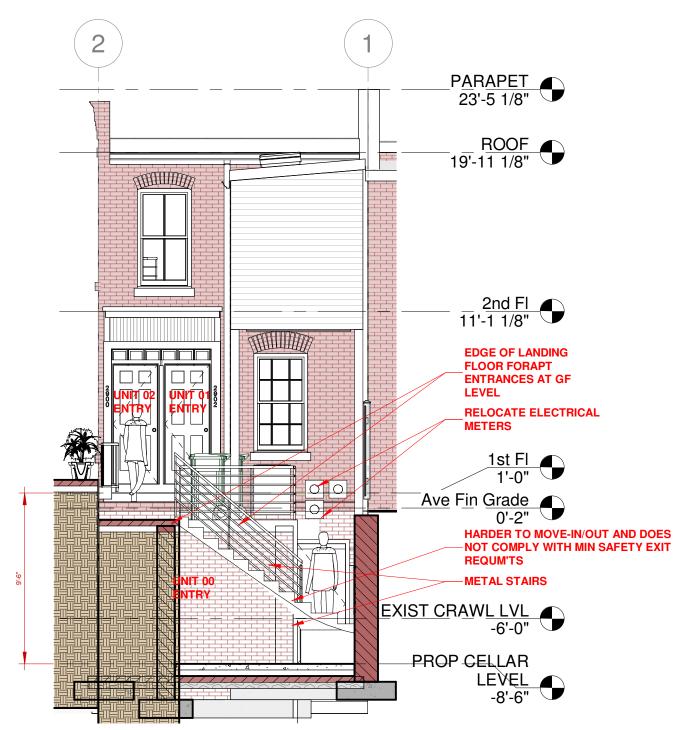
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Author

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1/4" = 1'-0"

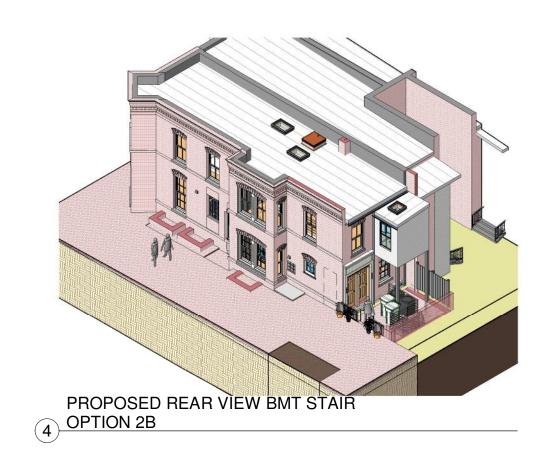
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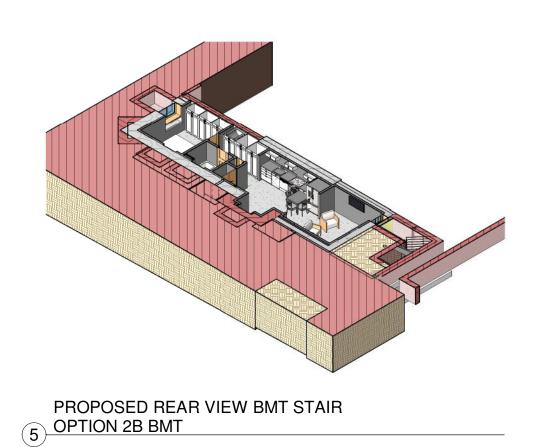
Drawing No.:





3 STAIR SECTION - OPTION 2B 3/16" = 1'-0"









Project Name: 2900-2902 DUMBARTON ST NW RENOVATIONS

2900 DUMBARTON St NW WASHINGTON DC 20007

INVESTMENTS NMN

REV REVISION REVISION DESCRIPTION No DATE

Drawing Title:

BASEMENT STAIR OPTION 2B - REAR YARD "L"

North:	
Stamp:	

Project Number

Drawn by:

Author

Checker

Scale:
As indicated

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Drawing No.:





PRELIMINARY PROPOSED VIEW FROM
CORNER - OPTION 1

PRELIMINARY PROPOSED VIEW FROM DUMBARTON - OPTION 1



PRELIMINARY PROPOSED VIEW

3 DUMBARTON FACADE - OPTION 1





Project Name: 2900-2902 DUMBARTON ST NW RENOVATIONS

2900 DUMBARTON St NW WASHINGTON DC 20007

INVESTMENTS NMN

REV REVISION No DATE

REVISION DESCRIPTION

Drawing Title:

PROPOSED VIEWS OPTION 1

North:	
Stamp:	

Project Number

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Drawing No.:





PRELIMINARY PROPOSED VIEW FROM DUMBARTON - OPTION 2







Project Name: 2900-2902 DUMBARTON ST NW RENOVATIONS

2900 DUMBARTON St NW WASHINGTON DC 20007

Client:

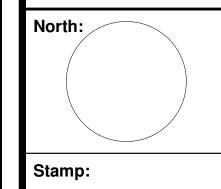
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REV REVISION No DATE

REVISION DESCRIPTION

Drawing Title:

PROPOSED VIEWS OPTION 2



Project Number

Author

Checker

Scale:

Date: 10/15/2024 6:28:45 PM

Drawing No.:



2461 Eisenhower Ave Alexandria, Virginia 22314 Office: 571-261-6400 info@marvellausa.com www.marvellausa.com

October 31st, 2024

Committee of Fine Arts
United States Commission of Fine Arts
401 F Street NW, Suite 312
Washington, D.C. 20001-2728

Re: Request for Approval to Replace Windows at 2900-2902 Dumbarton St NW

Dear Committee Members,

We are reaching out to request approval for the replacement of windows at the property located at 2900-2902 Dumbarton Street NW. After careful consideration of the costs associated with restoration versus replacement, it is evident that restoring the windows would impose a significant financial burden on the property owner, making replacement the more feasible option.

The estimated restoration cost per window is approximately \$2,500, compared to a replacement cost of \$1,300 per window. With 27 windows on the property, this results in a total cost of \$67,500 for restoration versus \$35,100 for replacement—a difference of \$32,400, which highlights the economic impracticality of restoration under the current scope of work.

Restoration Scope of Work:

The typical restoration process for historic wood windows includes an extensive series of steps designed to preserve as much historic fabric as possible. Restoration requires approximately 20 hours of skilled labor per window, given the detailed and labor-intensive procedures involved, including:

- 1. Preparatory Procedures: Disassembling screens, metal grills, tracks, mountings, and any related hardware, and removing elements like plywood infill, vents, or air conditioning units if applicable.
- Window Repair Procedures: Disassembly of shades, blinds, and stop beads for potential patching, labeling and salvaging unbroken glass, removing old glazing, sanding, priming, and painting wood, inspecting and reusing weatherstripping, and removing old paint and caulking from frames and moldings.
- 3. Additional Considerations: In cases where the sash is reinstalled in a new configuration, further adjustments may be required, such as fabricating historic hardware.



2461 Eisenhower Ave Alexandria, Virginia 22314 Office: 571-261-6400 info@marvellausa.com www.marvellausa.com

The overall goal is to retain the historic character while making the windows weather-resistant and serviceable for long-term use. However, this approach involves extensive labor and costly materials, leading to a high per-window cost that significantly exceeds replacement.

Replacing the existing windows with in-kind aluminum-clad wood windows would allow us to maintain the historic character of the pro

Replacement Scope of Work:

Replacing the existing windows with in-kind aluminum-clad wood windows would allow us to maintain the historic character of the property while achieving a more practical, cost-effective outcome. Replacement requires approximately 5 hours of labor per window and includes:

- 1. Pre-Installation Phase: Site assessment, documentation, and approval procedures, selecting and ordering custom-fabricated in-kind windows.
- 2. Installation Phase: Preparation of window openings, installation of new frames and sashes, and application of sealants for a watertight finish. Interior and exterior trims would match historic profiles, and hardware would be selected to reflect the original style.
- 3. Post-Installation Phase: A final inspection, client walkthrough, and provision of maintenance instructions to ensure long-term functionality and aesthetic compatibility with the historic building.

Cost Justification and Conclusion:

The cost to restore all 27 windows would amount to \$67,500, requiring an estimated 540 hours of labor (20 hours per window). In contrast, replacing all windows would total \$35,100, with approximately 135 hours of labor (5 hours per window). By choosing replacement, we can ensure the building's integrity while honoring its historic character in a way that is financially sustainable for the owner.

We appreciate your consideration of this request and hope the Committee will support the proposed replacement, which strikes a balance between preservation and economic feasibility.

Sincerely,

Mike Lawler

Marvella Construction Company

Licensed Contractor (DC, MD, VA)