






















ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE
AFF	ABOVE FINISH FLOOR
ARCH	ARCHITECT
BLDG.	BUILDING
BM	BEAM
C	CONTRACTOR (GENERAL)
CJ	CONTROL JOINT
CL	CENTER LINE
CLG.	CEILING
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
DTL.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
DWG.	DRAWING
EA.	EACH
EJ	EXPANSION JOINT
ELEC.	ELECTRIC \ ELECTRICAL
EQ.	EQUAL
EXIST.	EXISTING
FIN.	FINISH
GA.	GAUGE
GYP.	GYPSUM
GWB.	GYPSUM WALL BOARD
HB.	HOSE BIB
HC.	HANDICAPPED
HM.	HOLLOW METAL
HORIZ.	HORIZONTAL
HGT.	HEIGHT
HVAC	HEATING, VENTILATING, AIR CONDITIONING
I	INSTALLED MEANS CLEANED & CONNECTED FOR USE
INSUL.	INSULATION
MAS.	MASONRY
MECH.	MECHANICAL
MANUF.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTL.	METAL
NIC.	NOT IN CONTRACT
NTS	NOT TO SCALE
O	OWNER
O.C.	ON CENTER
P	PROVIDED MEANS SUPPLIED & INSTALLED
P-LAM	PLASTIC LAMINATE
PLYWD.	PLYWOOD
REINF.	REINFORCED
REQ'D	REQUIRED
S	SUPPLIED MEANS UNCRATED & DELIVERED TO SITE
SHT	SHEET
TEL	TELEPHONE
TYP.	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VF.	VERIFY IN FIELD
VCT	VINYL COMPOSITION TILE

MATERIALS

	BATT INSULATION
	RIGID INSULATION
	GYPSUM DRYWALL
	CONCRETE
	STEEL
	WOOD-ROUGH (CONT.)
	WOOD-ROUGH (NON CONT.)
	PLYWOOD
	EARTH
	C.M.U.

SYMBOLS

	DETAIL NUMBER
	SHEET NUMBER
	INTERIOR ELEVATION
	PLAN DETAIL NUMBER
	SHEET NUMBER
	ELEVATION
	PARTITION TYPE
	PLAN NOTES NUMBER
	ROOM NUMBER
	EQUIPMENT NUMBER
	WINDOWS

DECK RAIL REPLACEMENT for:
THE WILLIAMS HOUSE CONDOMINIUM

3101 P STREET, NW
WASHINGTON DC 20007

SOW(Scope of Work)

Replace Unsafe and Deteriated Rails
Reduce existing height of 54" to 48"
Replace the Dividing Rail Partition
Reuse Existing Post Brackets

DRAWING INDEX

- 1CS COVER SHEET
- 1S1 PHOTOS
- 1S2 PHOTOS & SITE PLAN

- A1.1 EXISTING & PROPOSED ROOF PLANS
- A1.2 EXISTING & PROPOSED DECK PLANS, ELEVATIONS
- A1.3 PROPOSED RAIL DETIALS

BUILDING INFORMATION

BLDG. PERMIT #

LOT 42 SQUARE 1270

JURISDICTION: DISTRICT OF COLUMBIA

ZONE; R-
NATIONAL HISTORIC REGISTRY

DCRA DECK/STAIR GUIDE based on 2017 IRC

	REQUIRED	PROVIDED ²
GUARD CAP & RUNNER	2X6 & 2X4	2X6 & 2X4
RAILING GUARD HEIGHT	36"	48"
RAIL POST SPACING	6'	4'-9" or Less
BALLUSTER SIZE	2X2	1 X 6 SHADOW BOX
BALLUSTER SPACING	4"	0"
POST SIZE	6x6	6x6

GENERAL NOTES

- Information contained in these drawings is based on site drawings, visual inspections, and limited field measurements taken by the Contractor. In case any adjustments or modifications are required to conform with existing conditions, contractor shall inform Architect prior to such changes.
-
- If any errors or omissions appear on drawings that become apparent to the Contractor, he shall notify the Architect so that corrective measures can be taken.
- Contractor shall be fully responsible for the protection of existing facilities during construction – any damage occasioned or arising from the acts of the Contractor or his subcontractors, shall be corrected at the Contractor's expense.
- All cutting and patching shall be performed in a neat workmanlike manner – any existing finishes disturbed or damaged during construction shall be repaired to match existing in kind and finish.
-
- Contractor shall be responsible for cleaning all existing and new prior to occupancy of new space by Owner.
-
- General Contractor shall anticipate and make provisions for a substantial amount of coordination among existing conditions.
-
- Contractor to conform in strict accordance with manufacturer's instructions and recommendations.
- All dimensions on plans are to face of finish unless otherwise noted.
- Contractor shall be fully responsible for the removal of materials off-site at no additional cost to the owner and shall observe all required safety precautions in the performance of his work.
- Contractor to support all work prior to the removal of materials.
- Patch and repair any voids made by construction with same materials as existing adjacent surface.
- Contractor to verify all field conditions prior to construction and shall be responsible for necessary manpower, equipment and materials required to complete the project.

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ARCHITECTS, LLC

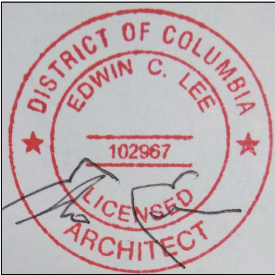
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410-991-7021

EdwinLeeAIA@gmail.com
web site: EdwinLeeArchitects.com

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Expiration: April 30, 2020

REVISIONS:		
NO.	DATE	DESCRIPTION:

PROJECT:

DECK RAIL
REPLACEMENT

3101 P Street, NW
Washington DC,
20007

COVERSHEET

ARCHITECT:	DRAWN BY:
EL	SMR
DATE: 2020.02.05	
PROJECT NO: #20.002	

1CS



VIEW FROM "31st" STREET



VIEW FROM "31st" STREET



VIEW FROM "P" STREET

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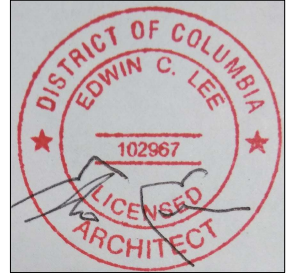
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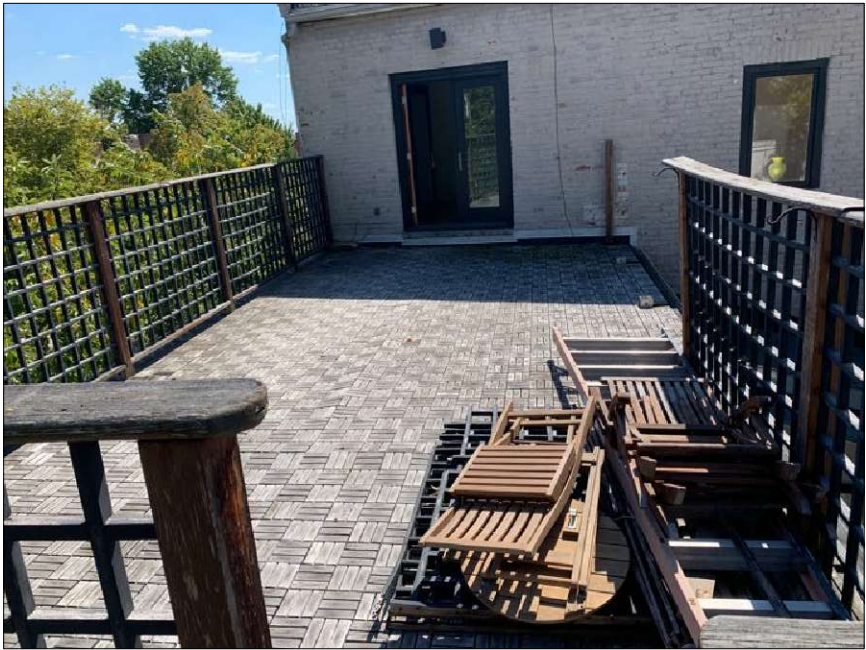
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SITE INFORMATION

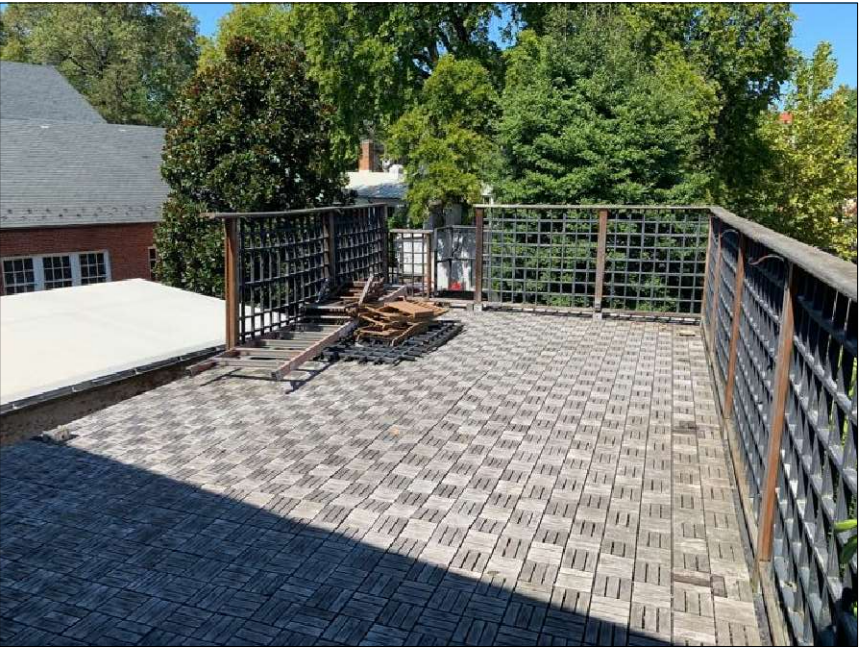
ARCHITECT:	DRAWN BY:
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DATE:	
02/05/2020	
PROJECT NO:	S1.1
#20.002	



EXISTING COLUMN
BASE



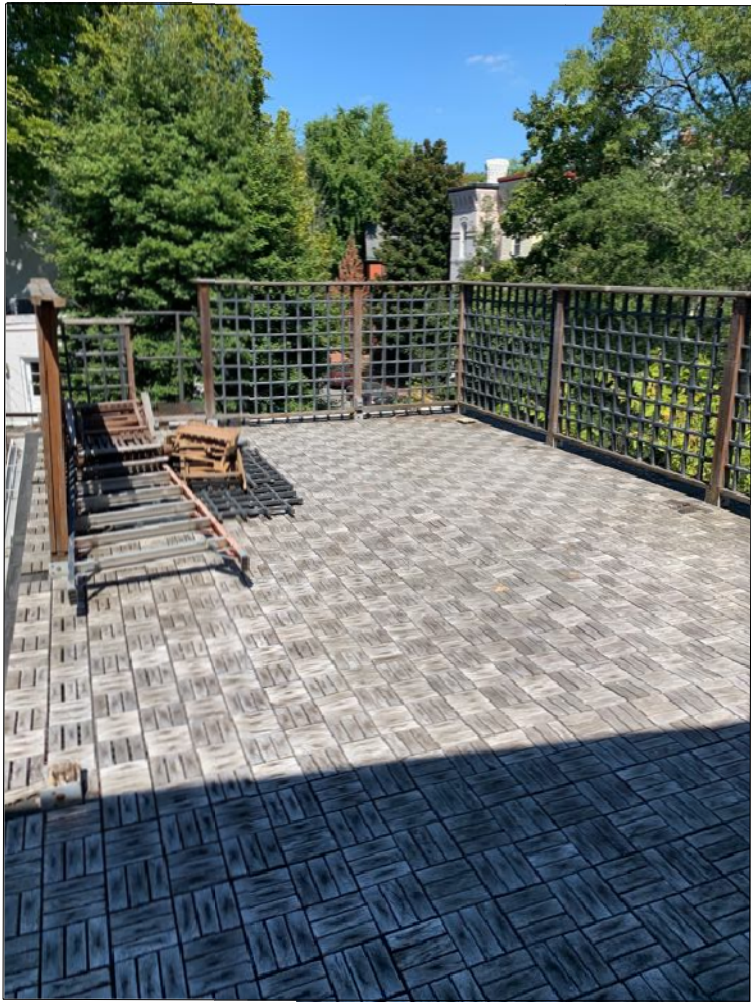
VIEW TOWARD 4TH FLOOR



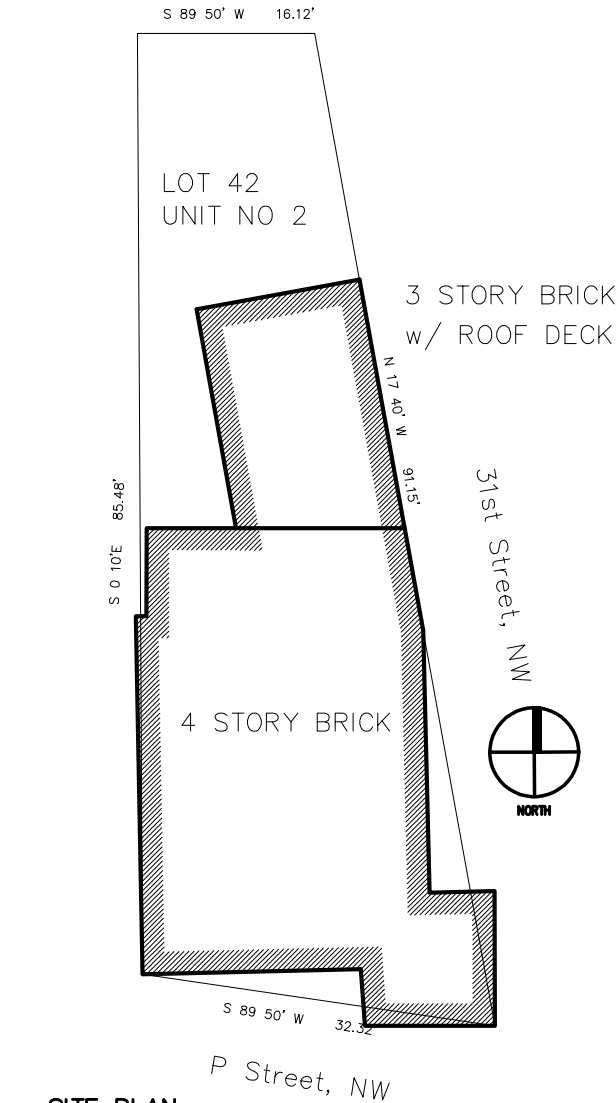
VIEW TOWARD FIRE ESCAPE



EXISTING COLUMN
BASE



VIEW TOWARD FIRE ESCAPE



01 SITE PLAN
1/8"=1'-0"

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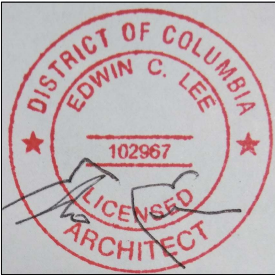
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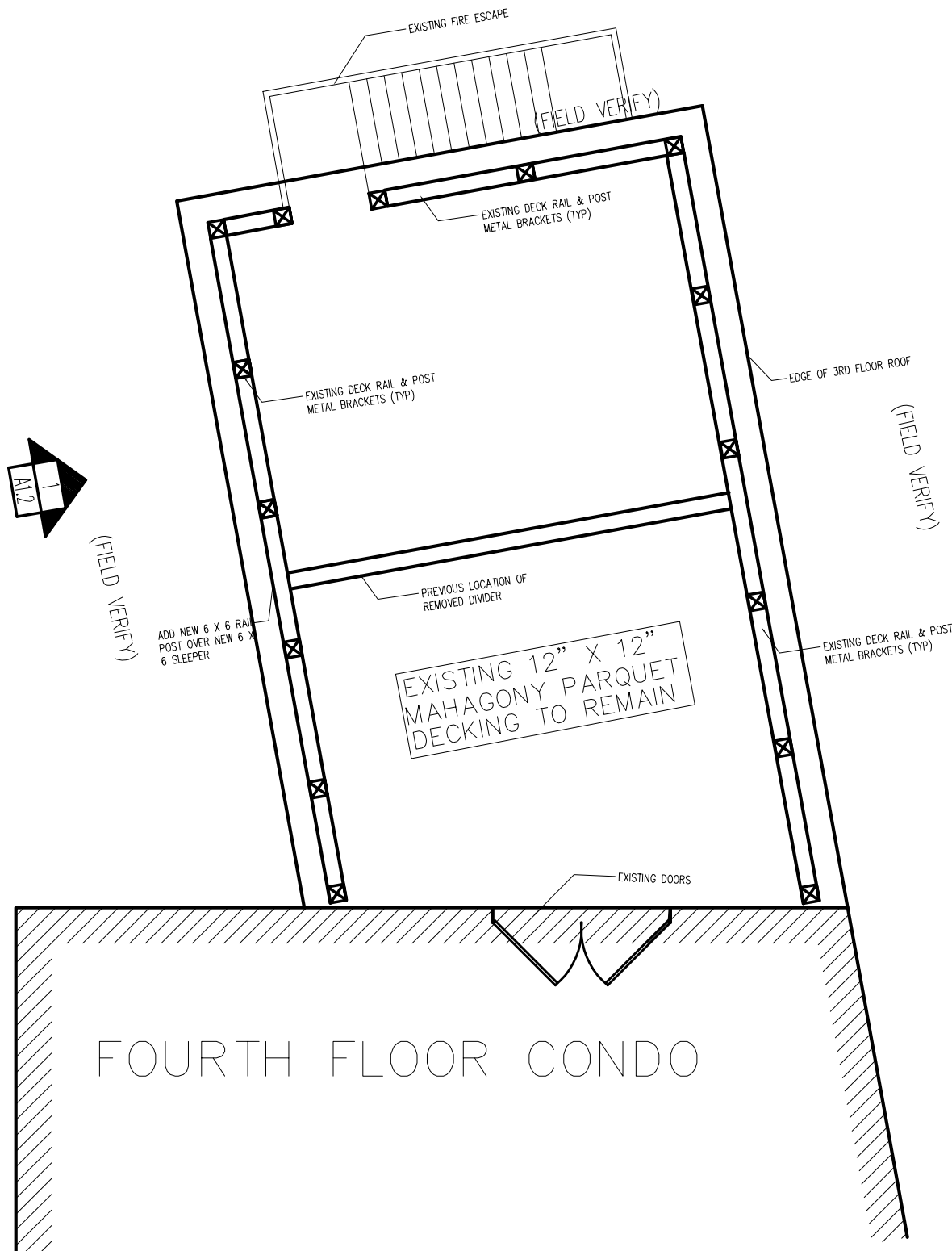
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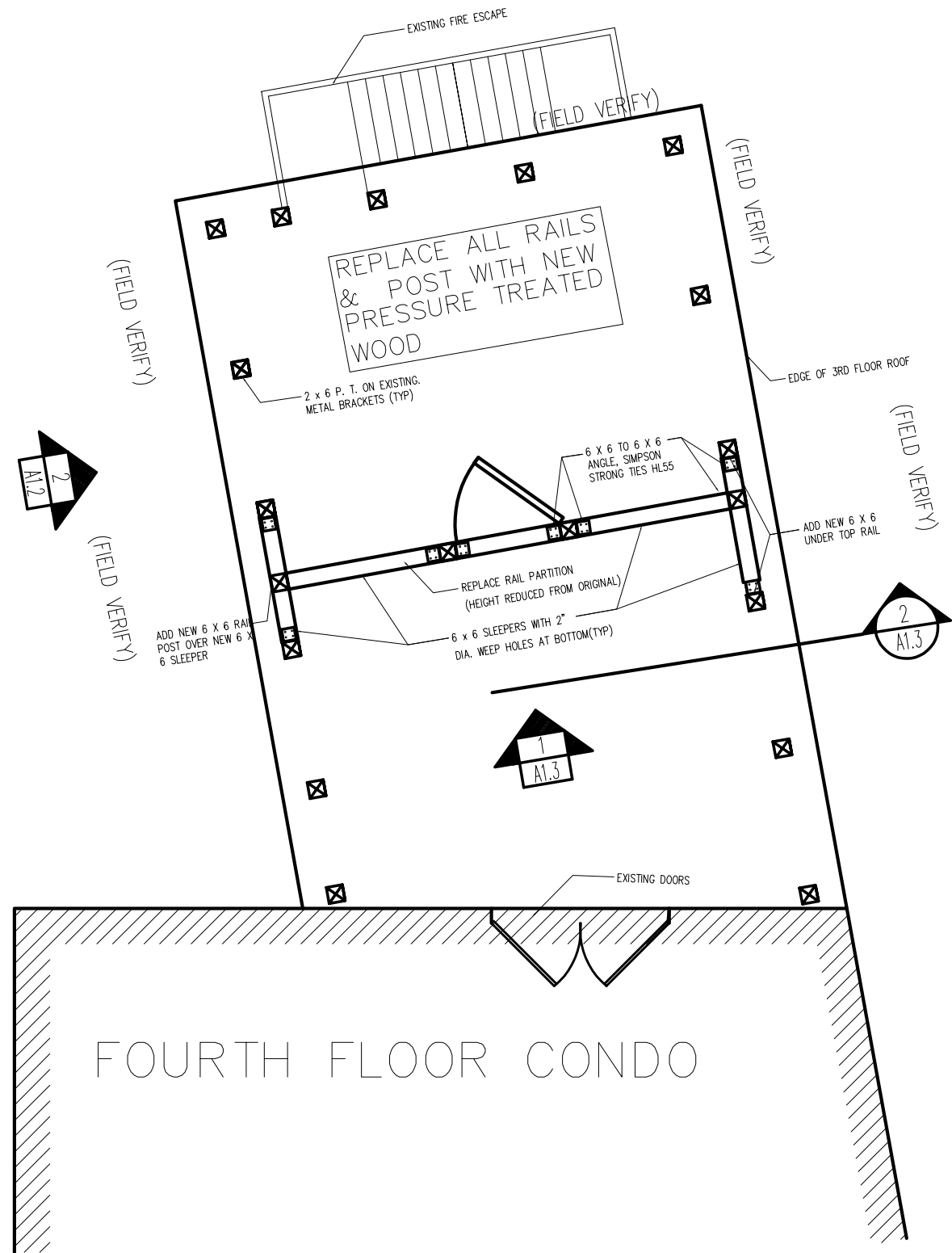
SITE INFORMATION

ARCHITECT: EL
DATE: 02/05/2020
PROJECT NO: #20.002

DRAWN BY: SMR
S1.2



① 3rd FLOOR ROOF DECK PLAN (EXISITNG) 1/2" = 1'-0"



① 3rd FLOOR ROOF DECK PLAN (PROPOSED) 1/2" = 1'-0"

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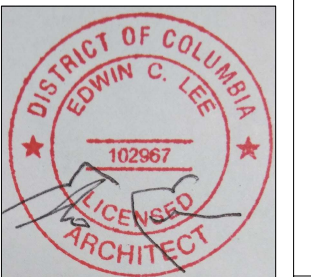
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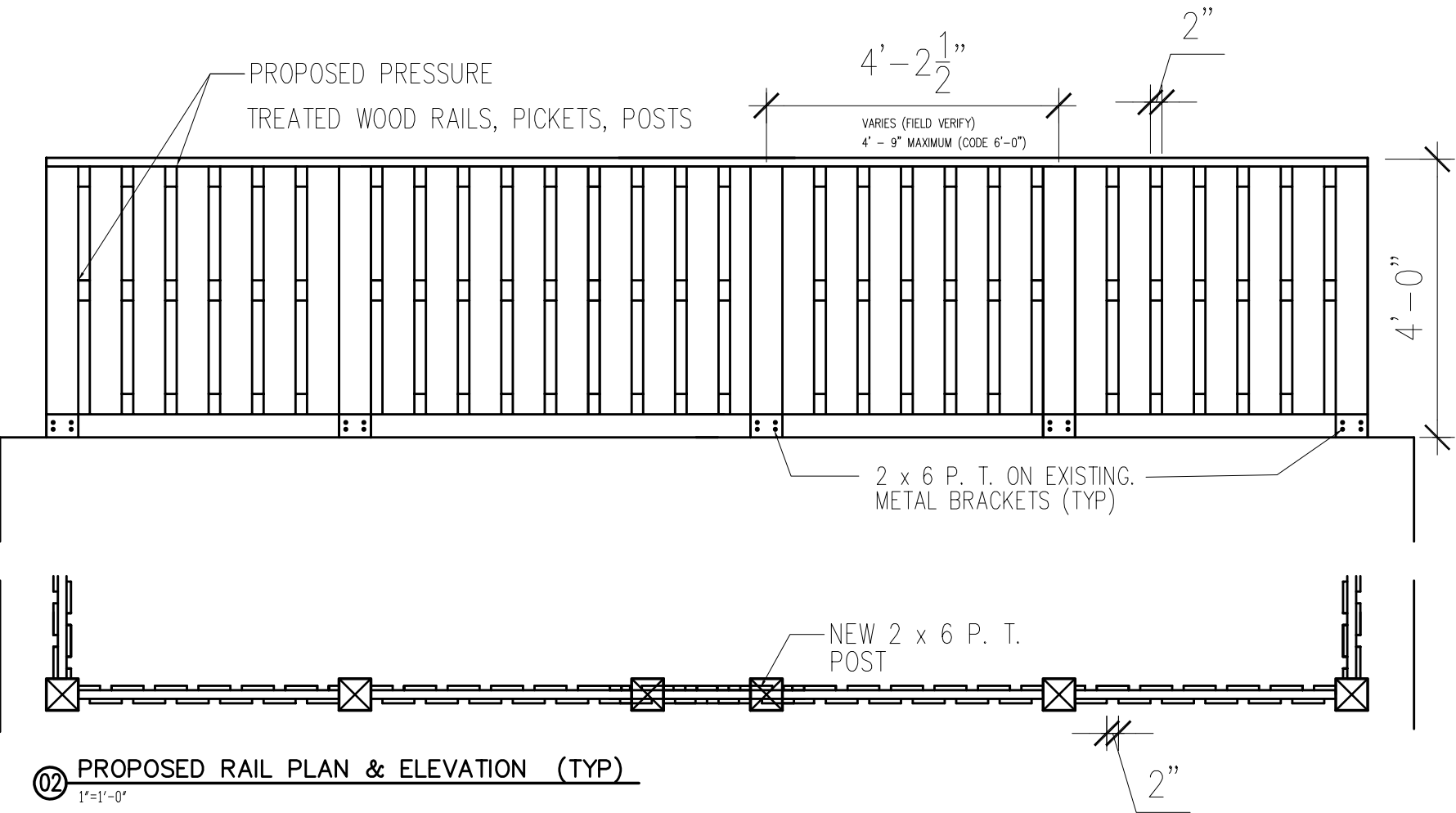
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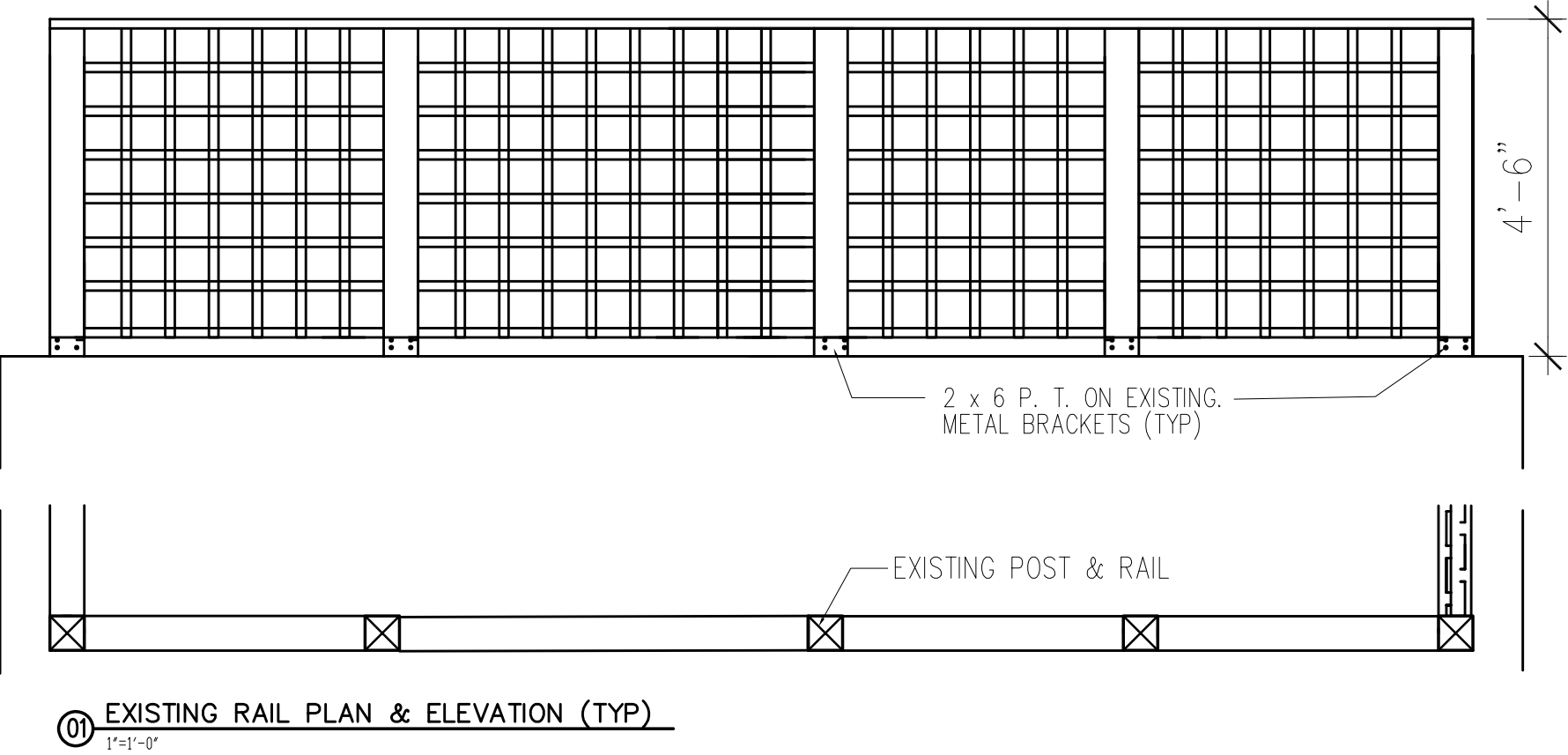
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**ROOF
PLANS**

ARCHITECT: EL DRAWN BY: SMR
DATE: 02/05/2020
PROJECT NO: #20.002
A1.1



02 PROPOSED RAIL PLAN & ELEVATION (TYP)
1"=1'-0"



01 EXISTING RAIL PLAN & ELEVATION (TYP)
1"=1'-0"

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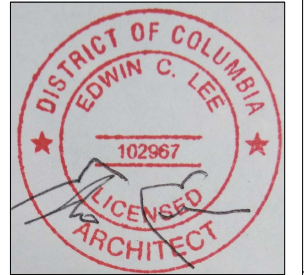
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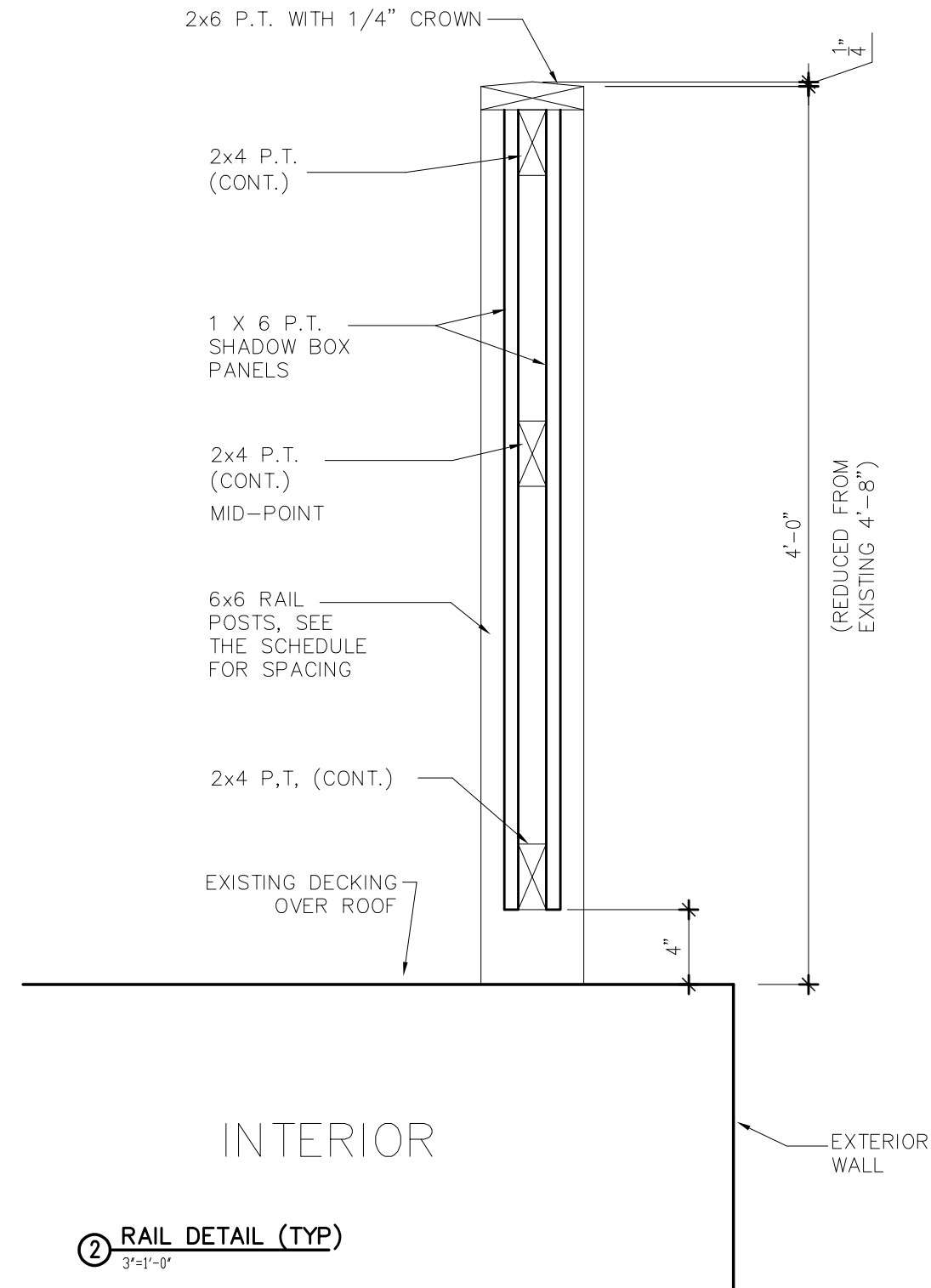
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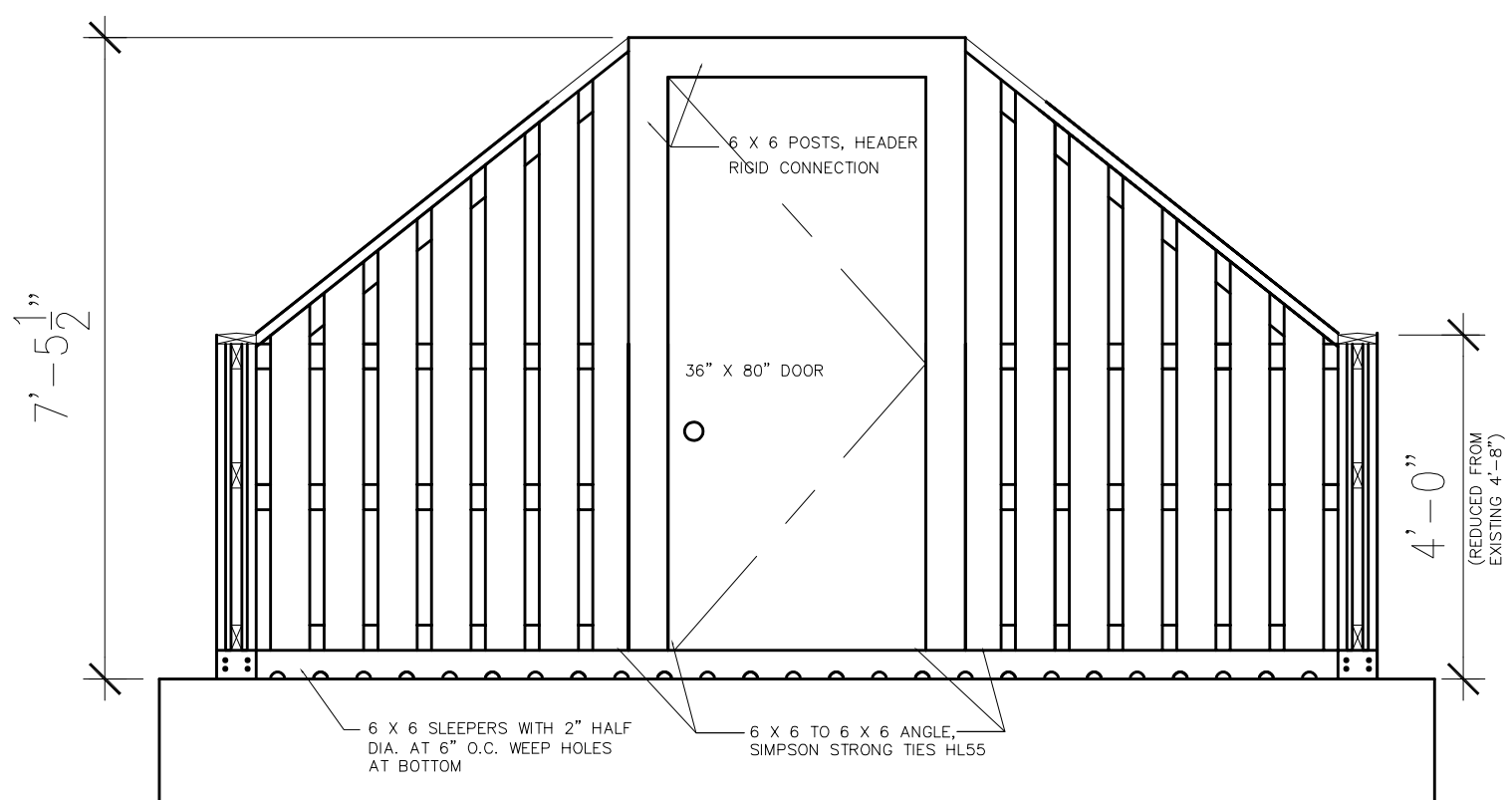
EXISTING
PROPOSED

ARCHITECT:	DRAWN BY:
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DATE:	02/05/2020
PROJECT NO:	#20.002

A1.2



② RAIL DETAIL (TYP)
3"=1'-0"



① MIDDLE PARTITION RAIL ELEVATIONS
1"=1'-0"

GENERAL DECK RAIL DEMOLITION NOTES

1. ALL WORK TO BE IN COMPLETE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
2. THE HOUSE WILL BE AVAILBLE SOLELY FOR THE DEMOLITION AND RENOVATION, GC HAS A FULL CONTROL OF THE PROPERTY DURING THE COURSE OF THE ENTIRE PROJECT GC SHALL SAFEGUARD THE PROPERTY AND RESPONSIBLE FOR ITS PROPERTY, THE CONTENT AND THE OCCUPANTS. THE OWNER SHALL NOTIFY AND COORDINATE CONTRACTOR IF WHEN A VISITOR. MAKE NECESSARY VISITS DURING THE CONSTRUCTION PERIOD.
3. REMOVE ALL EXISTING COMPONENTS AS NECESSARY TO PREPARE FOR NEW CONSTRUCTION AND REPAIRING AND PREPING ANY DECK COMPONENTS TO A CONDITION APPROPRIATE TO INSTALLATION OF NEW.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMOVAL AND DISCARDING OF ALL DEMOLITION WASTE INCLUDING ANY UNFORSEEN HAZARDOUS WASTE OR MATERIALS ENCOUNTERED WITHIN THE SCOPE OF THE PROJECT.
6. CONTRACTOR SHALL SHORE-UP AND BRACE AS REQUIRED DURING DEMOLITION TO ENSURE THE COMPLETE STRUCTURAL INTEGRITY OF THE DECK RAIL DURING AND AFTER COMPLETION OF THE ENTIRE SCOPE OF WORK.
7. THROUGHOUT THE DEMOLITION, GC TO INVESTIGATE EXISTING STRUCTURE FOR CRACKS, DETERIATION, AND OTHER SIGNS OF DAMAGE, GC TO SUBMIT FINDINGS TO EDWIN LEE ARCHITECTS, LLC AND OWNER.

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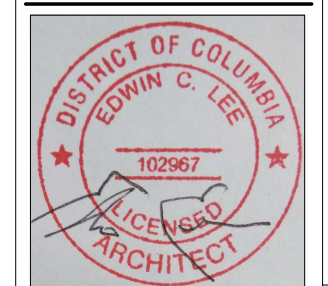
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NO.	DATE	DESCRIPTION:

PROJECT:
DECK RAIL REPLACEMENT

3101 P Street, NW
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ELEVATION DETAILS

ARCHITECT: EL
DRAWN BY: SMR
DATE: 02/05/2020
PROJECT NO: #20.002

A1.3